

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input checked="" type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input checked="" type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

John and Susan Jennings

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Steven Sanson - Bay of Islands Planning

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

* All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

~~John and Susan Jennings~~ John Richard Jennings, Susan Anne

Property Address/
Location:

27 Point Veronica Drive, Opua
Jennings and Davenport
Hakawai Trustee (2012) not
limited.
Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

~~John and Susan Jennings~~ John Richard Jennings Susan Anne Jennings and

Davenport's Harbour Trustee (2012) Noly Limited

Site Address/
Location:

27 Point Veronica Drive, Opuia

Postcode

Legal Description:

refer ROT Attached

Val Number:

Certificate of title:

NA100C/971 & NA65C/268

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please call applicant prior to site visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Proposed boundary adjustment and concrete ramp in the Point Veronica Zone / CMA. NRC consent also required and will be lodged concurrently.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land Disturbing, removing or sampling soil
- Changing the use of a piece of land Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

~~John Richard~~ The Jennings Family Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Jennings Family Trust

Signature:

(signature of bill payer)

Date 7 Dec 2024

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Steven Sanson

Signature:

[Redacted Signature]

Date 25-Nov-2024

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

BAY OF ISLANDS PLANNING (2022) LIMITED

**Kerikeri House
Suite 3, 88 Kerikeri Road
Kerikeri**

Phone [09] 407 5253; Email – office@bayplan.co.nz Website - www.bayplan.co.nz

3 March 2025

Far North District Council
John Butler Centre
Kerikeri

Dear Team Leaders,

Re: Proposed Boundary Adjustment & Boat Ramp - 27 Point Veronica Drive, Opuā

Our clients, John and Susan Jennings, seek a resource consent to carry out a boundary adjustment and construct a boat ramp on / near their site at 27 Point Veronica Drive, Opuā.

The site is zoned 'Point Veronica' within the Far North District Council Operative District Plan (ODP), and Rural Lifestyle zone within the Coastal Environment under the Proposed Far North District Plan (PDP).

Please do not hesitate to contact me should you require any further information.



Steven Sanson
Consultant Planner

1. INTRODUCTION

The applicants, John and Susan Jennings seek resource consent to carry out a boundary adjustment and construct a boat ramp at / near 27 Point Veronica Drive, Opuia. A copy of the Records of Title and instruments are attached within **Appendix A**.

The boundary adjustment is outlined on the Scheme Plan provided in **Appendix B**. Details and location of the proposed boat ramp are provided in **Appendix C**.

As the proposed boat ramp is located on legal road, a License to Occupy is proposed and required. This application is provided in **Appendix D**.

A geotechnical report is provided for the adjusted allotment. This is provided for in **Appendix E**. A landscape assessment is provided in **Appendix F**. A consent from NRC is also required for the proposed boat ramp. This will be applied for concurrently with this application and will be provided.

2. SITE DESCRIPTION

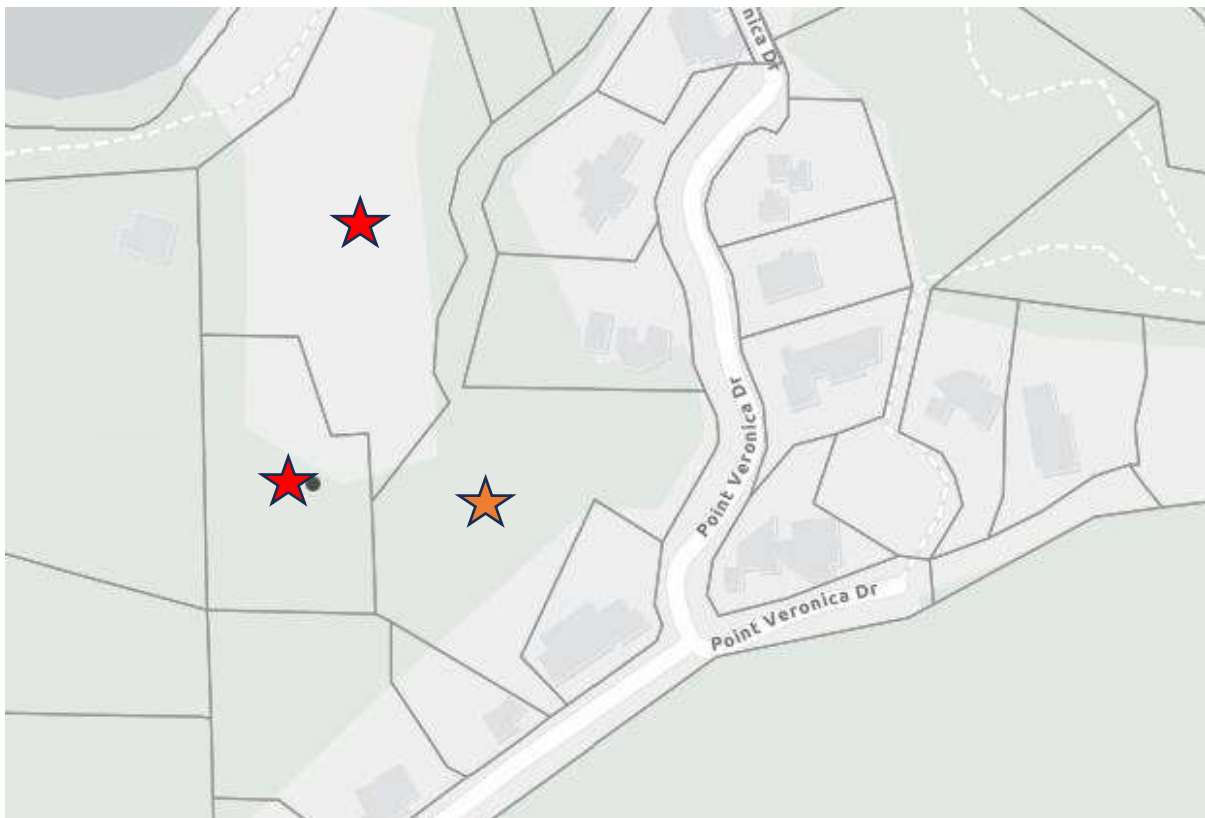


Figure 1 – Site (Source: Far North Proposed District Plan Maps)



Figure 2 – Site Aerial (Source: Far North Proposed District Plan Maps)

The application site is located on the western boundary of the Point Veronica zone in between the settlements of Te Haumi and Opua. Access to properties in the Point Veronica zone is from State Highway 11 on to Broadview Rd, Arabella Rd, and then Point Veronica Drive.

The properties are encompassed by steep, densely vegetated slopes on the western, southern, and eastern sides, all descending towards the north, where the coastal marine area is situated.

There is existing access to the site off Point Veronica Rd via a shared sealed accessway northeast of the property. The access has a steep gradient and is approximately 200m in length. It is sealed.

The access and remainder of the site are a common lot, split in an 8th share. The site slopes from south to north. This site / common access lot is shown in orange in Figures 1 and 2 above. The rough boat ramp location is also shown above in blue. The site subject to the adjustment are shown in red.

Two primary stormwater overland flow paths are located on the western and eastern boundaries of Lot 29 DP 115144. Lot 5 DP 115144 is serviced by these same overland flow paths. These paths predominantly function as flume conveyance systems, incorporating energy dissipation mechanisms at discharge points.

Additionally, a third overland flow path is delineated through the central region of Lot 29 DP 115144. All drainage ultimately runs towards the coastal marine area to the north of Lot 29 DP

115144. The property is well maintained, consisting of grassed lawn with established gardens as well as areas of established bush.

There is an existing EDS (Effluent Disposal System) running through Lot 29 DP 115144. There is an existing 100mm water main located to the east in Point Veronica Drive. Lot 5 DP 115144 is connected to the existing water network. These features are shown in Figure 3 below.



Figure 3 – Servicing (Source: TrineKel)



Figure 4 – Vehicle Access (Source: Google Earth)

Lot 1 contains an existing dwelling which has recently been approved to undertake additions and alterations - refer RC 2240460 decision. Stormwater coverage on the adjusted site is 8.5% for proposed Lot 1.

Lot 2 is largely in vegetation and lawn, save for an area which includes a FNDC storage tank, a small garden and patio area.

The site is surrounded by similar 'lifestyle' properties. The properties directly west of the site are zoned Coastal Living in the ODP. A road reserve runs adjacent to the site [Lot 29] and provides a walkway from Paihia to Opuia.

The site is not considered HAIL as it has historically been classified as Indigenous Forest.

3. RECORD OF TITLE, CONSENT NOTICES AND LAND COVENANTS

The Records of Title are attached at **Appendix A**. There are a number of instruments which will remain appropriate and stay on each title, inclusive of any additional requirements sought through FNDC through the subdivision.

4. DESCRIPTION OF THE PROPOSAL

The subdivision proposal is to adjust Lot 5 DP 115144 with Lot 29 DP 115144 to create the following allotments:

- Lot 1 – 0.6892ha; and
- Lot 2 – 0.6037ha.

Each lot would also have a share in Lot 30 DP 115144 as per the amalgamation condition proposed.

Therefore, Lot 5 is increasing, and Lot 29 is decreasing in terms of the proposed adjustment.

The sites have existing assets and access that run through and along each site. These are highlighted on the scheme plan memorandum of easements and existing and proposed easements. Some are easements in gross in favour of FNDC. Access to a proposed house site on Lot 2 will be provided at the time of detailed design to either come through via Easement A or B and in consideration of under and above ground assets.

The proposal formalises a building envelope on proposed Lot 2 as per the Geotechnical Report provided in **Appendix E**. This is supplemented by the LVIA provided in **Appendix F**.

The components of the proposed boat ramp require FNDC approval for those components landward of MHWS.

The boat ramp will be constructed in concrete and requires NRC approval for being located seaward of MHWS. An application to NRC is being applied for concurrently.

Similarly, use of the road reserve requires a License to Occupy. This is also sought concurrently, and the application is provided in **Appendix D**.

5. REASONS FOR CONSENT

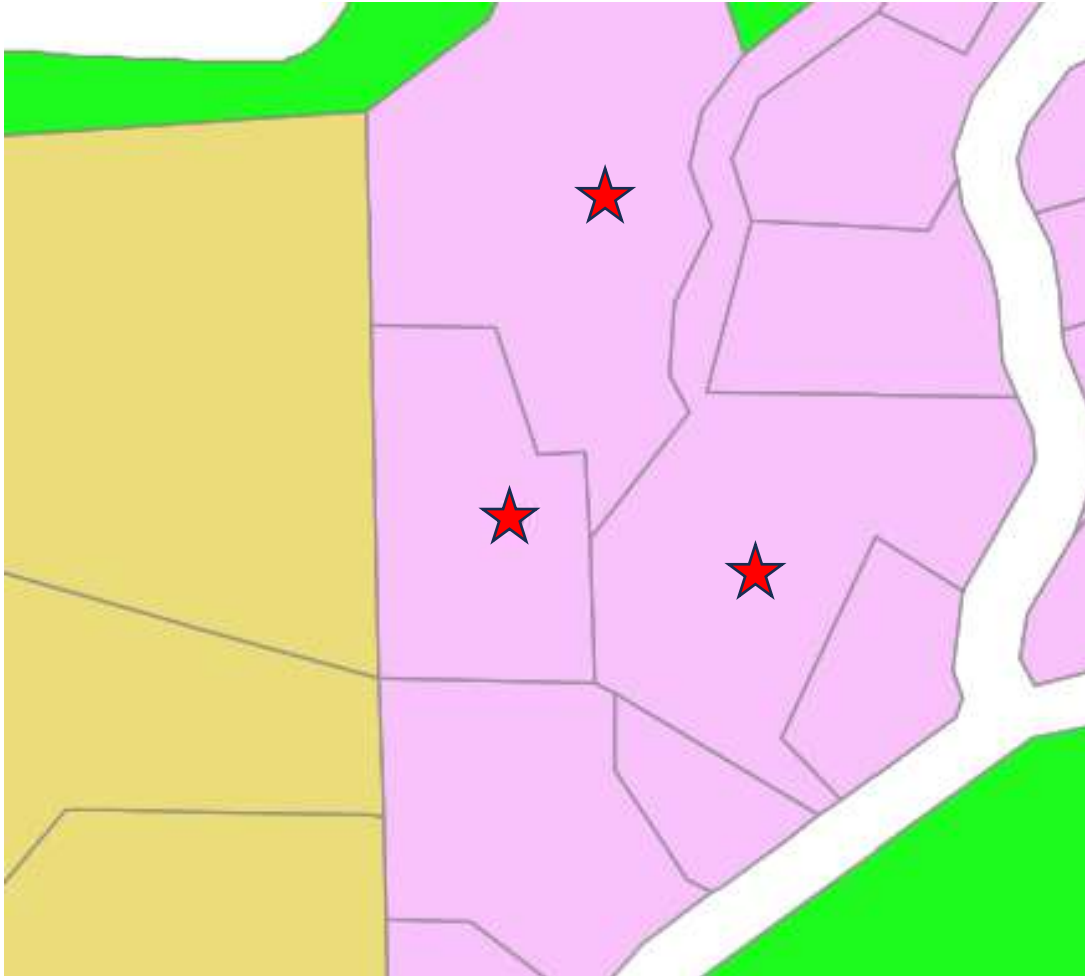


Figure 5 - ODP Map – Point Veronica Zone (Source: Far North Maps)

Far North Proposed District Plan (PDP)



Figure 6 – PDP Map – Rural Lifestyle Zone & Coastal Environment (Source: Far North Maps)

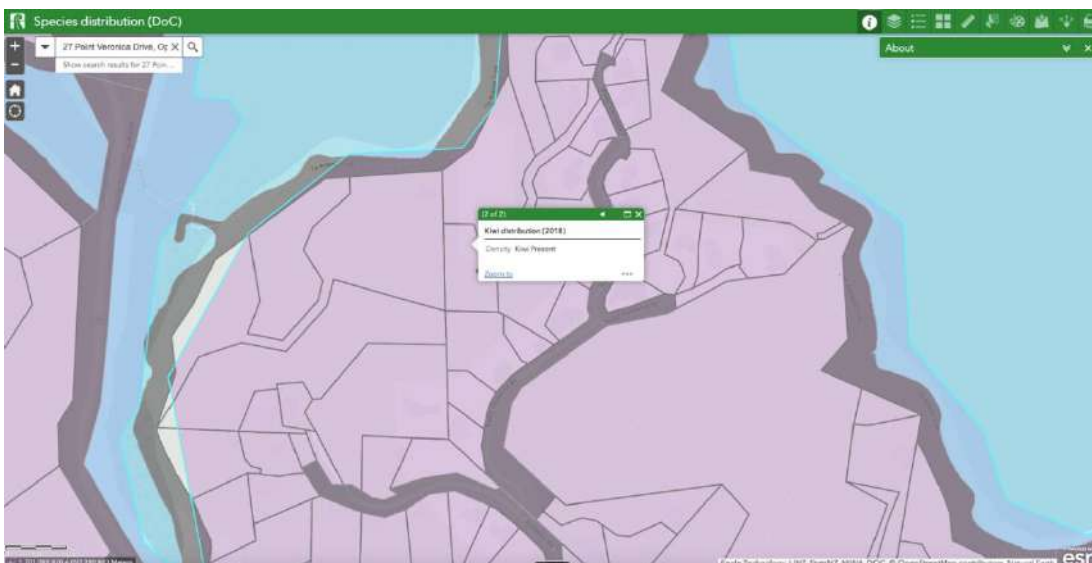


Figure 7 – Kiwi Present (Source: Far North Maps)

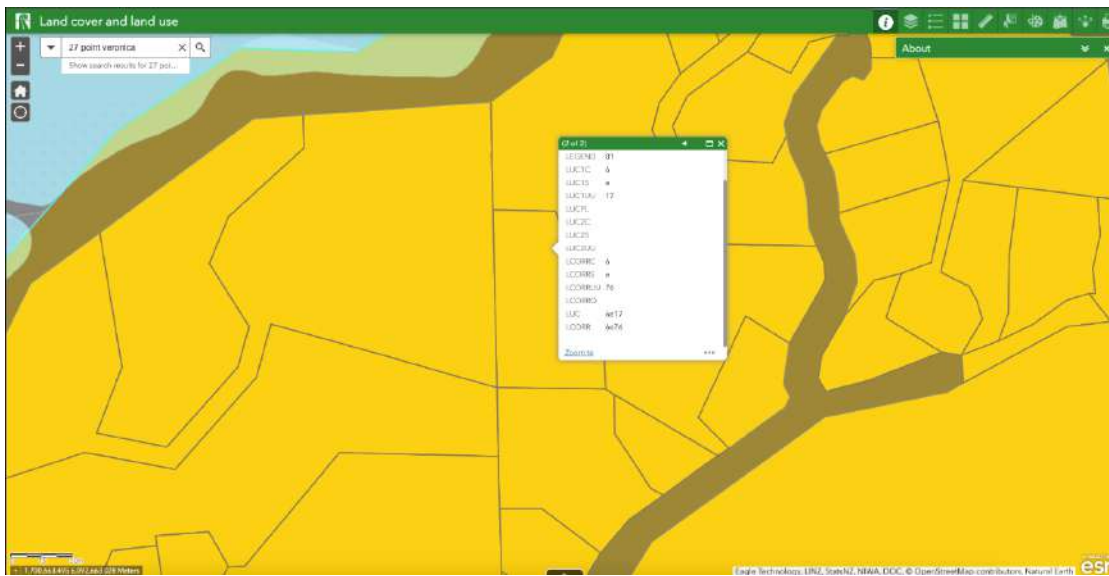


Figure 8 – Class 6 Soils (Source: Far North Maps)

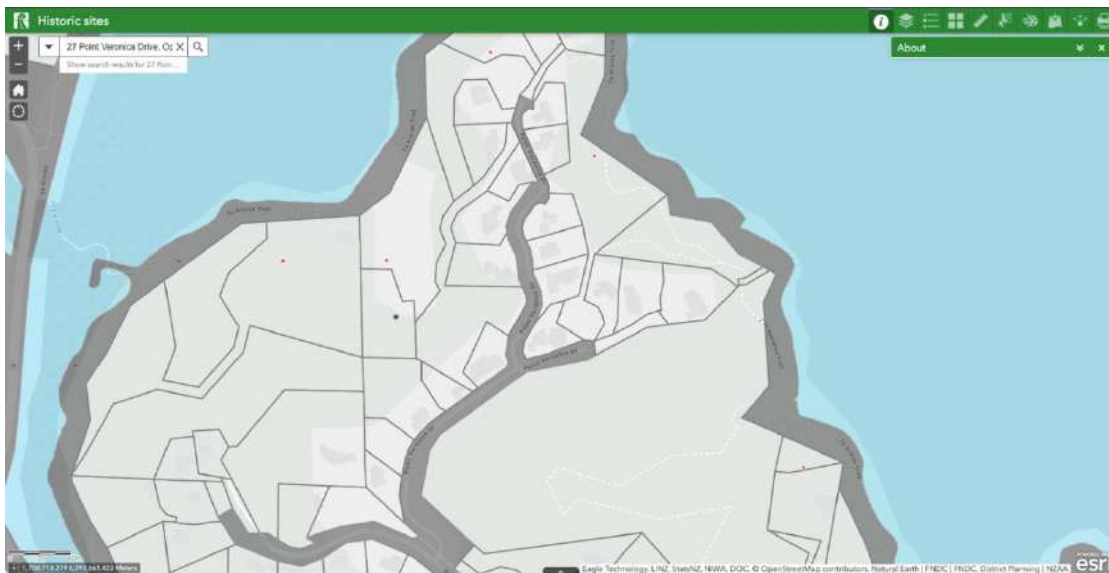


Figure 9 – Heritage Matters (Source: Far North Maps)

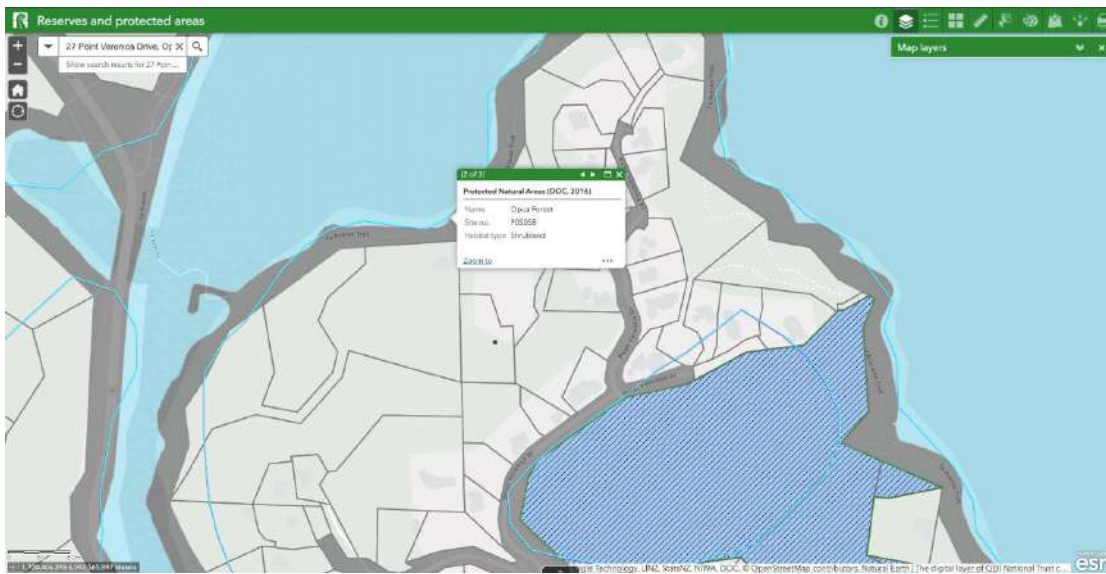
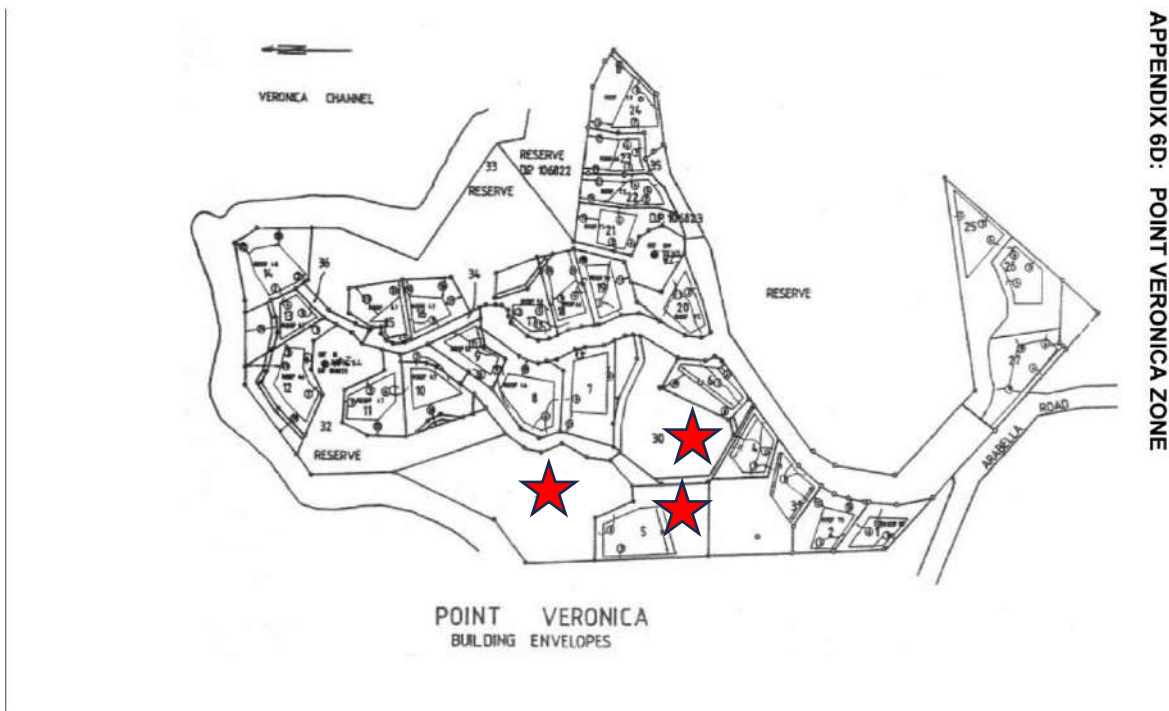


Figure 10 –PNA Matters (Source: Far North Maps)



APPENDIX 6D: POINT VERONICA ZONE

Figure 11 – Building Envelopes (Source: Far North Maps)

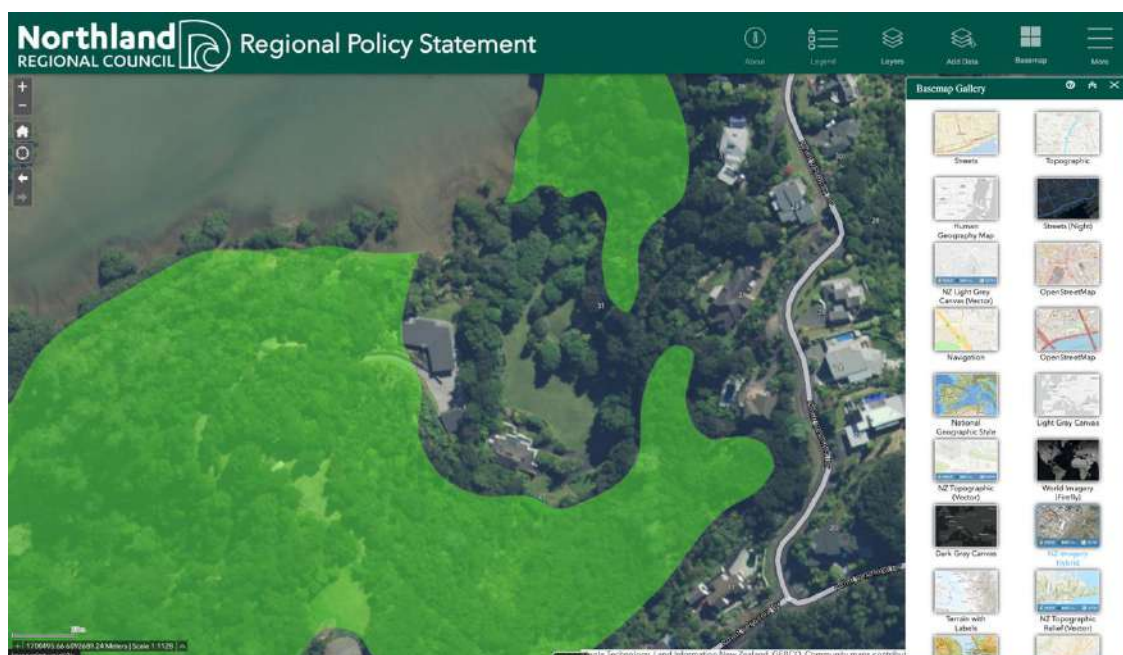


Figure 12 – RPS Map Features (Source: NRC Local Maps)

In summary:

- The proposed subdivision is located in the Point Veronica Zone under the ODP.
- The proposed boat ramp is located in the road reserve which is zoned Conservation under the ODP. Under the PDP the road reserve is not zoned, so assumed to take the Rural Lifestyle zoning.
- Under the PDP, the proposal is zoned Rural Lifestyle with a Coastal Environment Overlay.
- The site has Kiwi Present.
- The site has Class 6 soils.
- There is an existing archaeological site on Lot 29. This is not indicated on PDP maps.
- PNA P05058 Opua Forest encompasses the site and surrounds.
- The sites have areas of high natural character present.

Tables below provides an assessment against the applicable ODP and PDP performance standards and identifies the reasons for resource consent.

Table 1 – Point Veronica Zone ODP

Rule	Standards	Assessment
Residential Intensity	Permitted – One unit per site in accordance with the Development Plan	Lot 1 contains 1 x dwelling. Lot 2 is vacant. There is no building envelope prescribed for Lot 2. This is sought. Discretionary Activity
Accessory Buildings	Permitted – comply with the Development Plan	No accessory buildings are proposed. Complies

Scale of Activities		Not applicable to residential use. Complies
Building Height	Permitted - The maximum height of any building shall be 8m if not specified in the Development Plan	Not applicable. Complies
Sunlight	Permitted - No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary if not specified in the Development Plan	Not applicable. Complies
Impermeable Surfaces	Permitted – The maximum portion or amount of gross site area shall be 10% or 1,000m ² , whichever is lesser. Discretionary - The maximum portion or amount of gross site area shall be 15% or 1,500m ² , whichever is lesser.	Stormwater coverage on the adjusted site is 8.5% for proposed Lot 1. Lot 2 is largely vacant. Complies
Screening for Neighbours Non-Residential Activities		Not applicable. Complies
Hour of Operation Non-Residential Activities		Not applicable. Complies
Keeping of Animals		Not applicable. Complies
Noise		Residential activity proposed Complies
Helicopter Landing Area		Not applicable. Complies

Table 3 – Conservation Zone ODP

Rule	Standards	Assessment
Purpose of Buildings	Permitted – All new buildings shall be directly for, or ancillary to, the principal conservation activities of the site.	The ramp is not considered to be a ‘building’. Complies

<p>Scale of Activities</p>	<p>Permitted - The total number of people engaged in any activities on a site, which involves overnight accommodation, whether or not they are employed in the activity, making use of any facilities, but excluding people who normally reside on the site or are members of the household shall not exceed 8 persons per 20ha of net site area.</p> <p>Provided that:</p> <p>(a) this number may be exceeded for a period totalling not more than 60 days in any 12 month period where the increased number of persons is a direct result of activities ancillary to the primary activity on the site; and</p> <p>(b) this number may be exceeded where persons are engaged in constructing or establishing an activity (including environmental enhancement) on the site; and</p> <p>(c) this number may be exceeded where persons are visiting marae.</p>	<p>Not applicable.</p> <p>Complies</p>
<p>Building Height</p>	<p>Permitted - The maximum height of any building shall be 8m.</p> <p>Restricted Discretionary - The maximum height of any building shall be 10m.</p>	<p>Not applicable.</p> <p>Complies</p>
<p>Sunlight</p>	<p>Permitted - No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in Chapter 3 - Definitions), except where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest</p>	<p>Not applicable.</p> <p>Complies</p>

	<p>boundary of the entrance strip, private way, access lot, or access way.</p> <p>Restricted Discretionary – If permitted breached.</p>	
Stormwater Management	<p>Permitted - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 10% or 1,000m², whichever is the lesser.</p>	<p>The road reserve is not a 'site'.</p> <p>Complies</p>
Screening for neighbours	<p>Permitted - Except along boundaries adjoining a Commercial or Industrial zone, outdoor areas providing for activities such as parking, loading, outdoor storage and other outdoor activities associated with non-residential activities on the site shall be screened from adjoining sites in the Residential, Conservation, Russell Township and Coastal Residential Zones by landscaping, wall/s, close boarded fence/s or trellis/es or a combination thereof. They shall be of a height sufficient to wholly or substantially separate these areas from the view of neighbouring properties. Structures shall be at least 1.8m in height, but no higher than 2.0m, along the length of the outdoor area. Where such screening is by way of landscaping it shall be a strip of vegetation which has or will attain a minimum height of 1.8m for a minimum depth of 2m.</p>	<p>Not applicable.</p> <p>Complies</p>
Keeping of Animals	<p>No site shall be used for factory farming, or boarding or breeding kennel or a cattery.</p>	<p>Not applicable.</p> <p>Complies</p>
Noise	<p>All activities shall be conducted so as to ensure that noise from the site shall not exceed the following noise limits as measured at or within the</p>	<p>Not applicable.</p> <p>Complies</p>

	<p>boundary of any site in the Residential, Coastal Residential or Russell Township Zones, or at or within the notional boundary of any dwelling in any other rural or coastal zone.</p> <p>0700 to 2200 hours 55 dBA L10 2200 to 0700 hours 45 dBA L10 and 70 dBA Lmax</p>	
Helicopter Movements	<p>There shall be no landing or takeoff of any helicopter except:</p> <p>(a) in accordance with a resource consent; or (b) in the case of a medical or other emergency; or (c) where it is necessary for the management of the land.</p>	<p>Not applicable.</p> <p>Complies</p>
Setback from Boundaries	<p>Permitted - No building for residential purposes shall be erected closer than 100m from any zone boundary with the Minerals Zone.</p>	<p>Not applicable.</p> <p>Complies</p>
Building Coverage	<p>Permitted - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 8% or 800m², whichever is the lesser, of the gross site area.</p>	<p>Not applicable.</p> <p>Complies</p>

Table 3 – District Wide Rules

Rule	Standard	Assessment
12.1 Landscape & Natural Features	<p>12.1.6.1.1 Protection of Outstanding Landscape Features</p> <p>12.1.6.1.2 Indigenous Vegetation Clearance in Outstanding landscapes</p> <p>12.1.6.1.3 Tree Planting in Outstanding Landscapes</p> <p>12.1.6.1.4 Excavation and/or filling within an outstanding landscape</p> <p>12.1.6.1.5 Buildings within outstanding landscapes</p> <p>12.1.6.1.6 Utility Services in Outstanding Landscapes</p>	<p>Not applicable.</p> <p>Complies</p>
12.2 Indigenous Flora and Fauna	<p>12.2.6.1.1 Indigenous Vegetation Clearance Permitted Throughout the District</p> <p>12.2.6.1.4 Indigenous Vegetation Clearance in Other Zones</p>	<p>No vegetation clearance required.</p> <p>Complies</p>
12.3 Earthworks	<p>12.3.6.1.2 Excavation and/or filling, excluding mining and quarrying, in the Point Veronica zone</p> <p>Permitted – Maximum of 300m³ within a 12-month period and cannot be higher than 1.5m cut or fill.</p>	<p>No earthworks are envisaged.</p> <p>Complies</p>
12.4 Natural Hazards	<p>12.4.6.1.1 Coastal Hazard 2 Area</p> <p>12.4.6.1.2 Fire Risk to Residential Units</p>	<p>Not applicable.</p> <p>Complies</p>
12.5 Heritage	<p>12.5.6.1.1 Notable Trees</p> <p>12.5.6.1.2 Alterations to/and maintenance of historic sites, buildings and objects</p> <p>12.5.6.1.3 Registered Archaeological Sites</p>	<p>Not applicable.</p> <p>Complies</p>
12.5A Heritage Precincts	<p>There are no Heritage Precincts that apply to the site.</p>	<p>Not applicable.</p> <p>Complies</p>

Rule	Standard	Assessment
12.7 Lakes, Rivers, Wetlands and the Coastline	<p>12.7.6.1.1 Setback from lakes, rivers and the coastal marine area</p> <p>12.7.6.1.2 Setback from smaller lakes, rivers and wetlands</p> <p>12.7.6.1.3 Preservation of Indigenous Wetlands</p> <p>12.7.6.1.4 Land Use Activities involving the Discharges of Human Sewage Effluent</p> <p>12.7.6.1.5 Motorised Craft</p> <p>12.7.6.1.6 Noise</p>	<p>The proposed boat ramp constitutes an impervious surface which is within 30m of the CMA.</p> <p>Discretionary Activity</p> <p>The remaining rules are not applicable.</p> <p>Complies</p>
12.8 Hazardous Substances		<p>Not applicable.</p> <p>Complies</p>
12.9 Renewable Energy and Energy Efficiency		<p>Not applicable.</p> <p>Complies</p>
13 Subdivision	<p>The proposal is not a Controlled Activity as it is not in accordance with the approved development plan in Appendix 6D.</p> <p>A 30m x 30m allotment dimension is not proposed.</p>	<p>Discretionary Activity</p>
14 Financial Contributions	<p>The site adjoins a road reserve which adjoins the CMA.</p>	<p>Not applicable.</p> <p>Complies</p>

Rule	Standard	Assessment
15 Transportation	Traffic = 20 traffic movements as permitted.	<p>The proposal will or is likely to result in 2 x dwellings across two allotments.</p> <p>Complies</p>
	Parking = 2 x car parks per dwellings	<p>This is provided for / will be provided for on Lot 2.</p> <p>Complies</p>
	Access = various requirements	<p>The sites are accessed from an existing vehicle crossing off Point Veronica Drive. The accessway serves 21 Point Veronica Drive and the 2 x lots proposed [which already exist].</p> <p>Given the topography a single width accessway is provided to the sites. This is likely to technically breach engineering standards but has been in place for some time. There are no plans to upgrade this access. This would therefore be a breach of Rule 15.1.6C.1.1[a].</p> <p>Discretionary Activity</p> <p>The accessway promotes a 1/8th share which includes Lot 1. There is an amalgamation condition to include Lot 2. This would result in 9 x allotments gaining access from this site. This would therefore be a breach of Rule 15.1.6C.1.1[c]. Similarly, there is a breach to Rule 15.1.6C.1.1[d].</p> <p>Discretionary Activity</p>

In terms of the ODP the application falls to be considered as a **Discretionary Activity** in accordance with Section 104A of the Resource Management Act 1991 (RMA).

PDP

These comprise relevant rules that have immediate effect under the PDP.

Proposed District Plan				
Matter	Rule/Std Ref	Relevance	Compliance	Evidence
Hazardous Substances Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any development within an SNA – which is not mapped	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource HS-R5, HS-R6, HS-R9	N/A	Complies	Not relevant as no such substances proposed.
Heritage Area Overlays (Property specific) This chapter applies only to properties within identified heritage area overlays (e.g. in the operative plan they are called precincts for example)	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	N/A	Complies	Not indicated on Far North Proposed District Plan
Historic Heritage (Property specific and applies to adjoining sites (if the boundary is within 20m of an identified heritage item)). Rule HH-R5 Earthworks within 20m of a scheduled heritage resource. Heritage resources are shown	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	N/A	Complies	Not indicated on Far North Proposed District Plan

as a historic item on the maps) This chapter applies to scheduled heritage resources – which are called heritage items in the map legend				
Notable Trees (Property specific) Applied when a property is showing a scheduled notable tree in the map	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	N/A	Complies	Not indicated on Far North Proposed District Plan
Sites and Areas of Significance to Māori (Property specific) Applied when a property is showing a site / area of significance to Maori in the map or within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	N/A	Complies	Not indicated on Far North Proposed District Plan
Ecosystems and Indigenous Biodiversity SNA are not mapped – will need to determine if indigenous vegetation on the site for example	All rules have immediate legal effect (IB-R1 to IB-R5)	Yes	Complies	No clearance proposed.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	N/A	Complies	Concrete ramp is in CMA.

Earthworks all earthworks (refer to new definition) need to comply with this	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Yes	Complies	No earthworks are estimated.
Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage item), or within the Kororareka Russell or Kerikeri Heritage Areas	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	N/A	Complies	Not indicated on Far North Proposed District Plan
Orongo Bay Zone (Property specific as rule relates to a zone only)	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	N/A	Complies	Not indicated on Far North Proposed District Plan
Comments:				
No consents are required under the PDP.				

Overall, the application will be considered as a **Discretionary Activity**.

6. STATUTORY CONSIDERATIONS

Section 104B of the RMA governs the determination of applications for Discretionary activities:

104B Determination of applications for discretionary or non-complying activities

After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—

- (a) may grant or refuse the application; and
- (b) if it grants the application, may impose conditions under [section 108](#).

Section 104B: inserted, on 1 August 2003, by [section 44](#) of the Resource Management Amendment Act 2003 (2003 No 23).

With respect to discretionary activities, a consent authority may grant or refuse the application and if it grants the application, may impose conditions.

Section 104 of the RMA sets out matters to be considered when assessing an application for a resource consent,

104 Consideration of applications

- (1) When considering an application for a **resource** consent and any submissions received, the consent authority must, subject to [Part 2](#), have regard to—
 - (a) any actual and potential effects on the environment of allowing the activity; and
 - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and
 - (b) any relevant provisions of—
 - (i) a national environmental standard;
 - (ii) other regulations;
 - (iii) a national policy statement;
 - (iv) a New Zealand coastal policy statement;
 - (v) a regional policy statement or proposed regional policy statement;
 - (vi) a plan or proposed plan; and
 - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

For this application, the following relevant RMA plans, policy statements and national environmental standard have been considered:

- New Zealand Coastal Policy Statement
- Northland Regional Policy Statement
- Operative Far North District Plan 2009
- Proposed Far North District Plan 2022

As part of this application and Assessment of Effects, the relevant regional and district level objectives and policies, performance standards and assessment criteria have been considered.

Assessment of Effects on the Environment (AEE)

The RMA (section 3) meaning of effect includes:

3 Meaning of effect

In this Act, unless the context otherwise requires, the term **effect** includes—

- (a) any positive or adverse effect; and
- (b) any temporary or permanent effect; and
- (c) any past, present, or future effect; and
- (d) any cumulative effect which arises over time or in combination with other effects—
regardless of the scale, intensity, duration, or frequency of the effect, and also includes—
- (e) any potential effect of high probability; and
- (f) any potential effect of low probability which has a high potential impact.

Section 104(2) of the RMA states that:

“when forming an opinion for the purposes of subsection (1)(a), a consent authority may disregard an adverse effect of the activity on the environment if a national environmental standard or the plan permits an activity with that effect.”

This is referred to as the “permitted baseline”, which is based on the permitted performance standards and development controls that form part of a district plan. For an effects-based plan such as the Far North District Plan where specified activities are not regulated, determining the permitted baseline is a useful tool for determining a threshold of effects that are enabled by the zone. In this instance, the proposal is a discretionary activity due to the combined effects of subdivision and the concrete ramp.

The consented development on the site forms part of the existing environment or the baseline for which this application is assessed in terms of effects. The effects of the existing development are understood, have been consented being deemed to be no more than minor.

Similarly, in terms of the boundary adjustment, although not a permitted activity, effects are known in this respect because no new allotments are being generated. Two established sites are essentially swapping land.

Positive Effects

There are positive effects associated with the proposal including those associated with service and good provision for the subdivision and concrete boat ramp. There are also recreational benefits from the proposed boat ramp.

Subdivision [Boundary Adjustment] Effects

Allotment Sizes & Dimensions	<p>Whilst Lot 2 does not strictly contain a 30m x 30m building envelope / allotment, this report and associated reports confirm that the site can be used for residential purposes.</p> <p>There are no operational or maintenance concerns arising.</p>
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	<p>In terms of compatibility with other allotments, the size of the two lots proposed are of a similar pattern to that seen in the surrounds.</p> <p>In terms of access arrangements, these are existing at present and appear to be workable. The subdivision proposal does not create extra allotments and there is potential for the site to be developed regardless of whether this subdivision was undertaken or not.</p> <p>There are no apparent long term or cumulative effects arising from the boundary adjustment. It merely reallocates land to better refine future residential development on Lot 2.</p>
<p>Natural & Other Hazards</p>	<p>The sites are not subject to coastal or river flooding. The relevant matters are considered to relate to potential geotechnical hazards.</p> <p>Appendix E confirms that in relation to s106, geotechnical hazards can be addressed by typical engineering design and construction, that there is a very low liquefaction vulnerability, that the indicative building platform is suitable in terms of land stability, and that shallow foundation are suitable.</p>
<p>Three Waters</p>	<p>The sites have access to three waters which are outlined on the Scheme Plan.</p> <p>The Point Veronica zone controls the level of permitted surfaces on a site and following adjustment the site will be permitted.</p> <p>Stormwater follows a series of controls of site which culminate in stormwater dissipation at / near the CMA prior to being discharged to the CMA.</p> <p>Lot 2 shall have connections to the existing water, wastewater and stormwater network.</p>
<p>Power and Telecoms</p>	<p>The sites can be serviced by these features at time of development. There are no Top Energy or National Grid lines present.</p>
<p>Easements</p>	<p>Easements are showing in Appendix B.</p>

Effect of Earthworks and Utilities	Roads are already developed to the sites in question. The ROW to the new allotment on Lot 2 may need to be upgraded but there is also access from Lot 30 to the building site. Minimal other works will be required for utilities and these are likely to all be underground.
Building Locations	Lot 2 testing location in terms of geotech and landscape assessment is found in Appendix E and F respectively.
Preservation of Resources	<p>The archaeological site will not be impacted by the proposed works. The site is not 'outstanding' in terms of this matter. The site has kiwi present so the usual conditions would be applied for this matter. The PNA is applied across the site but this includes the existing built and cleared development. No vegetation clearance is required to provide for the subdivision or the boat ramp.</p> <p>In terms of the areas of high natural character, the proposal does little to impact these as the boundary adjustment does not result in any works in these areas. In terms of the concrete ramps, works are also not proposed where the overlay is located.</p> <p>In terms of visual amenity, the report in Appendix F concludes that subject to the implementation of building design guidelines that the proposal will result in less than minor effects in terms of landscape and visual effects and natural character.</p>
Land Use Incompatibility	The proposal seeks residential use in a coastal residential setting.
Natural Character of the Coastal Environment	Refer to the assessment within Appendix F . In summary, the new allotment building development being subject to future building controls ensures that the proposal will result in less than minor effects.
Energy Efficiency and Renewable Energy	Passive gain from solar is expected.

Land Use Effects

<p>Residential Intensity Effects</p>	<p>The proposal seeks to permit an additional house and building envelope in Lot 2. This is outside of the parameters of the original Point Veronica zone.</p> <p>The original intention of the lot proposed to become Lot 2 was a shared common area for the rest of the Point Veronica residents. This plan did not eventuate, and Lot 30 remains now as the common area although allotments have access down through the site into the road reserve / CMA area.</p> <p>As that plan did not eventuate for Lot 2, the applicants now seek to subdivide and provide for residential use. This aligns with the PDP which seeks to move away from the Special Zone in favour of a more blanket Rural Lifestyle overlay. The amended lots would meet the density settings of this proposed zoning.</p> <p>Therefore, in terms of residential intensity effects a single house on proposed Lot 2 would not generate any additional effects as that seen to be generated through Chapter 11.1. This is because the new site / building envelope has been considered by a landscape architect and geotechnical engineer and considered appropriate. Secondly, the house is yet to be built yet and would still need to comply with the underlying rules at time of development. This ensures that a residential product in the future will be of an appropriate nature.</p>
<p>Setback from the CMA Effects</p>	<p>The additional impervious surface landside of the CMA within road reserve is not expected to cause any environmental effects as a road is meant to include impervious surfaces.</p> <p>The road is currently used as a walkway and the allotments have direct access to this track. The location and position of the boat ramp is where old steps once where for access to the CMA. The applicants seek to formalise the use of this area for vessels, kayaks, and other swimming activities.</p> <p>People do walk and traverse this area. The</p>

	<p>proposed ramp is off the existing track and will be designed to ensure necessary health and safety matters are taken into account. It is not expected that the path will be unable to be used whilst the works are to take place, however such matters can be provided via a construction management plan when a contractor is selected.</p> <p>There are no known cultural or spiritual effects resulting from the proposal. The area is not particularly well known for food gathering where the ramp is proposed as it is quite shallow. As part of the NRC application, those people with connections to this part of the coastline will be consulted [MACA regulations].</p> <p>Stormwater from the increase in impervious surface will directly discharge to the CMA. There are no water quality or water quantity effects arising as the proposal ensures the continuation of upper catchment stormwater measures and augments these with the proposed ramp where needed at the proposed location.</p>
<p>Access Effects</p>	<p>Potential access effects arise from the underlying situation vs what the district plan requires. Lot 2 is already its own site and access from the main road is not proposed to be altered. These are considered to be technical breaches in nature to the access rules arising from the proposed future use of Lot 2 for residential activity.</p> <p>The main accessway into both sites is concreted, and ~3m wide but provides limited opportunity for passing bays or other widening due to topography. Upgrading the access would also require substantial vegetation clearance and in this environment that could cause more effects on the environment. The proposal is to keep the status quo as is and to provide pathways for access at time of future development.</p>
<p>Effects to Persons</p>	<p>There are no effects to persons expected to arise. All lots which have access will continue to do so. Walkers along the road reserve trail</p>

	<p>may be temporarily affected but this will subside. When the boat ramp is used it will only affect persons when they meet the applicants at the same time they are dragging up or taking down their vessel or kayak. Again, this would be a temporary effect.</p>
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STATUORY PLAN CONSIDERATIONS

New Zealand Coastal Policy Statement 2010

The New Zealand Coastal Policy Statement 2010 (NZCPS 2010) contains objectives and policies designed to achieve the sustainable management purpose of the RMA in respect of New Zealand’s coastal environment.

The site is located within the Coastal Environment, and portions of the site contain a High Natural Character area. With respect to the proposal, no development impinges on these areas of High Natural Character.

The boundary adjustment does not create a new allotment, rather a reorganization of the allotments to suit current owners. This is in keeping with minimizing sprawl and locating development in areas already developed [or proposed to be developed].

The concrete ramp sits outside of the areas of high natural character and is placed within an environment that contains land and CMA vegetation [mangroves]. The ramp sits within these features and has a functional need to be located in that environment to provide localized access to the CMA for small vessels and recreational use. There is no need to clear mangroves and the modest ramp is sheltered by vegetation on all side.

Northland Regional Policy Statement

The subject site is within the Northland region and is subject to the governing objectives and policies of the operative Northland Regional Policy Statement (operative May 2016).

With respect to any identified features, the site is located within the Coastal Environment, and part of the site is identified as containing a High Natural Character area. As above, these features are not implicated by the proposal. Stormwater management remains appropriate and will be in keeping with absorbing effects from the upper catchment and any proposed development on Lot 2.

Public access is not affected [it may be temporarily] however this can be managed prior to construction via a construction management plan to ensure that public access effects remain temporary and on a defined schedule of work.

There are not considered to be any other relevant matters that pertain to this application that requires consideration over and above what is already considered by way of the ODP.

Overall, it is considered that the proposal would not be inconsistent with the Northland Regional

Policy Statement.

ODP Objectives and Policies

The relevant objectives and policies of the ODP are those related to the Point Veronica zone. The general intent of the Point Veronica zone is maintaining a residential area with relatively high levels of visual amenity protection of the natural environment. The proposal is considered to meet this. The quantum of vegetation removal is nil and earthworks required to accommodate the proposal is minimal and is not within an area identified as containing high natural character. Future development will need to consider the overall provisions of the ODP / PDP when constructed or planned.

In terms of district wide matters such as those that affect biophysical elements and physical elements such as infrastructure and transport, the proposal does not alter the status quo other than alter boundaries.

It is not considered that the proposed retaining wall will have any discernible effect on amenity or the biophysical/physical elements in the zone as outlined in **Appendix F**.

The proposal is therefore consistent with the aims and intents of the ODP.

PDP Objectives and Policies

Part 3 – Area Specific Matters / ZONES / Rural zones / Rural Lifestyle

Part 2 – District-Wide matters/GENERAL DISTRICT WIDE MATTERS/ Coastal Environment

Objectives	Assessment
RLZ-O1 - The Rural Lifestyle zone is used predominantly for low density residential activities and small scale farming activities that are compatible with the rural character and amenity of the zone.	The proposal seeks low density residential use with associated recreational assets for use and enjoyment of the CMA.
RLZ-O2 - The predominant character and amenity of the Rural Lifestyle zone is characterised by: <ul style="list-style-type: none"> a. low density residential activities; b. small scale farming activities with limited buildings and structures; c. smaller lot sizes than anticipated in the Rural Production Zone; d. a general absence of urban infrastructure; e. rural roads with low traffic volumes; f. areas of vegetation, natural features and open space. 	This is considered to be met through the proposal.
RLZ-O3 - The role, function and predominant character and amenity of the Rural Lifestyle zone is not compromised by incompatible activities.	There are no such activities proposed.

RLZ-O4 – Land use and subdivision in the Rural Lifestyle zone does not compromise the effective and efficient operation of primary production activities in the adjacent Rural Production Zones.	Primary production activities are unlikely in this environment.
CE-O1 – The natural character of the coastal environment is identified and managed to ensure its long-term preservation and protection for current and future generations.	This is considered in Appendix F .
CE-O2 – Land use and subdivision in the coastal environment: <ul style="list-style-type: none"> a. preserves the characteristics and qualities of the natural character of the coastal environment; b. is consistent with the surrounding land use; c. does not result in urban sprawl occurring outside of urban zones; d. promotes restoration and enhancement of the natural character of the coastal environment; and e. recognises tangata whenua needs for ancestral use of whenua Māori. 	The proposal seeks this to be met. The boundary adjustment simply alters boundaries and defines an appropriate area for future development.
CE-O3 – Land use and subdivision in the coastal environment within urban zones is of a scale that is consistent with existing built development.	N/A. The site is not within an urban zone.
Policy	Assessment
RLZ-P1 - Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Lifestyle zone, while ensuring their design, scale and intensity is appropriate to manage adverse effects in the zone, including: <ul style="list-style-type: none"> a. low density residential activities; b. small scale farming activities; c. home business activities; d. visitor accommodation; and e. small scale education facilities. 	This is expected to be achieved.
RLZ-P2 – Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Lifestyle zone because they are: <ul style="list-style-type: none"> a. contrary to the density anticipated for the Rural Lifestyle zone; b. predominately of an urban form or character; 	There are no incompatible activities proposed.

<ul style="list-style-type: none"> c. primary production activities, such as intensive indoor primary production, that generate adverse amenity effects that are incompatible with rural lifestyle living; or d. commercial, rural industry or industrial activities that are more appropriately located in a Settlement zone or an urban zone. 	
<p>RLZ-P3 - Avoid where possible, or otherwise mitigate, reverse sensitivity effects from sensitive and other non-productive activities on primary production activities in the adjacent Rural Production zone.</p>	<p>There are no primary production activities in the surrounds.</p>
<p>RLZ-P4 – Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. consistency with the scale and character of the rural lifestyle environment; b. location, scale and design of buildings or structures; c. at zone interfaces: <ul style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts; ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable; d. the capacity of the site to cater for on-site infrastructure associated with the proposed activity; e. the adequacy of roading infrastructure to service the proposed activity; f. managing natural hazards; g. any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; and h. any historical, spiritual, or cultural association held by tangata whenua, 	<p>Any future dwelling will need to consider these clauses. The sites can be serviced, and the envelope has been confirmed through geotech and landscape architect assessment. These are the critical factors in the underlying PDP zone. On top of this the sites enjoy public infrastructure which allows a future building on Lot 2 to connect. Natural hazards at the building envelope are not of concern. In terms of the boat ramp, this has been considered.</p>

with regard to the matters set out in Policy TW-P6.	
CE-P1 – Identify the extent of the coastal environment as well as areas of high and outstanding natural character using the assessment criteria in APP1- Mapping methods and criteria.	The site has been identified within the coastal environment and contains an area identified as high natural character.
CE-P2 – Avoid adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment identified as: <ul style="list-style-type: none"> a. outstanding natural character; b. ONL; c. ONF. 	Not applicable to the subject site.
CE-P3 – Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as: <ul style="list-style-type: none"> a. outstanding natural character; b. ONL; c. ONF. 	Not applicable to the subject site.
CE-P4 – Preserve the visual qualities, character and integrity of the coastal environment by: <ul style="list-style-type: none"> • consolidating land use and subdivision around existing urban centres and rural settlements; and • avoiding sprawl or sporadic patterns of development. 	Refer Appendix F .
CE-P5 – Enable land use and subdivision in urban zones within the coastal environment where: <ul style="list-style-type: none"> a. there is adequacy and capacity of available or programmed development infrastructure; and b. the use is consistent with, and does not compromise the characteristics and qualities. 	This is considered to be met as the sites have such infrastructure.
CE-P6 – Enable farming activities within the coastal environment where: <ul style="list-style-type: none"> a. the use forms part of the values that established the natural character of the coastal environment; or b. the use is consistent with, and does not compromise the characteristics and qualities. 	N/A. Farming activities are not proposed.

<p>CE-P7 – Provide for the use of Māori Purpose zoned land and Treaty Settlement land in the coastal environment where:</p> <ul style="list-style-type: none"> a. the use is consistent with the ancestral use of that land; and b. the use does not compromise any identified characteristics and qualities. 	<p>N/A.</p>
<p>CE-P8 – Encourage the restoration and enhancement of the natural character of the coastal environment.</p>	<p>Refer Appendix F.</p>
<p>CE-P9 – Prohibit land use and subdivision that would result in any loss and/or destruction of the characteristics and qualities in outstanding natural character areas.</p>	<p>N/A. No outstanding natural character areas are identified on the property.</p>
<p>CE-P10 – Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. the presence or absence of buildings, structures or infrastructure; b. the temporary or permanent nature of any adverse effects; c. the location, scale and design of any proposed development; d. any means of integrating the building, structure or activity; e. the ability of the environment to absorb change; f. the need for and location of earthworks or vegetation clearance; g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location; h. any viable alternative locations for the activity or development; i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6; j. the likelihood of the activity exacerbating natural hazards; k. the opportunity to enhance public access and recreation; 	<p>These have been considered throughout the report.</p>

<p>l. the ability to improve the overall quality of coastal waters; and</p> <p>m. any positive contribution the development has on the characteristics and qualities.</p>	
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Proposed Far North District Plan Objectives & Policies & Weighting

Section 88A(2) provides that “any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b).” This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan move through the notification and hearing process. In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and
- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

In my view the PDP has not gone through the sufficient process to allow a considered view of the objectives and policies for the Rural Lifestyle zone and the Coastal Environment overlay, however this has still been provided. The activity is discretionary therefore both the ODP and PDP have been assessed accordingly and the proposal is deemed to meet the relevant objectives and policies.

PART II – RMA

Purpose

The proposal can promote the sustainable management of natural and physical resources on site, as current and future owners and users of the land are able to provide for their social, cultural and economic wellbeing and their health and safety.

Matters of National Importance

The proposal is considered to result in effects which are commensurate with the character of the surrounds. Māori are not considered to be adversely affected by this proposal, nor is any historic heritage likely to be impacted, however in the event anything is discovered the accidental discovery protocol will be adhered to.

Other Matters

The proposal is not considered to adversely affect the amenity values of the area, being it is promoting a single residential unit and a concrete boat ramp in a coastal area where zoning considers this appropriate.

Conclusion

This application seeks a Discretionary activity resource consent to undertake the proposal.

The assessment of effects on the environment concludes that for the reasons outlined in the application, the effects of undertaking this proposal will be no more than minor on the surrounding environment.

The New Zealand Coastal Policy Statement and the Regional Policy Statement for Northland were reviewed as part of this application. The proposal was considered to be consistent with the aims of these documents.

In terms of the ODP, the proposal was assessed against the district wide objectives and policies along with the Point Veronica zone, with the conclusion that it is generally compatible with the aims of the District Plan as expressed through those relevant objectives and policies.

The PDP has also been assessed against the objectives and policies for the Rural Lifestyle zone and the Coastal Environment Overlay. The conclusion reached being that the proposal is generally compatible with the aims of the PDP as expressed through those relevant objectives and policies. This is despite the PDP not being far enough along in the process to apply sufficient weight.

The relevant criteria within the ODP were considered, the conclusions reached being that the proposal fulfilled the relevant criteria.

In terms of the potential adverse effects being minor or more than minor, it is considered that there are no directly affected parties to this proposal as all effects are adequately addressed.

An assessment of Part II of the RMA has also been completed with the proposal generally able to satisfy this higher order document also.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.



Steven Sanson
Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA100C/971**
Land Registration District **North Auckland**
Date Issued 18 July 1996

Prior References

NA65C/244 NA65C/259

Estate Fee Simple
Area 3859 square metres more or less
Legal Description Lot 5 Deposited Plan 115144

Registered Owners

John Richard Jennings, Susan Anne Jennings and Davenports Harbour Trustee (2012) No.4 Limited

Estate Fee Simple - 1/8 share
Area 7979 square metres more or less
Legal Description Lot 30 Deposited Plan 115144

Registered Owners

John Richard Jennings, Susan Anne Jennings and Davenports Harbour Trustee (2012) No.4 Limited

Interests

B712741.8 Resolution pursuant to Section 321(3)(c) Local Government Act 1974 (affects part formerly CT NA65C/244) - 3.8.1987 at 3.00 pm

Appurtenant hereto are rights of way and electric power, telephone, stormwater, drainage and water supply rights specified in Easement Certificate B712741.10 (affects Lot 5 DP 115144)

Subject to rights of way over parts marked C and J and electric power, telephone, stormwater, drainage and water supply rights over part marked M on DP 115144 specified in Easement Certificate B712741.10 (Affects Lot 30 DP 115144)

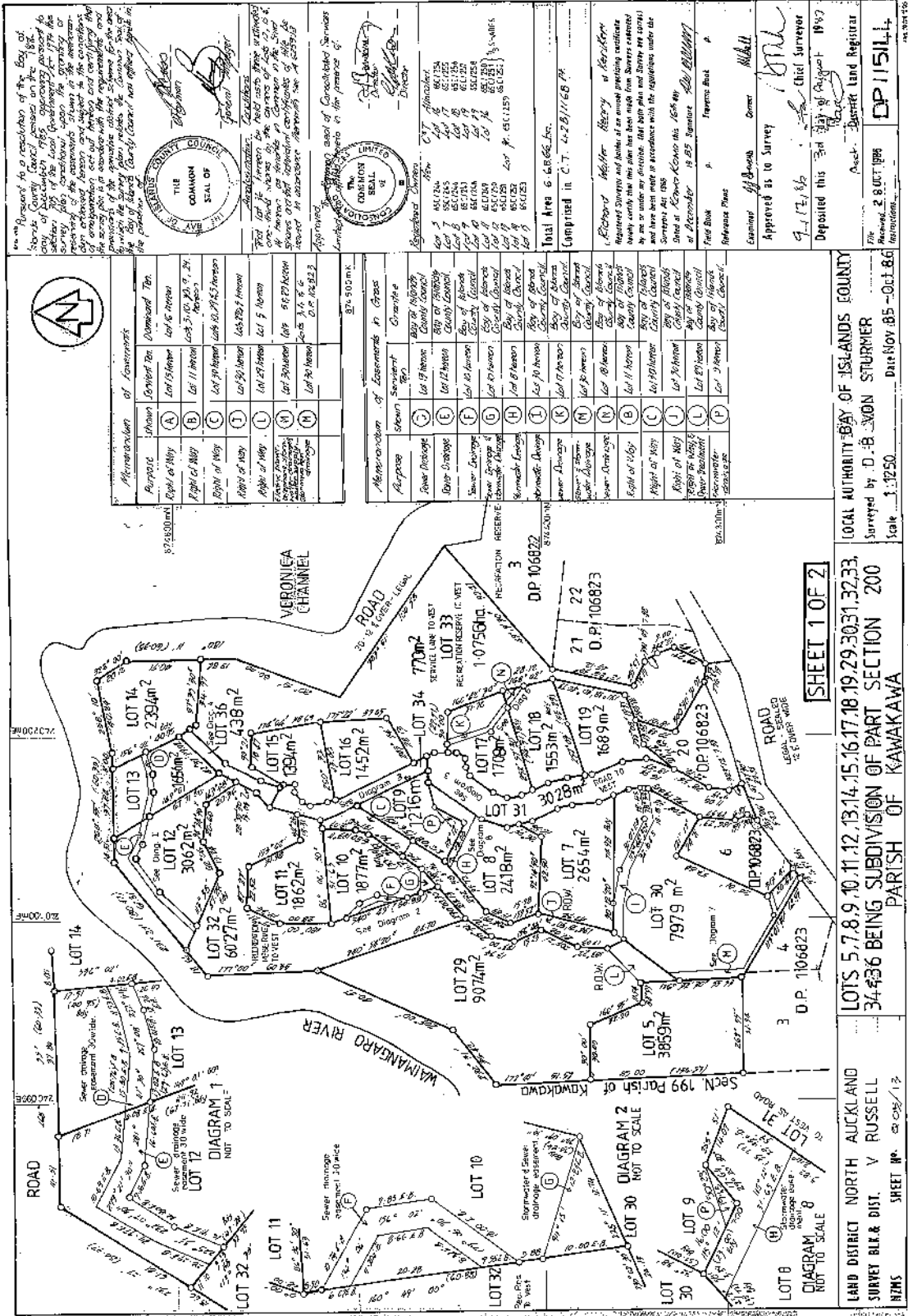
The easements specified in Easement Certificate B712741.10 are subject to Section 309 (1) (a) Local Government Act 1974

Subject to a right of way over parts marked C and J, a stormwater drainage right over part marked I and to sewer and stormwater drainage rights (in gross) over part marked M on DP 115144 in favour of the Far North District Council created by Transfer B712741.11 - 3.8.1987 at 3.00 pm (affects Lot 30 DP 115144)

The easements created by Transfer B712741.11 are subject to Section 309 (1) (a) Local Government Act 1974

B712741.12 Encumbrance to Bay of Islands County Council - 3.8.1987 at 3:00 pm

Appurtenant hereto are rights of way created by Transfer C440535.2 (Affects Lot 30 DP 115144)



SHEET 1 OF 2

LOCAL AUTHORITY - BAY OF ISLANDS COUNTY
 Surveyed by D. B. WOOD STURMER
 Date NOV. 85 - OCT. 86
 Scale 1:10000

LAND DISTRICT NORTH AUCKLAND
 SURVEY BLK & DIST. V RUSSELL
 NZMS SHEET NO. 43 025/17

Resolved to a resolution of the Bay of Islands County Council...
 THE COMMON SEAL OF THE BAY OF ISLANDS COUNTY COUNCIL

That the...
 THE COMMON SEAL OF THE BAY OF ISLANDS COUNTY COUNCIL

Approved...
 THE COMMON SEAL OF THE BAY OF ISLANDS COUNTY COUNCIL

Comprised in C.T. 4228/168 7/8
 Total Area 6.4866 ha

Examined...
 Approved as to Survey...
 Deposited this 3rd day of August 1987
 Received 28 OCT 1988
 DP 115114

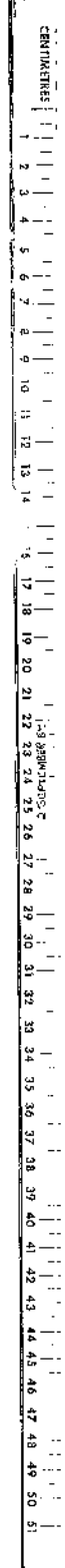
Particulars of Tenements	Shown	Shaded	Dimension	Area
Right of Way	(A)	Lot 16	Lot 16	10.00m x 10.00m
Right of Way	(B)	Lot 11	Lot 11	10.00m x 10.00m
Right of Way	(C)	Lot 10	Lot 10	10.00m x 10.00m
Right of Way	(D)	Lot 9	Lot 9	10.00m x 10.00m
Right of Way	(E)	Lot 8	Lot 8	10.00m x 10.00m
Right of Way	(F)	Lot 7	Lot 7	10.00m x 10.00m
Right of Way	(G)	Lot 6	Lot 6	10.00m x 10.00m
Right of Way	(H)	Lot 5	Lot 5	10.00m x 10.00m

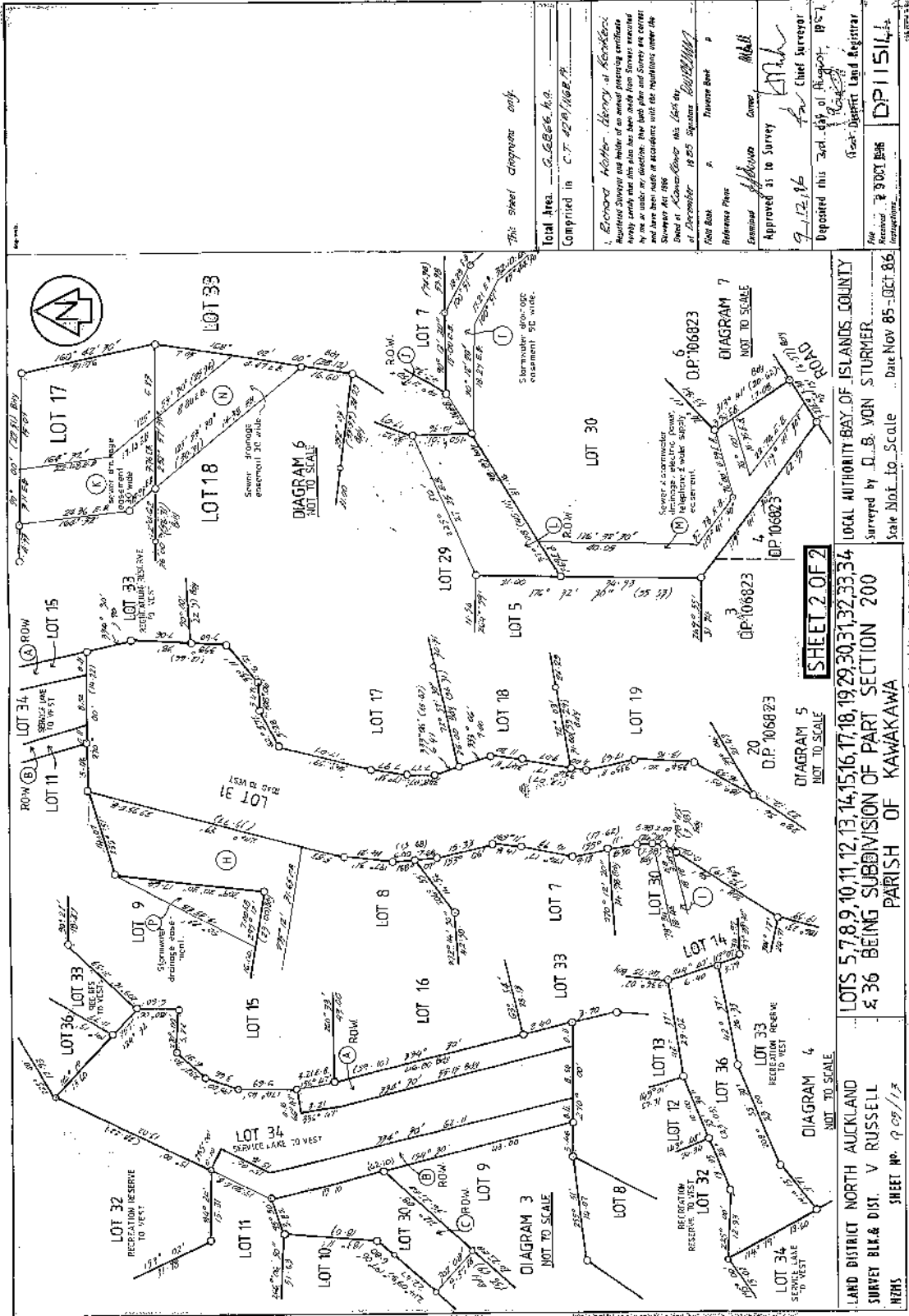
Particulars of Tenements in Grass	Shown	Shaded	Dimension	Area
Right of Way	(I)	Lot 15	Lot 15	10.00m x 10.00m
Right of Way	(J)	Lot 14	Lot 14	10.00m x 10.00m
Right of Way	(K)	Lot 13	Lot 13	10.00m x 10.00m
Right of Way	(L)	Lot 12	Lot 12	10.00m x 10.00m
Right of Way	(M)	Lot 11	Lot 11	10.00m x 10.00m
Right of Way	(N)	Lot 10	Lot 10	10.00m x 10.00m
Right of Way	(O)	Lot 9	Lot 9	10.00m x 10.00m
Right of Way	(P)	Lot 8	Lot 8	10.00m x 10.00m

Particulars of Tenements in Grass	Shown	Shaded	Dimension	Area
Right of Way	(Q)	Lot 14	Lot 14	10.00m x 10.00m
Right of Way	(R)	Lot 13	Lot 13	10.00m x 10.00m
Right of Way	(S)	Lot 12	Lot 12	10.00m x 10.00m
Right of Way	(T)	Lot 11	Lot 11	10.00m x 10.00m
Right of Way	(U)	Lot 10	Lot 10	10.00m x 10.00m
Right of Way	(V)	Lot 9	Lot 9	10.00m x 10.00m
Right of Way	(W)	Lot 8	Lot 8	10.00m x 10.00m
Right of Way	(X)	Lot 7	Lot 7	10.00m x 10.00m

Particulars of Tenements in Grass	Shown	Shaded	Dimension	Area
Right of Way	(Y)	Lot 14	Lot 14	10.00m x 10.00m
Right of Way	(Z)	Lot 13	Lot 13	10.00m x 10.00m
Right of Way	(AA)	Lot 12	Lot 12	10.00m x 10.00m
Right of Way	(AB)	Lot 11	Lot 11	10.00m x 10.00m
Right of Way	(AC)	Lot 10	Lot 10	10.00m x 10.00m
Right of Way	(AD)	Lot 9	Lot 9	10.00m x 10.00m
Right of Way	(AE)	Lot 8	Lot 8	10.00m x 10.00m
Right of Way	(AF)	Lot 7	Lot 7	10.00m x 10.00m

Particulars of Tenements in Grass	Shown	Shaded	Dimension	Area
Right of Way	(AG)	Lot 14	Lot 14	10.00m x 10.00m
Right of Way	(AH)	Lot 13	Lot 13	10.00m x 10.00m
Right of Way	(AI)	Lot 12	Lot 12	10.00m x 10.00m
Right of Way	(AJ)	Lot 11	Lot 11	10.00m x 10.00m
Right of Way	(AK)	Lot 10	Lot 10	10.00m x 10.00m
Right of Way	(AL)	Lot 9	Lot 9	10.00m x 10.00m
Right of Way	(AM)	Lot 8	Lot 8	10.00m x 10.00m
Right of Way	(AN)	Lot 7	Lot 7	10.00m x 10.00m





15	05	64	84	49	94	54	74	04	65	85	25	05	62	82	22	02	61	81	21	01	6	0	2	1
SUPERIMPOSED																								

F/S

B 712741.12
ENC

MEMORANDUM OF ENCUMBRANCE

WHEREAS

A. CONSOLIDATED SERVICES LIMITED a duly incorporated company having its registered office at Kawakawa (hereinafter together with its successors and assigns called "the Grantor") is registered as proprietor of the freehold estate in the land described in the Schedule hereto (hereinafter called "the said lands")

AND WHEREAS

NEW ZEALAND STAMP DUTY WM
28/04/8700575001 C/P *1.00

B. By a Deed made between the Grantor and THE BAY OF ISLANDS COUNTY COUNCIL (hereinafter called "the Grantee") dated the 26th day of August 1986 (hereinafter called "the Deed") the Grantor has agreed in relation to the said lands to do certain things and to refrain from doing certain other things and to secure its performance and observance of the Deed by granting to and making with the Grantee the rent charge and covenant set forth in this Memorandum.

NOW THIS MEMORANDUM WITNESSETH that the Grantor encumbers the said lands for the benefit of the Grantee with an annual rent charge of One thousand dollars (\$1,000.00) such rent charge shall be paid in one annual sum on the 1st day of December 1987 and thereafter on that day in

9

every year (but subject to Clause 2 of this memorandum) and the Grantor covenants with the Grantee:

AND IT IS DECLARED THAT:

1. THAT the Grantor hereby grants to the Grantee the full right and liberty to the Grantee and all persons from time to time authorised by it at all reasonable times to enter upon the said lands for the purpose of effecting the Grantee's obligation of inspecting cleansing, servicing maintaining the septic tanks and connecting piping situate on or under the said lands A N D also full power and authority for the Grantee or its authorised agents or servants with or without vehicles or machinery from time to time and at all times to enter and remain for the purpose aforesaid upon the said lands as shall be necessary for such purpose.

(The foregoing covenant 1. being called "the secured covenant") PROVIDED THAT the secured covenant shall be enforceable only against the owners and occupiers for the time being of the said lands.

2. IF during the twelve months immediately preceding the 1st day of December in each year there has been no breach of the secured covenant then the annual rent charge payable on that date shall be deemed to have been paid and

the Grantor shall be entitled to an acknowledgement to that effect.

3. SECTION 104 of the Property Law Act 1952 applies save as modified by the proviso to Clause 1. hereof but otherwise without prejudice to the Grantee's rights of action in respect of the rent-charge and the Grantee's rights of distress whether at common law, pursuant to Section 150 of the Property Law Act 1952 or otherwise.

4. THIS rent-charge shall immediately determine and the Grantor shall be entitled to a discharge of this Memorandum of Encumbrance when the secured covenant is fully performed and is no longer capable of enforcement and any moneys that may become owing under the security are fully paid.

DATED this 24th day of April 1987

THE COMMON SEAL of CONSOLIDATED SERVICES LIMITED was hereunto affixed in the present of:



R. J. Kiso

Director

A. Bowers

Director/Secretary

THE COMMON SEAL of THE BAY OF ISLANDS COUNTY COUNCIL was here
affixed in the presence of:



[Handwritten signature]

County Chairman

General Manager

[Handwritten signature]

Director

Director/Secretary

SCHEDULE

Estates in fee simple

1. Area: 3859m²
Lot & D.P.: Lot 5 Deposited Plan 115144
Certificate of Title: 65C/244

✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2

TOGETHER WITH: Easements in Easement Certificate:
2. Area: 2654m²
Lot & D.P.: Lot 7 Deposited Plan 115144
Certificate of Title: 65C/245

✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
3. Area: 2418m²
Lot & D.P.: Lot 8 Deposited Plan 115144
Certificate of Title: 65C/246

✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Stormwater Drainage Easement in Transfer:
4. Area: 1216m²
Lot & D.P.: Lot 9 Deposited Plan 115144
Certificate of Title: 65C/247

✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Stormwater Drainage Easement in Transfer:

TOGETHER WITH: Right of Way in Easement Certificate:
5. Area: 1877m²
Lot & D.P.: Lot 10 Deposited Plan 115144
Certificate of Title: 65C/248

✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Sewer and Stormwater drainage easements
in transfer:

TOGETHER WITH: Right of Way in Easement Certificate:

6. Area: 1862m²
Lot & D.P.: Lot 11 Deposited Plan 115144
Certificate of Title: 65C/249
- ✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Right of Way in Easement Certificate:
Right of Way in Transfer:
7. All that parcel of land containing 3062 m² more or less being Lot 12 on Deposited Plan 115144 together with an undivided one third ($\frac{1}{3}$) share of all that parcel of land containing 438m² being Lot 36 on Deposited Plan 115144 being all the land described in Certificate of Title Volume 65C Folio 250.
- ✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Sewer Drainage rights in Transfer:
8. All that parcel of land containing 1656 m² more or less being Lot 13 on Deposited Plan 115144 together with an undivided one third ($\frac{1}{3}$) share of all that parcel of land containing 438m² being Lot 36 on Deposited Plan 115144 being all the land described in Certificate of Title Volume 65C Folio 251.
- ✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Sewer Drainage rights in Transfer:
9. All that parcel of land containing 2394 m² more or less being Lot 14 on Deposited Plan 115144 together with an undivided one third ($\frac{1}{3}$) share of all that parcel of land containing 438m² being Lot 36 on Deposited Plan 115144 being all the land described in Certificate of Title Volume 65C Folio 252.
- ✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
10. Area: 1394m²
Lot & D.P.: Lot 15 Deposited Plan 115144
Certificate of Title: 65C/253
- ✓ SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Right of Way in Easement Certificate:

11. Area: 1452m²
Lot & D.P.: Lot 16 Deposited Plan 115144
Certificate of Title: 65C/254

SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2

TOGETHER WITH: Right of Way in Easement Certificate:

12. Area: 1708m²
Lot & D.P.: Lot 17 Deposited Plan 115144
Certificate of Title: 65C/255

SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Sewer and Drainage Rights in Transfer:

13. Area: 1553m²
Lot & D.P.: Lot 18 Deposited Plan 115144
Certificate of Title: 65C/256

SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Sewer and Drainage Rights in Transfer:

14. Area: 1689m²
Lot & D.P.: Lot 19 Deposited Plan 115144
Certificate of Title: 65C/257

SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2

15. Area: 9074m²
Lot & D.P.: Lot 29 Deposited Plan 115144
Certificate of Title: 65C/258

SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Right of Way in Easement Certificate:
Right of Way and Sewer Treatment Rights
in Transfer:

TOGETHER WITH: Easements in Easement Certificate:

16. Area: 7979m²
Lot & D.P.: Lot 30 Deposited Plan 115144
Certificate of Title: 65C/~~258~~

259

SUBJECT TO: Fencing Covenant in Transfer 675825.1
Mortgage 968438.1
Mortgage 675825.2
Easements in Easement Certificate:
Easement in Transfer:

TOGETHER WITH: Right of Way in Transfer:

ALL of the above Lots being in the North Auckland
Land Registration District.

Correct for the purposes of the Land
Transfer Act



Solicitor for the Grantor

6209D

Registered in Triplicate

DATED 24 April

CONSOLIDATED SERVICES LIMITED

Grantor

THE BAY OF ISLANDS COUNTY COUNCIL

Grantee

MEMORANDUM OF ENCUMBRANCE

RUDD

5.00 03.AUG87 B 71874112
PARTICULARS AND OTHER INFORMATION
L/ND REGISTRATION
APR 24 1987
650/200 - 058
paid





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier **NA65C/258**
Land Registration District **North Auckland**
Date Issued 03 August 1987

Prior References
NA42B/1168

Estate Fee Simple
Area 9074 square metres more or less
Legal Description Lot 29 Deposited Plan 115144

Registered Owners
John Richard Jennings, Susan Anne Jennings and Davenports Harbour Trustee (2012) No.4 Limited

Interests

Appurtenant hereto are rights of way and electric power, telephone, stormwater, drainage and water supply rights specified in Easement Certificate B712741.10 - 3.8.1987 at 3.00 pm

Subject to a right of way over part marked L on DP 115144 specified in Easement Certificate B712741.10 - 3.8.1987 at 3.00 pm

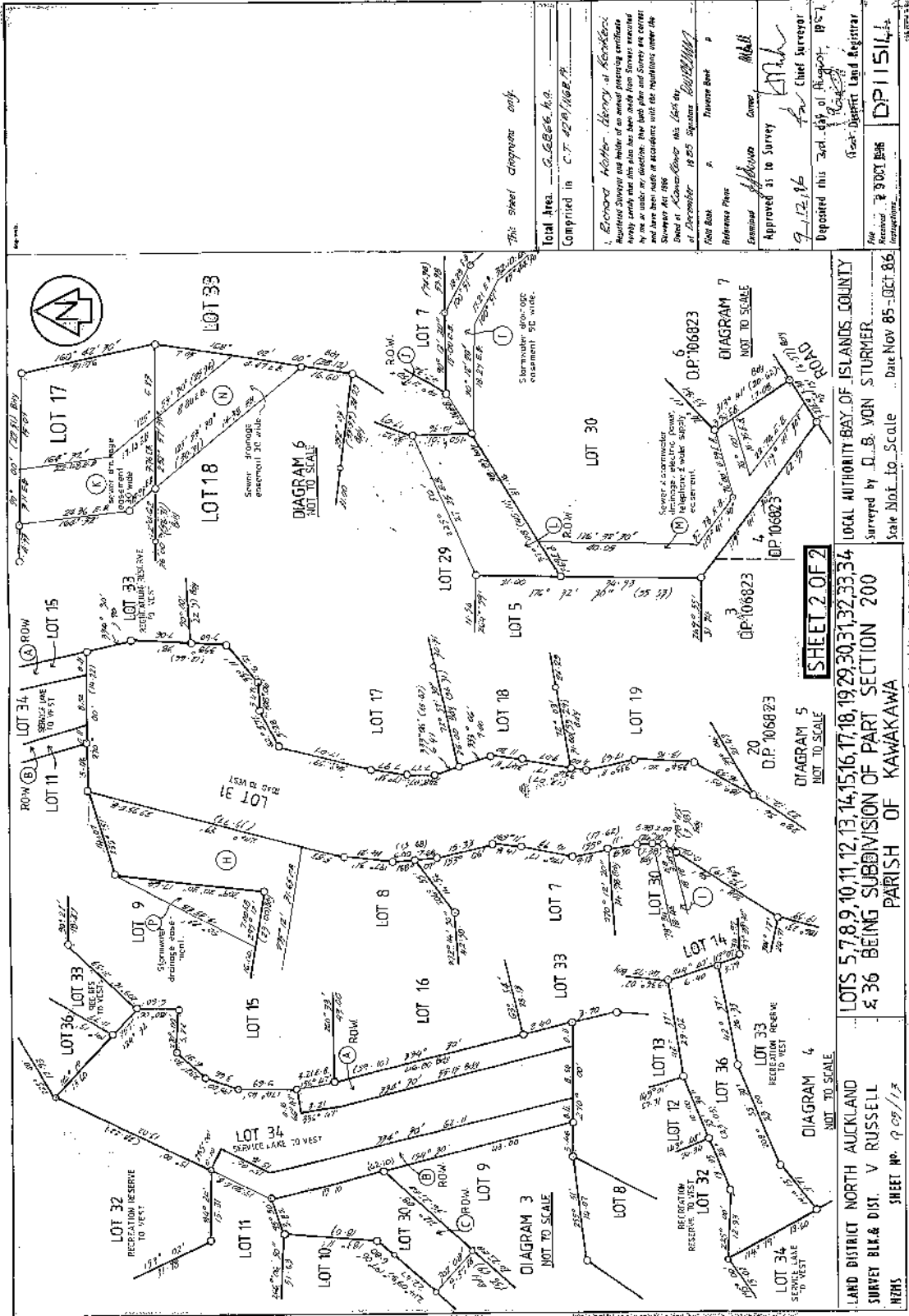
The easements specified in Easement Certificate B712741.10 are subject to Section 309 (1) (a) Local Government Act 1974

Subject to a right of way and a sewer treatment right (in gross) over part marked L on DP 115144 in favour of The Bay of Islands County Council created by Transfer B712741.11 - 3.8.1987 at 3.00 pm

The easements created by Transfer B712741.11 are subject to Section 309 (1) (a) Local Government Act 1974

B712741.12 Encumbrance to Bay of Islands County Council - 3.8.1987 at 3:00 pm

Subject to a right of way over parts marked A and F on Plan 126359 created by Transfer C440535.2 - 15.12.1992 at 2.58 pm



The street dimensions only.

Total Area. — 5.6866 ha.

Comprised in C.T. 429/262 P.

Registered Surveyor and holder of an annual practicing certificate
having made this plan for the purpose of showing the lots, streets and
reserves, and have been made in accordance with the conditions under the
Surveyors Act 1986
Signed at Auckland this 14th day
of December 1985 Signature: Robert M. Hall

Full Name: A. James Best
Reference: None
Examined: Robert M. Hall Corner: NA65
Approved as to Survey: Robert M. Hall
9/12/86 Chief Surveyor
Deposited this 2nd day of August 1986
Registrar
General District Land Registrar
File No.: 79001896
DP 11511/2

SHEET 2 OF 2

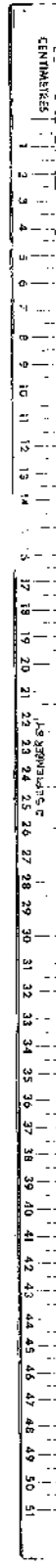
LOCAL AUTHORITY: BAY OF ISLANDS, COUNTY
SURVEYED BY: J. B. VON STURMER
Date Nov 85 - Oct 86

State Dist. to Scale

W. H. BROWN SURVEYING CONSULTANTS LTD. 48/49, WELLINGTON

LAND DISTRICT NORTH AUCKLAND
SURVEY BLK. & DIST. V RUSSELL
NZRS SHEET NO. 9 09/13

LOTS 5, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 29, 30, 31, 32, 33, 34
& 36 BEING SUBDIVISION OF PART SECTION 200
PARISH OF KAWAKAWA

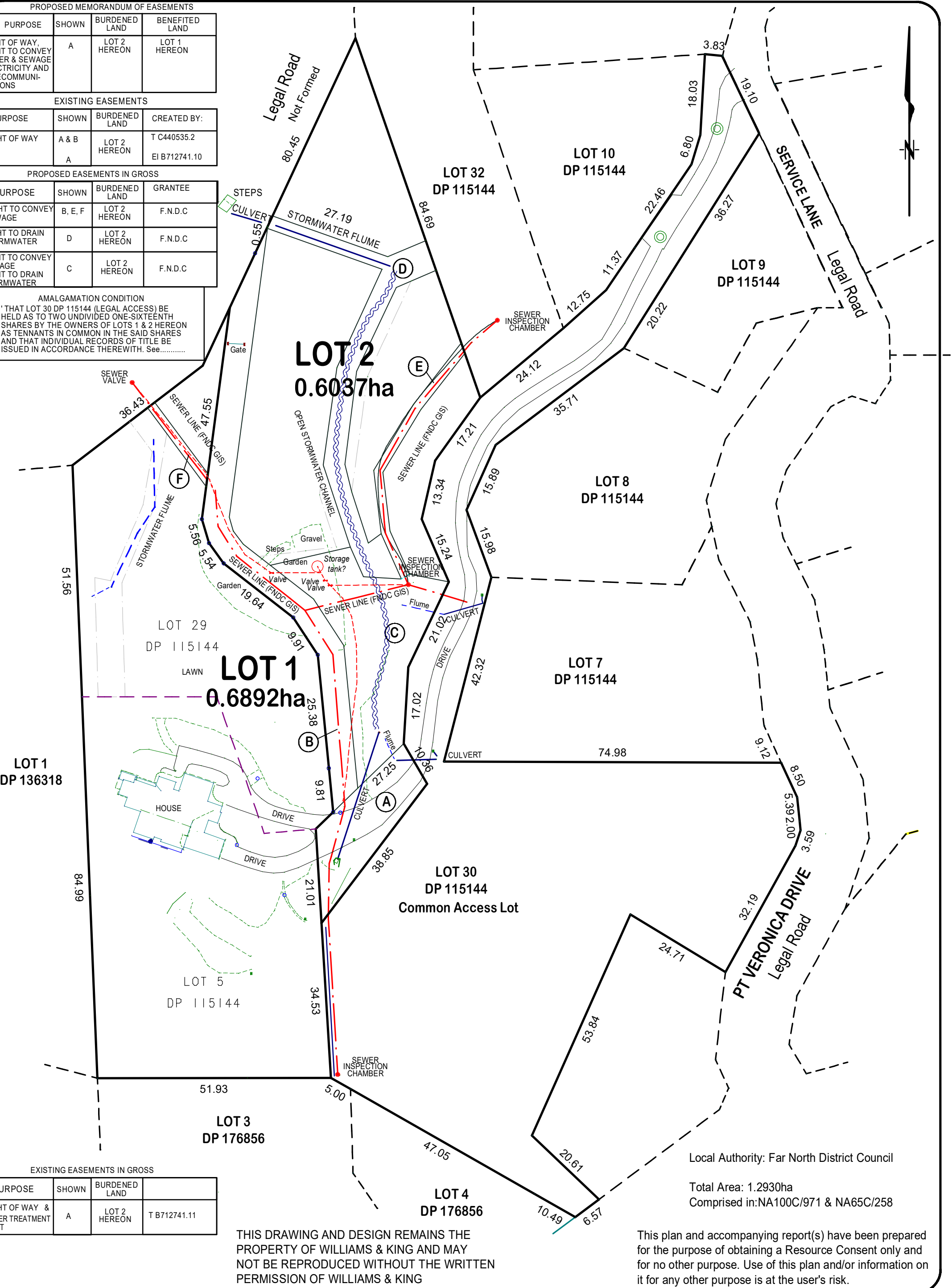


PROPOSED MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY, RIGHT TO CONVEY WATER & SEWAGE ELECTRICITY AND TELECOMMUNICATIONS	A	LOT 2 HEREON	LOT 1 HEREON

EXISTING EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	CREATED BY:
RIGHT OF WAY	A & B	LOT 2 HEREON	T C440535.2
	A	LOT 2 HEREON	EI B712741.10

PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	GRANTEE
RIGHT TO CONVEY SEWAGE	B, E, F	LOT 2 HEREON	F.N.D.C
RIGHT TO DRAIN STORMWATER	D	LOT 2 HEREON	F.N.D.C
RIGHT TO CONVEY SEWAGE RIGHT TO DRAIN STORMWATER	C	LOT 2 HEREON	F.N.D.C

AMALGAMATION CONDITION
 THAT LOT 30 DP 115144 (LEGAL ACCESS) BE HELD AS TO TWO UNDIVIDED ONE-SIXTEENTH SHARES BY THE OWNERS OF LOTS 1 & 2 HEREON AS TENANTS IN COMMON IN THE SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE BE ISSUED IN ACCORDANCE THEREWITH. See.....



Local Authority: Far North District Council
 Total Area: 1.2930ha
 Comprised in: NA100C/971 & NA65C/258

THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF WILLIAMS & KING AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF WILLIAMS & KING

This plan and accompanying report(s) have been prepared for the purpose of obtaining a Resource Consent only and for no other purpose. Use of this plan and/or information on it for any other purpose is at the user's risk.

EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	
RIGHT OF WAY & SEWER TREATMENT RIGHT	A	LOT 2 HEREON	T B712741.11

WILLIAMS AND KING
 Registered Land Surveyors, Planners & Land Development Consultants
 Ph: (09) 407 6030 27 Hobson Ave
 Email: kerikeri@saps.co.nz PO Box 937 Kerikeri

**Proposed Subdivision of
 Lots 5 & 29 DP 115144
 (By way of Boundary Adjustment)**

Name	Date	ORIGINAL SCALE	SHEET SIZE
Survey		1:750	A3
Design			
Drawn	W & K JAN 2024		
Rev			

24230



SHOREWISE
ENGINEERING CONSULTANTS

DESIGN REPORT
OPUA BOAT RAMP



Prepared for:

Jennings

October 2024

Contents

1.0 INTRODUCTION 2

2.0 DESIGN AND DURABLE LIFE 2

3.0 SITE GEOLOGY AND GEOTECHNICAL PARAMATERS 3

4.0 NRC HAZARD MAPS..... 4

5.0 SITE SPECIFIC CALCULATIONS 6

9.0 CONCLUSIONS..... 9

APPENDIX A –DESIGN DRAWINGS

This report has been prepared for the sole benefit of our client for the purposes outlined in the introduction. Reliance on this report for any other purposes than that stated shall be done at the full risk of the user. This report shall not be reproduced in part or in full for any other purposes without the express written permission of Shorewise Engineering Consultants Limited.

Document Version	Prepared By	Date Released
Revision 0	Rob Brown	02-10-2024

DESIGN REPORT

Boat Ramp, 27 Point Veronica Drive, Opuia

1.0 INTRODUCTION

Susan Jennings is seeking to develop a concrete boat ramp structure for the access of small watercraft directly from their property at 27 Point Veronica Drive, Opuia, known as Lot 29 DP115144, within the Bay of Islands.

The site currently has a set of steps and a formed batter going down to the coastal marine area (CMA) that provide more informal access for small recreational watercraft such as canoes, kayaks, and small dinghies.

The owners have engaged Shorewise Engineering Consultants to provide a design and design report to support the resource consent application for the structure. This report concentrates on the coastal hazards at the site engineering design to provide a safe and durable structure.

The proposed boat ramp sits partly in the CMA and partly on road reserve land that includes the Paihia to Opuia coastal walkway. The proposed boat ramp sits on the seaward side of the existing track and will provide safer access to the water with minimal disruption to the existing coastal batters.

The proposed boat ramp is in an extremely sheltered location due to the existing vegetation and being within a shallow embayment, therefore the proposed ramp is subject to minimal loading.

2.0 DESIGN AND DURABLE LIFE

The proposed boat ramp has been designed for 50 Yr. ARI events and loads. The proposed concrete boat ramp will have a durable life of 100 years.

Therefore 50 Yr. ARI coastal hazard levels are appropriate for the engineering design of the proposed boat ramp.

3.0 SITE GEOLOGY AND GEOTECHNICAL PARAMATERS

The site is adjacent to areas of Greywacke base rock of the Waipapa Group Sandstone and Siltstone, described as *“Massive to thin bedded, lithic volcanoclastic metasandstone and argillite, with tectonically enclosed basalt, chert and siliceous.”*

The seabed is made of thin layers of soft marine sediments overlaying highly to moderately weathered Greywacke rock, the costal path area is made up of highly to moderately weathered Greywacke rock mostly weathered to a very stiff clay.

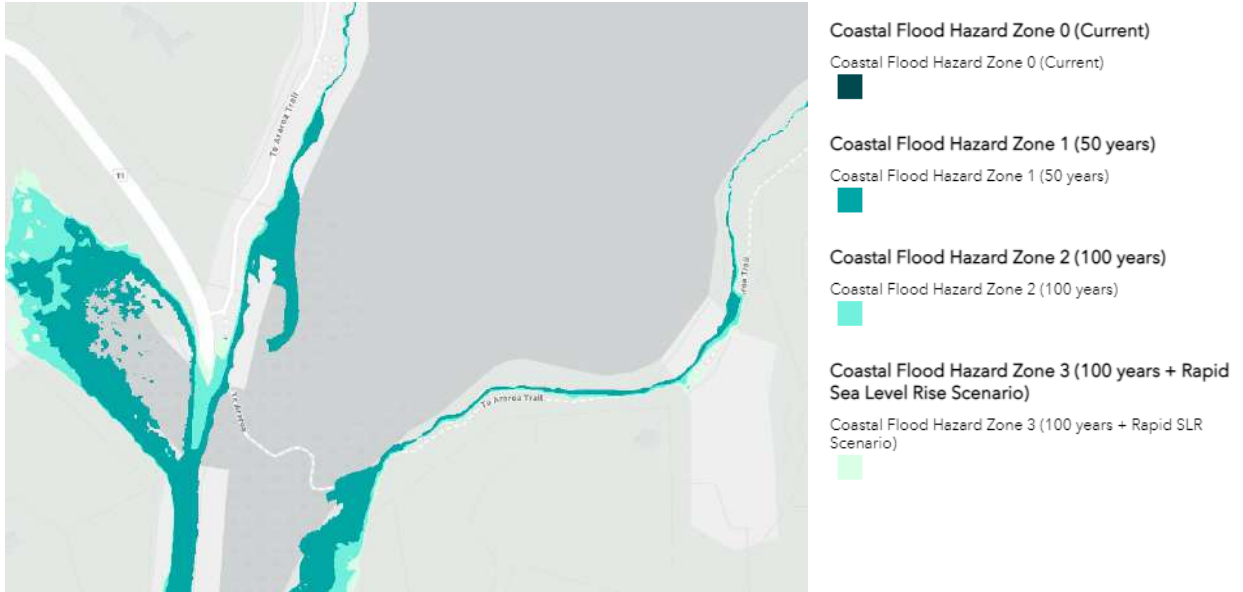
The geological risk of the site is relatively low due to the site being quite flat and the nearest slopes set back a reasonable distance from the proposed structure.

The boat ramp will be founded on stiff clay to weathered rock, some minor earthworks to remove the shallow layer of soft sediment will be required.



4.0 NRC HAZARD MAPS

3.1 NRC COASTAL FLOOD HAZARDS



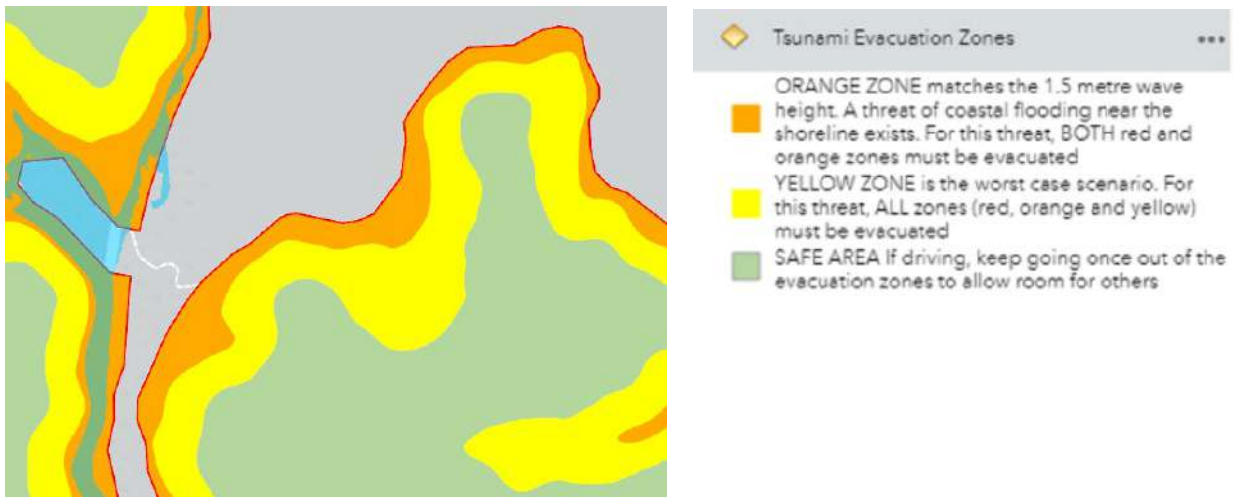
The following hazard levels apply to the site, cell 61 for Opuā:

Coastal Flood Hazard Zone	Sea Level Rise Allowance	Level NZVD 2016	Approx Level Chart Datum
CFHZ1	0.6m	2.2m	3.78m
CFHZ2	1.2m	2.8m	4.38m
CFHZ3	1.5m	3.1m	4.68m

3.2 NRC RIVER FLOOD HAZARD MAP

There are no river flood risks mapped in the Omakiwi Cove area.

3.3 NRC TSUNAMI RISK



The entire coastal edge is mapped as being at risk of inundation by Tsunami wave. Due to the low-lying nature of the site this risk cannot be mitigated by site design. There is a safe zone in the higher parts of the property. There is a Tsunami warning system nearby.

5.0 SITE SPECIFIC CALCULATIONS

The nearest available offset between Chart Datum and NZVD 2016 is 1.588m at Russell Wharf

5.2 WATER LEVELS

Water level data from the Nautical Almanac and LINZ for the nearest Russell site:

Tide Level	Height Chart Datum	Height NZVD 2016
Highest Astronomical tide (HAT)	2.65m	1.06m
Mean High Water Springs (MHWS)	2.50m	0.91m
Mean Low Water Springs (MLWS)	0.40m	-1.18m
Lowest Astronomical tide (LAT)	0.32m	-1.32m

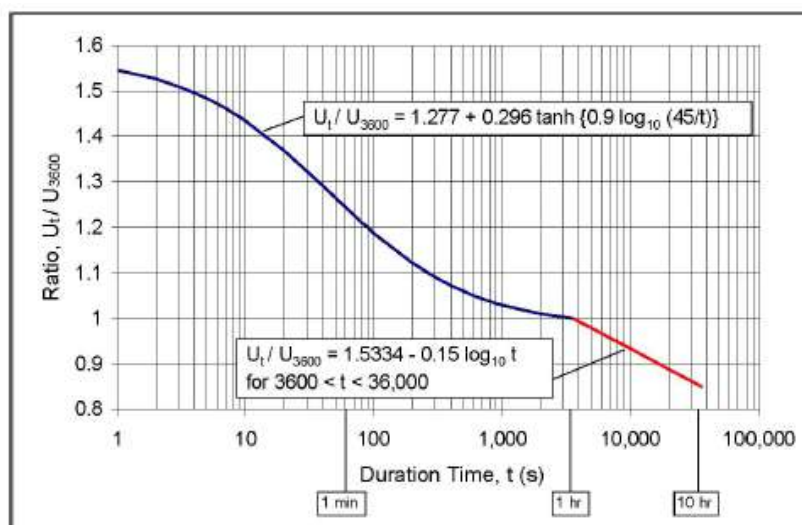
5.3 WIND SPEED PREDICTIONS

Wind speeds that are supplied in AS/NZS 1170.2 are stated for 3 second gusts at heights of 10 metres, corrections are required for the wind duration and the height near water level.

Wind speeds are corrected for the duration of wind required by calculating the time required for the waves to become fetch limited using the relationship.

$$t_{x,y} = 77.23 \frac{X^{0.67}}{u^{0.34} g^{0.33}}$$

The wind speed is then corrected down from the 3 second gust to the sustained wind speed required for the waves to become fetch limited by the factor R_D which is calculated using the wind speed ratio relationship.



Wind speeds reduce with height from the water surface due to the shear stresses that act between the wind and the water surface, the wind speeds are corrected for height using a factor Mz_{CAT} for 3 metres above the surface from AS/NZS 1170.2.

The winds that are of concern are those acting for a long enough duration for the waves to become fetch limited, if the wind acts over the fetch for a shorter duration, then a duration limited condition exists, and the wave heights will be less than the maximum predicted.

Terrain category 2 as per AS/NZS 1170.2 is used for the roughness values for prediction the waves within a fetch limited environment, as per the guidance in AS3962.

5.4 WAVE PREDICTIONS

These steady sustained wind speeds, and fetch distance are then used to calculate the expected wave period, wave height and wavelength using the relationships.

$$\frac{gH_{m0}}{u_*^2} = 4.13 \times 10^{-2} \left(\frac{gX}{u_*^2} \right)^{\frac{1}{3}}$$

$$\frac{gT_p}{u_*} = 0.651 \left(\frac{gX}{u_*^2} \right)^{\frac{1}{3}}$$

Wave heights have been predicted using the JONSWAP theory which predicts the spectral density of the wave field and predicts the H_{m0} wave height based on the maximum energy density.

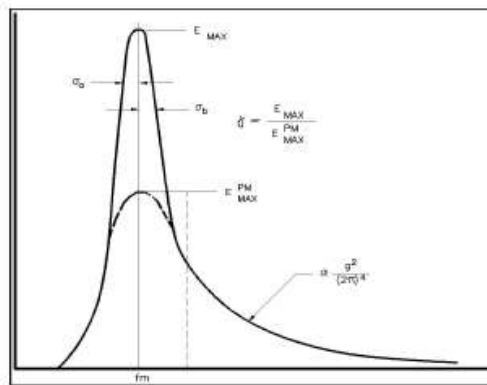


Figure II-2-22. Definition of JONSWAP parameters for spectral shape.

H_{m0} waves predictions are the equivalent of H_s wave predictions and are the mean of the top 1/3 of wave heights within a wave group.

Maximum wave heights H_{max} are calculated by the relationship $H_{max} = 1.86 H_s$.

5.5 WAVE EXPOSURE AT THE SITE

The site generally has a moderate exposure to fetches that can generate infra gravity waves.

The waves that are expected at the site for 50 year ARI storm events are:

Fetch Direction	Fetch (m)	50 Year Storm V_{500} Significant wave height H_s (m)	Maximum Wave length (m)
North	5700 (Averaged)	1.2	11 - 12

5.6 COASTAL FLOOD HAZARDS

Calculating the water levels for the site from first principles gives the following results:

	Chart Datum (m)	NZVD 2016 (m)
MHWS	2.5	
Wind Setup	0.2	
Half Wave Height	0.6	
Sea Level rise Allowance	0.5	
50 Year 2% AEP	3.8	2.16

	Chart Datum (m)	NZVD 2016 (m)
HAT	2.65	
Wind Setup	0.2	
Half Wave Height	0.6	
Sea Level rise Allowance	0.5	
50 Year 2% AEP	3.95	2.36

Therefore, the proposed boat ramp with a top level of 4.2m CD is considered appropriate.

If the worst case sea level rise were to eventuate the boat ramp is a fixed structure that is not required to be above the sea level, occasional inundation of the boat ramp would not be an issue as it would only be for short periods of time, or during a high tide storm event where the ramp is unlikely to be used.

9.0 CONCLUSIONS

- The proposed boat ramp is situated in a shallow embayment relatively sheltered from most weather events, with exposure to local fetch generated waves from the north directions.
- The proposed ramp top elevation, approx CD + 4.2m will be suitable for the worst fetch waves and includes an allowance for sea level rise.
- The proposed boat ramp will not affect users of the coastal path except for when a boat is being carried across the pathway for very short durations of time
- The proposed boat ramp will be suitable for a life of at least 50 years.

Prepared By:
Rob Brown

A handwritten signature in black ink, appearing to read 'R. Brown', written in a cursive style.

Chartered Professional Engineer
Civil / Structural
CPEng, CMEngNZ. IntPE(NZ)

APPENDIX A –DESIGN DRAWINGS



NOTES:

- EXACT RAMP LOCATION AND ORIENTATION TO BE DETERMINED ON SITE

SCALE 1 : 250

Filename: Pld Date: 2/10/2024 3:50:04 pm



www.shorewise.co.nz

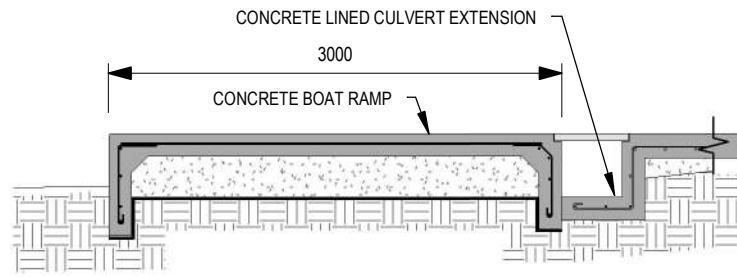
REV	DETAILS	DATE
0	ISSUED FOR CONSENT	02/10/2024

JENNINGS

CLIENT	PROJECT	STATUS
JENNINGS	JENNINGS VERONICA RAMP	FOR CONSENT
	SHEET DESCRIPTION	
	SITE PLAN	

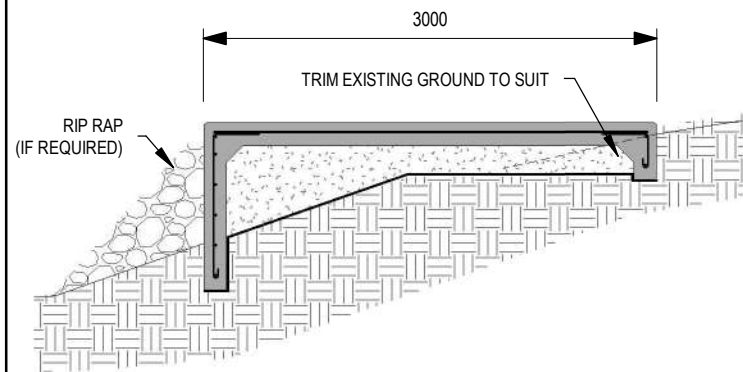
DRAWN BY	APPROVED BY	SHT
MW	RB	A3
PROJECT NO.	SHEET NO.	REV
24-0025	A-1002	0

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1 RAMP SECTION 1
A-1003 1 : 50

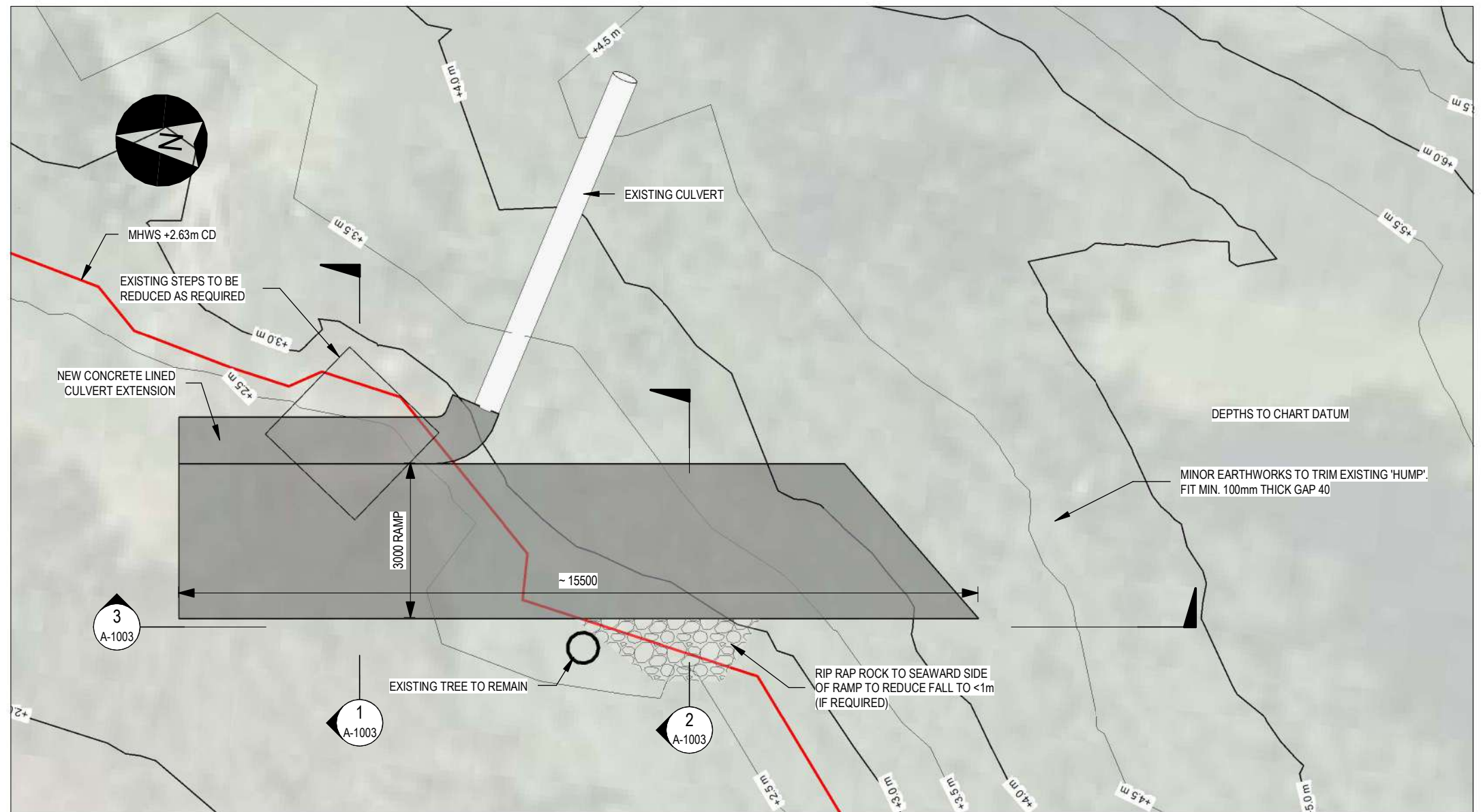
FOR FULL STRUCTURE DETAILS, SEE SHEET A-1004



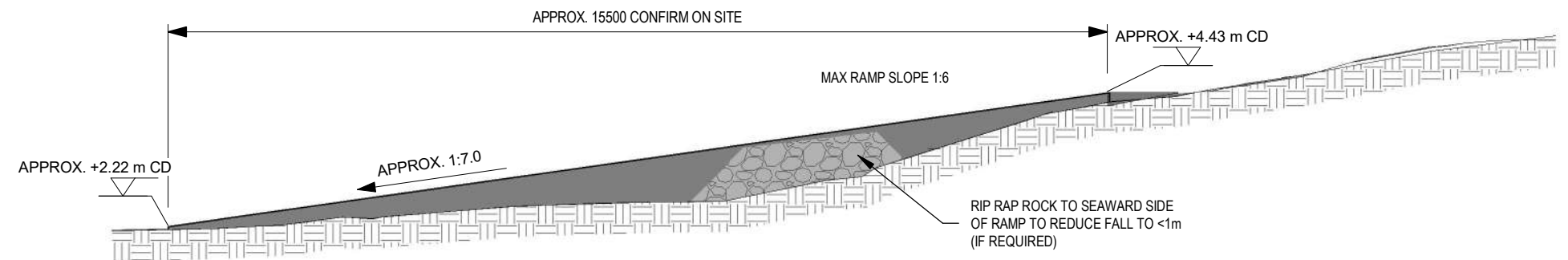
2 RAMP SECTION 2
A-1003 1 : 50

NOTES:
• EXACT RAMP LOCATION AND ORIENTATION TO BE DETERMINED ON SITE

NOTES:
• 50 MPa 8% MICRO SILICA CONCRETE
• 75mm COVER TO GROUND
• 60mm TOP COVER
• 13mm AGGREGATE
• HEAVY BROOM FINISH ACROSS RAMP WIDTH
• CUT RAMP AT 3m C-C. SEAL CUTS WITH SIKAFLEX IIFC



RAMP PLAN
1 : 100

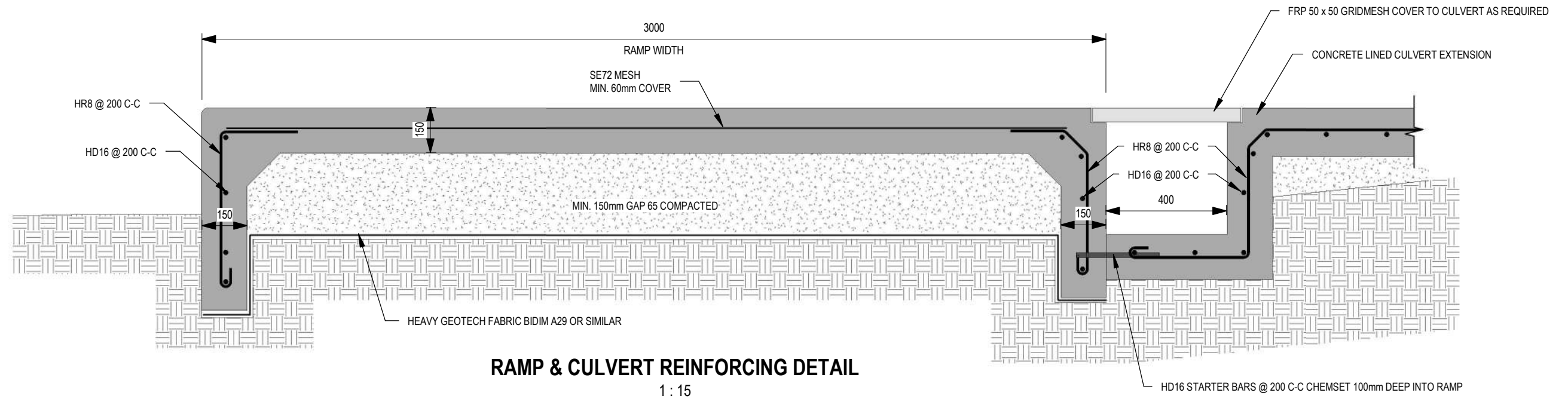


3 RAMP ELEVATION
A-1003 1 : 100

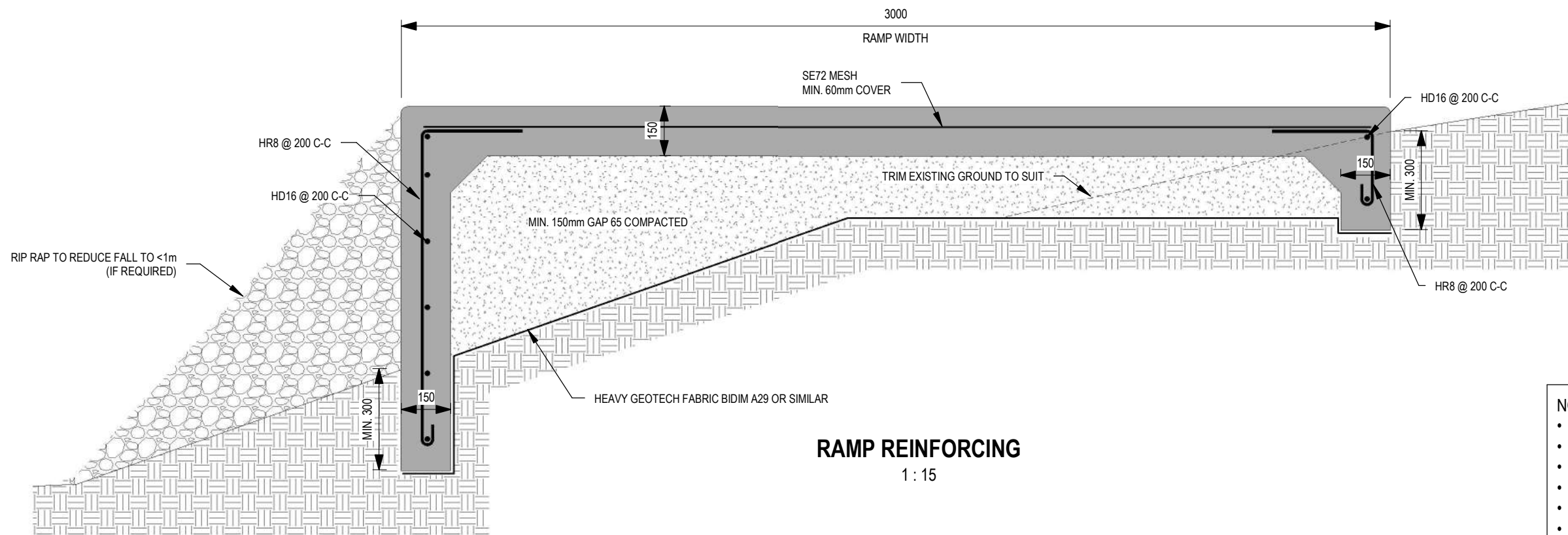
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REV	DETAILS	DATE
0	ISSUED FOR CONSENT	02/10/2024

PROJECT	STATUS
JENNINGS VERONICA RAMP	FOR CONSENT
SHEET DESCRIPTION	DRAWN BY
RAMP GENERAL ARRANGEMENT	RB
	APPROVED BY
	SHT
	A3
	PROJECT NO.
	24-0025
	SHEET NO.
	A-1003
	REV
	0



RAMP & CULVERT REINFORCING DETAIL
1 : 15



RAMP REINFORCING
1 : 15

- NOTES:**
- 50 MPa 8% MICRO SILICA CONCRETE
 - 75mm COVER TO GROUND
 - 60mm TOP COVER
 - 13mm AGGREGATE
 - HEAVY BROOM FINISH ACROSS RAMP WIDTH
 - CUT RAMP AT 3m C-C. SEAL CUTS WITH SIKAFLEX IIFC

Filename: Pld Date: 2/10/2024 3:50:06 pm

CLIENT	REV	DETAILS	DATE	PROJECT	STATUS		
JENNINGS	0	ISSUED FOR CONSENT	02/10/2024	JENNINGS VERONICA RAMP	FOR CONSENT		
				SHEET DESCRIPTION	DRAWN BY	APPROVED BY	SHT
				RAMP & CULVERT REINFORCING	MW	RB	A3
					PROJECT NO.	SHEET NO.	REV
					24-0025	A-1004	0



Licence to Occupy a Portion of Road

Local Government Act 1974

APPLICATION FORM

Where structures (encroachment) have been or are to be erected on or within the legal road (formed or unformed), Council consent must be sought. In these cases, the Council considers whether to issue a Licence to Occupy to formalise the legal placement of structures on legal road. If issued, the structure can remain at Councils pleasure subject to the terms and conditions of the licence issued and the maintenance and cost of its occupancy is the responsibility of the licence holder.

These licences attach to a person (structure owner/typically the adjacent land owner) and are not transferable. If ownership changes hands, a new owner must make a new application in their name in order to formalise the structure/encroachment. In some cases, Public Liability Insurance may be required by the licence holder, as outlined in the terms and conditions of the licence.

The applicant must supply the Council with details of the extent of the structure/encroachment and plans showing the position and measurements in relation to the legal road boundaries. Please provide all information required in order for your application to be considered. Your application will not be accepted for assessment until council has received all information. Please note that an application can take some time to be processed and an issue of a licence is not guaranteed.

Please complete this form and return it along with supporting documents to:

Property Legalisation Team

Far North District Council

or post to: *Private Bag 752, Kaikohe 0440*

or scan and email the form to: *propertylegalisation@fndc.govt.nz*

Further enquiries can also be made by:

Calling **0800 920 029** or via our website at www.fndc.govt.nz

APPLICANT CONTACT DETAILS

Your Name: John and Susan Jennings

Date: 25/11/2024

Applicant signature:

Your Address: 27 Point Veroica Drive, Opuia

Home Phone:

Mobile: 027 281 9290

Email: Susan Jennings <Susan.Jennings@tahuapartners.co.nz>

INFORMATION REQUIRED

Address or location of the encroachment:

27 Point Veronica Drive, Opuia

Describe the nature of the encroachment and its purpose:

Proposed boat ramp

Please provide the reasons the encroachment cannot occur within your own land boundaries:

Boat ramp straddles the road reserve

Is public access affected by the encroachment?

There may be some temporary access effects resulting at time of construction

Does this application refer to a proposed or existing encroachment?

Proposed

Does the encroachment have an existing Licence to Occupy?

YES / NO

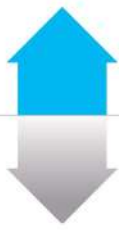
Is this application made in conjunction with any other applications e.g: Building Consent or Resource Consent? Please list:

Yes - resource consents to FNDC and NRC

Any other relevant information to support your application:

Refer attached Report and Plans for the proposed Boat Ramp. This includes a site plan / Occupation Plan

NOTE: An occupation plan **must** be submitted with this application.



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Site Suitability Assessment for Proposed Subdivision at 27 Point Veronica Drive, Opua

Rev A

21 June 2024

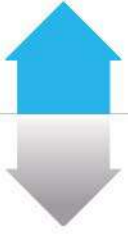
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Job Number:	NL240029
Name of Project:	27 Point Veronica Drive, Opuā
Client:	John and Susan Jennings
Author:	Hans Heym, Geotechnical Engineer
Reviewer/Authoriser:	Byron Smith, Senior Engineering Geologist, MEngNZ
Document Version:	A
Published:	21 June 2024
Author Signature:	
Reviewer/Authoriser Signature:	

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Appendices:

- Appendix A: Drawings
- Appendix B: Investigation Logs
- Appendix C: Laboratory Test Results
- Appendix D: Stability Analysis Results
- Appendix E: Draft Subdivision Scheme Plan

Report Summary

The following summarises the findings of this report however is not to be taken in isolation. It is a requirement that any user of this report review the document in its entirety, including all appendices.

Feature	Commentary
Proposed Development	Creation of a rural-residential subdivision.
RMA: Section 106	No <i>geotechnical</i> natural hazards were identified that are considered an undue impediment to subdivision or that cannot be reasonably addressed by typical engineering design and construction.
Fill	Encountered to a maximum depth of 0.4m bpgl.
Natural Soils	Stiff to hard weathered Waipapa Group soils.
Unduly Weak, Sensitive, or Compressible Soils	Not encountered.
Groundwater	Not encountered.
Seismic Site Class	Site Class C.
Liquefaction	The site is considered to have a "Very Low Liquefaction Vulnerability".
Slope Stability	Slopes steeper than 1V:4H are present. We consider the indicative building platform to be suitable for development from a land stability point of view.
Settlement	We consider any potential total or differential settlement as a result of the proposed development to be within typical tolerable limits.
Preliminary Foundation Guidance	Shallow foundations considered likely to be suitable.
Retaining	Geotechnical retaining wall design parameters are provided in 11.0 of this report.

1.0 Introduction

Soil & Rock Consultants (S&RC) were engaged by John and Susan Jennings to carry out a geotechnical site suitability assessment at 27 Point Veronica Drive, Opuia regarding a proposed subdivision.

Our investigation has been informed by Section 106 of the Resource Management Act which lists 'Natural Hazards' that must be considered by Council when assessing the Subdivision Consent application.

The primary purpose of this reporting is to identify the issues discussed above and provide associated remedial, mitigating, and design recommendations in order that Consent can be granted. Information and advice related to good construction practise are also provided.

1.1 Limitations

This report has been prepared by S&RC for the sole benefit of John and Susan Jennings (the client), their appointed consultants, and Council with respect to 27 Point Veronica Drive, Opuia and the brief given to us. The data and/or opinions contained in this report may not be used in other contexts, for any other purpose or by any other party without our prior review and agreement. This report may only be read or transmitted in its entirety, including the appendices.

The recommendations given in this report are based on data obtained from discrete locations and soil conditions between locations are inferred only. Our geotechnical models are based on those actual and inferred conditions however variations between test locations may occur and S&RC should be contacted in this event. S&RC should also be contacted should the scope or scale of the development proposal vary from that currently indicated.

2.0 Site Description

The subject site, legally described as Lot 5 DP 115144, is irregular in shape and covers an area of 3,857m² (see Figure 1). The property contains one three-storey dwelling with the remainder of the site covered in grass, landscaped gardens, native bushes and trees. An open Stormwater Channel (~2m wide) flows along the eastern boundary (northbound) to the foreshore along the northwest boundary.

The ground surface slopes down moderately to the centre of the property at inclinations of less than 20°, becoming gently sloping towards the northern boundary. Underground public wastewater services run from south to the north underneath the driveway in the centre of the property with a minimum setback to the existing dwelling of approximately 20m.



Figure 1: Aerial Image (Source: Far North Council GeoMaps Website)

2.1 Proposed Development

The proposed subdivision comprises subdivision of the property into two lots with Lot 1 incorporating the existing dwelling and being approximately 6,892m² Lot 2 being a new lot covering 6,037m² as shown in Figure 2 and Appendix E. Lot 2 is the subject of this report.

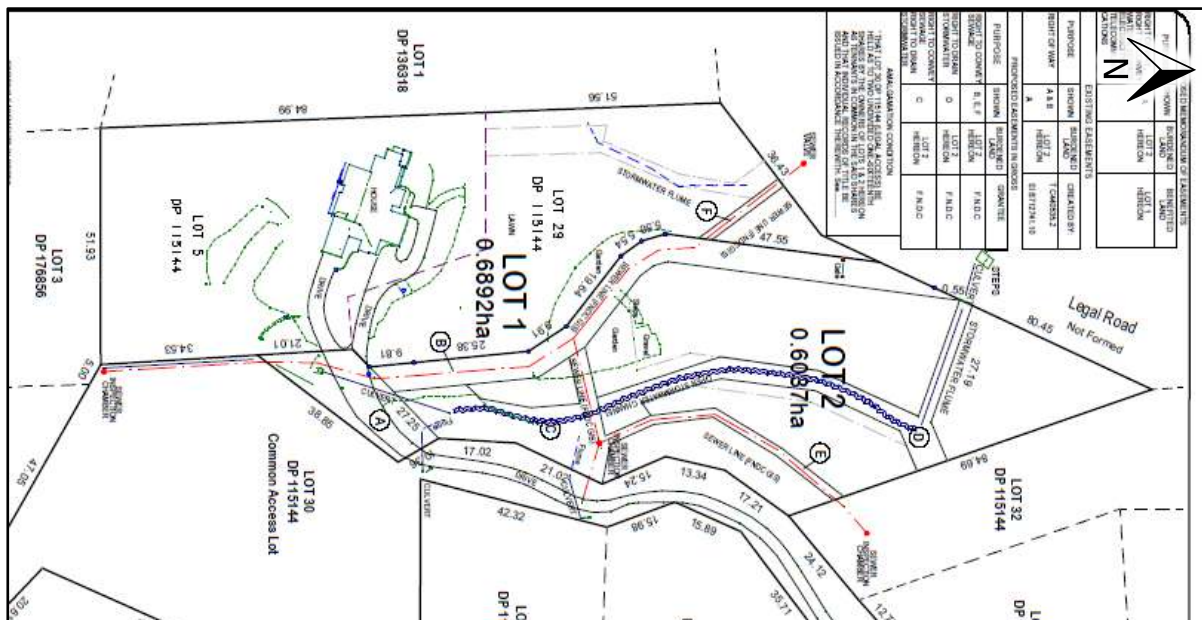


Figure 2: Proposed Development (Source: Proposed Subdivision Plan by William and King)

3.0 Geology

According to the GNS New Zealand Geological Web Map, 1:250,000 Geology map, the site is underlain by soils and rock of the Waipapa Group (see Figure 3).

The Waipapa Group comprises predominantly thin-bedded alternating fine-grained sandstone and argillite, and jointed greywacke sandstone, in beds or composite beds up to tens of metres thick. Zones of melange and broken formation are also common. Waipapa rocks weather to a soft, white to yellow-brown clay, locally to depths of 20m.

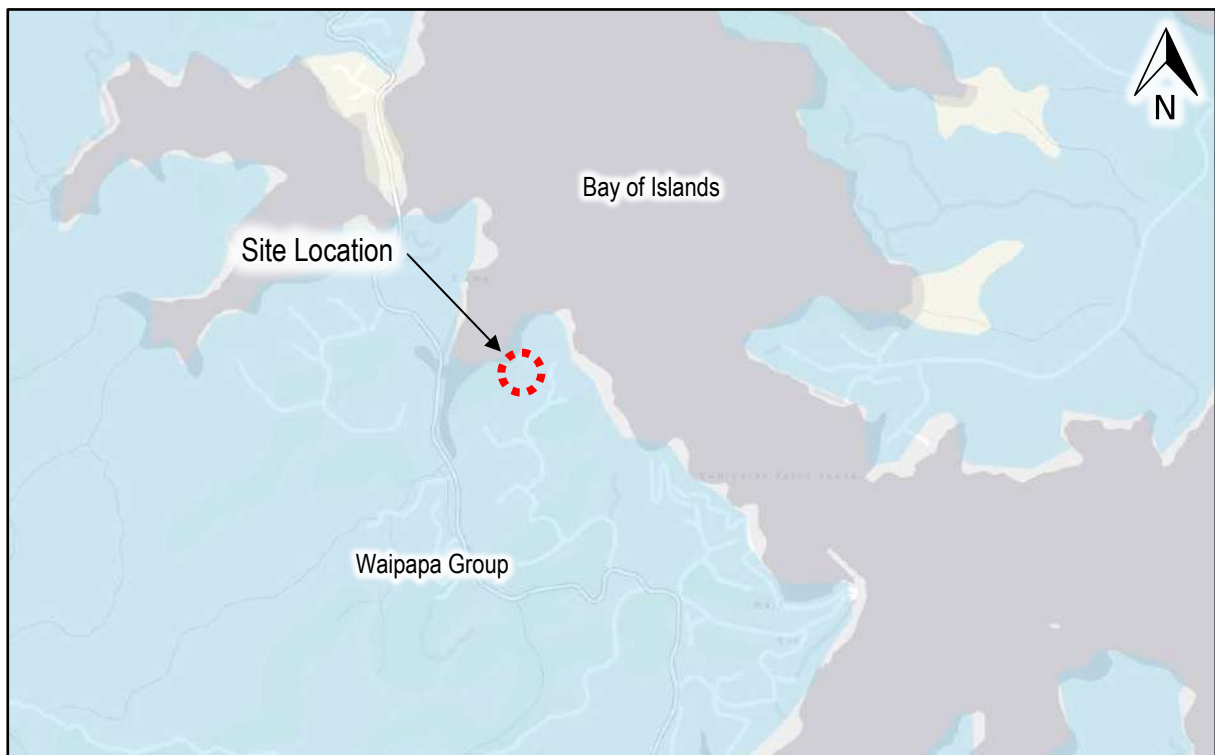


Figure 3: Geological Map (Source: GNS WebMaps Website)

4.0 Field Investigation

The field investigation carried out on 08 May 2024 comprised:

- Visual appraisal of the site
- Drilling of two hand augerhole (AH01 & AH02) – Appendix B
- Dynamic Cone (Scala) Penetrometer testing from the base of both augerholes – Appendix B
- Retrieval and laboratory testing of one soil expansivity sample (SS01) – Appendix C
- Measurement of one cross section (A-A') using measuring tape and clinometer – Appendix A

The test locations are shown on the Site Plan, Drawing No NL240029/2 (Appendix A). The locations were measured from existing site features using hand-held tape and are therefore approximate only.

Measurements of undrained shear strength were undertaken in the augerholes at intervals of depth using a handheld shear vane in accordance with the New Zealand Geotechnical Society (NZGS) '*Guideline for Hand Held Shear Vane Test*', dated August 2001. Peak and remoulded vane shear strengths shown on the attached logs represent dial readings off the shear vane adjusted using the BS 1377 calibration correction factor.

A visual-tactile field classification of the soils encountered during drilling was carried out in accordance with the NZGS '*Guideline for the Field Description of Soil and Rock*' (2005).

Dynamic Cone (Scala) Penetrometer testing was carried out from the base of each augerhole until refusal was reached. Refusal is defined as five consecutive blow counts of 10 or greater per 50mm penetration or a blow count of 20 for 50mm penetration. Test results are provided in Appendix B.

4.1 Ground Model

Subsurface conditions have been interpolated between the test locations and localised variations between and away from the test locations will exist.

In general, the soils encountered comprised topsoil/fill underlain by weathered Waipapa Group soils. An outline of the soil conditions and investigation results is given below and summarised in Table 1, and detailed descriptions of the soils are given on the attached logs (Appendix B).

- **Topsoil.** Topsoil was encountered at each test location to a maximum depth of 0.2m below present ground level (bpgl).
- **Fill.** Non-engineered fill was encountered to depths of 0.8m and 0.4m in AH01 and AH02 respectively. This material is unsuitable for the support of permanent structures (i.e. building foundations, floor slabs, pavements etc.).

The depth, lateral extent, and composition of the fill material will vary across the site.

- **Waipapa Group.** Weathered Waipapa Group soils were encountered underlying the topsoil/fill to the termination depths of the augerholes. The Waipapa Group soils comprised stiff to hard clayey silts and silty clays with lesser amounts of fine sand. Vane shear strengths ranged from 58kPa to greater than 200kPa where the soil strength was in excess of the shear vane dial capacity or was 'UTP' – Unable to Penetrate into the soil.
-

- **Scala Penetrometer Testing.** Scala Penetrometer testing was carried out from the base of each augerhole. Refusal, inferred to be contact with the transition zone into Waipapa Group sandstone, was gradual and encountered at depths of 7.4m and 7.0m bpgl in AH01 and AH02 respectively. The upper surface of the sandstone is most likely several metres below the refusal depth encountered above.
- **Groundwater.** Groundwater was not encountered on the day of drilling.

Groundwater measurements taken on the day of drilling are not always an accurate portrayal of the actual long-term groundwater table. Tactile descriptions of a 'wet' soil is shown on the log of AH02 at 3.3m depth bpgl. We infer that observation to better represent the 'actual' groundwater level and is shown in brackets in Table 1.

Table 1 – Summary of Ground Conditions

Test ID	Termination Depth	Depth of Topsoil/Fill	Vane Shear Strength Range (kPa)	Scala Penetrometer Termination	Groundwater Depth
All depths measured in (m) below present ground level. (Rounded to 1 DP)					
AH01	5.0	0.8	89 – 186	7.4	NE
AH02	5.0	0.4	58 – 200+	7.0	NE (3.3)

NE = Not Encountered

NT = Not Tested

5.0 Expansive Soils

One soil sample (SS01) was retrieved from near-surface strata and tested by a third-party laboratory to determine soil expansivity characteristics in accordance with AS 1289.7.1.1. Laboratory test results are presented in Appendix C.

The laboratory test results indicate the soils lie in 'Expansive Soil Class S – Slightly Expansive' with reference to B1/AS1.

6.0 Seismic Design Parameters

The site is considered a Class C – 'Shallow Soil Site' as defined by NZS 1170.5:2004.

The Peak Ground Acceleration (PGA) value for a structure of Importance Level 2, adopted for stability analysis of the site is 0.19g (ULS) with an effective earthquake magnitude of 6.5.

6.1 Liquefaction Vulnerability

Typically, the two principal factors which can result in liquefaction occurring under seismic conditions are the presence of unconsolidated/loose sands/sandy silts, and groundwater. The Waipapa Group soils are medium dense and cohesive in nature. These soils are not conducive to significant liquefaction (and consequently lateral spread) under any design-level seismic event.

7.0 Slope Stability

Our qualitative assessment considered the following items:

- The ground surface descends to the north at inclinations in the order of 15°-20° with inclinations generally less than 5° within the proposed building platforms.
- Stiff to hard Waipapa Group soils were encountered within our augerholes.
- Groundwater was not encountered within the hand augerholes.
- Minor erosion has been observed at the northern section of the open stormwater channel.
- The lack of downslope rotation or trunk distortion observed in nearby vegetation suggests minimal soil creep is occurring.
- At the time of our investigation no visual evidence of major, deep-seated instability was identified.

Soil creep typically occurs in slopes steeper than approximately 14°. Soil creep is the slow downslope movement of upper soil horizons under the influence of gravity. This process is usually confined to the uppermost 1.5m of soil and generally in the order of millimetres per year. Soil creep is exacerbated by slope length, slope angle, inundation, groundwater fluctuations, soil expansivity, vegetation, and various surcharge loads.

Quantitative Assessment

To quantitatively check the overall stability of the slope within the indicative building platform, stability analyses have been undertaken through cross section A-A' as indicated on the Site Plan, Drawing No. NL240029/2. A surcharge of 15kPa has been adopted to represent the load from a single-storey dwelling.

The RocScience Inc. SLIDE2 software was used for stability analyses. Stability of theoretical translational surfaces was assessed using the Morgenstern-Price method and the cuckoo search function.

Stability analyses have been undertaken for the measured groundwater, extreme (worst credible) groundwater, and seismic conditions. The measured groundwater condition has been adopted for the seismic condition. Peak Ground Acceleration (PGA) values for the region have been determined as per Section 6.0 of this report.

Lower-bound effective stress parameters used for our analyses are summarised in Table 2. These have been developed from the soil description, in-situ strength testing, limited back analysis, and our experience with these soil types in both the immediate area and the wider region.

Table 2 – Effective Stress Parameters

Soil Type	Estimated Unit Weight γ (kN/m ³)	Effective Cohesion on the Failure Plane c' (kPa)	Effective Angle of Internal Friction ϕ' (°)
Non-Engineered Fill	18	2	28
Weathered Waipapa Group Soils	18	4	28
Hard/Dense Waipapa Group Rock	20	8	34

The ratio of resisting forces to disturbing forces is presented as a 'Factor of Safety' (FOS) against slope instability occurring. A FOS of 1 indicates a slope near or at equilibrium.

Section 2.6.8 of 'The Auckland Code of Practice for Land Development and Subdivision', Version 2.0, dated May 2023 lists the minimum factors of safety acceptable to Council. These are provided in the 'Required' column in Table 3 alongside the calculated FOS results.

Table 3 – Stability Analysis Results

Section	Modelled Conditions	Global Factor of Safety		Compliant
		Required	Calculated	
A-A'	Measured Groundwater	1.5	1.8	Yes
	Extreme (Worst Credible) Groundwater	1.3	1.6	Yes
	Seismic Loading	1.0	1.0	Yes

Stability Conclusions

The global minimum FOS results in Table 3 are higher than the Council requirements for all conditions. We therefore consider the indicative building platform to be suitable for development from a deep seated 'global' perspective.

8.0 Settlement

Significant thicknesses of organic or otherwise compressible soils were not encountered during our investigation. Provided the recommendations of this report are adopted in design and construction we consider any potential total or differential settlement as a result of the proposed developments to be within typical tolerable limits.

9.0 Geotechnical Discussion

We consider the proposed building platform to be geotechnically suited to development provided the recommendations given in this report are observed.

Slopes vary across the property and are steeper in areas outside the currently indicated building platform. Should the proposed building platform change, S&RC should be consulted for advice as stability should be assessed.

The building platform shown on the Site Plan is indicative only and further geotechnical investigation is required to support a Building Consent application for any specific development.

10.0 Cuts and Fills

No earthworks are currently proposed. Any proposal to create cuts or fills greater than 600mm in height, or any proposal to create a batter in lieu of a formally retained cut, should be the subject of specific design advice.

All fills, regardless of depth, must be placed in accordance with NZS4431:2022 with respect to subgrade preparation and standard of compaction.

11.0 Retaining Structures

We recommend retaining systems be Engineer-designed and consider both the local and global stability of the site, and any surcharge applicable to the wall. Particular attention should be paid to the influence of sloping ground above and below, any retaining wall.

Preliminary geotechnical retaining wall design parameters are provided in Table 4, however these should be confirmed or modified as appropriate following specific investigation should any wall be proposed any significant distance from the currently indicated building platform.

Table 4 – Retaining Wall Design Parameters

Stratum	Bulk Density (kN/m ³)	Effective Cohesion c' (kPa)	Internal Friction Angle (°)	C _u for Broms (kPa)
Non-Engineered Fill	18	0	26	-
Stiff Natural Ground / Engineered Fill	18	0	30	70

Soil pressures for the design of 'stand-alone' timber pole retaining walls should be determined for active pressure conditions (K_a). Soil pressures for the design of rigid retaining walls or those that are integrated into any building structure should be determined for 'at-rest' pressure conditions (K_0).

No passive resistance should be inferred until the horizontal buttress of stiff natural soil at the downslope side of the retaining pole is at least 6D in width, where 'D' is the diameter of the bored hole.

Sliding resistance for a gravity wall may be calculated using a wall/ground (no plastic membrane) friction angle of 20° and the bulk density provided in Table 4.

Factors of safety and surcharge loadings appropriate to the conditions should be in accordance with '*Limit State Design of Retaining Walls and Foundations for Geotechnical and Structural Engineers*' SESOC Seminar Series 2005 and/or '*Module 6: Earthquake resistant retaining wall design*' prepared by MBIE dated November 2021 as applicable.

12.0 Preliminary Foundation Design Recommendations

These recommendations will be confirmed or modified as appropriate by S&RC as part of lot and development-specific investigations prior to application for Building Consent.

At this preliminary stage, we consider shallow foundations likely to be suitable for the support of NZS 3604:2011 compliant, light residential structures of maximum two storeys high. Design should accommodate the expansive soil classification of 'Class S' as per Section 5.0 of this report.

Pile foundations will be required where structural or civil design calls for:

- Foundation bearing capacity requirements are greater than that available for shallow foundations
- Significant depths of non-engineered fill or other unsuitable material remains in-situ
- Bridging of services is required

Embedment depths and geotechnical design parameters for shallow and/or pile foundations should be determined during development-specific investigation.

13.0 Pavements

All topsoil, non-engineered fill, vegetation, organic or otherwise unsuitable material should be removed from under pavement areas prior to construction.

For preliminary design a CBR value of 3% or a modulus of subgrade reaction of 25kPa/mm are considered appropriate for flexible and rigid pavements respectively. These values should be confirmed by specific testing by S&RC following preparation of the subgrade.

Any concrete pavement should be underlain by a basecourse of clean, free-draining granular fill as specified by the designer and should be subjected to compaction by a device of appropriate weight and energy.

Any subgrade should be protected from desiccation, rain damage, and plant-trafficking immediately upon excavating or filling to grade following inspection.

14.0 Stormwater

Concentrated stormwater flows must not be allowed to run onto or over slopes or saturate the ground as this could adversely affect slope stability or foundation conditions. Flows from all impermeable areas must be collected and carried in sealed pipes to a disposal point approved by Council.

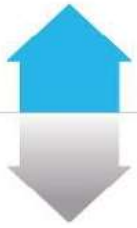
15.0 Underground Services

Underground services, public or private, mapped or unmapped, of any type (gas, pipelines, fibre, electricity etc) could be present. A thorough service-search should be carried out prior to commencement of excavations.

16.0 Specific Geotechnical Investigation

Development specific geotechnical investigation is recommended prior to application for Building Consent. The purpose of that investigation is to ensure any risk of instability or other geotechnical constraints (specific to the development proposal) are suitably mitigated and to confirm or modify the preliminary foundation guidance provided in this report with provision of geotechnical foundation design parameters.

End of Report Text – Appendices Follow



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Appendix A

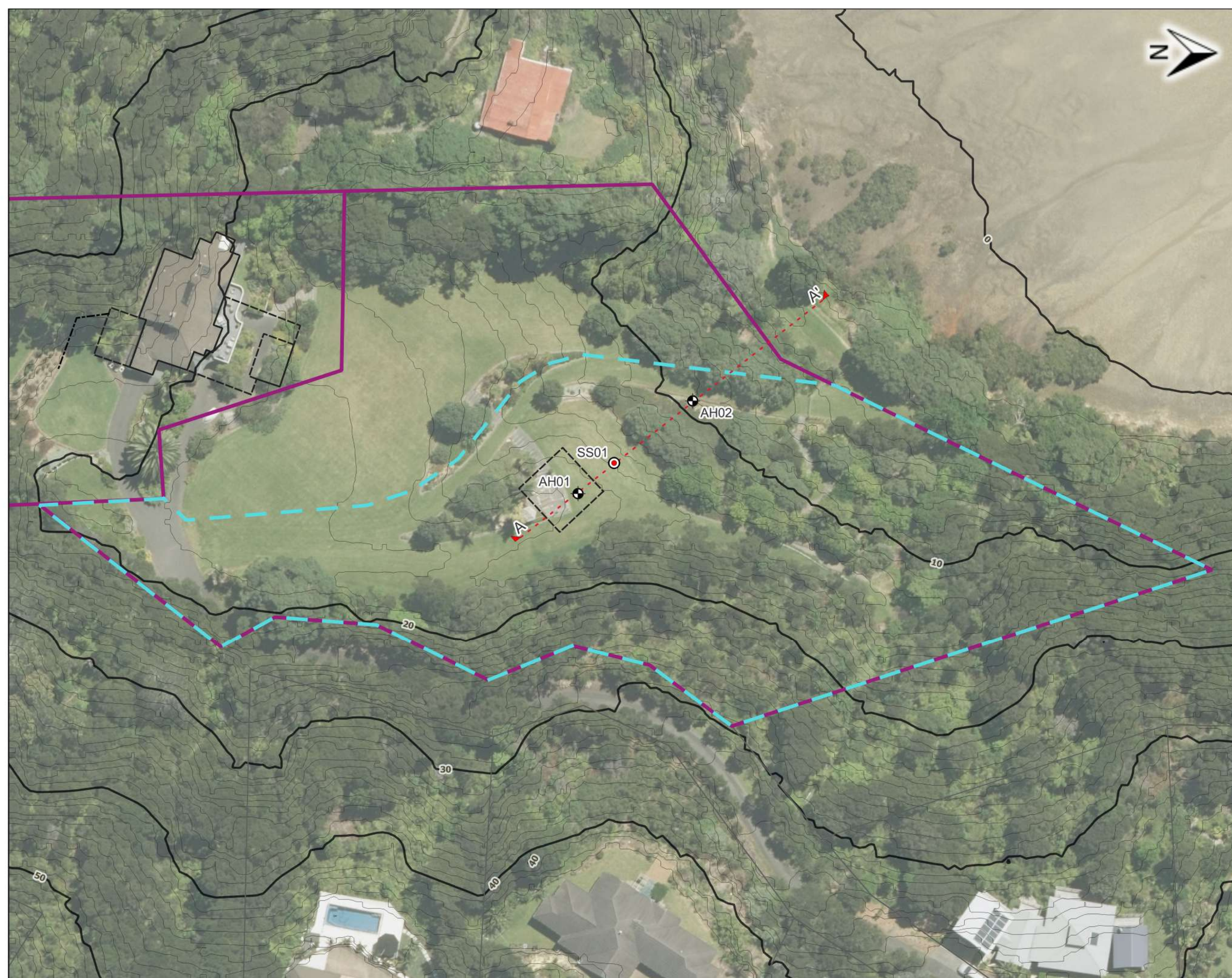
Drawings

Geotechnical

Environmental

Stormwater

Hydrogeology



- NOTES:
1. Locations of features approximate only.
 2. Buried service locations to be verified on site.
 3. Original sheet size A3.
 4. Boundary data obtained from Council GIS.

Key:

- Existing Boundary
- Proposed Boundary
- Existing
- Proposed
- ▲ S&RC Cross Section Locations May 2024
- S&RC Soil Expansivity Sample Locations May 2024
- ⊕ S&RC Hand Augerhole Locations May 2024

AMENDMENTS		
Rev	Date	Description

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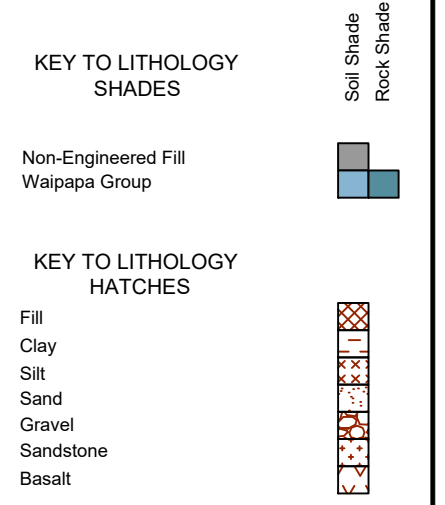
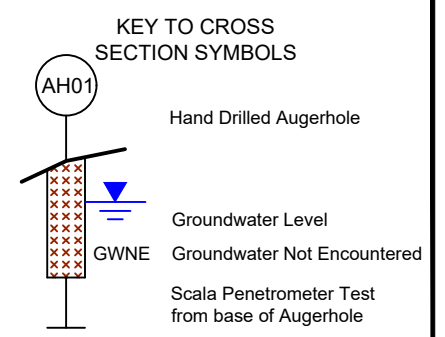
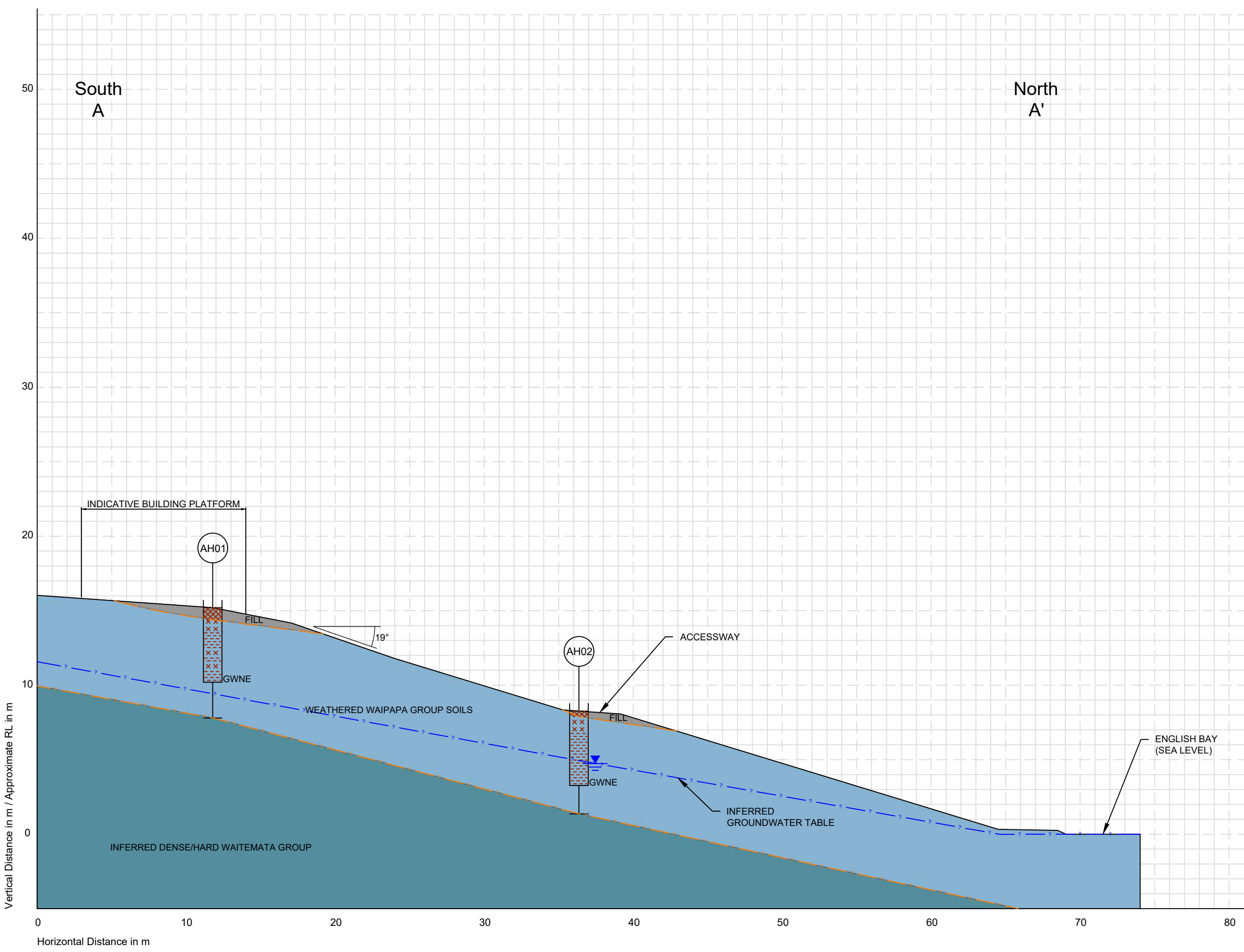
289 Lincoln Road, Waitakere
PO Box 21-424 Henderson, 0650
Ph 09 835 1740 Fax 09 835 1847
www.soilandrock.co.nz

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27 Point Veronica Drive
Opua

Site Plan

Dwg No.	NL240029/2		
Scale:	1:600	Drawn By:	H. Heym
Date:	17/06/2024	Revision:	A
Filename:	O:\Whangarei\NL24-10000 - 0099\NL240029\GIS\NL240029 - Site Plan - Jun2024.gpr		



- NOTES:**
1. Soil & Rock Consultants cross sections surveyed by tape and clinometer.
 2. Soil descriptions shown approximate only, refer to borelogs for details.
 3. Extrapolation of ground conditions away from test locations has been made but cannot be guaranteed.
 4. Groundwater measurements were made 08 May 2024
 5. Locations of features approximate only.

AMENDMENTS		
DATE	REV	DESCRIPTION

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Check all dimensions and levels on site before commencing construction. This drawing and design remains the property of Geotechnical Engineering Ltd. and may not be reproduced without the written permission of Geotechnical Engineering Ltd.

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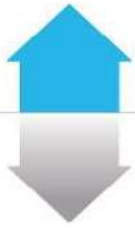
**27 POINT VERONICA DRIVE
OPUA**

CROSS SECTION A-A'

NL240029/2A

DRAWN: H. Heym	DATE: 21-May-2024
SCALES: 1: 250 AT A3	CHECKED: REV.
DESIGNED:	

Filename: nl240029 - section.dwg



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Appendix B

Investigation Logs

Geotechnical

Environmental

Stormwater

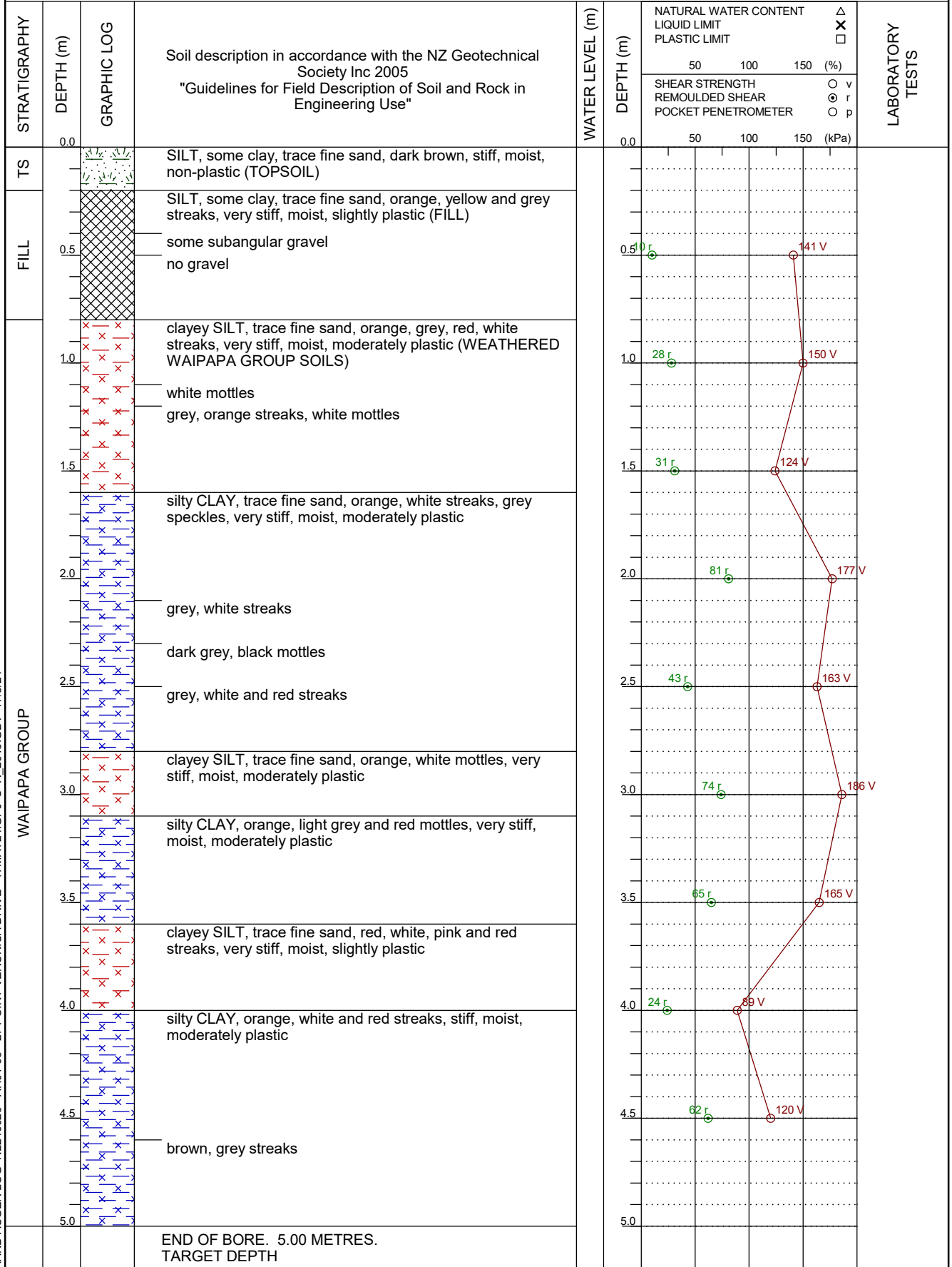
Hydrogeology



CLIENT: John and Susan Jennings
 PROJECT: Geotechnical Investigation, 27 Point Veronica Drive, Opua

Auger Hole No: AH01
 Sheet 1 of 1

Drill Type: 50mmØ Hand Auger Project No: NL240029 Logged By: HHe
 Drilled By: HHe Coordinates: Shear Vane No - Calibration Date: GEO3565 - 5/07/2023
 Date Started: 8/5/24 Ground Elevation: Surface Conditions: Slightly Sloping, Grass
 Date Finished: 8/5/24 Water Level: Groundwater Not Encountered



HAND AUGER LOG NL240029 - AH01-03 - 27 POINT VERONICA DRIVE - 17MAY24.GPJ S+R 2013.GDT 17/5/24

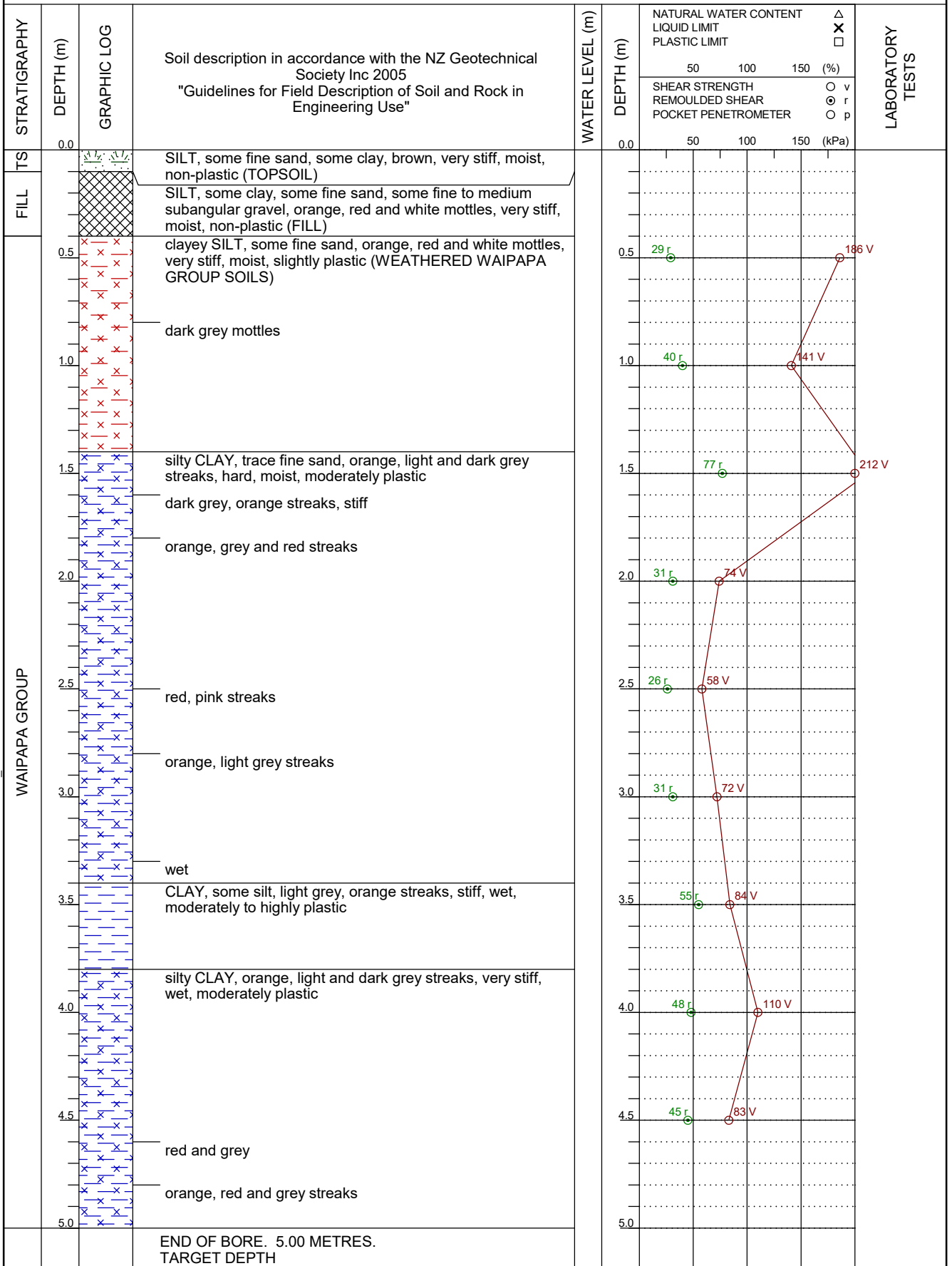


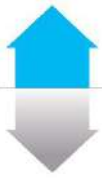
CLIENT: John and Susan Jennings
 PROJECT: Geotechnical Investigation, 27 Point Veronica Drive, Opua

Auger Hole No: AH02
 Sheet 1 of 1

Drill Type: 50mmØ Hand Auger Project No: NL240029 Logged By: HHe
 Drilled By: HHe Coordinates: Shear Vane No - Calibration Date: GEO3565 - 5/07/2023
 Date Started: 8/5/24 Ground Elevation: Surface Conditions: Slightly Sloping, Grass
 Date Finished: 8/5/24 Water Level: Groundwater Not Encountered

HAND AUGER LOG NL240029 - AH01-03 - 27 POINT VERONICA DRIVE - 17MAY24.GPJ S+R 2013.GDT 17/5/24





SCALA PENETROMETER SHEET - TABLE OF BLOWS PER INCREMENT

JOB NO: NL240029

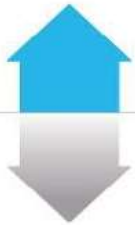
TESTED BY: HHE

JOB NAME: 27 Point Veronica, Opuia

DATE: 8/05/2024

Depth of Penetration [mm]	AH01	Con't	AH02										
DEPTH START [m] →	5.00	7.00	5.10										
50 mm	0.5	10	0.5										
100	0.5	9	0.5										
150	0.5	8	1										
200	0.5	10	2										
250	1	11	2										
300	1	11	2										
350	1.5	11	2										
400	1.5	12	2										
450	2		3										
500	2		3										
550	3		3										
600	3		3										
650	3		4										
700	3		4										
750	3		5										
800	4		5										
850	6		5										
900	6		7										
950	5		8										
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1550	8		9										
1600	7		9										
1650	8		9										
1700	9		10										
1750	8		11										
1800	9		11										
1850	10		12										
1900	10		12										
1950	8												
2000	9												
DEPTH END [m] →		7.40	7.00										

Testing Method: NZS 4402:1988 Test 6.5.2 Dynamic Cone Penetrometer



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Appendix C

Laboratory Test Results

Geotechnical

Environmental

Stormwater

Hydrogeology

TEST REPORT

Lab Job No: 8502-068
Your ref.: NL24002
Date of Issue: 22/05/2024
Date of Re-Issue: -
Page: 1 of 3

Test Report No.
WRE8502-068-R001

PROJECT: 27 Pt Veronica Drive - Soil Classification

CLIENT: Soil and Rock Consulting
158 Bank Street, Regent, Whangarei, 0112

ATTENTION: Hans Heym

TEST METHODS: Determination of the Shrinkage Index of a Soil
AS 1289.7.1.1 - 2003
Determination of the Linear Shrinkage
NZS 4402:1986 Test 2.6

SAMPLING METHOD: Sampled by client – Sampling not accredited

TEST RESULTS: As per attached sheets



A. Peters

Laboratory Technician



D. Krissansen

Approved Signatory

All results obtained in accordance with the test methods listed above.

Test results relate only to the sample tested.

Any material descriptions included in this report are excluded from IANZ endorsement.



All tests reported herein have been performed in accordance with the laboratory's scope of accreditation

-CPT - Aggregates Testing - Soil Testing -

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DETERMINATION OF THE SHRINKAGE INDEX OF A SOIL
AS 1289.7.1.1 - 2003

Lab Job No:	8502-068	Sample No:	WRE8502-068-S001
Client:	Soil and Rock Consulting	Tested By:	N.K
Location:	27 Pt Veronica Drive 0.3 - 0.7m	Date:	13/05/2024
Date Received:	10/05/2024	Checked By:	AP
Report No:	WRE8502-068-R001	Date:	13/05/2024
REF:	NL24002	Page:	2 of 3
Sampled by:	Client	Sampling Method:	Sampled by client - Sampling not accredited

Test Details:

Test performed on:	Undisturbed sample - from core
Sample condition on receipt:	At natural water content

Description of Sample: Clayey SILT, traces of fine sands and rootlets, yellow brown, mottled orange, brown and grey, moist

Moisture Content (%): as received	Swell Test Moisture Content @ test completion (%)	Total Swell Strain (%)	Total Shrinkage Strain (%)	Shrink - Swell Index (%)
29.8	37.4	1.2	1.5	1.2

Sample condition during shrinkage:
Somr transverse cracking and traces of rootlets. 0% Inert Particles



DETERMINATION OF THE LINEAR SHRINKAGE

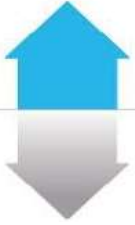
NZS 4402:1986 Test 2.6

Lab Job No:	8502-068	Sample No:	WRE8502-068-S001
Client:	Soil and Rock Consulting	Tested By:	N.K
Location:	27 Pt Veronica Drive 0.3 - 0.7m	Date:	14/05/2024
Date Received:	10/05/2024	Checked By:	AP
Report No:	WRE8502-068-R001	Date:	21/05/2024
REF:	NL24002	Page:	3 of 3
Test performed on:	Fraction passing 425mm sieve		
History:	As received		

Description of Sample: Clayey SILT, traces of fine sands and rootlets, yellow brown mottled orange, brown and grey, moist

Linear shrinkage	13
------------------	----





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Appendix D

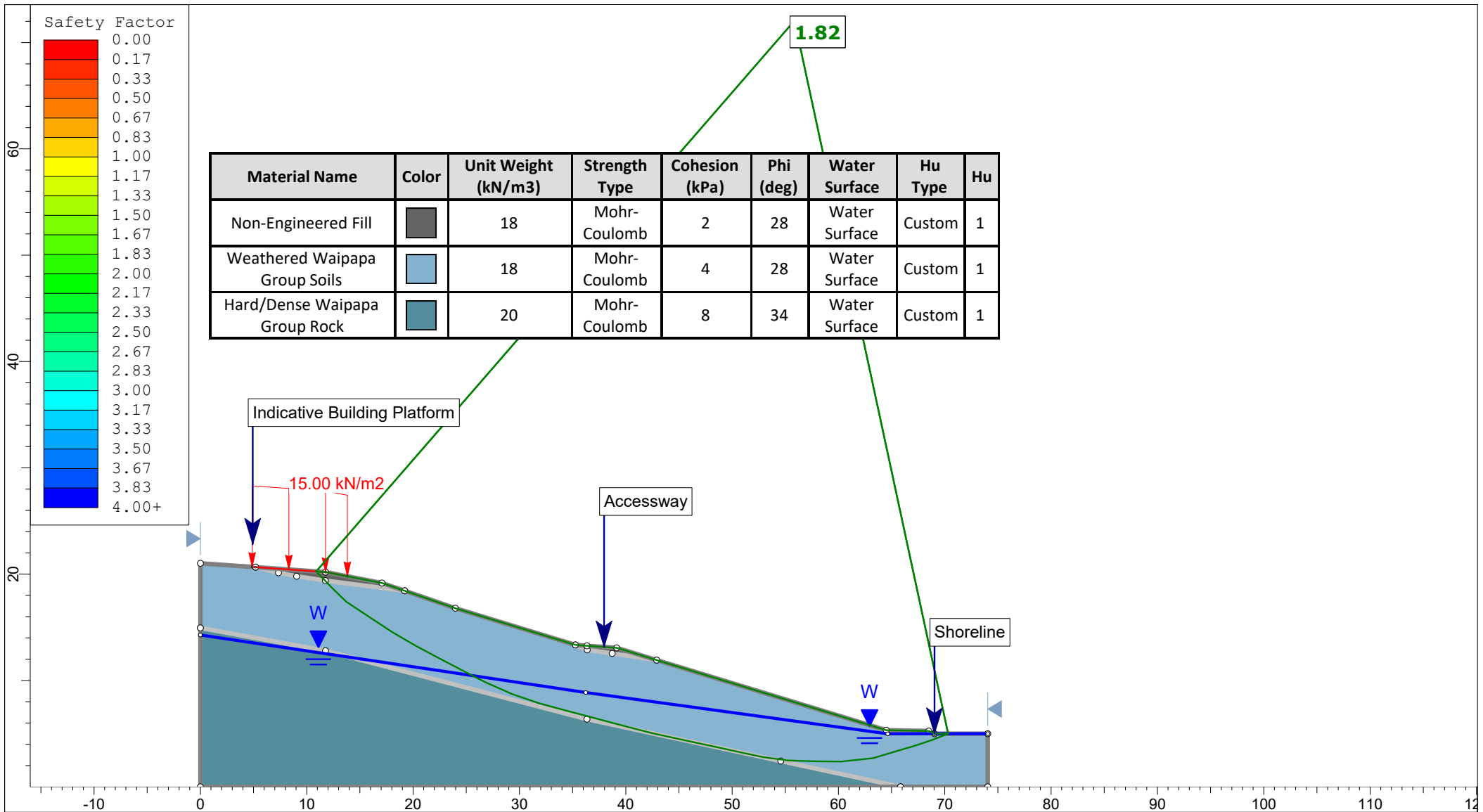
Stability Analysis Results


Geotechnical

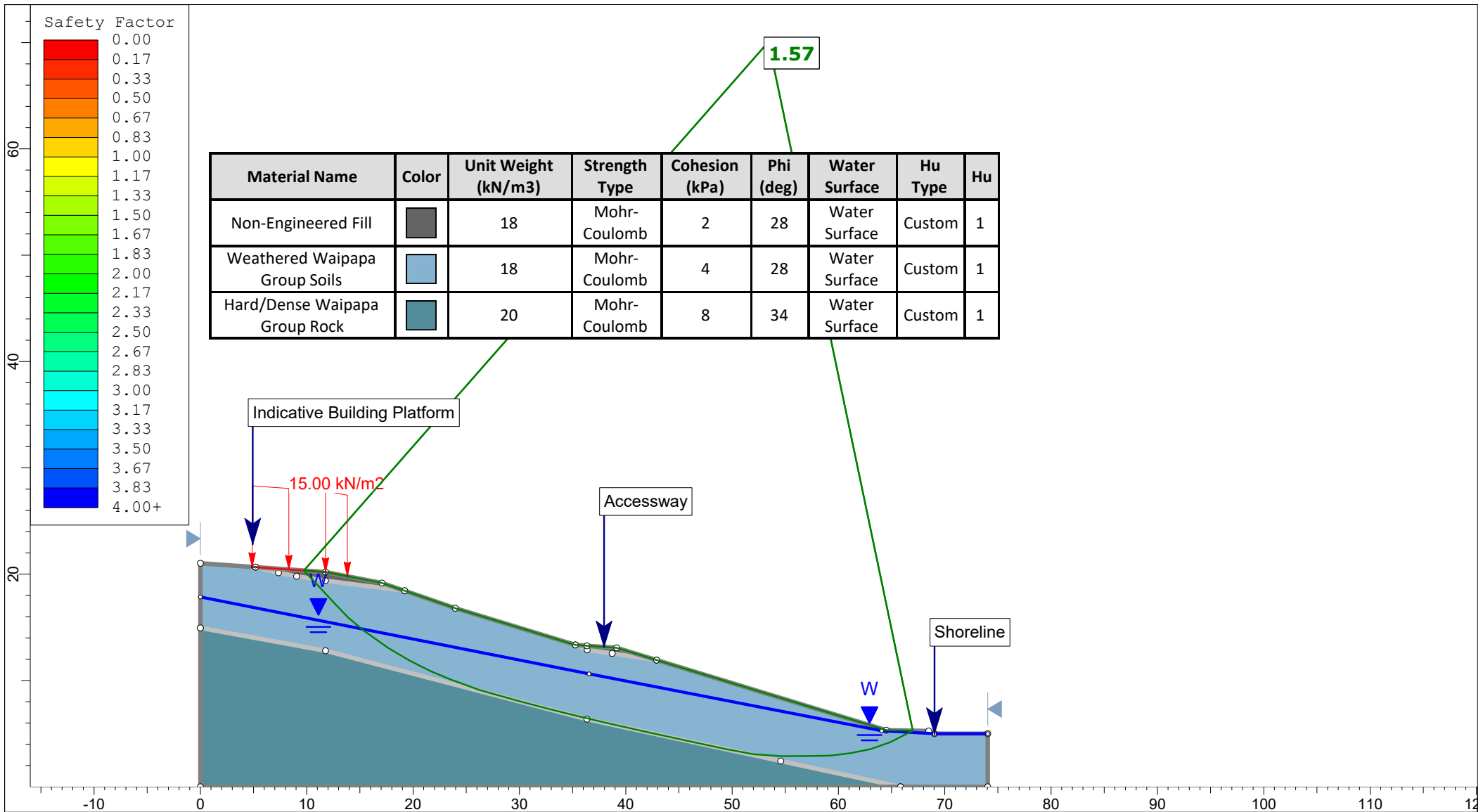
Environmental


Stormwater

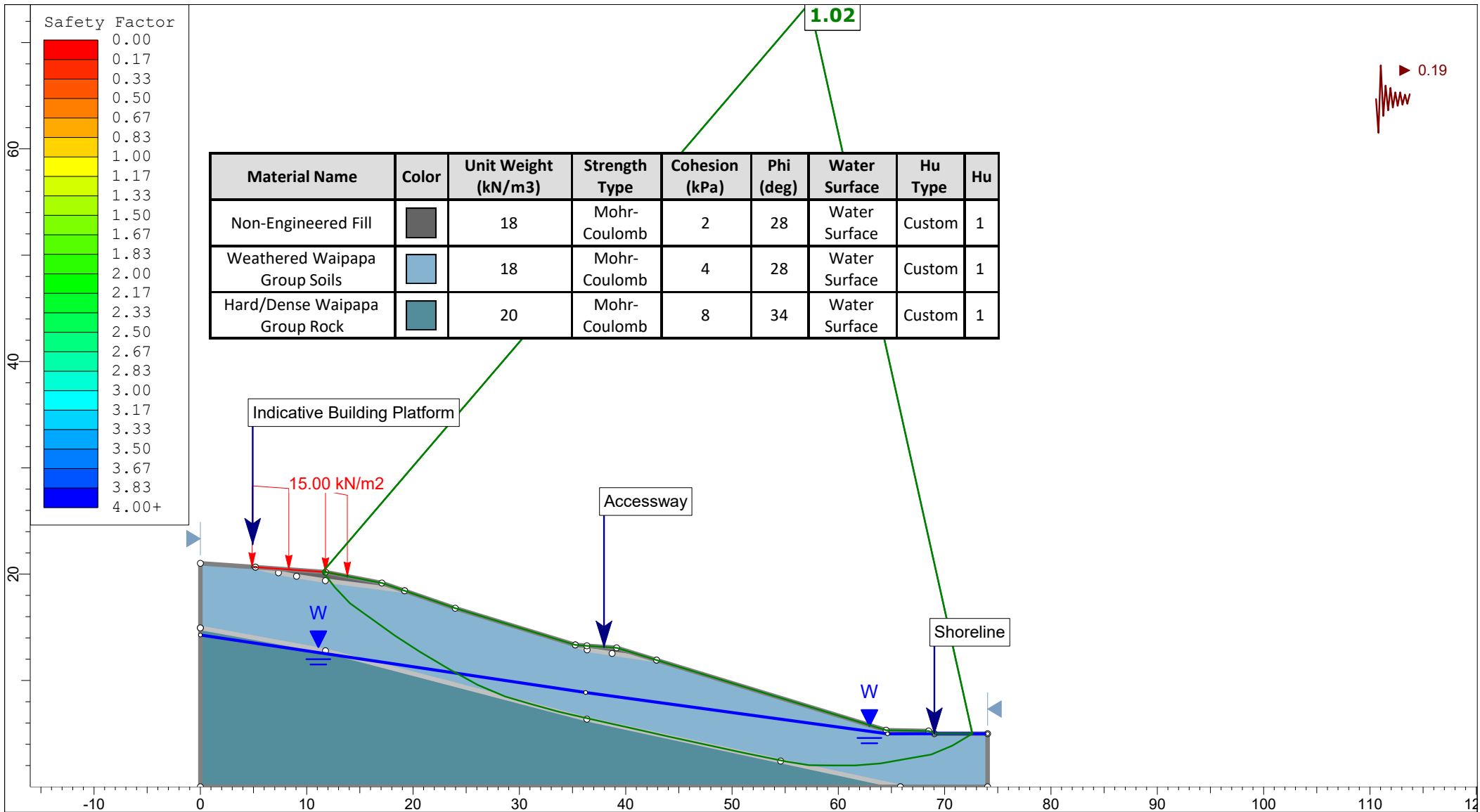
Hydrogeology






 <p>Soil & Rock Consultants Your responsive & cost-effective engineers</p>	Project	27 Point Veronica Drive, Opua	
	Analysis	NL240029 - A-A'	Scenario Measured Groundwater Condition
	Drawn By	H. Heym	Company Soil & Rock Consultants
	Date	May 2024	Scale 1:500



 <p>Soil & Rock Consultants Your responsive & cost-effective engineers</p>	Project	27 Point Veronica Drive, Opua		
	Analysis	NL240029 - A-A'	Scenario	Extreme (Worst Credible) Groundwater Condition
	Drawn By	H. Heym	Company	Soil & Rock Consultants
	Date	May 2024	Scale	1:500

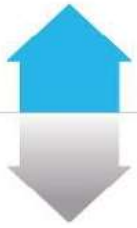


Material Name	Color	Unit Weight (kN/m ³)	Strength Type	Cohesion (kPa)	Phi (deg)	Water Surface	Hu Type	Hu
Non-Engineered Fill		18	Mohr-Coulomb	2	28	Water Surface	Custom	1
Weathered Waipapa Group Soils		18	Mohr-Coulomb	4	28	Water Surface	Custom	1
Hard/Dense Waipapa Group Rock		20	Mohr-Coulomb	8	34	Water Surface	Custom	1



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Project	27 Point Veronica Drive, Opua	
Analysis	NL240029 - A-A'	Scenario Seismic Loading
Drawn By	H. Heym	Company Soil & Rock Consultants
Date	May 2024	Scale 1:500



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Appendix E

Draft Sudivision Scheme Plan

Geotechnical

Environmental

Stormwater

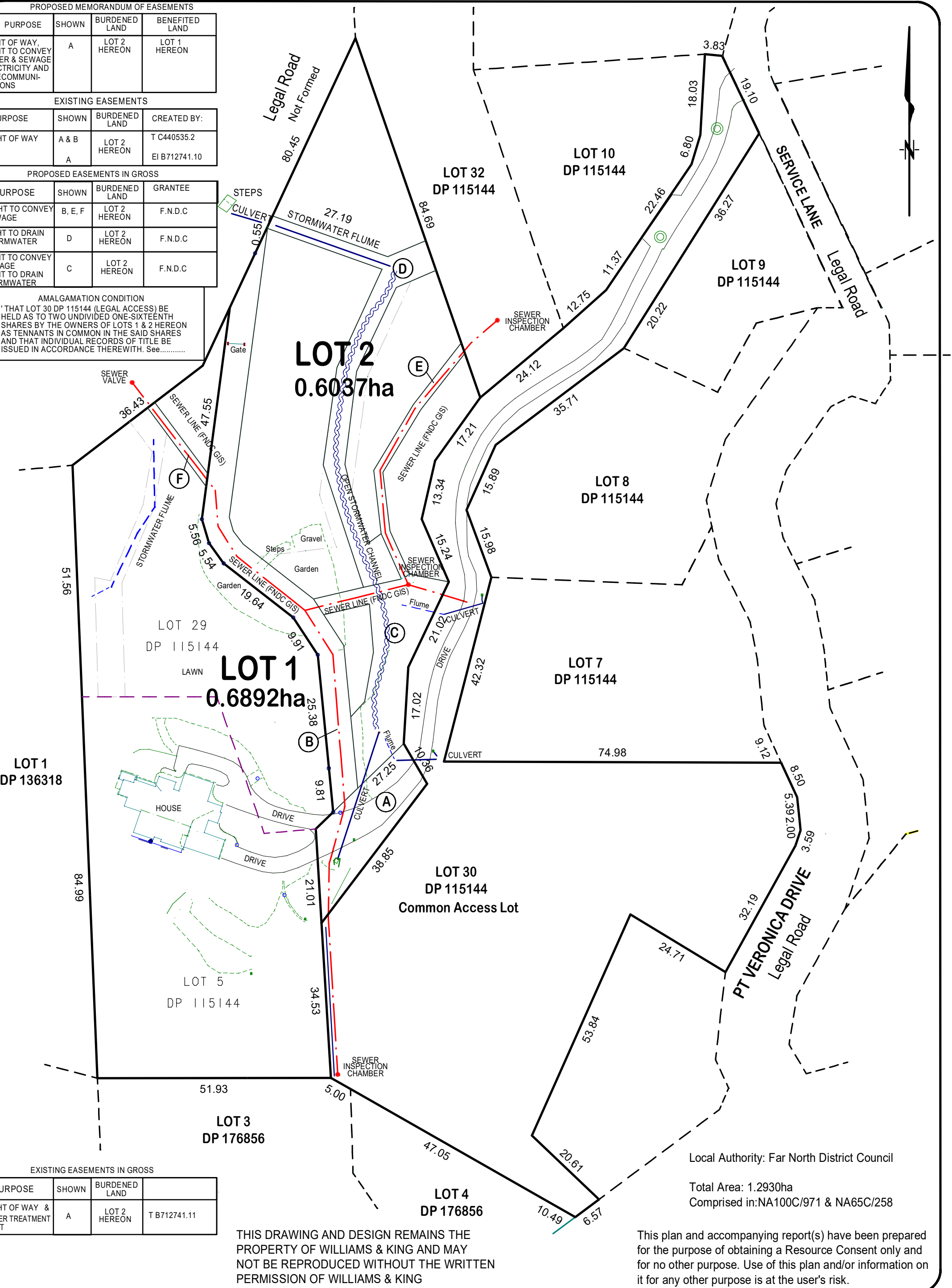
Hydrogeology

PROPOSED MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY, RIGHT TO CONVEY WATER & SEWAGE ELECTRICITY AND TELECOMMUNICATIONS	A	LOT 2 HEREON	LOT 1 HEREON

EXISTING EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	CREATED BY:
RIGHT OF WAY	A & B	LOT 2 HEREON	T C440535.2
	A	LOT 2 HEREON	EI B712741.10

PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	GRANTEE
RIGHT TO CONVEY SEWAGE	B, E, F	LOT 2 HEREON	F.N.D.C
RIGHT TO DRAIN STORMWATER	D	LOT 2 HEREON	F.N.D.C
RIGHT TO CONVEY SEWAGE RIGHT TO DRAIN STORMWATER	C	LOT 2 HEREON	F.N.D.C

AMALGAMATION CONDITION
 THAT LOT 30 DP 115144 (LEGAL ACCESS) BE HELD AS TO TWO UNDIVIDED ONE-SIXTEENTH SHARES BY THE OWNERS OF LOTS 1 & 2 HEREON AS TENANTS IN COMMON IN THE SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE BE ISSUED IN ACCORDANCE THEREWITH. See.....



EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	
RIGHT OF WAY & SEWER TREATMENT RIGHT	A	LOT 2 HEREON	T B712741.11

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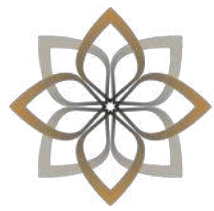
Local Authority: Far North District Council
 Total Area: 1.2930ha
 Comprised in: NA100C/971 & NA65C/258

WILLIAMS AND KING
 Registered Land Surveyors, Planners & Land Development Consultants
 Ph: (09) 407 6030 27 Hobson Ave
 Email: kerikeri@saps.co.nz PO Box 937 Kerikeri

**Proposed Subdivision of
 Lots 5 & 29 DP 115144
 (By way of Boundary Adjustment)**

Name	Date	ORIGINAL SCALE	SHEET SIZE
Survey		1:750	A3
Design			
Drawn	W & K	JAN 2024	
Rev			

24230



HAWTHORN
Landscape Architects

Landscape and Visual Effects Assessment

Proposed Boundary Adjustment Subdivision
27 Point Veronica Drive, Opuia



Prepared For: J & S Jennings

Prepared By: Christine Hawthorn BLA (Hons)

20th February 2025

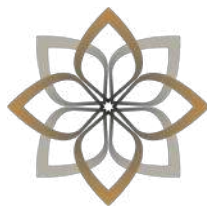


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3.2	Application Site	4
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APPENDICES:

Supplement A: Landscape and Visual Effects Assessment Methodology

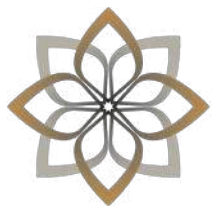
Appendix 1 – Location & Photo Location Map

Appendix 2 – Scheme Plan

Appendix 3 – On Site Photographs

Appendix 4 – Off Site Viewpoints

Appendix 5 – Landscape Plan



1. INTRODUCTION

Hawthorn Landscape Architects Ltd has been engaged by John & Susan Jennings (the applicant) to assist with the preparation of a landscape and visual impact assessment for a proposed boundary adjustment subdivision at 27 Point Veronica Drive, Opuā.

This report will determine the potential impact of the proposed boundary adjustment and the creation of a new building development zone (BDZ) upon the landscape, visual amenity and natural character values of the site, surrounding environment and adjoining properties.

This report provides a full assessment of the landscape and visual effects associated with the proposal, in the context of the existing environment and the relevant statutory planning framework.

In undertaking this assessment, the author has visited the property to understand the nature of the site, its physical and visual relationship to adjacent properties as well as the context, character, visual catchment and viewing audiences from within the wider area.

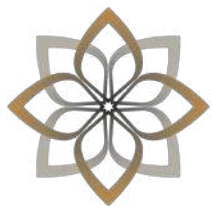
2. METHODOLOGY

The following methodology was used in the preparation of this landscape and visual effects assessment.

- Desktop review of the relevant statutory documents (Regional and District Plan text and mapping);
- Site visits, and filed survey of the local area;
- Identification of the visual catchment and viewing audiences;
- Description of the site and existing landscape character, visual/aesthetic quality and amenity values of the surrounding environment;
- Identification and description of the nature of the proposed development;
- Assessment of anticipated character, landscape and visual effects;
- Ranking of landscape and visual effects;
- Review of the relevant planning documentation and reports;
- Identification of the proposed landscape and visual mitigation approach, options considered and recommendations.

To determine the overall nature and significance of the landscape and visual effects, an understanding of the sensitivity of the landscape and viewing audience has been combined with an assessment of the magnitude of the change resulting from the proposal in order to determine the overall significance of effects.

An outline of the effects ratings and definitions used in this assessment is provided in **Supplement A**. In summary, the significance of effects identified in this assessment are based on a seven-point scale which includes very low; low; low-moderate; moderate; moderate-high; high and very high ratings.



The ratings of high and very high equate to 'significant' effects when considering Policy 13 (1) (b) and Policy 15(b) of the New Zealand Coastal Policy Statement, where the test is 'to avoid significant adverse effects'.

This assessment has been prepared by a qualified Landscape Architect and in accordance with the NZILA (New Zealand Institute of Landscape Architects) Code of Conduct and with reference to the Quality Planning Guidelines Note¹.

3.0 THE SITE AND ITS LANDSCAPE CONTEXT

3.1 Site Location

The site is situated within the Point Veronica development located between Te Haumi and Opuā. Access to Point Veronica is off State Highway 11 via Broadview Rd, then onto Arabella Rd, and then Point Veronica Drive.

The property is located at 27 Point Veronica Drive via an existing driveway that leads to the existing house on proposed Lot 1. Proposed Lot 2 is located to the northeast of the existing house just before you get to Lot 1. Refer to **Appendix 1 – Location Map**.

3.2 Application Site

The application site is made up of two existing lots, being Lot 5 and Lot 29 DP 115144 as shown on the Scheme Plan in **Appendix 2**.

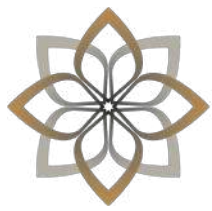
Proposed Lot 1 contains the existing dwelling which is set back towards the rear of the property within mature landscaped grounds. The existing dwelling has a vegetated bush backdrop and is mostly screened from the water view by the foreground trees. This proposed lot will extend towards the northern boundary that abuts the unformed Legal Road adjacent to the water's edge of the Veronica Channel.

The northern boundary of both Lots 1 and 2 are highly vegetated with a mix of native species. Of note are the Pohutukawa trees that line the grassed access driveway that runs along the western edge of proposed Lot 2, these screen the application site from the water and provide a filtered view from the public Opuā – Paihia walking track that is located on the Legal Road. Refer to the On Site Photographs contained in **Appendix 3** and **Figure 1** below.

Proposed Lot 2 is currently vacant with areas of lawn and landscaped gardens. Centrally located is a small patio area with a timber gazebo, and an open lawn space to the north of this. Beyond this to the north and east the contours rise with the hill slopes vegetated in indigenous bush. A portion of this has been identified as being part of a High Natural Character area within the Regional Policy Statement and Proposed Far North District Plan. The proposed building envelope on Lot 2 will not be located within this area.

The vegetated hill slopes to the south of the proposed building envelope provide a vegetated backdrop when viewed from the water. The existing native vegetation and large Pohutukawa trees located to the north of the proposed building site will

¹ <http://qualityplanning.org.nz/index.php/planning-tools/land/landscape>



provide a vegetated foreground and screening from the water and softening from the public walkway.

This site also contains FNDC sewer lines, inspection chamber and storage tank located to the south of the gazebo area within an existing garden area. The application site also has several stormwater overland flow paths across it that direct stormwater from the lots above to the CMA below. Refer to the Scheme Plan in **Appendix 2**.



Figure 1: Aerial view of the application site (proposed Lots 1 and 2)

3.3 Neighbourhood Context & Character

The application site is set within the Point Veronica zone, with the surrounding area zoned Coastal Living. The landscape overlooks the Veronica Channell, which leads to Opuā from the inner Bay of Islands. Further inland to the west and south the Opuā Forest provides a highly vegetated backdrop to the foreground settlement areas.

The area surrounding the site along the western side of the Veronica Channel is densely vegetated with a mature canopy dominated by Manuka/Kanuka, with a Pohutukawa fringe along the waters edge. Houses are scattered along ridgelines, just off the ridges and within the valley floors, as illustrated in **Figure 2** below.

The built settlement pattern within the Point Veronica zone is divided by fingers of vegetation between the lots and house sites. This results in built form being softened, partially screened and well integrated into the landscape. This retains the more natural landscape elements and patterns and coastal landscape character values of the area.

Access to house sites generally follow the ridgelines, with driveways and right of ways extending from this. Most driveways are well integrated into the landscape by the presence of existing vegetation. Elevated views are characteristic of the area, with most building sites having a water view.

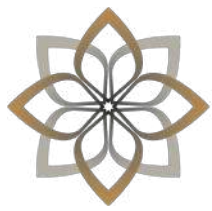


Figure 2: Aerial view of surrounding neighbourhood.

4.0 THE PROPOSAL

4.1 Proposed Development

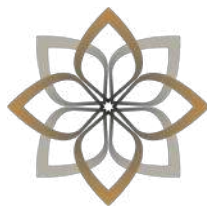
The applicant proposes to subdivide their 1.2930ha site to create a 2-lot subdivision. Proposed Lot 1 will be 0.6892ha and proposed Lot 2 will be 0.6037ha. Refer to the Scheme Plan attached in **Appendix 2 and Figure 3**.

This subdivision proposal is effectively a boundary adjustment between two lots that the applicant owns, being Lot 5 DP 115144, and Lot 29 DP 115144. Each lot will also have a share in Lot 30 DP 115144.

As there is no designated building envelope currently identified on Lot 29 DP 115144 (proposed Lot 2), the proposal will formalise a building site on proposed Lot 2 as per the Geotech report, and plan (**Figure 4**) and shown on the Landscape Plan contained in **Appendix 5**.

The site has existing assets and access that run through and along each site. These are highlighted on the Scheme Plan memorandum of easements and existing and proposed easements. Some are easements in gross in favour of FNDC.

The development will be accessed off the existing right of way driveway at 27 Point Vernonia Drive. A new driveway will branch off this to the proposed building envelope on Lot 2. Access to the proposed house site on Lot 2 will be provided at the time of



detailed design to either come through via Easement A or B and in consideration of under and above ground assets.

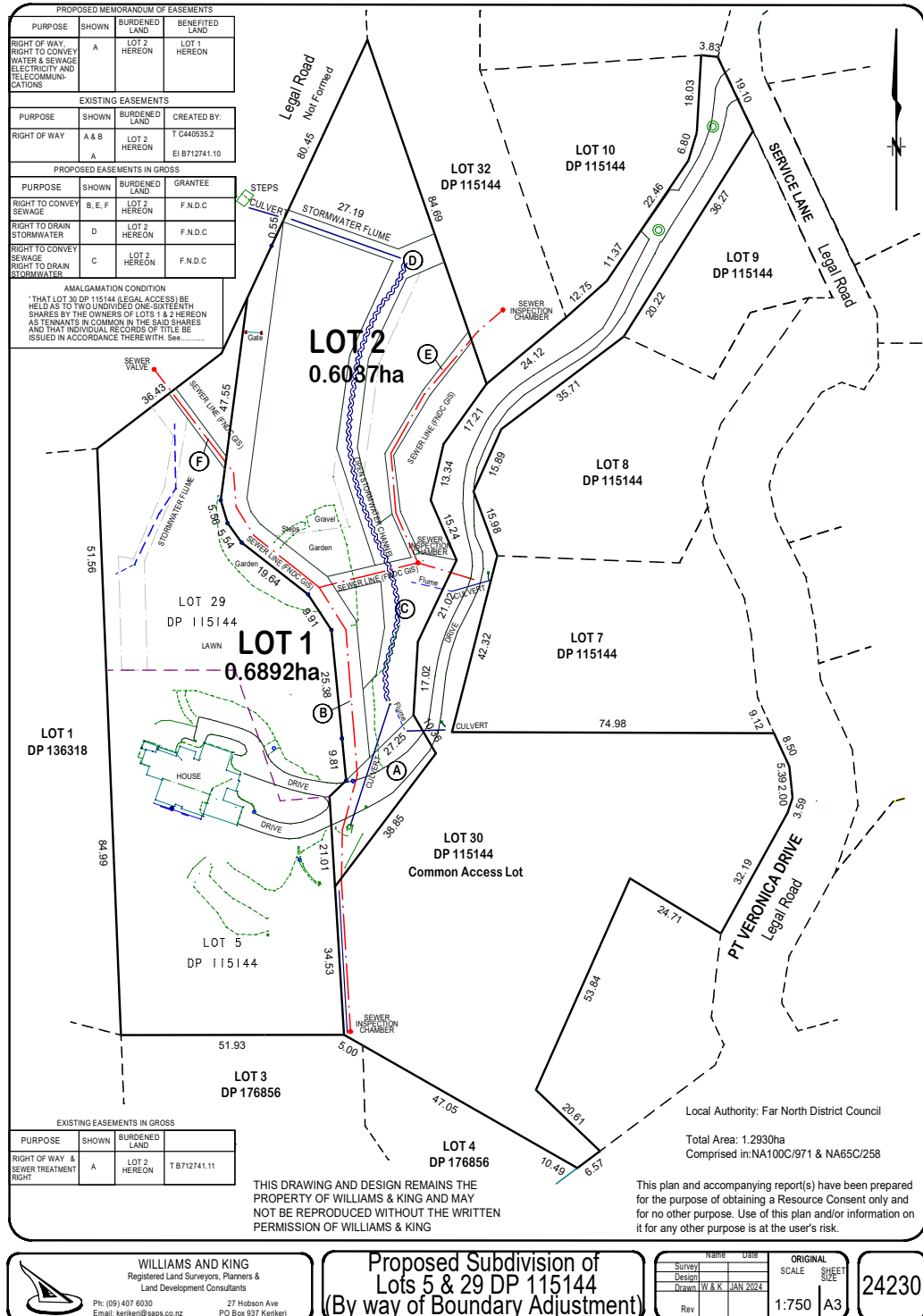
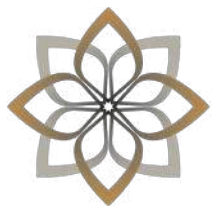


Figure 3: Scheme Plan

Proposed Lot 1 will contain the existing dwelling, vegetated bush backdrop and lawn area with specimen trees leading towards the northern boundary abutting the

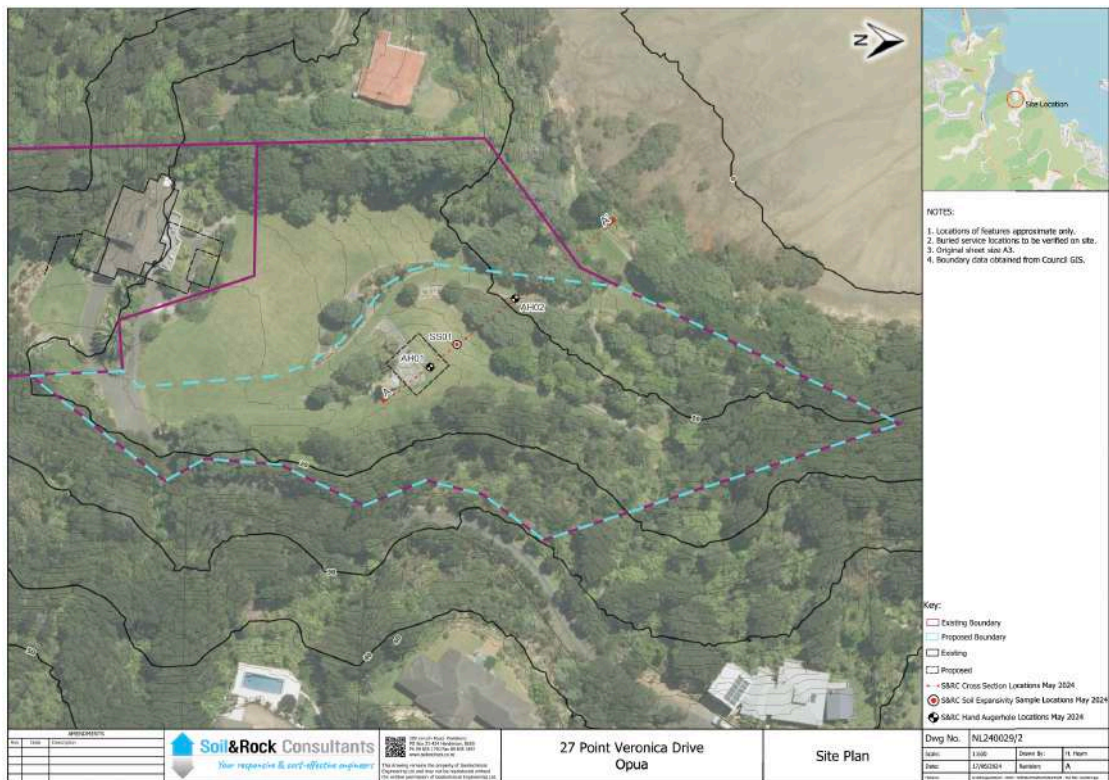


unformed Legal Road, where the Opuia-Pahia walkway is situated. Access to the water is obtained across the Legal Road from the site via a grassed driveway located along the boundary between proposed Lots 1 and 2.

Proposed Lot 2 is located to the east of Lot 1 and takes in a small part of the existing driveway, from which a new driveway to the proposed building site will be formed, as indicatively shown on the Landscape Plan.

The proposed building envelope on Lot 2 will be located within an existing grassed area to the north of the small gazebo. To the north of the building site the contours fall away to the Legal Road, and then the walkway and water's edge. To the northeast the contours rise into the hill slope, and existing bush area that has been recorded as having High Natural Character values.

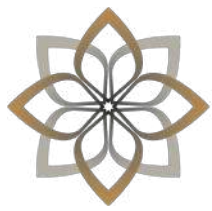
The existing vegetation on the site will be retained to assist with visually integrating any future built form that is located on the proposed Lot 2 building site.



4.2 Landscape Plan

The existing vegetation on proposed Lot 2 and adjoining Lot 1 provide an existing vegetated setting for future built form to be set within.

This assist with partially screening and softening built form and minimising the potential adverse landscape and visual effects of the proposal so that the existing visual amenity and landscape natural character values are not adversely affected.



As such there is no need for any additional landscape mitigation or integration plantings around the building site on Lot 2 if this vegetation is retained. Refer to **Appendix 5 – Landscape Plan**, and **Figure 5** below that illustrates the presence of the foreground and backdrop existing vegetation.



Figure 5: Landscape Plan

4.3 Building Design Guidelines

A set of building design guidelines are proposed to assist with enabling future built development on proposed Lot 2 to be set into the landscape with the least amount of visual intrusion, thus minimising the potential impact upon visual, landscape and natural character values.

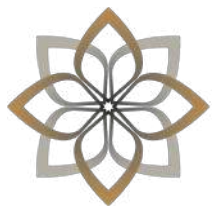
The building design guidelines will control aspects such as building height, colours, reflectivity, design style and form and scale. Refer to Section 7.

5. VISUAL, LANDSCAPE & NATURAL CHARACTER EFFECTS

5.1 Visual Effects

Potential visual effects can be generated through visual changes to the landscape as a result of a development. The significance of effects is measured by the visual sensitivity of the landscape and the response of a particular viewing audience.

Visual sensitivity is influenced by a number of factors including visibility, the nature and extent of the viewing audience, whether the proposal is the focal point or part of a wider view, whether the view is transient or permanent and the degree of contrast



with the surrounding environment. It is also influenced by the visual qualities of the proposal and the ability to integrate any change within the landscape setting.

The degree of adverse visual effects generated by a proposal also depends upon the character of the surrounding landscape (the context), existing levels of development on the application site, the contour of the land, the presence or absence of screening and/or backdrop vegetation, and the characteristics of the future activities facilitated by the application.

This assessment will establish the potential visibility of the application site and future placement of built structures within the BDZ on proposed Lot 2. It will also determine who the potentially effected viewing audience is, the degree of change brought about by the proposed development, and if there will be any potential adverse visual effects associated with this.

The photographs contained in **Appendix 4** Off Site Viewpoints depict representative viewing positions that illustrate the potential view of the application site. The location of the viewpoints are shown in **Appendix 1** – Location Map.

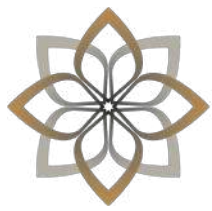
Viewpoint 1

There are not many land-based public viewing positions available of the site due to the coastal nature of the setting and surrounding privately owned properties. Viewpoint 1 affords a glimpse view of the site while driving along Smith Camp Road approximately 400m to the northwest of the site as shown in **Figure 6 and Appendix 4**.



Figure 6: View of site from Smith Camp Road.

The existing dwelling on proposed Lot 1 is obscured from view, located behind the existing trees surrounding the site and on the nearby neighbouring properties.



The proposed building site on Lot 2 is set within a highly vegetated landscape. The location of the building site is identifiable in **Figure 6** by the location of the pink-coloured Toon Tree.

The building site is set within an existing cleared area with a vegetated backdrop, well below the ridgeline. The foreground to the building site is also highly vegetated, predominantly in Pohutukawa trees.

The proposal will result in no existing native vegetation removal and there will be no visible earthworks associated with the proposal. This will result in minimal disturbance to the existing landscape setting. The addition of a future dwelling will be the obvious change to the landscape.

As there is an existing vegetated backdrop any future dwelling will not be viewed on the skyline. The use of recessive building colours will assist with blending future built form into this setting, so that the potential adverse visual effects will be less than minor. This would also be the case for any views obtained from the water to the north of the site, as the same landscape setting and mitigation measures apply.

Other houses are visible on the lots surrounding the site within the Point Vernonia zone.

Viewpoint 2

This viewing position is located on the Paihia-Opua walkway just below the northwestern boundary of the property. The open grassed areas where the building site is proposed on Lot 2 is partially visible through the trunks of the intervening Pohutukawa trees. This is a glimpse view, and only afforded intermittently as a gap in vegetation allows. The existing dwelling on proposed Lot 1 is not visible from the Paihia-Opua walkway.

The presence of the existing vegetation surrounding the building site provides a very effective visual softening and partial screen of future development of any dwelling. With the implementation of the building design guidelines and retention of the existing vegetation on the site the potential adverse visual effects of development upon Lot 2 will be minimised to a less than minor level.

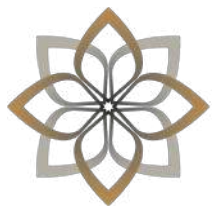
5.2 Landscape Effects

Landscape effects arise from the change in the physical landscape, which can result in changes to the character of a landscape and how this landscape is experienced, and the perceived value given to the landscape.

The potential landscape effects of the development will be generated by either landform or land-cover modification or may be more subtle such as influencing the overall pattern of the landscape.

The future development of a driveway to the proposed building site on Lot 2 will result in a very low level of change to the landscape. The development of a dwelling upon the proposed building site will also result in minimal change, as the earthworks can be kept to a minimum and there will be no existing native vegetation removal.

The presence of a dwelling on this proposed building site will be in character with the existing coastal living settlement pattern found in this area, and will also be in keeping



with the landscape character and patterns of development within the Point Vernonia zone.

The proposal will result in less than minor potential adverse landscape effects.

5.3 Natural Character

The quality a landscape portrays, and its resulting “natural” character is dependent upon the degree of cultural modification, and how well the natural processes are functioning. Landscapes that exhibit the least amount of modification by human activity usually have the highest degree of natural character. The application site has been modified to varying degrees, with the coastal fringe being most intact and exhibiting higher degree of natural character.

Natural character is a term used to describe the naturalness of an environment. The degree or level of natural character within an area depends on:

- The extent to which natural elements, patterns and processes are functioning,
- The nature and extent of modifications to the ecosystems and landscape/ riverscape.

Natural character occurs along a continuum. The natural character of a site is the degree to which it is part of nature, particularly indigenous nature and is free from the effects of human constructions.

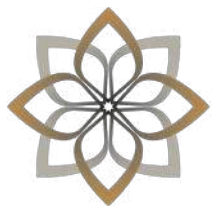
The effect of different types of modification upon the natural character of an area varies with the context and may be perceived differently by different individuals.

Natural elements relate to the presence of unmodified land and water bodies and the lack of built form, while natural patterns relate to the perceived naturalness of the appearance of a landscape, which appears to be a result of nature rather than being man made. Natural processes relate to the ecological workings of a landscape, and how well these processes are functioning to maintain a natural appearance to the landscape.

A portion of this has been identified within the Regional Policy Statement and Proposed Far North District Plan as being part of a High Natural Character area as shown in **Figures 9 and 10**. The proposed building site on Lot 2 is not located within this area, and the vegetation within this area will not be touched.

The present natural character values associated with this landscape incorporate the presence of residential houses set within the indigenous bush setting. The bush setting providing the natural elements and patterns, with some of the natural processes still intact. The landscape is quite natural looking due to the predominance of the existing native bush that the houses are set within. The presence of the existing houses and residential activities forms part of the natural character values of this landscape setting along this part of the Veronica Channel coastline.

The proposed development will be in keeping with the current patterns of settlement and with the implementation of the proposed building design guidelines and the retention of the existing indigenous vegetation the potential adverse effects upon the natural character values of the Coastal Environment and High Natural Character areas will be less than minor.



6. STATUTORY CONTEXT

6.1 Operative Far North District Plan (OFNDP)

The property is located within the Point Veronica Zone as depicted on Zone Map 92 within the FNDP. The resource map identifies that there is no Outstanding Landscape, Outstanding Landscape Features or Natural Features identified on the site.

The expected environmental outcome of this zone is development characterised by relatively high levels of visual amenity and protection of the natural environment.

Figure 7 illustrates the area covered by the Point Veronica zone (pink area). The application site includes the two north-western lots adjacent to the Coastal Living Zone. The northern most Lot is located adjacent to conservation area that extends around the coastal edge (Legal Road) and the green area to the northeast of Lot 29 is Lot 32 a reserve for recreational – passive outdoor use.

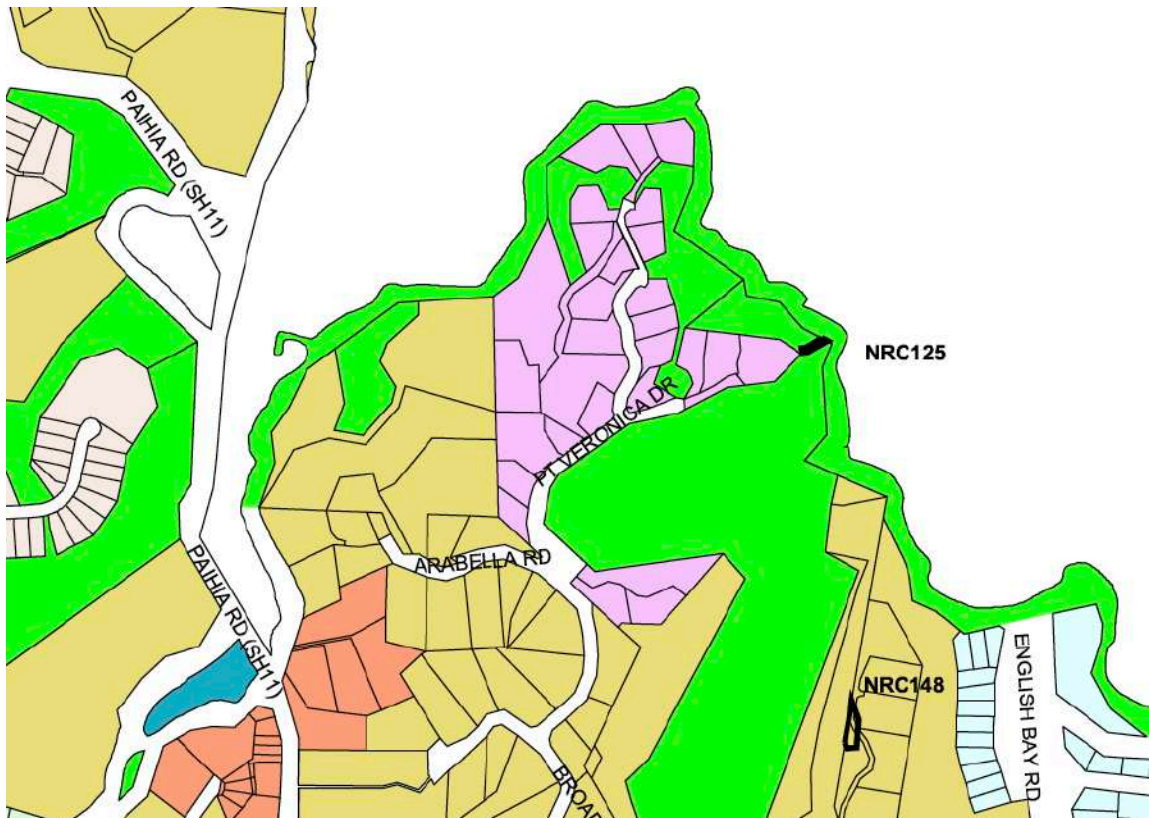
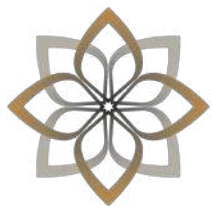


Figure 7: Point Veronica zone

18.5 POINT VERONICA ZONE

This zone is applied to Point Veronica, Opuia, in the Bay of Islands, an area to which special development rights were granted by Plan Change No. 2 to the Bay of Islands Scheme in 1980.

Subsequent development in this area has been controlled by the conditions of the development plan, and this special zone reflects these controls.



The special zone includes some of the provisions of the Coastal Living Zone, but extra controls are also imposed to encourage the retention of bush cover and visual amenity through the imposition of building platforms and height restrictions.

18.5.3 OBJECTIVES

18.5.3.1

To create and maintain a residential area with high design and amenity standards.

18.5.3.2

To retain ecological and landscape values and slope stability on sites within the zone.

18.5.3.3

To preserve views to and from the zone.

18.5.4 POLICIES

18.5.4.1

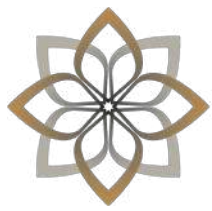
That uses permitted in this zone are limited to those that are directly associated with the residential concept for the development.

18.5.4.2

That controls on development in this zone are in accordance with a Development Plan (refer *Appendix 6D*) in respect of specified building platforms, setbacks from boundaries and maximum building height.



Figure 8: Appendix 6D, map of building envelopes in the Point Veronica zone



Comment:

I understand that the original intention for Lot 29 (proposed Lot 2) was a shared common area for the rest of the Point Veronica residents. This was never executed, with Lot 30 being the current common area. There is access down through the site into the road reserve and coastal marine area for the surrounding residents.

Within the parameters of the original Point Veronica development there was no building envelope shown in the existing Lot 29 DP 115144. This proposal seeks to define a building site on this lot, whilst doing a boundary adjustment subdivision to redistribute the sizes of the two adjoining lots owned by the applicant.

In defining a new building site, this will effectively see an additional dwelling located within the Point Veronica zone. The proposed development is in accord with the objectives and policies for the residential use of this zone. The development of an additional building site and future dwelling and access driveway will result in no indigenous vegetation removal. The proposed building site will be subject to building design guidelines to reduce its potential visibility so that it is in keeping with other buildings within the Point Veronica zone. The development will retain high levels of visual amenity and protect the natural environment.

Chapter 13 Subdivision

Following are the relevant landscape policies found in Chapter 13 Subdivision.

Policy 13.4.1

That the sizes, dimensions and distribution of allotments created through the subdivision process be determined with regard to the potential effects including cumulative effects, of the use of those allotments on:

- (a) natural character, particularly of the coastal environment;*
- (b) ecological values;*
- (c) landscape values;*
- (d) amenity values; and*
- (g) existing land uses.*

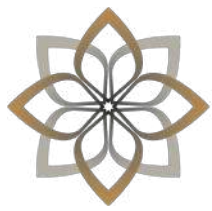
13.4.6

That any subdivision proposal provides for the protection, restoration and enhancement of heritage resources, areas of significant indigenous vegetation and significant habitats of indigenous fauna, threatened species, the natural character of the coastal environment and riparian margins, and outstanding landscapes and natural features where appropriate.

13.4.13

Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the applicable zone in regards to s6 matters. In addition subdivision, use and development shall avoid adverse effects as far as practicable by using techniques including:

- (a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;*



(b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;

(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;

Comment:

The proposal is for a boundary adjustment between two existing lots, no additional lots will be created. The size, dimensions and distribution of the lots will have a less than minor effect upon natural character, landscape and amenity values and existing land uses. There will be no cumulative effects generated by the development.

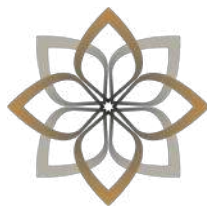
The proposal is in accord with the policies of Chapter 13.

6.2 Proposed District Plan (PDP)

The PDP was publicly notified by FNDC on 27th July 2022. The property has been zoned Rural Lifestyle with a Coastal Environment overlay as shown in **Figure 9**.



Figure 9: PDP Map



Some bush areas on the site have been identified as having High Natural Character values, this area is described as "Hill slopes with kanuka dominant shrubland & low forest & some wilding pines & wattles. Small bay head with mangrove shrubland".

The site is located within the Rural Lifestyle zone. This zone is to provide for rural lifestyle living. The following Objectives and Polices within the Rural Lifestyle chapter have relevance to this proposal.

Objectives	
RLZ-O1	The Rural Lifestyle zone is used predominantly for low density residential activities and small scale farming activities that are compatible with the rural character and amenity of the zone.
RLZ-O2	The predominant character and amenity of the Rural Lifestyle zone is characterised by: <ul style="list-style-type: none"> a. low density residential activities; b. small scale farming activities with limited buildings and structures; c. smaller lot sizes than anticipated in the Rural Production Zone; d. a general absence of urban infrastructure; e. rural roads with low traffic volumes; f. areas of vegetation, natural features and open space.
RLZ-O3	The role, function and predominant character and amenity of the Rural Lifestyle zone is not compromised by incompatible activities.
RLZ-O4	Land use and subdivision in the Rural Lifestyle zone does not compromise the effective and efficient operation of primary production activities in the adjacent Rural Production Zones.

Policies	
RLZ-P1	Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Lifestyle zone, while ensuring their design, scale and intensity is appropriate to manage adverse effects in the zone, including: <ul style="list-style-type: none"> a. low density residential activities; b. small scale farming activities; c. home business activities; d. visitor accommodation; and e. small scale education facilities.
RLZ-P2	Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Lifestyle zone because they are: <ul style="list-style-type: none"> a. contrary to the density anticipated for the Rural Lifestyle zone; b. predominately of an urban form or character; c. primary production activities, such as intensive indoor primary production, that generate adverse amenity effects that are incompatible with rural lifestyle living; or d. commercial, rural industry or industrial activities that are more appropriately located in a Settlement zone or an urban zone.
RLZ-P3	Avoid where possible, or otherwise mitigate, reverse sensitivity effects from sensitive and other non-productive activities on primary production activities in the adjacent Rural Production zone.
RLZ-P4	Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application: <ul style="list-style-type: none"> a. consistency with the scale and character of the rural lifestyle environment; b. location, scale and design of buildings or structures; c. at zone interfaces: <ul style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts; ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable; d. the capacity of the site to cater for on-site infrastructure associated with the proposed activity; e. the adequacy of roading infrastructure to service the proposed activity; f. managing natural hazards; g. any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; and h. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.



Comment:

The proposed development will be for low density residential activities, that are compatible with the character and amenity of the surrounding landscape and land uses.

The location, scale and design of a future dwelling placed upon proposed Lot 2 will be managed so that it is appropriate for the zone and coastal setting. The site has the capacity to cater for the proposal on site with no off-site effects. The proposal will not impact upon the High Natural Character values identified on and surrounding the site. There will be no adverse effects upon indigenous biodiversity.

The following Objectives and Policies within the Coastal Environment chapter have relevance to this proposal.

Objectives	
CE-01	The natural character of the coastal environment is identified and managed to ensure its long-term preservation and protection for current and future generations.
CE-02	Land use and subdivision in the coastal environment: a. preserves the characteristics and qualities of the natural character of the coastal environment; b. is consistent with the surrounding land use; c. does not result in urban sprawl occurring outside of urban zones; d. promotes restoration and enhancement of the natural character of the coastal environment; and e. recognises tangata whenua needs for ancestral use of whenua Māori.
CE-03	Land use and subdivision in the coastal environment within urban zones is of a scale that is consistent with existing built development.
CE-P3	Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as: a. outstanding natural character; b. ONL; c. ONF.
CE-P4	Preserve the visual qualities, character and integrity of the coastal environment by: a. consolidating land use and subdivision around existing urban centres and rural settlements; and b. avoiding sprawl or sporadic patterns of development.
CE-P8	Encourage the restoration and enhancement of the natural character of the coastal environment.



- CE-P10** Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:
- a. the presence or absence of buildings, structures or infrastructure;
 - b. the temporary or permanent nature of any adverse effects;
 - c. the location, scale and design of any proposed development;
 - d. any means of integrating the building, structure or activity;
 - e. the ability of the environment to absorb change;
 - f. the need for and location of earthworks or vegetation clearance;
 - g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location;
 - h. any viable alternative locations for the activity or development;
 - i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;
 - j. the likelihood of the activity exacerbating natural hazards;
 - k. the opportunity to enhance public access and recreation;
 - l. the ability to improve the overall quality of coastal waters; and
 - m. any positive contribution the development has on the characteristics and qualities.

Comment:

The proposed development will have a less than minor impact upon the characteristics and qualities of the natural character values of the coastal environment. Future development upon site will be consistent with the surrounding land uses. Earthworks will be minimal and there will be no indigenous vegetation clearance. The existing vegetation on and surrounding the site will mitigate any potential adverse landscape and visual effects to a less than minor level.

6.3 Regional Policy Statement for Northland (RPS)

In 2012, the Northland Regional Mapping Project ("Mapping Project") was undertaken by the Northland Mapping Group (on behalf of the NRC). The purpose of the Mapping Project was to determine the delineation of the Coastal Environment, and the natural heritage areas within the region comprising Outstanding Natural Landscapes ("ONL").

The application site is located within the Coastal Environment. There are no Outstanding Natural Landscapes, Natural Features, or Outstanding Natural Character areas identified on the site. Parts of the property have been identified as having High Natural Character values as shown in **Figure 10**.

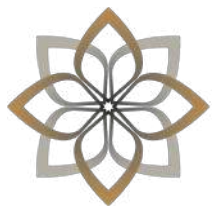


Figure 10: RPS Map showing extent of the High Natural Character area.

Objective 3.14

Natural Character, outstanding natural features, outstanding natural landscapes and historic heritage.

Identify and protect from inappropriate subdivision, use and development;

- (a) The qualities and characteristics that make up the natural character of the coastal environment, and the natural character of freshwater bodies and their margins;*
- (b) The qualities and characteristics that make up outstanding natural features and outstanding natural landscapes;*

Policy 4.6.1

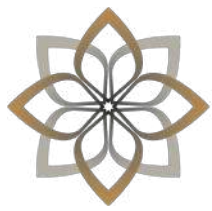
Managing effects on the characteristics and qualities natural character, natural features and landscape.

(1) In the coastal environment:

- a) Avoid adverse effects of subdivision use and development on the characteristics and qualities which make up the outstanding values of areas of outstanding natural character, outstanding natural features and outstanding natural landscapes.*
- b) Where (a) does not apply, avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of subdivision, use and development on natural character, natural features and natural landscapes.*

Methods which may achieve this include:

- (i) Ensuring the location, intensity, scale and form of subdivision and built development is appropriate having regard to natural elements,*



landforms and processes, including vegetation patterns, ridgelines, headlands, peninsulas, dune systems, reefs and freshwater bodies and their margins; and

(ii) In areas of high natural character, minimising to the extent practicable indigenous vegetation clearance and modification (including earthworks/disturbance, structures, discharges and extraction of water) to natural wetlands, the beds of lakes, rivers and the coastal marine area and their margins; and

(iii) Encouraging any new subdivision and built development to consolidate within and around existing settlements or where natural character and landscape has already been compromised.

Comment:

The site has not been identified as having any Outstanding Natural Landscapes, Natural Features or Outstanding Natural Character.

The vegetation located at the northern end of proposed Lot 2 has been identified as having High Natural Character values. This area will not be affected by the proposal.

The proposed subdivision and subsequent development upon the proposed building site on Lot 2 will not result in any indigenous vegetation clearance so will not affect the current vegetation patterns or areas designated as having High Natural Character values.

It is likely there will be a small volume of earthworks required for the formation of the driveway and house site, this will not affect the natural processes of the site or landform to any great extent. The retention of the existing vegetation on the property will maintain the amenity values of the site and wider landscape.

With the implementation of building design controls proposal will not detract from the landscape qualities of the area. The development is in accord with the relevant landscape objectives and policies of the NRPS.

6.4 New Zealand Coastal Policy Statement

The following policies are of relevance. Policy 6 - Activities in the coastal environment, Policy 13 - Preservation of natural character, and Policy 15 Natural features and natural landscapes.

Policy 6 Activities in the coastal environment

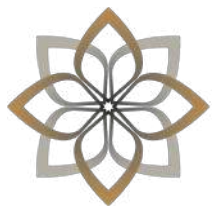
(1) In relation to the coastal environment:

(f) consider where development that maintains the character of the existing built development should be encouraged, and where development resulting in a change in character would be acceptable;

(i) set back development from the coastal marine area and other water bodies, where practicable and reasonable, to protect the natural character, open space, public access and amenity values of the coastal environment;

Policy 13 Preservation of natural character

(1) To preserve the natural character of the coastal environment and to protect it from inappropriate subdivision, use, and development:



(a) avoid adverse effects of activities on natural character in areas of the coastal environment with outstanding natural character; and
(b) avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of activities on natural character in all other areas of the coastal environment;

(2) Recognise that natural character is not the same as natural features and landscapes or amenity values and may include matters such as:

- (a) natural elements, processes and patterns;
- (b) biophysical, ecological, geological and geomorphological aspects;
- (c) natural landforms such as headlands, peninsulas, cliffs, dunes, wetlands, reefs, freshwater springs and surf breaks;
- (d) the natural movement of water and sediment;
- (e) the natural darkness of the night sky;
- (f) places or areas that are wild or scenic;
- (g) a range of natural character from pristine to modified; and
- (h) experiential attributes, including the sounds and smell of the sea; and their context or setting.

Policy 15 Natural Features and natural landscapes

To protect the natural features and natural landscapes (including Seascapes) of the coastal environment from inappropriate subdivision, use and development.

(a) avoid adverse effects of activities on outstanding natural features and outstanding natural landscapes in the coastal environment; and
(b) avoid significant adverse effects and avoid, remedy, or mitigate other adverse effects of activities on other natural features and natural landscapes in the coastal environment;

Comment:

The proposal is consistent with the character of the surrounding residential development set in the Coastal Living and Point Veronica zones.

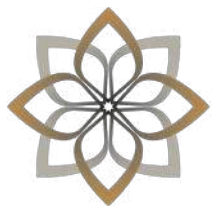
The proposed building site on Lot 2 is set back from the coastal edge with an area of vegetation located between it and the foreshore. This softens and screens the view of the site and future development upon it from the CMA or public walkway. The development will not adversely affect the natural character, open space or amenity values of the coastal environment.

The proposed development will not alter any natural elements, processes, or patterns. The experiential attributes, including the sounds and smell of the sea; and their context or setting will not be influenced by this proposal. The area of the site that has been identified as having High Natural Character values will not be affected by the proposed development.

The development is in accord with the relevant landscape objectives and policies of the NZCP.

7. MITIGATION MEASURES

7.1 Building Design Guidelines



A set of building design guidelines are proposed for future built development upon proposed Lot 2 to assist with enabling future development to be set into the landscape with the least amount of visual intrusion therefore minimising potential landscape, visual and natural character effects.

The building design guidelines will control aspects such as building height, colours, reflectivity, design style, form and scale.

Overview

The following building design guidelines have been compiled so that future built development can achieve a high level of integration. This will be achieved through sensitive building design and location, and with landscaping to provide a foreground and background context to any built development.

Owners should note that architectural plans and all proposed construction is subject to the consent of the Far North District Council under the RMA and other local building codes. The District Council may impose conditions and restrictions over and above those contained in these Building Design Guidelines.

Building Form

Building style, colour and form play a significant role in determining how well a building fits into the landscape. Built forms painted recessively appear to belong and are less visually obtrusive. Similarly, buildings that reflect regional architectural styles appear to belong more readily than 'imported styles'.

Various building styles are possible; however, the following general guidelines will assist in diminishing the visual impact of structures in the landscape:

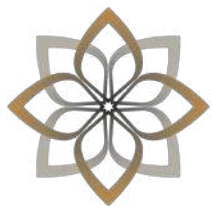
1. Building form shall flow with and follow the topography of the site and not protrude extensively above it unnecessarily,
2. The form of large buildings shall be broken up or indented to provide visual interest and shadows.
3. All built structures on proposed Lots 2 shall be limited to a height of no greater than 8 meters above ground level.

Building Materials and Finishes

The visual effects of the building sites will be lessened if the building materials are recessive.

Building colours from the A and B Group of the BS 5252 colour chart shall be used. The light reflectance values for the exterior roof colours shall not exceed 20% and the exterior walls shall not exceed 30%.

It is recommended to use natural and textural materials, and make use of architectural features such as verandahs, pergolas and large eaves to create shadow.



These will all cast shadows on windows and ranch sliders thus limiting the reflectivity of the facades of the house.

Ancillary Structures

All ancillary structures which are separate from the primary residence (such as guest quarters, garages, storage sheds) shall be designed to complement and integrate with the primary residence. The use of landscape plantings to connect these structures with the main residence is required.

Water tanks

Water tanks, if not placed underground, shall be designed to integrate with the overall design of the main structures. Tanks that are placed above ground shall be screened by the landscape amenity plantings.

Driveways and Parking Areas

Parking areas shall be integrated with the overall design of the residence and landscaping.

Driveways shall be designed to suit rural character. Kerbs should be avoided or use low profile kerbs formed with dark grey concrete oxide and use chip seal or loose road metal. The use of swales to provide drainage should be encouraged.

Earthworks

Earthworks shall be graded gradually into adjacent contours. Earthworks that create sharp and large batters that are difficult to revegetate should be avoided.

Any retaining walls over 1m high shall be screened with planting.

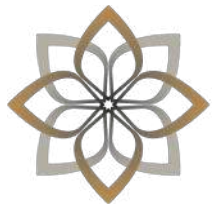
8. CONCLUSION

The application site is located within the Point Veronica zone, set within an area that accommodates low density residential development in a coastal setting.

The proposal will result in a boundary adjustment between two lots which are both owned by the applicant. One of these lots currently has no designated building site. The proposal is to assign a new building site on proposed Lot 2.

The existing dwelling located on proposed Lot 1 is located near the rear of the property and is not very visible from land or water viewing positions. The proposed building site on Lot 2 is located closer to the foreshore. The surrounding existing vegetation on site provides a highly vegetated setting which limits views of the proposed building site. Any future development that is located on proposed Lot 2 will not be very visible from public land based or water viewing positions.

With the implementation of the building design guidelines future built development upon Lot 2 will be appropriate and recessive, so that it is integrated into the landscape with less than minor potential adverse landscape and visual effects generated.



HAWTHORN

Landscape Architects

The area of vegetation located at the northern end of proposed Lot 2 has been identified as having High Natural Character values. The proposal will not impact this area of vegetation.

The natural character values of the coastal environment will not be adversely affected by the proposal providing the existing indigenous vegetation on site is retained and the building design guidelines are implemented.

The development will be in keeping with the existing settlement patterns and landscape character present within the local environs.

This development is consistent with the relevant objectives and policies found within the FNDP, PFNDP, NZCPS and RPS pertaining to landscape issues, providing the mitigation plantings and building design guidelines are implemented.

Christine Hawthorn
BLA (Hons.)

[Hawthorn Landscape Architects Ltd.](#)

SUPPLEMENT A:

Natural Character and Landscape Effects Assessment Method

Updated 2 November 2022

Introduction

The Natural Character, Landscape and Visual Effects Assessment (NCLVEA) process provides a framework for assessing and identifying the nature and level of likely effects that may result from a proposed development. Such effects can occur in relation to changes to physical elements, changes in the existing character or condition of the landscape and the associated experiences of such change. In addition, the landscape assessment method may include (where appropriate) an iterative design development processes, which seeks to avoid, remedy or mitigate adverse effects (see **Figure 1**).

This outline of the landscape and visual effects assessment methodology has been undertaken with reference to the **Te Tangi A Te Manu: Aotearoa New Zealand Landscape Assessment Guidelines** and its signposts to examples of best practice, which include the **Quality Planning Landscape Guidance Note**¹ and the **UK guidelines for landscape and visual impact assessment**².

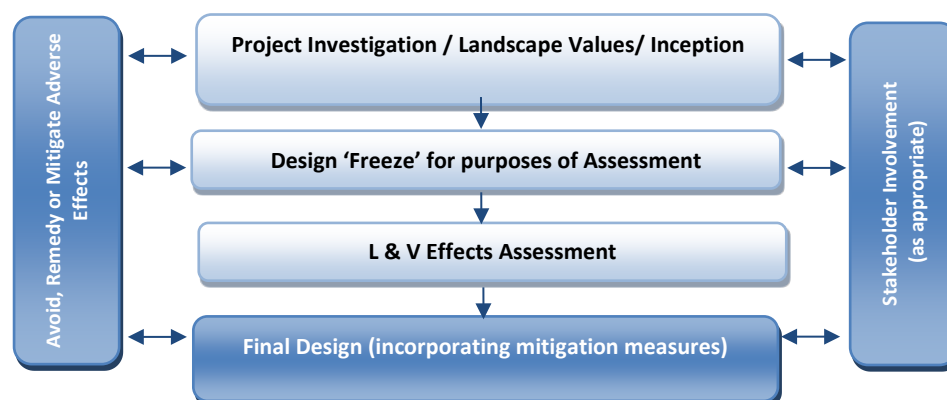


Figure 1: Design feedback loop

When undertaking any landscape assessment, it is important that a **structured and consistent approach** is used to ensure that **findings are clear and objective**. Judgement should be based on skills and experience and be supported by explicit evidence and reasoned argument.

While natural character, landscape and visual effects assessments are closely related, they form separate procedures. Natural character effects consider the characteristics and qualities and associated degree of modification relating specifically to waterbodies and their margins, including the coastal environment. The assessment of the potential effects on landscape considers effects on landscape character and values. The assessment of visual effects considers how changes to the physical landscape affect the viewing audience. The types of effects can be summarised as follows:

Natural Character effects: *Change in the characteristics or qualities including the level of naturalness.*

Landscape effects: *Change in the physical landscape, which may affect its characteristics or values*

Visual effects: *Change to views which may affect the visual amenity experienced by people*

¹ <http://www.qualityplanning.org.nz/index.php/planning-tools/land/landscape>

² Landscape Institute and Institute of Environmental Management and Assessment (2013) Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (GLVIA3)

The policy context, existing landscape resource and locations from which a development or change is visible, all inform the 'baseline' for landscape and visual effects assessments. To assess effects, the first step requires identification of the landscape's **character** and **values** including the **attributes** on which such values depend. This requires that the landscape is first **described**, including an understanding of relevant physical, sensory and associative landscape dimensions. This process, known as landscape characterisation, is the basic tool for understanding landscape character and may involve subdividing the landscape into character areas or types. The condition of the landscape (i.e. the state of an individual area of landscape or landscape feature) should also be described together with, a judgement made on the value or importance of the potentially affected landscape.

Natural Character Effects

In terms of the RMA, natural character specifically relates to the coastal environment as well as freshwater bodies and their margins. The RMA provides no definition of natural character. RMA, section 6(a) considers natural character as a matter of national importance:

...the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development.

Natural character comprises the natural elements, patterns and processes of the coastal environment, waterbodies and their margins, and how they are perceived and experienced. This assessment interprets natural character as being the degree of naturalness consistent with the following definition:

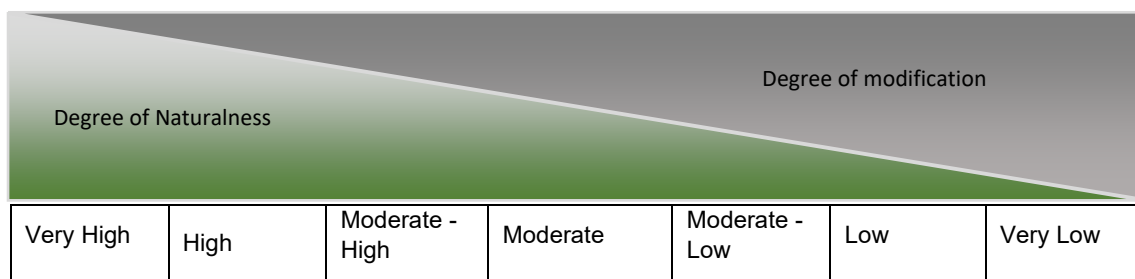
Natural character is a term used to describe the naturalness of waterbodies and their margins. The degree or level of natural character depends on:

- *The extent to which natural elements, patterns and processes occur;*
- *The nature and extent of modifications to the ecosystems and landscape/seascape;*
- *The highest degree of natural character (greatest naturalness) occurs where there is least modification; and*
- *The effect of different types of modification upon the natural character of an area varies with the context and may be perceived differently by different parts of the community.*

The process to assess natural character involves an understanding of the many systems and attributes that contribute to waterbodies and their margins, including biophysical and experiential factors. This can be supported through the input of technical disciplines such as marine, aquatic and terrestrial ecology, and landscape architecture.

Defining the Level of Natural Character

The level of natural character is assessed in relation to a seven-point scale. The diagram below illustrates the relationship between the degree of naturalness and degree of modification. A high level of natural character means the waterbody is less modified and vice versa.

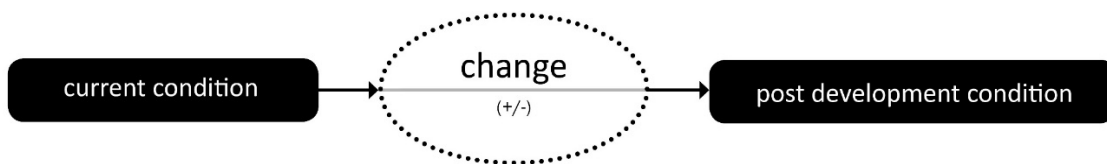


Scale of Assessment

When defining levels of natural character, it is important to clearly identify the spatial scale considered. The scale at which natural character is assessed will typically depend on the study area or likely impacts and nature of a proposed development. Within a district or region-wide study, assessment scales may be divided into broader areas which consider an overall section of coastline or river with similar characteristics, and finer more detailed 'component' scales considering separate more local parts, such as specific bays, reaches or escarpments. The assessment of natural character effects has therefore considered the change to attributes which indicate levels of natural character at a defined scale.

Effects on Natural Character

An assessment of the effects on natural character of an activity involves consideration of the proposed changes to the current condition compared to the existing. This can be negative or positive.



The natural character effects assessment involves the following steps;

- assessing the existing level of natural character;
- assessing the level of natural character anticipated (post construction); and
- considering the significance of the change

Landscape Effects

Assessing landscape effects requires an understanding of the landscape resource and the magnitude of change which results from a proposed activity to determine the overall level of landscape effects.

Landscape Resource

Assessing the sensitivity of the landscape resource considers the key characteristics and qualities. This involves an understanding of both the ability of an area of landscape to absorb change and the value of the landscape.

Ability of an area to absorb change

This will vary upon the following factors:

- Physical elements such as topography / hydrology / soils / vegetation;
- Existing land use;
- The pattern and scale of the landscape;
- Visual enclosure / openness of views and distribution of the viewing audience;
- The zoning of the land and its associated anticipated level of development;
- The scope for mitigation, appropriate to the existing landscape.

The ability of an area of landscape to absorb change takes account of both the attributes of the receiving environment and the characteristics of the proposed development. It considers the ability of a specific type of change occurring without generating adverse effects and/or achievement of landscape planning policies and strategies.

The value of the Landscape

Landscape value derives from the importance that people and communities, including tangata whenua, attach to particular landscapes and landscape attributes. This may include the classification of Outstanding Natural Feature or Landscape (ONFL) (RMA s.6(b)) based on important physical, sensory and associative landscape attributes, which have potential to be affected by a proposed development. A landscape can have value even if it is not recognised as being an ONFL.

Magnitude of Landscape Change

The magnitude of landscape change judges the amount of change that is likely to occur to areas of landscape, landscape features, or key landscape attributes. In undertaking this assessment, it is important that the size or scale of the change is considered within the geographical extent of the area influenced and the duration of

change, including whether the change is reversible. In some situations, the loss /change or enhancement to existing landscape elements such as vegetation or earthworks should also be quantified.

When assessing the level of landscape effects, it is important to be clear about what factors have been considered when making professional judgements. This can include consideration of any benefits which result from a proposed development. **Table 1** below helps to explain this process. The tabulating of effects is only intended to inform overall judgements.

Contributing Factors		Higher	Lower
Landscape (sensitivity)	Ability to absorb change	The landscape context has limited existing landscape detractors which make it highly vulnerable to the type of change resulting from the proposed development.	The landscape context has many detractors and can easily accommodate the proposed development without undue consequences to landscape character.
	The value of the landscape	The landscape includes important biophysical, sensory and shared and recognised attributes. The landscape requires protection as a matter of national importance (ONF/L).	The landscape lacks any important biophysical, sensory or shared and recognised attributes. The landscape is of low or local importance.
Magnitude of Change	Size or scale	Total loss or addition of key features or elements. Major changes in the key characteristics of the landscape, including significant aesthetic or perceptual elements.	The majority of key features or elements are retained. Key characteristics of the landscape remain intact with limited aesthetic or perceptual change apparent.
	Geographical extent	Wider landscape scale.	Site scale, immediate setting.
	Duration and reversibility	Permanent. Long term (over 10 years).	Reversible. Short Term (0-5 years).

Table 1: Determining the level of landscape effects

Visual Effects

Visual effects are a subset of landscape effects. They are consequences of change on landscape values as experienced in views. To assess the visual effects of a proposed development on a landscape, a visual baseline must first be defined. The visual 'baseline' forms a technical exercise which identifies the area where the development may be visible, the potential viewing audience, and the key representative public viewpoints from which visual effects are assessed.

Field work is used to determine the actual extent of visibility of the site, including the selection of representative viewpoints from public areas. This stage is also used to identify the potential 'viewing audience' e.g. residential, visitors, recreation users, and other groups of viewers who can see the site. During fieldwork, photographs are taken to represent views from available viewing audiences.

The viewing audience comprises the individuals or groups of people occupying or using the properties, roads, footpaths and public open spaces that lie within the visual envelope or 'zone of theoretical visibility (ZTV)' of the site and proposal. Where possible, computer modelling can assist to determine the theoretical extent of visibility together with field work to confirm this. Where appropriate, key representative viewpoints should be agreed with the relevant local authority.

The Sensitivity of the Viewing Audience

The sensitivity of the viewing audience is assessed in terms of assessing the likely response of the viewing audience to change and understanding the value attached to views.

Likely response of the viewing audience to change

Appraising the likely response of the viewing audience to change is determined by assessing the occupation or activity of people experiencing the view at particular locations and the extent to which their interest or activity may be focussed on views of the surrounding landscape. This relies on a landscape architect's judgement in respect of visual amenity and the reaction of people who may be affected by a proposal. This should also recognise that people more susceptible to change generally include: residents at home, people engaged in outdoor recreation whose attention or interest is likely to be focussed on the landscape and on particular views; visitors to heritage assets or other important visitor attractions; and communities where views contribute to the wider landscape setting.

Value attached to views

The value or importance attached to particular views may be determined with respect to its popularity or numbers of people affected or reference to planning instruments such as viewshafts or view corridors. Important

viewpoints are also likely to appear in guide books or tourist maps and may include facilities provided for its enjoyment. There may also be references to this in literature or art, which also acknowledge a level of recognition and importance.

Magnitude of Visual Change

The assessment of visual effects also considers the potential magnitude of change which will result from views of a proposed development. This takes account of the size or scale of the effect, the geographical extent of views and the duration of visual change, which may distinguish between temporary (often associated with construction) and permanent effects where relevant. Preparation of any simulations of visual change to assist this process should be guided by best practice as identified by the NZILA³.

When determining the overall level of visual effect, the nature of the viewing audience is considered together with the magnitude of change resulting from the proposed development. **Table 4** has been prepared to help guide this process:

Contributing Factors		Higher	Lower	Examples
The Viewing Audience (sensitivity)	Ability to absorb change	Views from dwellings and recreation areas where attention is typically focussed on the landscape.	Views from places of employment and other places where the focus is typically incidental to its landscape context. Views from transport corridors.	Dwellings, places of work, transport corridors, public tracks
	Value attached to views	Viewpoint is recognised by the community such as an important view shaft, identification on tourist maps or in art and literature. High visitor numbers.	Viewpoint is not typically recognised or valued by the community. Infrequent visitor numbers.	Acknowledged viewshafts, Lookouts
Magnitude of Change	Size or scale	Loss or addition of key features in the view. High degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Full view of the proposed development.	Most key features of views retained. Low degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Glimpse / no view of the proposed development.	- Higher contrast/ Lower contrast. - Open views, Partial views, Glimpse views (or filtered); No views (or obscured)
	Geographical extent	Front on views. Near distance views; Change visible across a wide area.	Oblique views. Long distance views. Small portion of change visible.	- Front or Oblique views. - Near distant, Middle distant and Long distant views
	Duration and reversibility	Permanent. Long term (over 15 years).	Transient / temporary. Short Term (0-5 years).	- Permanent (fixed), Transitory (moving)

Table 2: Determining the level of visual effects

Nature of Effects

In combination with assessing the level of effects, the landscape and visual effects assessment also considers the nature of effects in terms of whether this will be positive (beneficial) or negative (adverse) in the context within which it occurs. Neutral effects can also occur where landscape or visual change is benign.

It should also be noted that a change in a landscape does not, of itself, necessarily constitute an adverse landscape or visual effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways; these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes.

³ Best Practice Guide: Visual Simulations BPG 10.2, NZILA

This assessment of the nature of effects can be further guided by **Table 2** set out below:

Nature of effect	Use and Definition
Adverse (negative):	The activity would be out of scale with the landscape or at odds with the local pattern and landform which results in a reduction in landscape and / or visual amenity values
Neutral (benign):	The activity would be consistent with (or blend in with) the scale, landform and pattern of the landscape maintaining existing landscape and / or visual amenity values
Beneficial (positive):	The activity would enhance the landscape and / or visual amenity through removal or restoration of existing degraded landscape activities and / or addition of positive elements or features

Table 1: Determining the Nature of Effects

Cumulative Effects

This can include effects of the same type of development (e.g. bridges) or the combined effect of all past, present and approved future development⁴ of varying types, taking account of both the permitted baseline and receiving environment. Cumulative effects can also be positive, negative or benign.

Cumulative Landscape Effects

Cumulative landscape effects can include additional or combined changes in components of the landscape and changes in the overall landscape character. The extent within which cumulative landscape effects are assessed can cover the entire landscape character area within which the proposal is located, or alternatively, the zone of visual influence from which the proposal can be observed.

Cumulative Visual Effects

Cumulative visual effects can occur in combination (seen together in the same view), in succession (where the observer needs to turn their head) or sequentially (with a time lapse between instances where proposals are visible when moving through a landscape). Further visualisations may be required to indicate the change in view compared with the appearance of the project on its own.

Determining the nature and level of cumulative landscape and visual effects should adopt the same approach as the project assessment in describing both the nature of the viewing audience and magnitude of change leading to a final judgement. Mitigation may require broader consideration which may extend beyond the geographical extent of the project being assessed.

Determining the Overall Level of Effects

The landscape and visual effects assessment conclude with an overall assessment of the likely level of landscape and visual effects. This step also takes account of the nature of effects and the effectiveness of any proposed mitigation. The process can be illustrated in Figure 2:



Figure 2: Assessment process

This step informs an overall judgement identifying what level of effects are likely to be generated as indicated in **Table 3** below. This table which can be used to guide the level of natural character, landscape and visual effects uses an adapted seven-point scale derived from Te Tangi A Te Manu.

⁴ The life of the statutory planning document or unimplemented resource consents.

Effect Rating	Use and Definition
Very High:	Total loss of key elements / features / characteristics, i.e. amounts to a complete change of landscape character and in views.
High:	Major modification or loss of most key elements / features / characteristics, i.e. little of the pre-development landscape character remains and a major change in views. <u>Concise Oxford English Dictionary Definition</u> <i>High: adjective- Great in amount, value, size, or intensity.</i>
Moderate- High:	Modifications of several key elements / features / characteristics of the baseline, i.e. the pre-development landscape character remains evident but materially changed and prominent in views.
Moderate:	Partial loss of or modification to key elements / features / characteristics of the baseline, i.e. new elements may be prominent in views but not necessarily uncharacteristic within the receiving landscape. <u>Concise Oxford English Dictionary Definition</u> <i>Moderate: adjective- average in amount, intensity, quality or degree</i>
Low-Moderate:	Minor loss of or modification to one or more key elements / features / characteristics, i.e. new elements are not prominent within views or uncharacteristic within the receiving landscape.
Low:	Little material loss of or modification to key elements / features / characteristics. i.e. modification or change is not uncharacteristic or prominent in views and absorbed within the receiving landscape. <u>Concise Oxford English Dictionary Definition</u> <i>Low: adjective- 1. Below average in amount, extent, or intensity.</i>
Very Low:	Negligible loss of or modification to key elements/ features/ characteristics of the baseline, i.e. approximating a 'no change' situation and a negligible change in views.

Table 3: Determining the overall level of landscape and visual effects

Determination of “minor”

Decision makers determining whether a resource consent application should be notified must also assess whether the effect on a person is less than minor⁵ or an adverse effect on the environment is no more than minor⁶. Likewise, when assessing a non-complying activity, consent can only be granted if the s104D 'gateway test' is satisfied. This test requires the decision maker to be assured that the adverse effects of the activity on the environment will be 'minor' or not be contrary to the objectives and policies of the relevant planning documents.

These assessments will generally involve a broader consideration of the effects of the activity, beyond the landscape and visual effects. Through this broader consideration, guidance may be sought on whether the likely effects on the landscape or effects on a person are considered in relation to 'minor'. It must also be stressed that more than minor effects on individual elements or viewpoints does not necessarily equate to more than minor landscape effects. In relation to this assessment, moderate-low level effects would generally equate to 'minor' (see **Table 4**).

The third row highlights the word 'significant'. The term 'significant adverse effects' applies to particular RMA situations, namely as a threshold for the requirement to consider alternative sites, routes, and methods for Notices of Requirement under RMA s171(1)(b), the requirements to consider alternatives in AEEs under s6(1)(a) of the 4th Schedule. It may also be relevant to tests under other statutory documents such as for considering effects on natural character of the coastal environment under the NZ Coastal Policy Statement (NZCPS) Policy 13 (1)(b) and 15(b).

<u>Less than Minor</u>		<u>Minor</u>	<u>More than Minor</u>			
Very Low	Low	Low-Moderate	Moderate	Moderate-High	High	Very High
					Significant	


Table 4: Determining adverse effects for notification determination, non-complying activities and significance


⁵ RMA, Section 95E

⁶ RMA Section 95D



KEY

 High Natural Character area (PFNDP)

 Natural Open Space



13/01/2025

Appendix 1
 Location & Viewpoint Location Map
 Jennings
 Point Veronica Drive - Lot 2 , Opua

Scale	Drawn By
1:2000 @ A3	Cad Design
Drawing #	Rev #
1.0	A

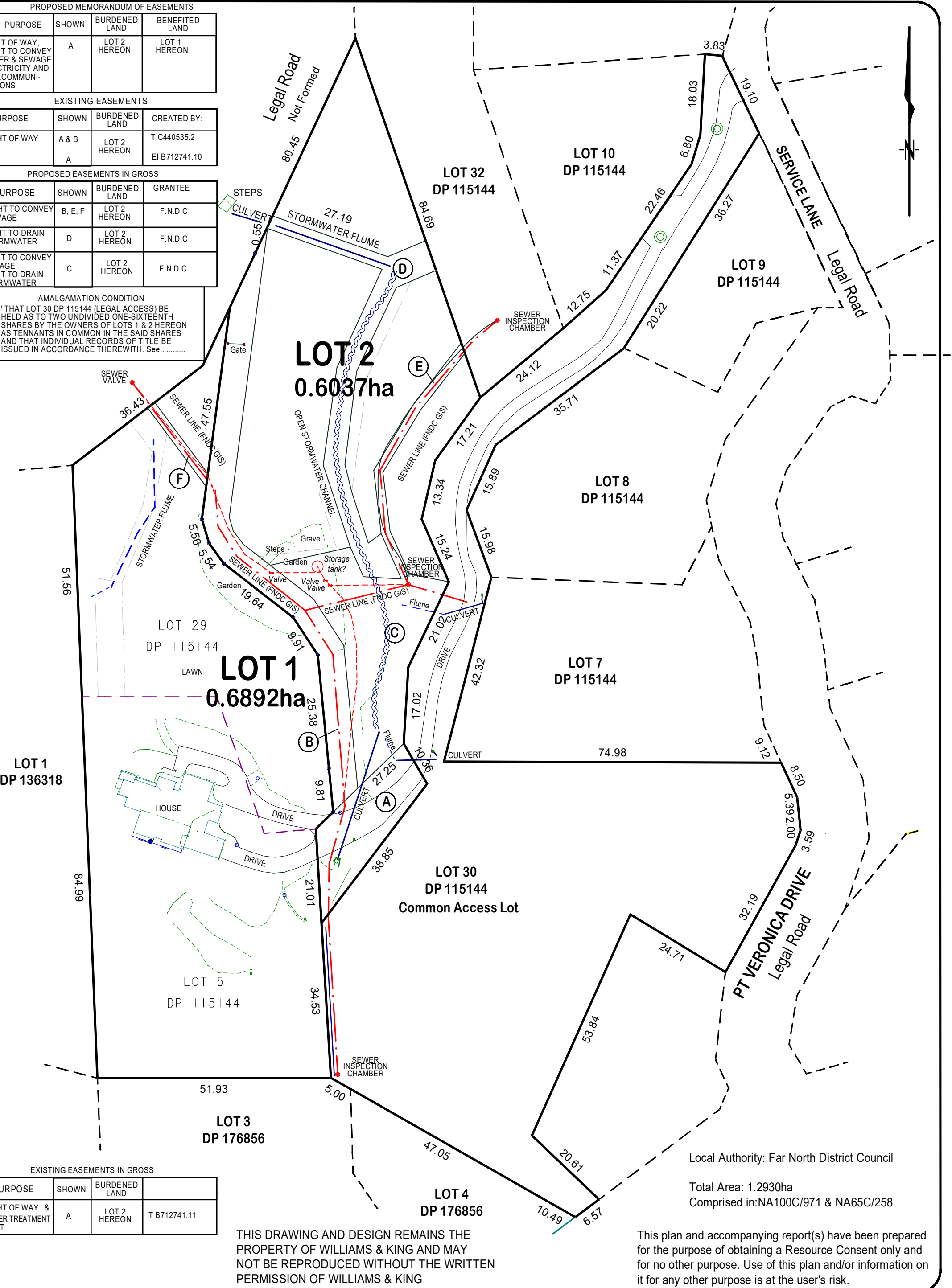
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 5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

PROPOSED MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY, RIGHT TO CONVEY WATER & SEWAGE ELECTRICITY AND TELECOMMUNICATIONS	A	LOT 2 HEREON	LOT 1 HEREON

EXISTING EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND	CREATED BY:
RIGHT OF WAY	A & B	LOT 2 HEREON	T C440535.2
	A	LOT 2 HEREON	EI B712741.10

PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	GRANTEE
RIGHT TO CONVEY SEWAGE	B, E, F	LOT 2 HEREON	F.N.D.C
RIGHT TO DRAIN STORMWATER	D	LOT 2 HEREON	F.N.D.C
RIGHT TO CONVEY SEWAGE RIGHT TO DRAIN STORMWATER	C	LOT 2 HEREON	F.N.D.C

AMALGAMATION CONDITION
 THAT LOT 30 DP 115144 (LEGAL ACCESS) BE HELD AS TO TWO UNDIVIDED ONE-SIXTEENTH SHARES BY THE OWNERS OF LOTS 1 & 2 HEREON AS TENANTS IN COMMON IN THE SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE BE ISSUED IN ACCORDANCE THEREWITH. See.....



EXISTING EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	
RIGHT OF WAY & SEWER TREATMENT RIGHT	A	LOT 2 HEREON	T B712741.11

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This plan and accompanying report(s) have been prepared for the purpose of obtaining a Resource Consent only and for no other purpose. Use of this plan and/or information on it for any other purpose is at the user's risk.

Local Authority: Far North District Council
 Total Area: 1.2930ha
 Comprised in: NA100C/971 & NA65C/258

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 Registered Land Surveyors, Planners & Land Development Consultants
 Ph: (09) 407 6030
 Email: kerikeri@saps.co.nz
 27 Hobson Ave
 PO Box 937 Kerikeri

**Proposed Subdivision of
 Lots 5 & 29 DP 115144
 (By way of Boundary Adjustment)**

Name	Date	ORIGINAL SCALE	SHEET SIZE
Survey		1:750	A3
Design			
Drawn	W & K JAN 2024		
Rev			

24230



Photo 1 – View looking northwest towards the water from the lower part of the BDZ on proposed Lot 2. The existing Pohutukawa trees screen most of the water view. The Paihia-Opua walkway is located below this vegetation.



Photo 2 – View looking north from the proposed BDZ on Lot 2 showing a grassed track leading towards the bush area that is designated High Natural Character. The foreground bush area is not in the HNC area.



Photo 3 – View looking north from the upper parts of the proposed BDZ on Lot 2 adjacent to the gazebo area.



Photo 4 – View looking at the BDZ on Lot 2 from the track that leads to the water's edge and the Paihia-Opua walkway.

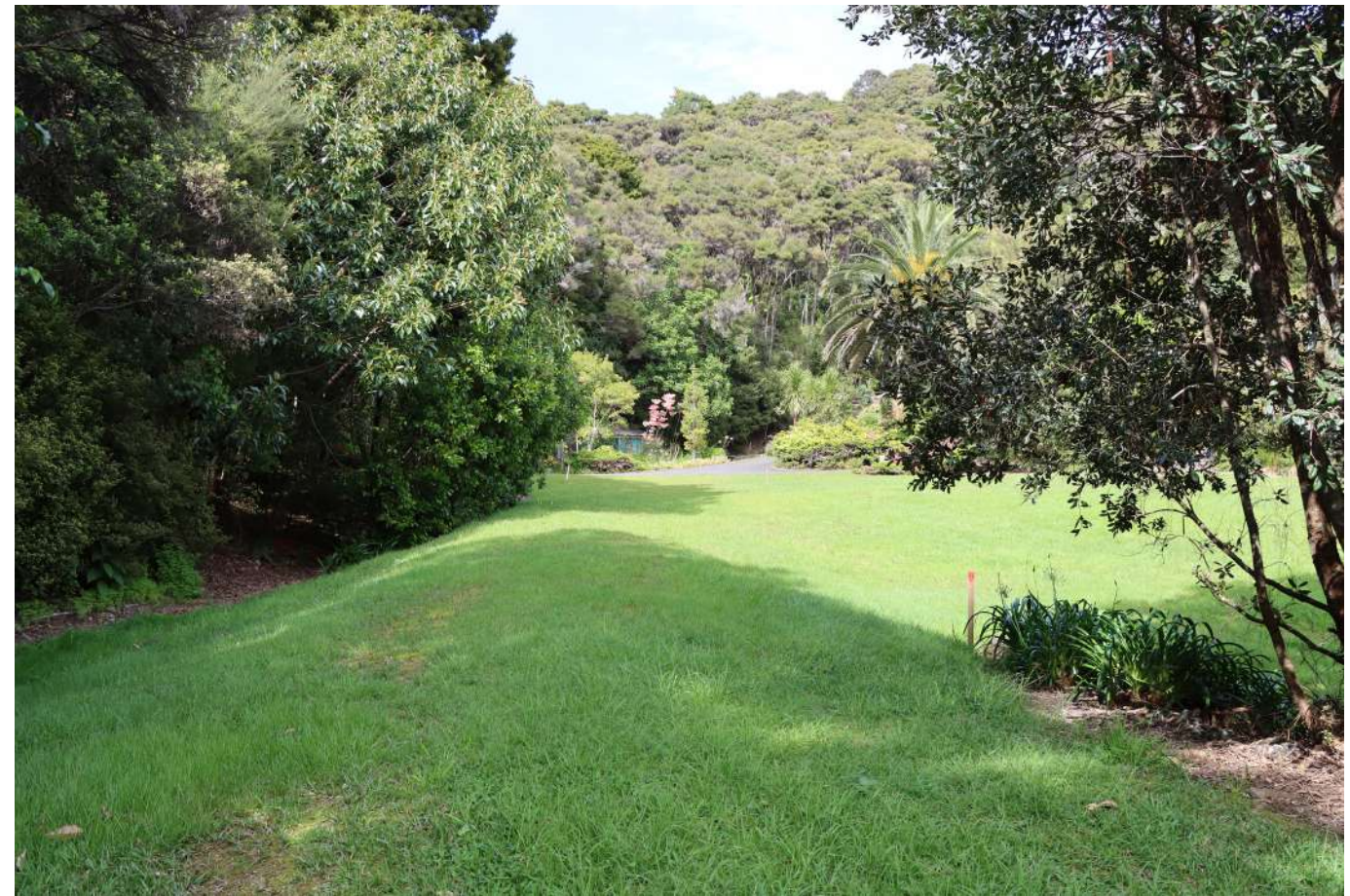


Photo 5 – View looking north along the proposed alignment of the driveway access to the BDZ on Lot 2.

Photo 6 – View looking south along the proposed alignment of the driveway access to the BDZ on Lot 2.



Viewpoint 1 - This viewing position is located approximately 400m to the northwest of the site on Smith Camp Road. The proposed building site on Lot 2 has been indicated and is set within an existing clear area with Manuka dominated hillslopes as the backdrop to the building site, and the Pohutukawa trees in the foreground.

Lot 2 BDZ



Viewpoint 2 - This viewing position is located on the Paihia Opuwa walkway just below the northwestern boundary of the property. The open grassed areas where the proposed BDZ on proposed Lot 2 will be located is partially visible through the trunks of the Pohutukawa trees.





Lot 1
DP 136318

Lot 5
DP 115144

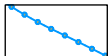



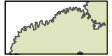

Potential building
development zone from a
landscape and visual aspect

Engineers proposed
building site

Lot 30
DP 115144

Access to
Point Veronica Drive

KEY

-  Pahia / Opua walkway
-  Potential driveway
-  Potential building development zone from a landscape and visual aspect
-  High Natural Character area (PFNDP)
-  Existing foreground and backdrop vegetation
-  Engineers proposed building site



13/01/2025

Appendix 5
Landscape Plan

Jennings
Point Veronica Drive - Lot 2, Opua

Scale	Drawn By
1:500 @ A3	Cad Design
Drawing #	Rev #
2.0	A

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