

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☒ No

If yes, who have you spoken with?

## 2. Type of consent being applied for

(more than one circle can be ticked):

☐ Land Use

☐ Discharge

☐ Fast Track Land Use\*

☒ Change of Consent Notice (s.221(3))

☐ Subdivision

☐ Extension of time (s.125)

☐ Consent under National Environmental Standard

(e.g. Assessing and Managing Contaminants in Soil)

☐ Other (please specify)

*\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the fast track process?

☐ Yes ☒ No

## 4. Consultation

Have you consulted with iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)



## 5. Applicant details

Name/s:

Jonathon Redpath Stokes

Email:

Phone number:

Postal address:

(or alternative method  
of service under section  
352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

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## 6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Leah Gigger

Email:

Phone number:

Postal address:

(or alternative method of  
service under section 352  
of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

------

## 7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Jonathon Redpath Stokes

Property address/  
location:

9 Te Ahuahu Road, RD2, New Lynn

Postcode 0772



## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:	Jonathon Redpath Stokes		
Site address/ location:	119 Tiromoana Way, Ahipara,    Postcode 0481		
Legal description:	1150149	Val Number:	1150149
Certificate of title:	LOT 9 DP 594744		

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

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## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Building shed outside of Building envelope
Change of consent notice 13153773.3 (condition i).

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request public notification?

☐ Yes ☒ No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

<input checked="" type="radio"/> Building Consent	EBC-2026-520/0 (if known)
<input type="radio"/> Regional Council Consent (ref # if known)	Ref # here (if known)
<input type="radio"/> National Environmental Standard Consent	Consent here (if known)
<input type="radio"/> Other (please specify)	Specify 'other' here



## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☐ No ☒ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

## 13. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☒ Yes

## 14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Jonathon Redpath Stokes

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.



### 15. Billing details continued...

#### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Jonathan Stokes

Signature:

(signature of bill payer)

Date: 13/1/2026

MANDATORY

### 16. Important Information:

#### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

#### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

#### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

### 17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Jonathan Stokes

Signature

Date: 13/1/2026

A signature is not required if the application is made by electronic means



## Checklist

*Please tick if information is provided*

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☒ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** 1150149  
**Land Registration District** North Auckland  
**Date Issued** 13 November 2024

**Prior References**  
NA78D/2

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**Estate** Fee Simple  
**Area** 1.3892 hectares more or less  
**Legal Description** Lot 9 Deposited Plan 594744

**Registered Owners**  
Jonathon Redpath Stokes, Anna Joy Shattky and David John Boyce

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**Estate** Fee Simple - 1/17 share  
**Area** 2.7940 hectares more or less  
**Legal Description** Lot 17 Deposited Plan 594744

**Registered Owners**  
Jonathon Redpath Stokes, Anna Joy Shattky and David John Boyce

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**Estate** Fee Simple - 1/17 share  
**Area** 1.7641 hectares more or less  
**Legal Description** Lot 21 Deposited Plan 594744

**Registered Owners**  
Jonathon Redpath Stokes, Anna Joy Shattky and David John Boyce

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**Interests**

Subject to Section 241(2) Resource Management Act 1991 (affects DP 594744)

13153773.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 13.11.2024 at 4:13 pm (Affects Lot 9 DP 594744)

Appurtenant to Lot 9 DP 594744 herein is a right of way (Pedestrian) created by Easement Instrument 13153773.5 - 13.11.2024 at 4:13 pm

Subject to a right (in gross) to convey telecommunications over Lot 17 DP 594744 marked B on DP 594744 in favour of Chorus New Zealand Limited created by Easement Instrument 13153773.6 - 13.11.2024 at 4:13 pm

The easements created by Easement Instrument 13153773.6 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity and telecommunications over Lot 17 DP 594744 marked B on DP 594744 in favour of Top Energy Limited created by Easement Instrument 13153773.7 - 13.11.2024 at 4:13 pm

The easements created by Easement Instrument 13153773.7 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Covenant Instrument 13153773.8 - 13.11.2024 at 4:13 pm (Affects Lot 9 DP 594744 and Lot 17 DP 594744)



Land Covenant in Covenant Instrument 13153773.9 - 13.11.2024 at 4:13 pm (Affects Lot 9 DP 594744 and Lot 21 DP 594744)

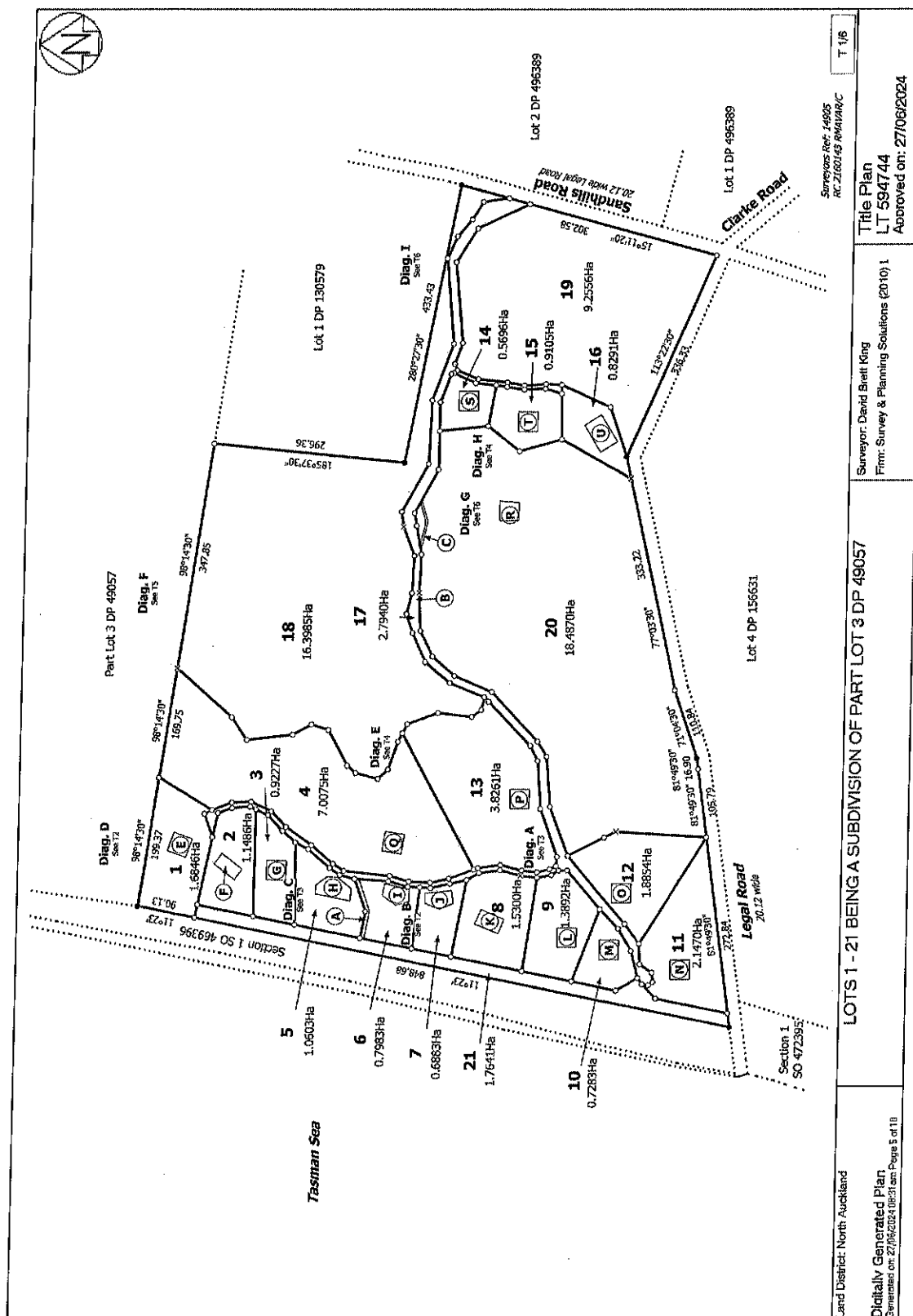
Land Covenant in Covenant Instrument 13153773.10 - 13.11.2024 at 4:13 pm (Affects Lot 9 DP 594744)

Land Covenant in Covenant Instrument 13153773.11 - 13.11.2024 at 4:13 pm (Affects Lot 21 DP 594744)

Land Covenant (in gross) in favour of One Thousand Sandhills Limited created by Covenant Instrument 13153773.12 - 13.11.2024 at 4:13 pm (Affects Lot 9 DP 594744)

Fencing Covenant in Transfer 13412362.1 - 1.10.2025 at 2:40 pm







### 3. Site Description

The proposed activity is located at 119 Tiromoana Way, Ahipara, 0481. The site is situated within a residential area on the Ahipara Peninsula, west of Kaitaia, and is accessed via Tiromoana Way.

The site comprises an established residential allotment and is generally characterised by a coastal/rural residential environment. Surrounding land uses are predominantly residential in nature, with detached dwellings located on neighbouring properties. The wider area includes a mix of permanent residences and holiday homes typical of the Ahipara locality.

The site appears to be of typical scale for the area and is not known to contain any outstanding natural features. The land is relatively open and suitable for residential development. Existing services and infrastructure in the area include formed road access and standard residential servicing typical of the locality.

There are no known significant natural hazards, heritage features, or notable physical constraints affecting the site for the proposed activity. Any required engineering, servicing, or building-related matters will be addressed through the building consent process where applicable.

The proposed activity is consistent with the surrounding residential character of the area and is not expected to adversely affect neighbouring properties or nearby land uses.

### 4. Activity Description

The proposal involves the construction of a Versatile 600 Series garage on the subject site at 119 Tirimona Way, Ahipara.

The proposed building has a footprint of approximately 42 m<sup>2</sup> and is intended to be ancillary to the existing residential use of the site. The building is proposed to be located partially outside the designated building envelope identified under the Sandhills Estate Master Plan and the applicable Allotment Management Plan.

The activity includes minor earthworks associated with foundation construction only. Stormwater from the roof of the proposed building will be managed on-site via downpipes discharging to ground through a spreader bar. No changes are proposed to the existing wastewater treatment system or soakage areas.

A resource consent is sought to vary Consent Notice 13153773.3(i) to allow the proposed building to be located partially outside the approved building envelope.

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### 5. Rules Assessment

## District Plan Zoning

The site is zoned General Coastal & Rural Production under the Far North District Council Operative District Plan and is identified within the General Coastal Zone of the Proposed District Plan.

## Consent Notice

Consent Notice 13153773.3(i) requires that development on the site complies with the Sandhills Estate Master Plan and the individual Allotment Management Plan, including adherence to the designated building envelope. The plans submitted with the building consent demonstrate that the proposed building is located partially outside the approved envelope and therefore does not fully comply with this condition.

## Activity Status

As outlined in Council's Form 4 letter, the proposal requires Resource Consent as a Discretionary Activity to vary the Consent Notice condition pursuant to section 221 of the Resource Management Act 1991.

## District Plan Compliance

Aside from the location of the building relative to the building envelope, the proposal is generally compliant with the relevant provisions of the Operative and Proposed District Plans, including:

- Building scale and coverage, which remains low relative to the site area
- Setbacks from site boundaries
- Provision of on-site stormwater management
- Maintenance of low-density development consistent with the coastal environment

The proposed activity does not introduce any additional non-compliances with District Plan rules beyond the consent notice variation sought.

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## 6. Assessment of Environmental Effects (AEE)

### Introduction

This Assessment of Environmental Effects has been prepared in accordance with Schedule 4 of the Resource Management Act 1991, including clauses 6 and 7, and assesses the actual and potential effects of the proposed activity on the environment.

### Effects on Visual Amenity and Landscape Character



The proposed building is small in scale (42 m<sup>2</sup>) and is ancillary to existing development on the site. Its siting adjacent to existing buildings means it will not appear visually prominent when viewed from Sandhills Road or neighbouring properties.

The proposal maintains the low-density, open coastal character anticipated by the Sandhills Estate Master Plan and will not result in adverse effects on the wider landscape character of the area.

### Effects on Neighbouring Properties

Given the scale and location of the building, no adverse effects on neighbouring properties are anticipated in terms of shading, dominance, or loss of privacy. The building does not encroach into covenanted or revegetation areas and remains well within the capacity of the site to accommodate additional structures.

### Effects on Natural Environment

The proposal does not involve vegetation clearance beyond the immediate building footprint. Covenanted areas, revegetation planting, and ecological values identified under the Sandhills Estate Master Plan remain unaffected.

### Stormwater and Wastewater Effects

Stormwater from the proposed roof will be managed on-site via downpipes discharging to ground using a spreader bar, ensuring stormwater is dispersed and does not create runoff or erosion effects. Existing wastewater treatment and soakage systems are not affected by the proposal.

### Mitigation Measures

Potential adverse effects are mitigated through:

- Limiting the size and scale of the building
- Locating the building adjacent to existing development
- On-site stormwater disposal
- Retention of existing landscape and open space
- Avoidance of covenanted and revegetation areas

### Assessment Against Objectives and Policies

The proposal is consistent with the objectives and policies of the Operative and Proposed District Plans relating to:

- Managing development within the coastal environment
- Maintaining rural and coastal character
- Enabling reasonable use and development of land
- Avoiding, remedying, or mitigating adverse environmental effects

While the proposal does not strictly comply with the building envelope requirement, it continues to achieve the outcomes intended by the Sandhills Estate Master Plan and does not undermine the purpose of the consent notice.

## Conclusion

The proposed variation to Consent Notice 13153773.3(i) will result in no more than minor adverse effects on the environment. The proposal is considered appropriate under the Resource Management Act 1991 and consistent with the objectives and policies of the relevant District Plans.



# Project Information:

Lot 9

DP-

Area: 13896 m<sup>2</sup>

Val'n No. -

Wind Zone: VERY HIGH

A/Open/Exposed/T2

as per NZS3604:2011 Section 5.2

Exposure Zone: D

District Plan Zone:

General Coastal

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO STARTING . ALL DIMENSIONS IN MM UNLESS STATED  
Note: Construction to comply with NZS3604:2011 and the New Zealand Building Code

FLAXPOD<sup>®</sup>  
TSR 21% LRV 7%



Earthworks: for foundations only

## STORMWATER MANAGEMENT

Impermeable Surfaces:

Existing roof area: 176m<sup>2</sup>

Existing driveway: 420m<sup>2</sup>

Proposed building roof area: 42m<sup>2</sup>

Total Impermeable Area: 638m<sup>2</sup> (4.6%)

Building Coverage:

Existing Building footprint: 176m<sup>2</sup>

Proposed Building footprint: 42m<sup>2</sup>

Total Building Coverage: 218m<sup>2</sup> (1.6%)

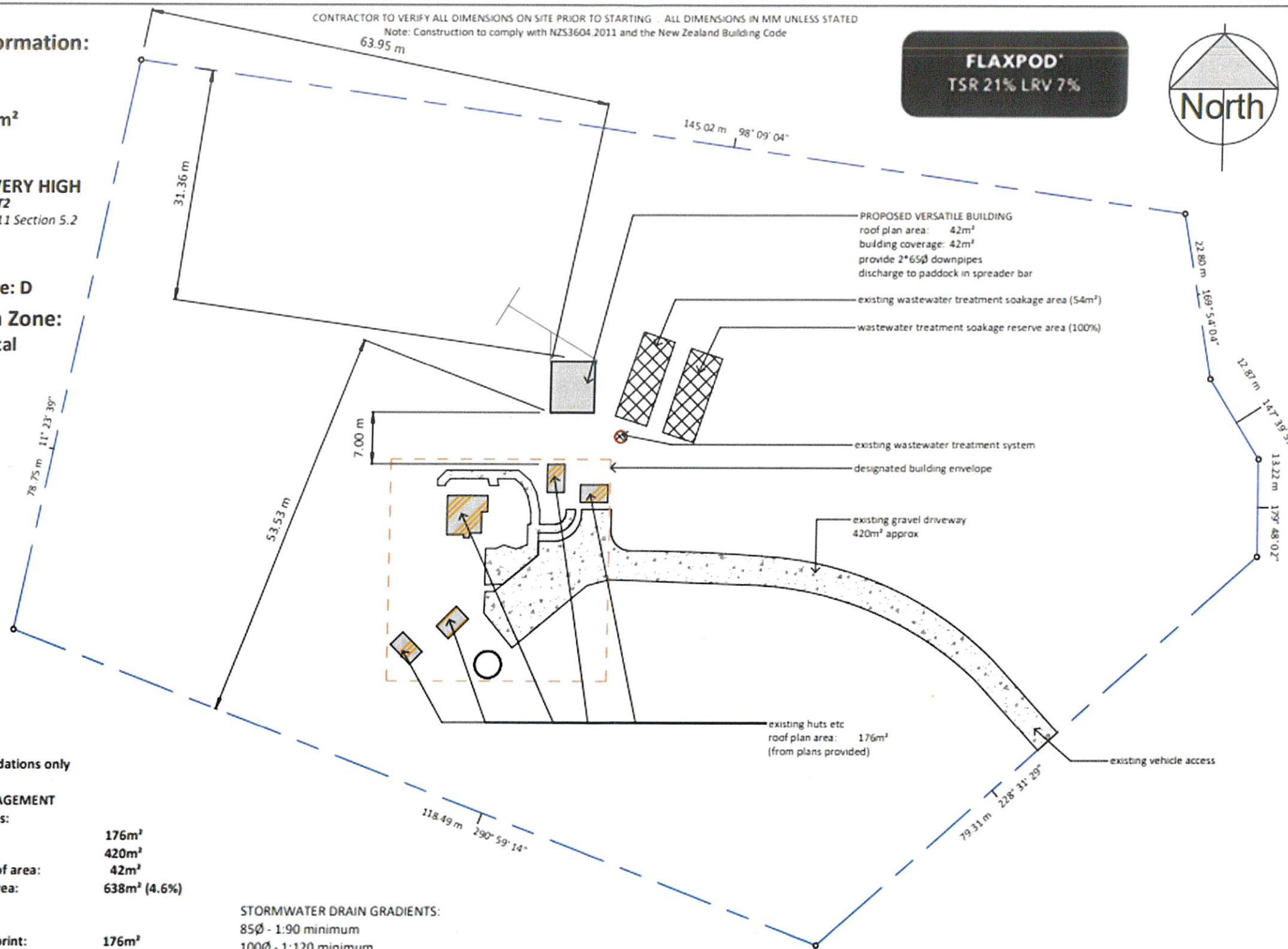
## STORMWATER DRAIN GRADIENTS:

85Ø - 1:90 minimum

100Ø - 1:120 minimum

150Ø - 1:200 minimum

(all as per Table 2 E1/AS1)



PROPOSED VERSATILE BUILDING FOR:  
**STOKES**  
1000 Sandhills Road, Ahipara

DRAWING TITLE:

SITE PLAN

REVISIONS  
Date

SCALE @ A3  
1 : 500

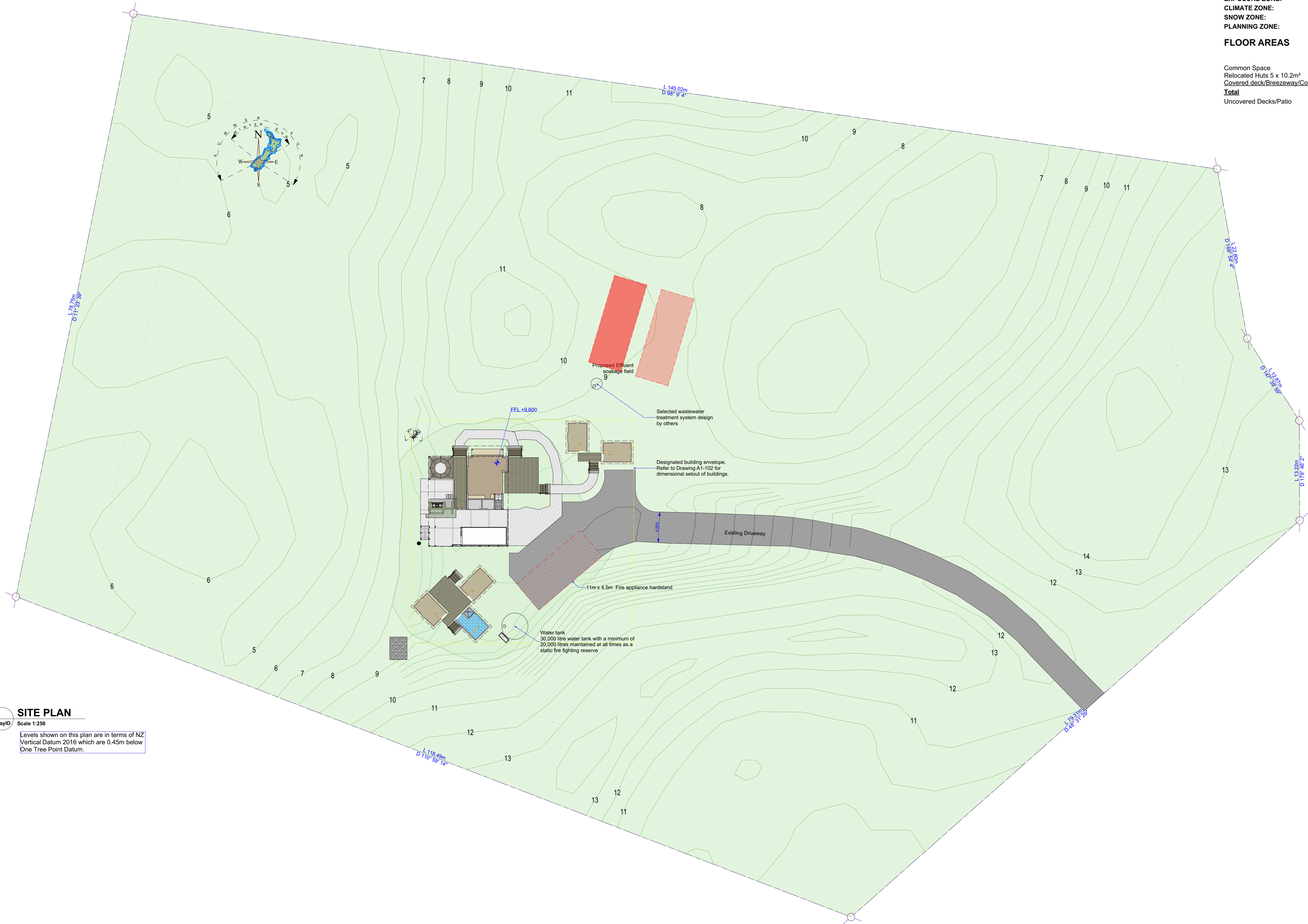
DATE:  
November 2025

C.A.D. PROJECT #: V25681

SHEET No.

**01**

OF 1



**SITE PLAN**  
#LayID/ Scale 1:250  
Levels shown on this plan are in terms of NZ Vertical Datum 2016 which are 0.45m below One Tree Point Datum.

PROJECT INFORMATION:	
LOCATION:	LOT 9 1000 Sandhills Road Ahipara Kaitia 0483
LEGAL DESCRIPTION:	LOT 9 being subdivision of Part Lot 3 DP 49057, DP:
TBC	
CERT OF TITLE:	TBC
SITE AREA:	13,896 m²
BUILDING FLOOR AREA:	176m²
SITE COVERAGE:	800 sqm Building Envelope
DESIGN INFORMATION	
WIND ZONE:	Very High
EARTHQUAKE ZONE:	Zone 1
EXPOSURE ZONE:	Zone D
CLIMATE ZONE:	Zone 1
SNOW ZONE:	N0
PLANNING ZONE:	General Coastal Zone
FLOOR AREAS	
Common Space	39.00m²
Relocated Huts 5 x 10.2m²	51.00m²
Covered deck/Breezeway/Container	86.00m²
<b>Total</b>	<b>176.00m²</b>
Uncovered Decks/Patio	47.00m²

RevID	ChID	Revision	Date

**SORTED**ARCHITECTURE

80 Ardmore St PO Box 339 Wanaka New Zealand  
Phone 03 443 1661 Mob 0274474147  
info@sortedarchitecture.co.nz www.sortedarchitecture.co.nz

CONSULTANTS:

JOB TITLE:  
**SANDHILLS BEACH HUTS**  
LOT 9 1000 Sandhills Road  
Kaitia

CLIENT:  
John Stokes

DRAWING TITLE:  
**SITE PLAN**

SCALE:  
**1:250 @ A1**

DATE:  
**1/07/2024**

DESIGNED BY:  
STEVE HUMPERSON

DRAWN BY:  
SH

CHECKED BY:  
STEVE HUMPERSON

STAGE:  
CONSTRUCTION

DRAWING No.:

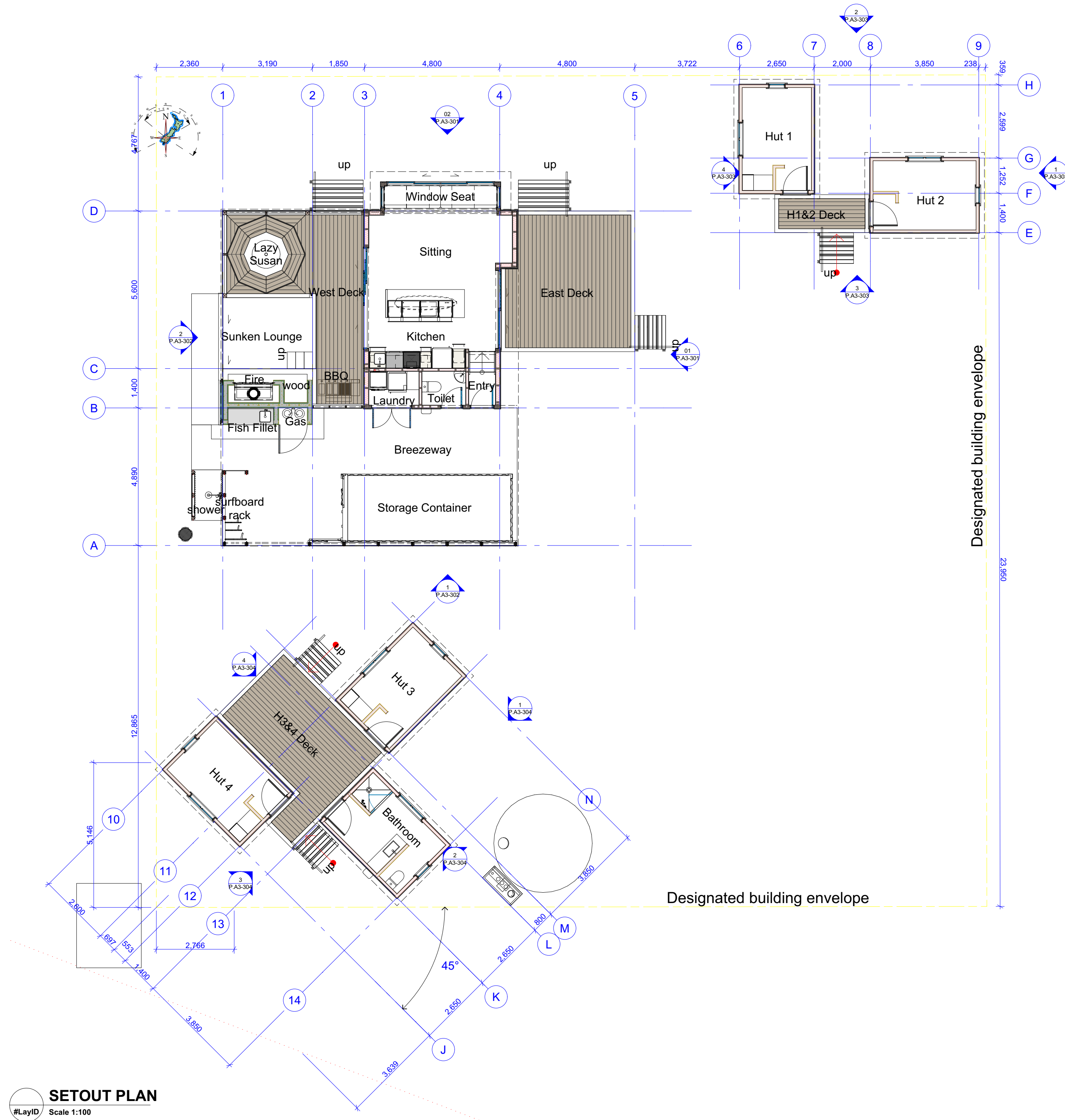
REV.

JOHN Beach  
Huts A26 DD03 plan

**A1-101**

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON SITE.  
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS.  
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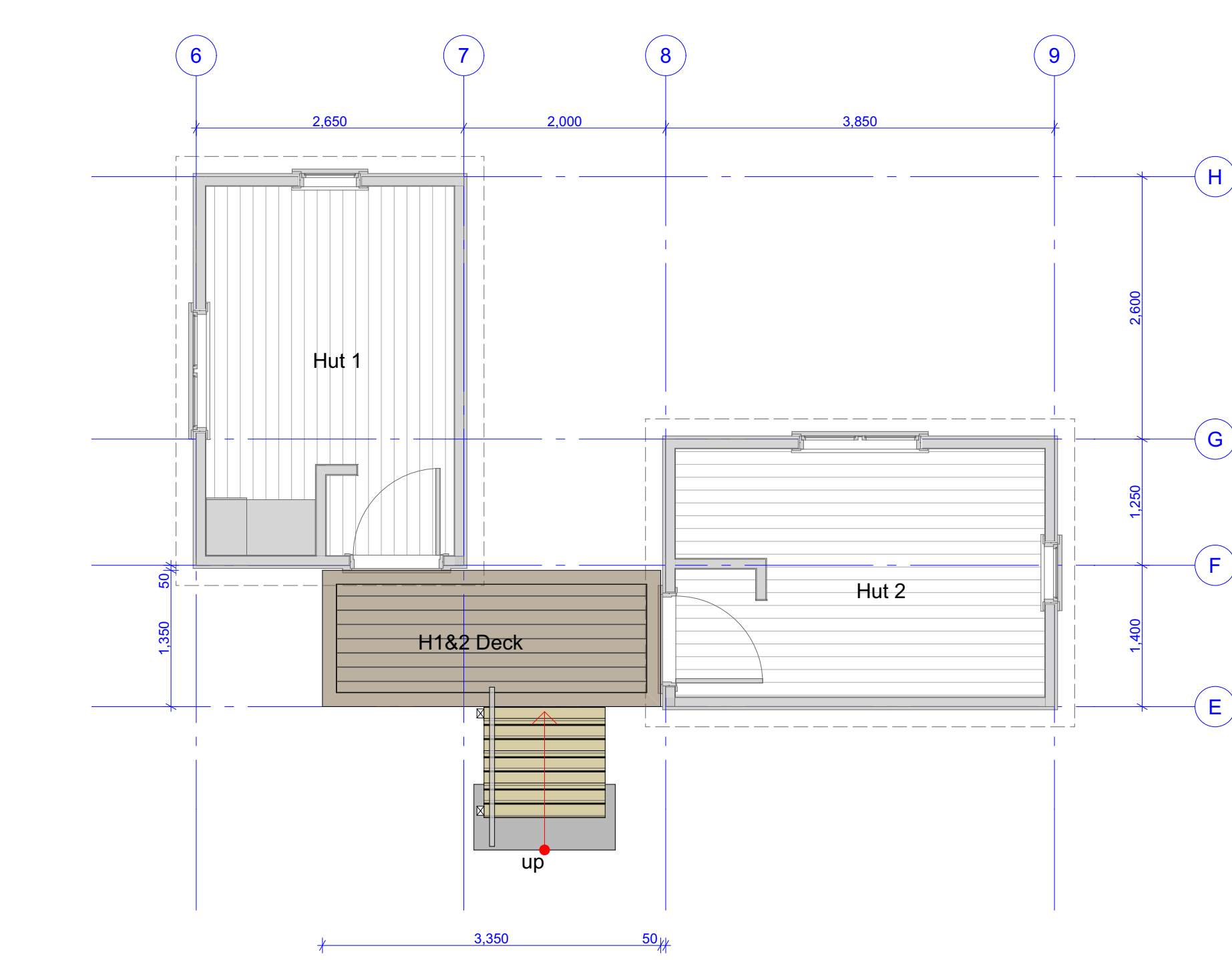




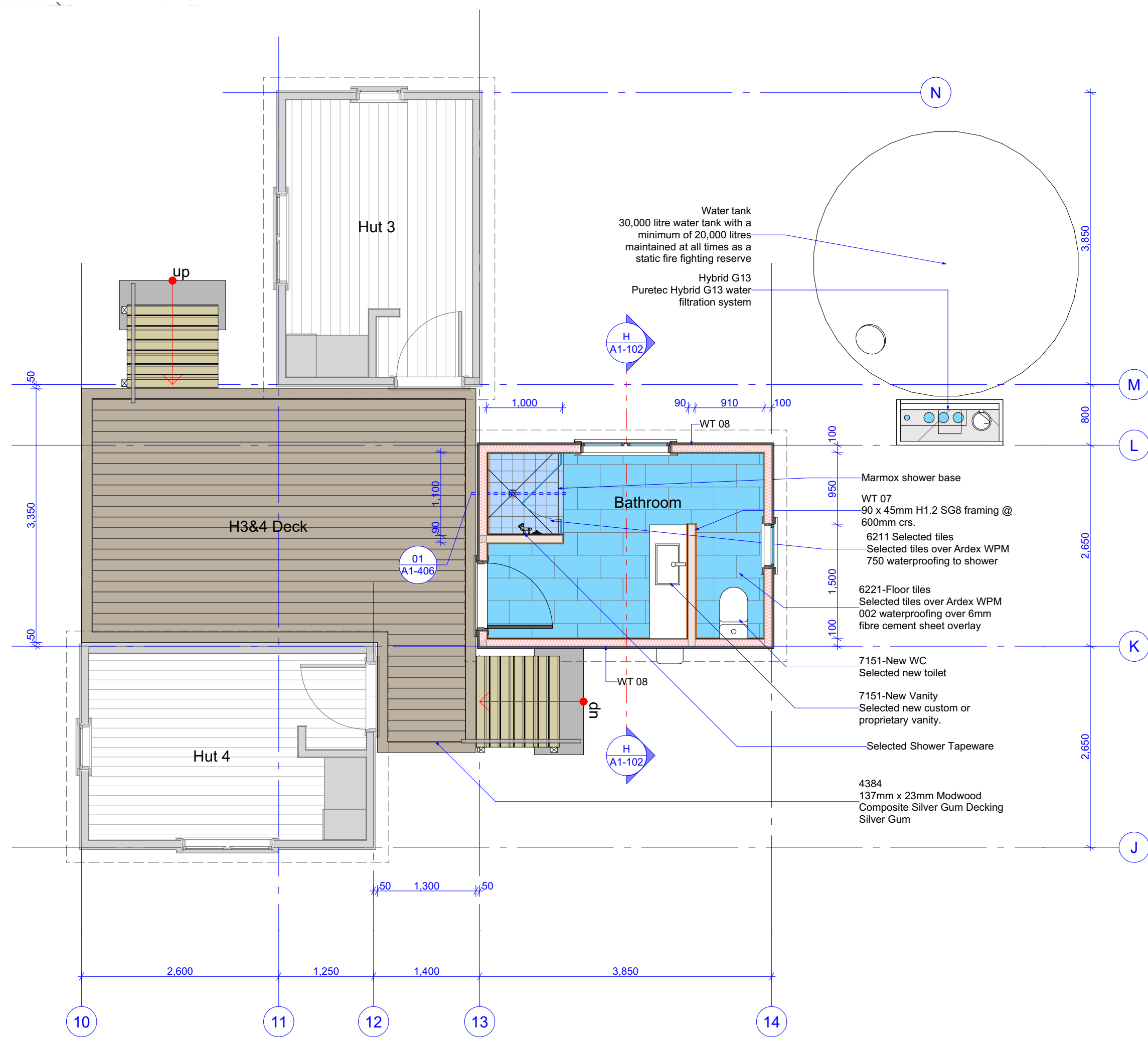
**SETOUT PLAN**  
#LayID Scale 1:100

- 4311- Existing Roofing  
ER01  
90x45mm existing timber Rafter @ 600mm centres  
EW01  
Existing timber window  
Replace existing softboard ceiling with new 13mm GIB Aqualine  
Fix to timber battens spaced at 600mm c/c with 32mm x 6g GIB® Grabber™ Screws and GIB® Allbond glue to manufacturers instructions  
Existing bevelback weatherboards, paint finished, Resene Bokara Grey
- WT 08  
Existing 100 x 50mm timber framing @ 600mm c/c  
FJ01  
Existing 90x45mm timber Joist @ 600mm centres  
+9.600
- 1 GROUND FLOOR**  
Br01  
90 x 70mm existing timber Bearer  
2316-02  
House-Driven Timber Ordinary Pile:  
175mm small end diameter H5 treated  
High Density No.1 Framing timber to  
comply with NZS 3631 and NZS 3605.  
Br04  
SG8 2/240x45mm H3.2 timber Bearer
- 6211 Wall tiles  
Selected tiles to new wall over 10mm  
GIB Aqualine  
Remove existing hardboard and replace  
with new 10mm GIB Aqualine  
plasterboard wall lining  
Install new Pink® Batts® R2.8 ULTRA®  
90mm wall insulation
- 7126-01  
Rinnai INFINITY® A26 Graphite®  
external continuous flow gas hot water  
system
- 7151-New Vanity  
Selected new custom or proprietary  
vanity.  
6221-Floor tiles  
Selected tiles over Ardex WPM 002  
waterproofing over 6mm fibre cement  
sheet overlay
- 6217 Tile Skirting  
Selected tile skirting 150mm high  
+9.600
- 1 GROUND FLOOR**  
4749-Expol insulation  
Expol R2.5 underfloor insulation
- 4221-Base boards  
90 x 45mm H3.2 timber base boards  
spaced with 20mm gaps between  
boards.

**1 SECTION H**  
#LayID Scale NTS



**1 FLOOR PLAN - HUTS 1&2**  
#LayID Scale 1:50



**1 FLOOR PLAN - HUTS 3&4**  
#LayID Scale 1:50

RevID	ChID	Revision	Date

**SORTED ARCHITECTURE**  
80 Ardmore St PO Box 339 Wanaka New Zealand  
Phone 03 443 1661 Mob 0274474147  
info@sortedarchitecture.co.nz www.sortedarchitecture.co.nz

CONSULTANTS:

JOB TITLE:  
**SANDHILLS BEACH HUTS**  
LOT 9 1000 Sandhills Road  
Kaiaia

CLIENT:  
John Stokes

DRAWING TITLE:  
**SET OUT PLAN &  
RELOCATED HUT  
FLOOR PLANS**

SCALE: <b>1:100, 1:50 @ A1</b>	DATE: <b>1/07/2024</b>
DESIGNED BY: STEVE HUMPHERSON	DRAWN BY: SH
STAGE: CONSTRUCTION	CHECKED BY: STEVE HUMPHERSON
REV.	DRAWING No.: <b>A1-102</b>

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON SITE.  
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF DRAWINGS.  
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## View Instrument Details

<b>Instrument No</b>	13153773.3
<b>Status</b>	Registered
<b>Lodged By</b>	Warner, Nicole Judith
<b>Date &amp; Time Lodged</b>	13 Nov 2024 16:13
<b>Instrument Type</b>	Consent Notice under s221(4)(a) Resource Management Act 1991

<b>Affected Records of Title</b>	<b>Land District</b>
1150142	North Auckland
1150143	North Auckland
1150144	North Auckland
1150145	North Auckland
1150146	North Auckland
1150147	North Auckland
1150148	North Auckland
1150149	North Auckland
1150150	North Auckland
1150151	North Auckland
1150152	North Auckland
1150153	North Auckland
1150154	North Auckland
1150155	North Auckland
1150156	North Auckland
1150157	North Auckland
1150158	North Auckland

<b>Annexure Schedule</b>	Contains 3 Pages
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### Signature

Signed by Nicole Judith Warner as Territorial Authority Representative on 07/08/2024 04:17 PM

**\*\*\* End of Report \*\*\***



## **THE RESOURCE MANAGEMENT ACT 1991**

### **SECTION 221: CONSENT NOTICE**

#### **REGARDING RC 2160143-RMAVAR/C**

Being the Subdivision of PT LOT 3 DP 49057 BLK II AHIPARA SD  
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

### **SCHEDULE**

#### **Lots 1 to 16 & Lots 18 to 20 DP 594744**

- i) The Lot is subject to the Sandhills Estate Master Plan, and the individual Allotment Management Plan applying to each Lot which addresses scale, siting and design of buildings, landscape development and planting, activities in covenanted areas, revegetation, weed and pest management, stormwater and wastewater management.

The Sandhills Estate Master Plan and the individual Allotment Management Plan relative to each of the above Lots shall be observed and continued and shall not cease without the express permission of Council.

#### **Lot 1 to 12 DP 594744**

- ii) A 'Coastal hazard assessment' prepared by Tonkin and Taylor, job number 31461.v1, dated April 2016 (submitted in support of RC2160143), considers the effects of coastal inundation, coastal erosion and tsunami on the lot. The report sets minimum floor levels at 4.8 metres One Tree Point Vertical Datum 1964. No habitable building shall be constructed with finished floor levels below this.

#### **Lots 1 to 16, 18, 19 and 20 DP 594744**

- iii) Future owners of the Lot shall be aware of the cultural significance of the sites identified in the 'Cultural Impact Assessment, Sandhills Estate' submitted in support of RC2160143. Future owners of the Lot are required to give effect to any requirements outlined in the Cultural Impact Assessment. The intent of the 'Cultural Impact Assessment' is to inform future landowners about the importance of respecting and acknowledging the cultural values and the purpose of the adjoining conservation reserve to protect the waahi tapu and to avoid accidental transgressions on any tapu.

### **Lots 18, 19 and 20 DP 594744**

- iv) Future owners of the Lot shall ensure that the planting in Appendix B of the Sandhills Estate Master Plan (entitled 'Landscape Plan & Requirements') is maintained and managed for a period of five (5) years from the date of deposit of plan 594744 in accordance with the methodologies set out in that document (particularly the Planting Notes). If, during the five (5) year period, any part of the initial planting is lost by more than 10%, then the amount exceeding 10% shall be replaced at the owner's expense with the same species or equivalent as approved by Council's Resource Consent Manager, or Delegated Officer.

The owners of the Lot 18, 19 and 20 on DP 594744 shall:

- (a) engage a suitably qualified contractor to carry out the maintenance programme set out above for the requisite five (5) year period; and
- (b) shall arrange for the maintenance programme to be reviewed by an independent and suitably qualified person annually on the anniversary of the deposit of plan 594744 for the five (5) year period and provide a report to Council on progress.

This Consent Notice will be cancelled on the expiry of five (5) years from the date of deposit of plan 594744 (at the Lot owners expense) provided that Council has received satisfactory annual reports for the five years prior.

### **Lots 1 to 16 and Lots 18, 19, 20 DP 594744**

- v) No owner, occupier, or visitor shall keep or introduce to the Lots or any part of the Sandhills Estate carnivorous or omnivorous animals (such as, but not limited to, cats, dogs, or mustelids) which have the potential to be predators of kiwi or other vulnerable fauna.

### **Lots 1 to 16 and Lots 18, 19, 20 DP 594744**

- vi) No earthworks shall be carried out or building erected on any Lot without the prior approval of Council's Resource Consent Manager, or Delegated Officer, to the specific design for cut and fill batters, retaining walls and building foundations.

### **Lots 18, 19, 20 DP 594744**

- vii) Residential development on the amalgamated area of Lots 18, 19 and 20 is limited to one residential unit and one worker's cottage. In respect of any residential unit that is developed, this shall be located on the building platform identified 'R' on Lot 20.

### **Lots 1 to 16 and 18, 19, 20 DP 594744**

- viii) No further subdivision may occur on the Lot.



SIGNED:

\_\_\_\_\_  
Ms Nicola Cowley - Authorised Officer  
By the FAR NORTH DISTRICT COUNCIL  
Under delegated authority:  
PRINCIPAL PLANNER – RESOURCE CONSENTS

DATED at **KERIKERI** this 24<sup>th</sup> day of July 2024.



19 January 2026

Jonathon Redpath Stokes and David John Boyce and Anna Joy Shattky  
9 Te Ahuahu Road  
RD 2  
New Lynn  
0772

Dear Sir / Madam,

**Building consent number:** EBC-2026-520/0  
**Property ID:** 3365889  
**Address:** 119 Tiromoana Way, Ahipara 0481  
**Description:** Construct a Versatile 600 Series garage

### Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

**NB:** As of 27<sup>th</sup> July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules  
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **General Coastal & Rural Production** under the Operative District Plan, and these works are proposed in the General Coastal Zone. There are Consent Notices registered on the Record of Title for this property and compliance has not been demonstrated for the following:

<b>Consent Notice:</b>	13153773.3 condition i) The Lot is subject to the Sandhills Estate Master Plan, and the individual Allotment Management Plan applying to each Lot which addresses scale, siting and design of buildings, landscape development and planting, activities in covenanted areas, revegetation, weed and pest management, stormwater and wastewater management. The Sandhills Estate Master Plan and the individual Allotment Management Plan relative to each of the above Lots shall be observed and continued and shall not cease without the express permission of Council.
<b>Reason:</b>	Plans appear to demonstrate this proposed building work outside the approved building envelope. You can either: 1. Provide documentation to demonstrate compliance with this condition; or 2. Provide Resource Consent approval to Vary this consent notice condition.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from [www.fndc.govt.nz](http://www.fndc.govt.nz) and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on [Duty.Planner@fndc.govt.nz](mailto:Duty.Planner@fndc.govt.nz) or 0800 920 029.

Yours faithfully



Lysigna Mare

PIM Officer

**Delivery and Operations**

Emailed to: [waipapa@versatile.co.nz](mailto:waipapa@versatile.co.nz)

**FORM 4**  
**Certificate attached to**  
**PROJECT INFORMATION MEMORANDUM**  
Section 37, Building Act 2004

**Building Consent Number: EBC-2026-520/0**

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER  
RESOURCE MANAGEMENT ACT 1991**

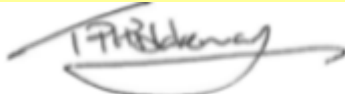
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

- **Variation of Consent Notice Condition - REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman  
Manager - Building Services –  
Delivery and Operations  
Far North District Council (Building Consent Authority)  
19 January 2026

Position:

On behalf of:

Date:





PRODUCER STATEMENT  
AND  
STRUCTURAL DETAILS

CLIENT:

John Stokes  
1000 Sandhills Rd  
Ahipara  
0483

BUILDING:

VRS Project Ref: 4764163  
Model: Versatile 600 Series  
Size: 7.000m long x 6.000m wide, 2.420m stud height  
Wind Zone: Very High  
Snow Loading: None region,  $S_g = 0.0\text{kPa}$   
Earthquake Zone: 1  
Exposure Zone: Zone D  
Roof Details: 15 degree pitch, 6 Rib 0.40mm roofing, NZ Steel Colorsteel  
Trusses: 90x45mm kiln dried H1.2, stress graded timber as per floor plan  
Wall Framing: 90x45mm kiln dried H1.2, stress graded timber  
Cladding: Superclad rollformed profile, NZ Steel Colorsteel  
Downpipe Size: Round PVC 65mm Diameter PVC  
Floor Type: Concrete

BUILDING CONSENT AUTHORITY:

Far North District Council

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3	Producer Statement
4	Durability Statement
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8	Floor Plan General
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12	Opening Details
13	Roof Framing
14	Truss Design
15	Truss Fixing Details
16	Roof Bracing
17	Wall Bracing Demand
18-19	Wall Bracing Achieved
20	Bracing Elements
21-23	Flashing Details

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VB2000 - Design

Sheet 1 of 23



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PRODUCER STATEMENT – PS1  
DESIGN

**BUILDING CODE CLAUSE(S):** B1 and B2  
**ISSUED BY:** Spanbild New Zealand Limited  
*(Engineering Design Firm)*  
**TO:** John Stokes  
*(Owner/Developer)*  
**TO BE SUPPLIED TO:** Far North District Council  
*(Building Consent Authority)*  
**IN RESPECT OF:** Proposed Building (Garage)  
*(Description of Building Work)*  
**AT:** 1000 Sandhills Rd, Ahipara, 0483, New Zealand  
*(Address, Town/City)*  
**LEGAL DESCRIPTION:**

We have been engaged by the owner/developer referred to above to provide *(Extent of Engagement)*:  
VB2000, Sheets 1, 3-20  
in respect of the requirements of the Clause(s) of the Building Code specified above for part only, as specified in the  
Schedule, of the proposed building work.

The design carried out by us has been prepared in accordance with:

- ☒ Compliance documents issued by the Ministry of Business, Innovation & Employment *(Verification method/acceptable solution)* B1/VM1, B1/VM4, B2/AS1, AS/NZS 1170 (Parts 0, 1, 2 & 3), NZS 3603:1993, NZS 3604:2011 and/or;
- ☐ Alternative solution as per the attached Schedule.

The proposed building work covered by this producer statement is described on the drawings specified in the Schedule, together with the specification, and other documents set out in the Schedule.

**On behalf of the Engineering Design Firm,** and subject to:

- Site verification of the following design assumptions: Building IL1, Light roof, Max. height 4.2m
- All proprietary products meeting their performance specification requirements;

**I believe on reasonable grounds** that:

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the Schedule, will comply with the relevant provisions of the Building Code and that;
- the persons who have undertaken the design have the necessary competency to do so.

I recommend the ~~N/A~~ level of **construction monitoring**.

I, *(Name of Engineering Design Professional)* Claude Antony Carter Cook, am:

- ☒ CPEng number 240891

and hold the following qualifications CP Eng, IntPE, BE(Hons)

The Engineering Design Firm holds a current policy of Professional Indemnity Insurance no less than \$200,000  
The Engineering Design Firm is not a member of ACE New Zealand.

**SIGNED BY** *(Name of Engineering Design Professional)*: Claude Antony Carter Cook

**ON BEHALF OF** *(Engineering Design Firm)*: Spanbild New Zealand Limited Date 05/12/2025

**Note:** This statement has been prepared solely for the Building Consent Authority named above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to the Engineering Design Firm only. As a condition of reliance on this statement, the Building Consent Authority accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000.

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.



association of  
consulting and  
engineering



**JOB NUMBER:** 4764163

N/A ☐

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EXPLANATION

This design covers the structural aspects of a Versatile 600 Series building.  
The sequence of design information is broken down into the following categories:

- Concrete Floor
- Wall Framing.
- Truss Design.
- All Structural Fixings.
- Building Bracing Design for both Roof and Walls.

All other aspects of the structure are constructed in accordance with the standard Versatile Buildings details.

These buildings have been designed for a Building Importance Level 1, with a 50 year working life. Refer to AS/NZS 1170.0:2002

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DESIGN LOADS

Dead Loads for Light Roof:  
Truss Top Chord= 0.15kPa (includes weight of trusses, purlins , associated framing and zincalume roof).  
Truss Bottom Chord=0.15kPa (no ceiling) or 0.20kPa if there is a ceiling for trusses @ 1200crs.

Live Loads:  
Truss Top Chord= 1.1kN concentrated load, 0.25kPa uniform load.  
Truss Bottom Chord=0.9kN concentrated load below 1200mm head height and 1.4kN concentrated load above 1200mm head height.

Wind Loads:  
Building designed for Very High wind conditions.

Seismic loads:  
Building designed for Seismic Zone 1.

Snow loads:  
Buildings designed for None, Sg = 0.0kPa

Refer to Spanbild New Zealand Limited for any design modifications required for increase in snow loads or wind loads above those stated on the drawings.

DESIGN REFERENCES

- NZS3603:1993
- NZS3604:2011
- AS/NZS1170 Part 0:2002
- AS/NZS1170 Part 1:2002
- AS/NZS1170 Part 2:2011
- AS/NZS1170 Part 3:2003
- ANSI/TPI1 - 2002

For: John Stokes  
1000 Sandhills Rd  
Ahipara  
0483

VB2000 - Design

Producer Statement

Sheet 3 of 23

MANUFACTURERS DURABILITY STATEMENT

INTRODUCTION.

To satisfy the requirements of Clause B2:'Durability' of the New Zealand Building Code, the following provisions must apply to the metal cladding.

RANGE OF PRODUCT AND USE.

Specification: AS1397:2021  
Coating Type: Zinc/Aluminium & Painted  
Steel Thickness Range: 0.35mm - 0.95mm BMT  
Steel Grade Range: G300 - G550  
Application: Cladding for Building Importance Level 1, with a 50 year working life.  
Refer AS/NZS 1170.0:2002  
Fasteners: Galvanised clouts. Aluminium rivets for all steel components.  
IFI114:2015

REQUIREMENTS, LIMITATIONS AND EXCLUSIONS.

- Applicable to buildings in sea-spray Zone D and exposure Zones B and C in accordance with Section 4, Durability, NZS 3604:2011 which is an acceptable solution under Clause B2 of the NZBC.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding, and the following guide must be followed to ensure the durability requirements are met.

REGULAR MAINTENANCE.

Exposure Zones B and C. (All areas other than sea-spray zones - see below)

- Rain washing only required on the exposed sections. Sheltered or protected areas such as under spouting , top cladding boards and tops of doors require washing every three months.

Sea-spray Zone D (Within 500m from the sea or 100m from sheltered harbours or inlets) and areas of geothermal activity.

- Rain washing only required on exposed areas. Sheltered and protected areas such as under spouting, top cladding boards and tops of doors require washing down every month and when corrosive salts are present.

EXTENDED MAINTENANCE, PAINTING OR REPAINTING.

Extended Durability

- Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material painting of the entire surface is required to extend the life of the cladding product. Paint manufacturer's recommendations are to be followed for the surface preparation and paint type to be used.

Evident Corrosion

- Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products. Present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the paint manufacturer's recommendations is then required. Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may have started, due to moisture and dirt entrapment. If evident corrosion is not treated quickly, rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

REFERENCES.

1. NZBC - Compliance Document - Clause B2 - Durability.
2. NZS 3604:2011, Section 4, Durability\*

\*NZS3604 has been used as a reference only to identify Corrosion zones, Sea-spray zones.



For: John Stokes  
1000 Sandhills Rd  
Ahipara  
0483

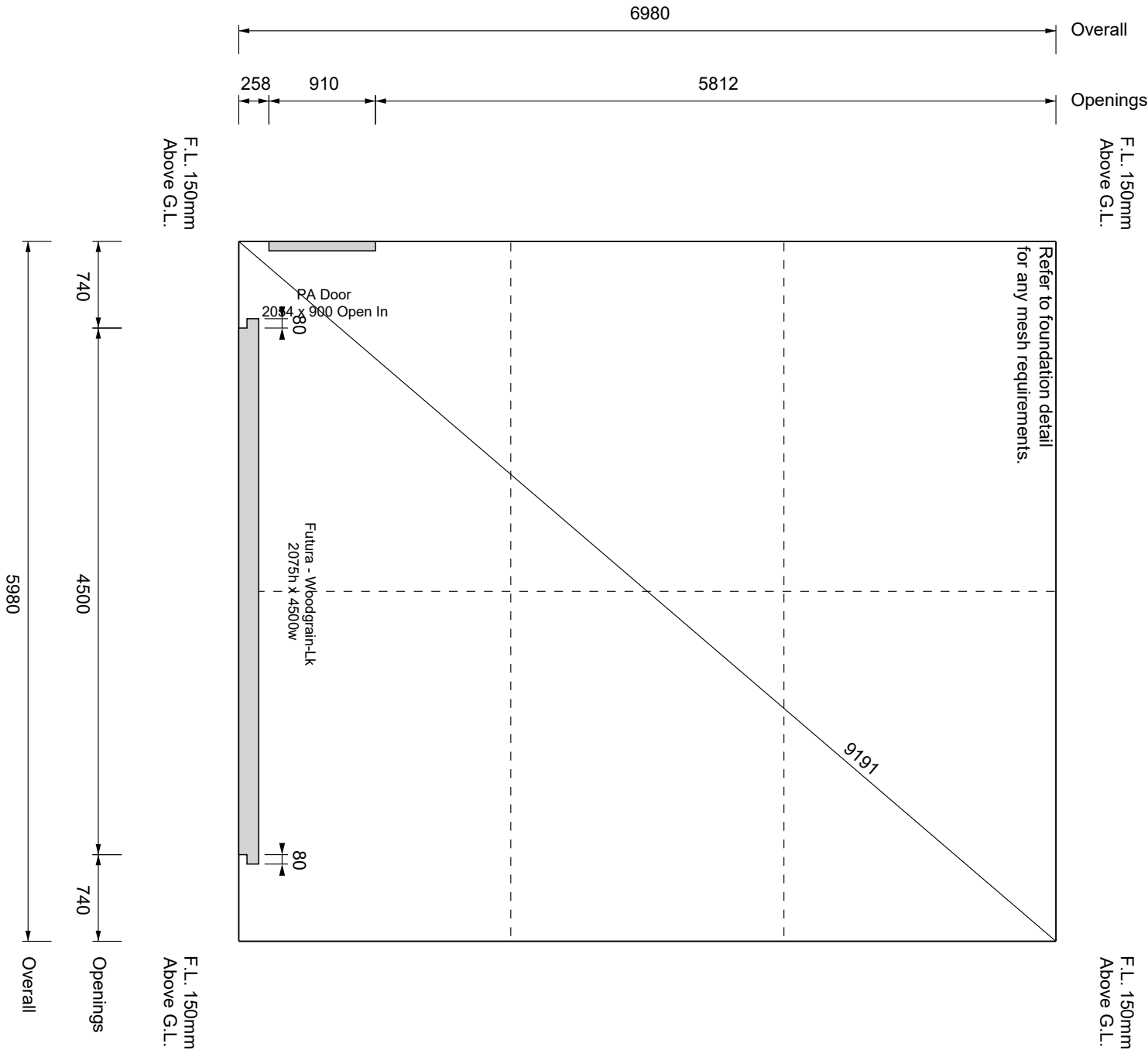
VB2000 - Design

Durability Statement


Sheet 4 of 23



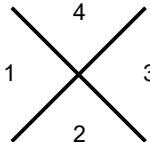
DIMENSIONS IN mm UNLESS OTHERWISE STATED THIS IS A C.A.D. DRAWING AND MUST NOT BE ALTERED BY MANUAL METHODS



SCALE A3-1:50

LEGEND	
	Diagonal: 9191
-----	Expansion Cut

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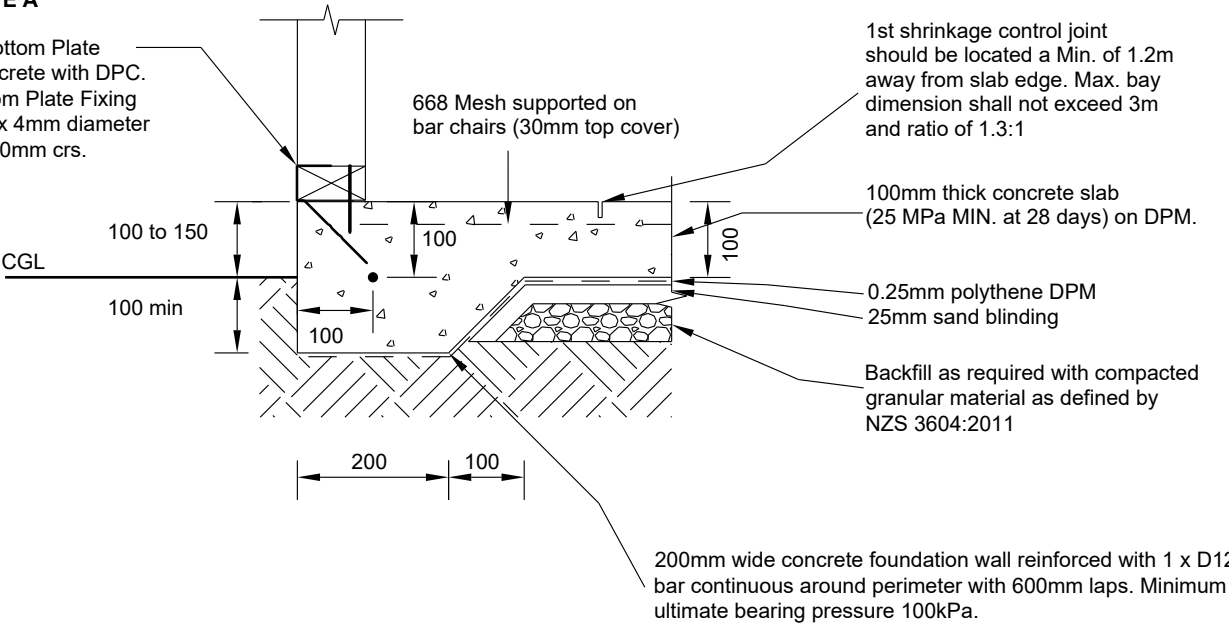


GARAGE FOUNDATION DETAIL

- Notes: 1. Concrete covers have been selected in accordance with NZS 3101, Part 1 Section 3.  
2. Strip the site, removing vegetation, turf, soils containing organic matter and any loose or soft material, trim to a firm subgrade. Backfill as required with compacted granular material as defined by NZS 3604:2011 in max layers of 150mm.  
3. Footing Type A shall be found in good ground defined by NZS 3604 but having a minimum ultimate bearing capacity of 100kPa.  
4. Where the ultimate bearing capacity is less than 100kPa use Footing Type B.  
5. For Type M and H Expansive Soils, use Footing Type B with 1200 deep pile reinforced with 1 vertical D12 400 mm return into slab.  
6. 28-Day concrete strength to be 25 MPa for zone D as per figure 4 in NZS 3604:2011.  
7. Liquefaction Vulnerability where liquefaction damage is unlikely (very low or low liquefaction vulnerability).

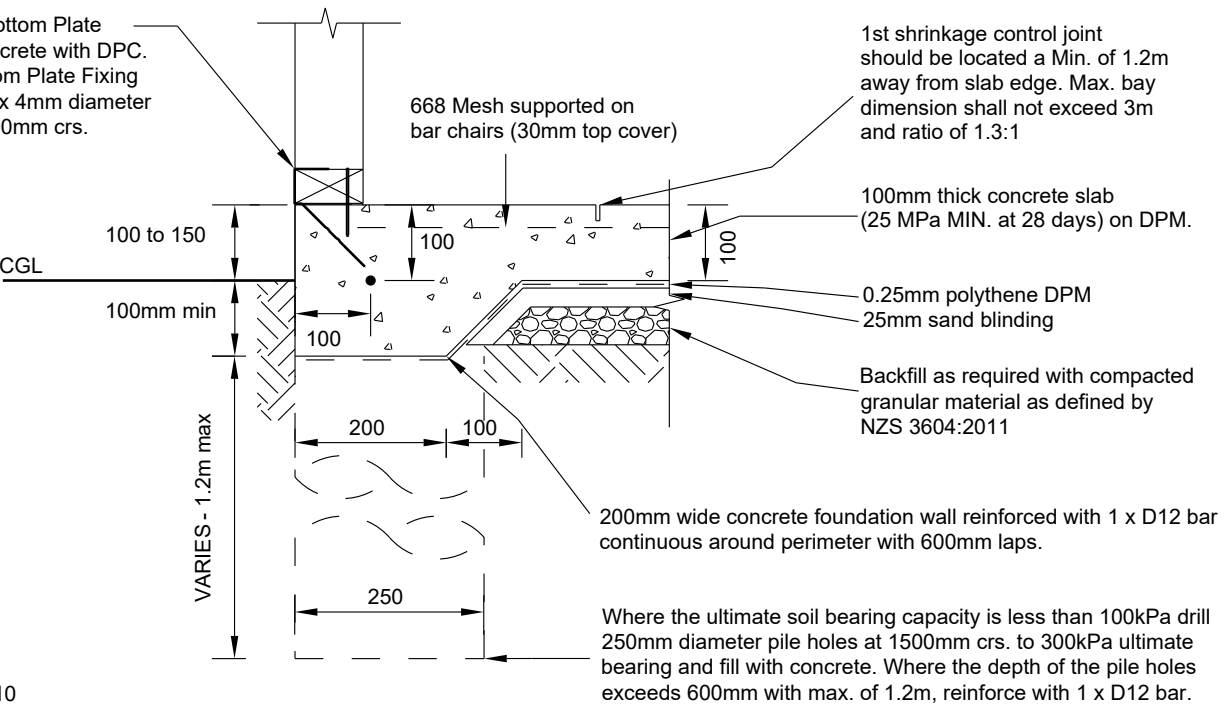
FOOTING TYPE A

90x45 SG8 H3.2 Bottom Plate separated from concrete with DPC. LUMBERLOK Bottom Plate Fixing Anchor with 75mm x 4mm diameter nail adjacent at 1200mm crs.



FOOTING TYPE B

90x45 SG8 H3.2 Bottom Plate separated from concrete with DPC. LUMBERLOK Bottom Plate Fixing Anchor with 75mm x 4mm diameter nail adjacent at 1200mm crs.



SCALE: A3-1:10

SCHEDULE TO PS1

The foundations/slabs have been designed to support Building Importance Level 1 Structures (Low Consequence of Failure\*). For further definition, refer to AS/NZS 1170.0 Table 3.1. The design parameters of the footing/slab are referenced in the drawings labelled FOUNDATION DETAILS.

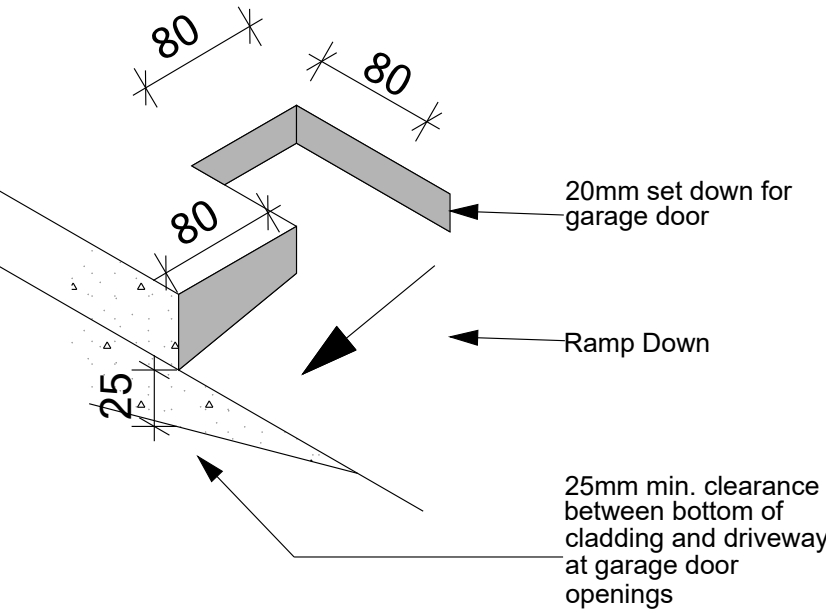
Furthermore, regarding the site conditions, a suitably qualified engineer will need to be notified when:

- Through reasonable inquiry, project information (PIM), and site observation show:
  - Evidence of buried services or revealed by excavation.
  - Record of landslips (land instability), surface creep having occurred in the immediate locality.

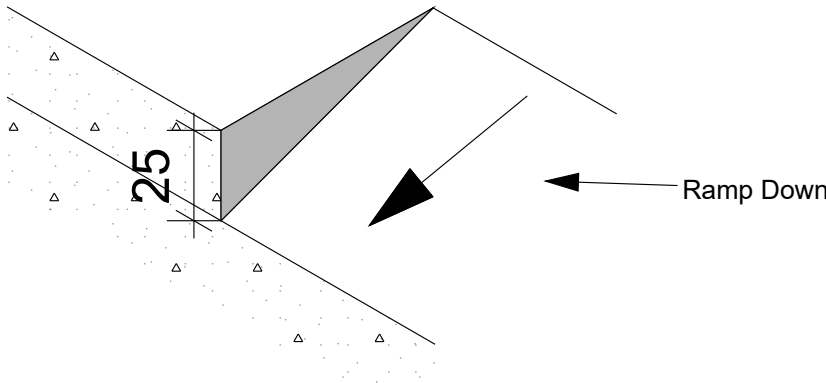
Any of the following:

- Earth fill and fill material is revealed, unless a certificate of suitability of earth fill for residential development has been issued in accordance with NZS 4431.
- Excavation for the footings reveals buried organic topsoils, tree/plant vegetation, peat, very soft clay, or expansive clay. Refer to NZS 3604:2011 sections 3.21 and 3.38 for further definition.

**GARAGE DOOR REBATE**

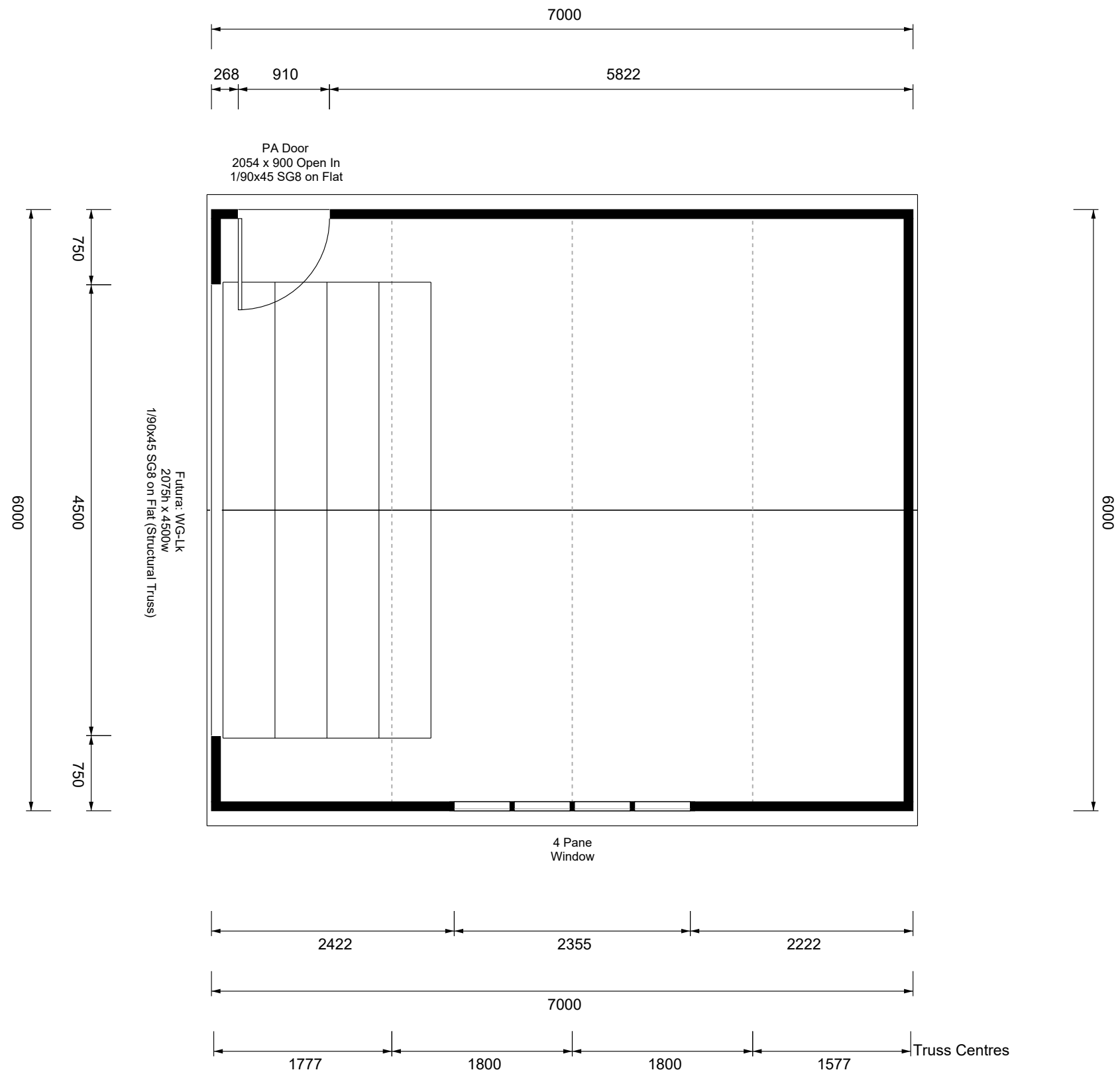


**PA DOOR REBATE**



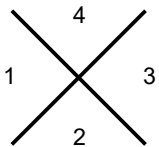
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LEGEND	
Sectional Door	
WG	Woodgrain Finish
Lk	Lock Set

SCALE A3-1:50



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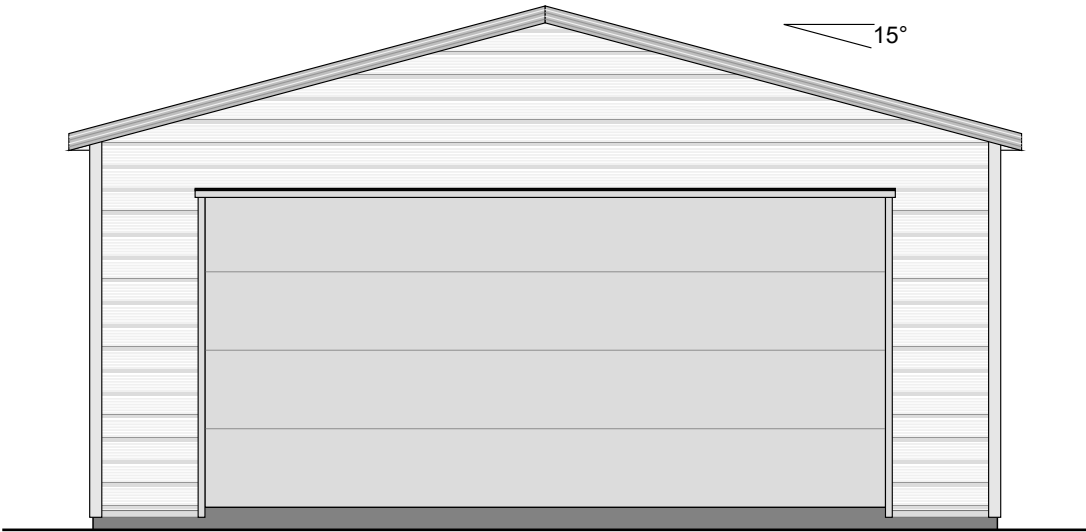
For: John Stokes  
1000 Sandhills Rd  
Ahipara  
0483

VB2000 - Design

Floor Plan General

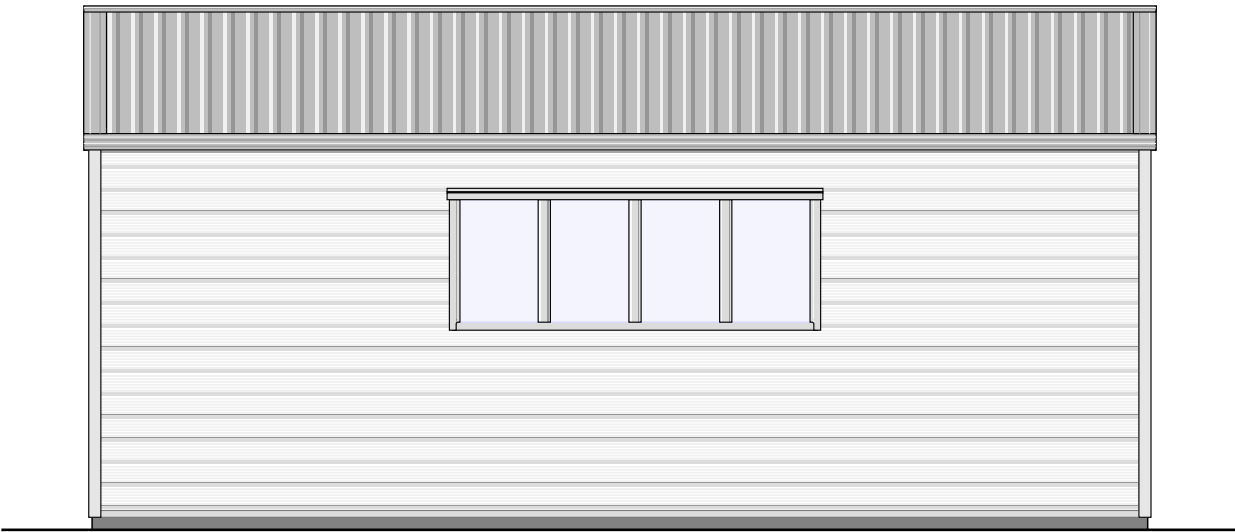
Sheet 8 of 23





Futura: WG-Lk  
2075h x 4500w

ELEVATION VIEW 1

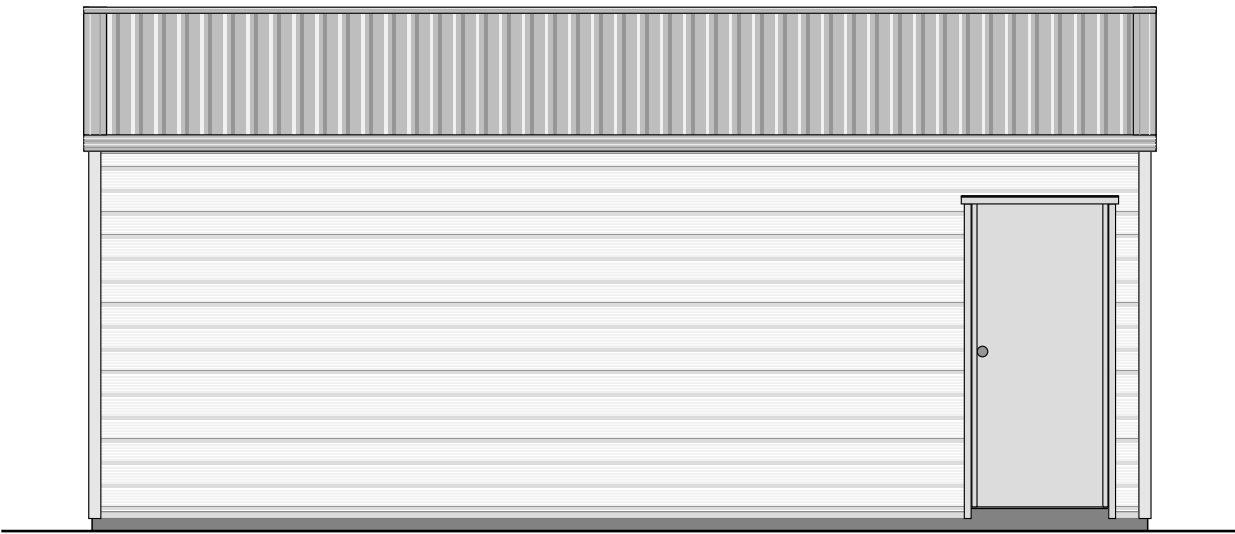


4 Pane  
Window

ELEVATION VIEW 2



ELEVATION VIEW 3



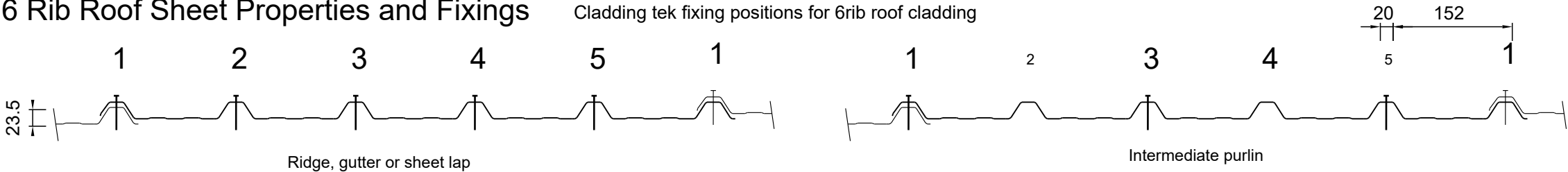
PA Door  
2054 x 900 Open In

ELEVATION VIEW 4

SCALE A3-1:50

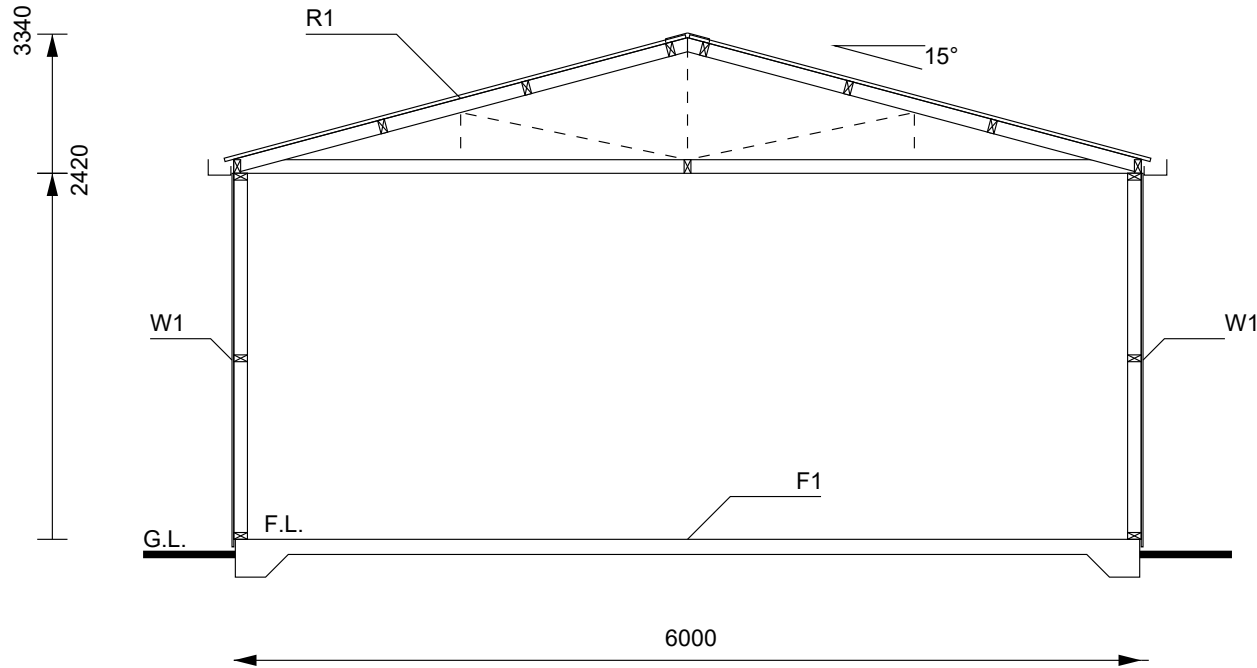
6 Rib Roof Sheet Properties and Fixings

Cladding tek fixing positions for 6rib roof cladding



NOTES

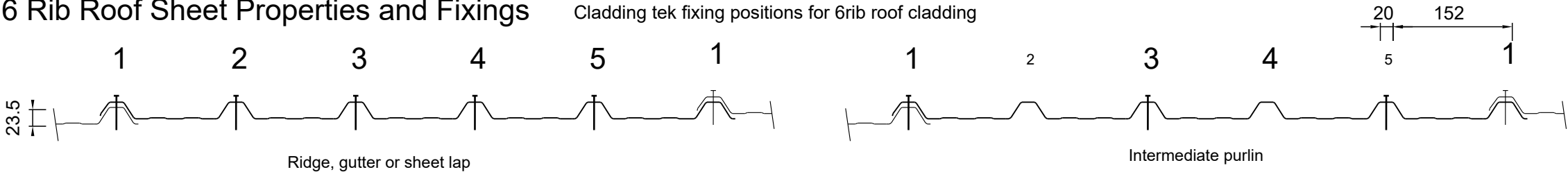
- R1 : ROOF
- NZ Steel Colorsteel 6 Rib 0.40mm roofing over 90x45 SG8 H1.2 purlins @ 1000mm centres max, fixed between trusses.
- For purlin fixings and bottom chord truss stiffeners refer to 'Roof Framing' sheet 13 of 23.
- For truss centres refer to 'Floor Plan General' sheet 8 of 23.
- For truss design and fixings refer to 'Truss Design' sheet 14 of 23 and 'Truss Fixing Details' sheet 15 of 23.
- W1 : WALLS
- NZ Steel Colorsteel Superclad cladding over 90x45 SG8 H1.2 studs @ 600mm centres max with 1 row of 90x45 NLB H1.2 dwangs.
- F1 : FLOOR
- For foundation details refer to 'Foundation Details' sheet 6 of 23.
  - H3.2 Bottom plate to be fixed to the foundation with Lumberlok Bottom Plate Fixing Anchor with 75mm x 4mm diameter nail adjacent at 1200mm crs.



SCALE A3-1:50

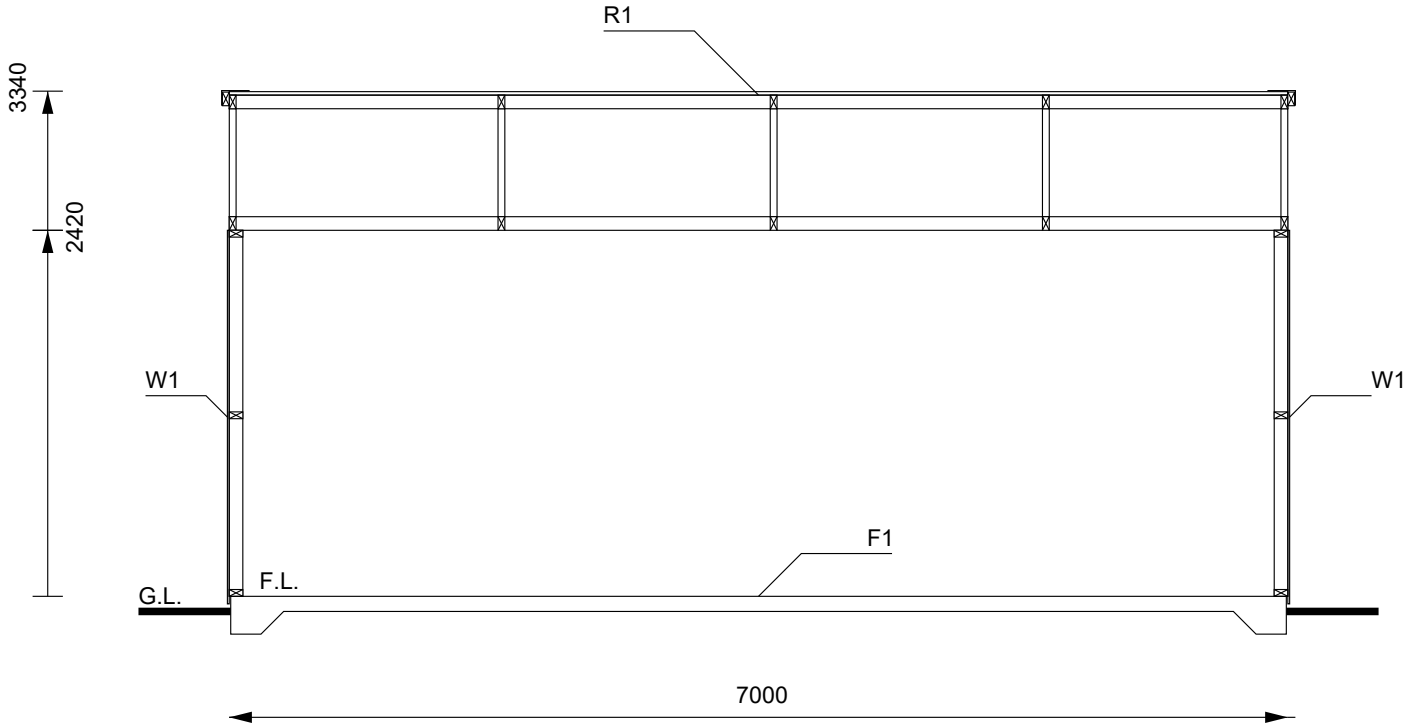
6 Rib Roof Sheet Properties and Fixings

Cladding tek fixing positions for 6rib roof cladding



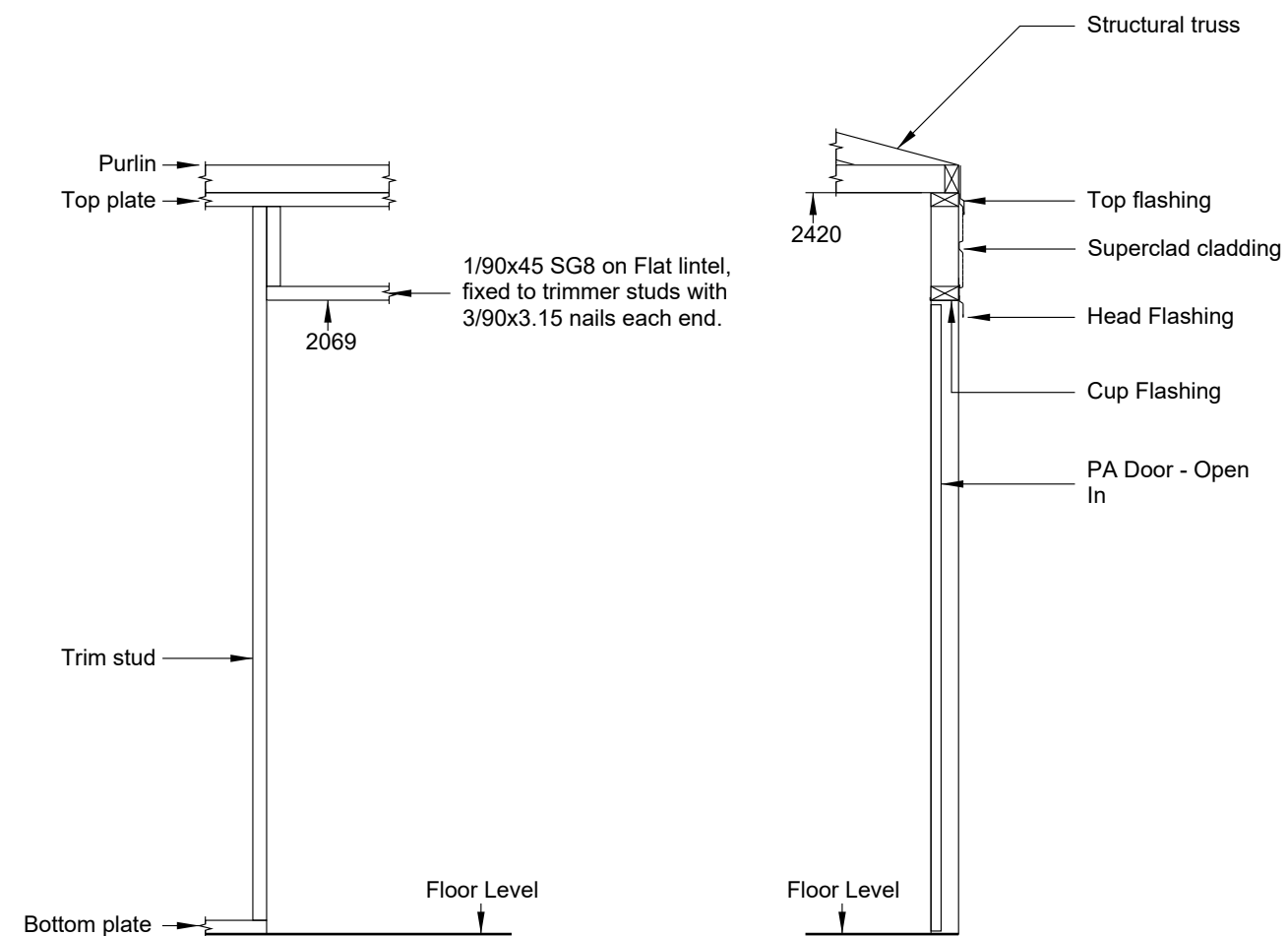
NOTES

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SCALE A3-1:50

**PA DOOR**



SCALE A3-1:25

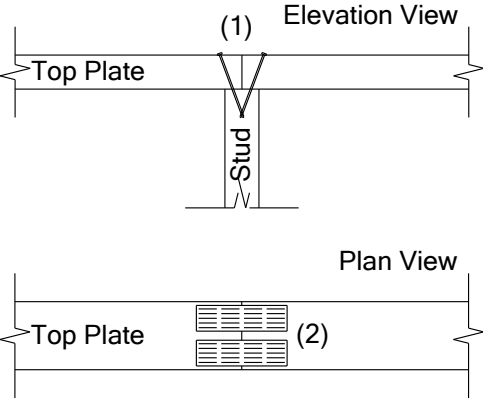


TOP PLATE AND ROOF FRAMING

TOP PLATE DETAILS

All top plates to be 90x45 SG8 H1.2.

Load Bearing Walls - Butt Joint Fixing Details

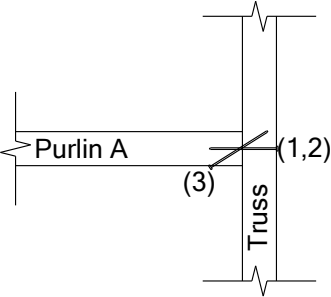


- 1. Skew nail top plates to stud with 4/90x3.15mm nails
- 2. Fix 2/4T5 Tylok plates over the joint.

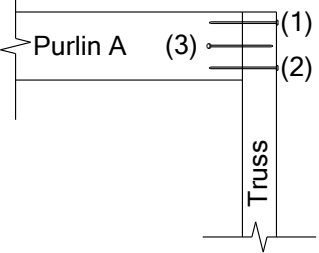
PURLIN DETAILS

All purlins 90x45 (on edge) SG8 H1.2 at 1000mm centres max fixed between trusses.

Plan View

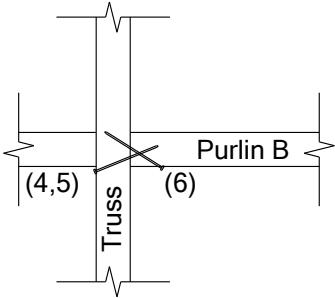


Elevation View

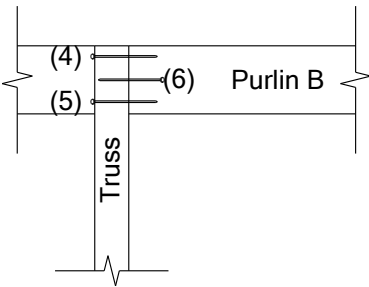


- 1. Nail 2/90x3.15mm nails (1,2) through the truss chord into the end of purlin A.
- 2. Skew nail 1/90x3.15mm nail (3) from purlin A into the truss chord.

Plan View



Elevation View

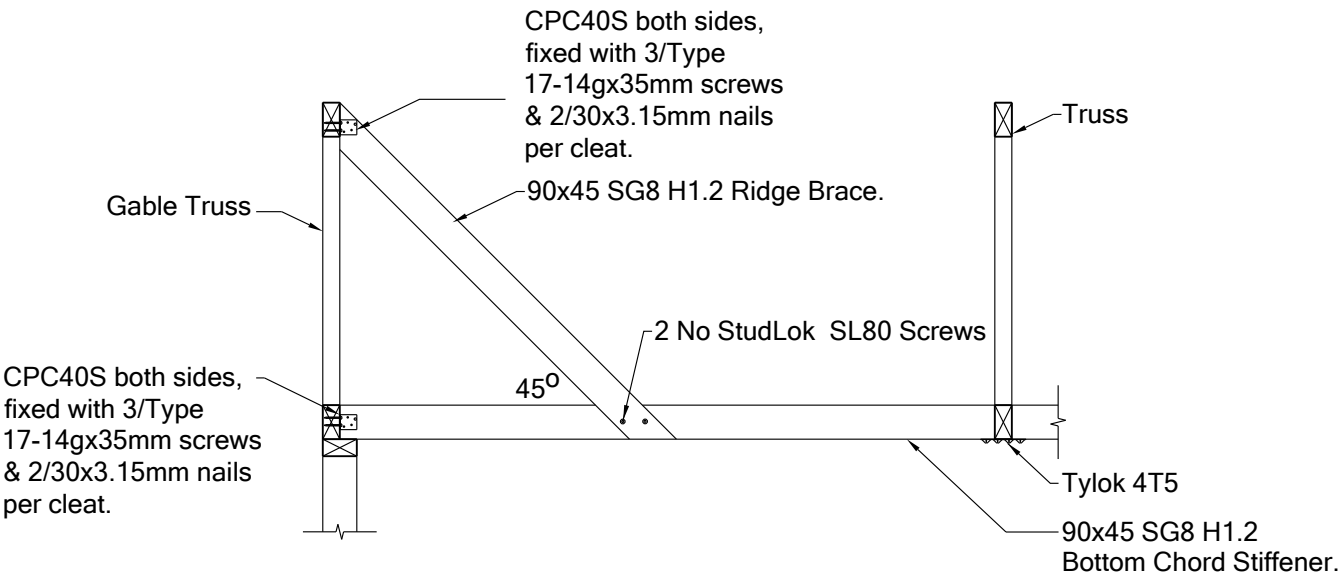


- 1. Skew nail 2/90x3.15mm nails (4,5) through the truss chord into the end of purlin B.
- 2. Skew nail 1/90x3.15mm nail (6) from purlin B into the truss chord.

SCALE: A3-1:10

STANDARD TRUSS STIFFENER

All truss stiffeners 90x45 SG8 H1.2. Refer to Truss Design (sheet 14 of 23) for centres



SCALE: A3-1:20

For: John Stokes  
1000 Sandhills Rd  
Ahipara  
0483

TRUSS DESIGN

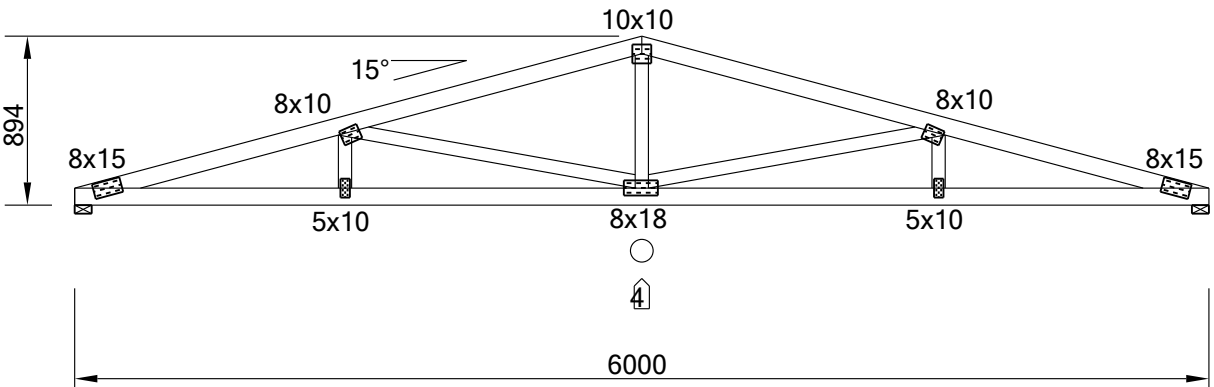
DESIGN LOADS

Dead Loads for Light Roof:  
Truss Top Chord= 0.15kPa (includes weight of trusses, purlins , associated framing and zincalume roof).  
Truss Bottom Chord=0.20kPa for trusses @ 1200crs with ceiling.

Live Loads:  
Truss Top Chord= 1.1kN concentrated load, 0.25kPa uniform load.  
Truss Bottom Chord=0.9kN concentrated load below 1200mm head height and  
1.4kN concentrated load above 1200mm head height.

Wind Loads:  
Roof= Cfig = -1.1

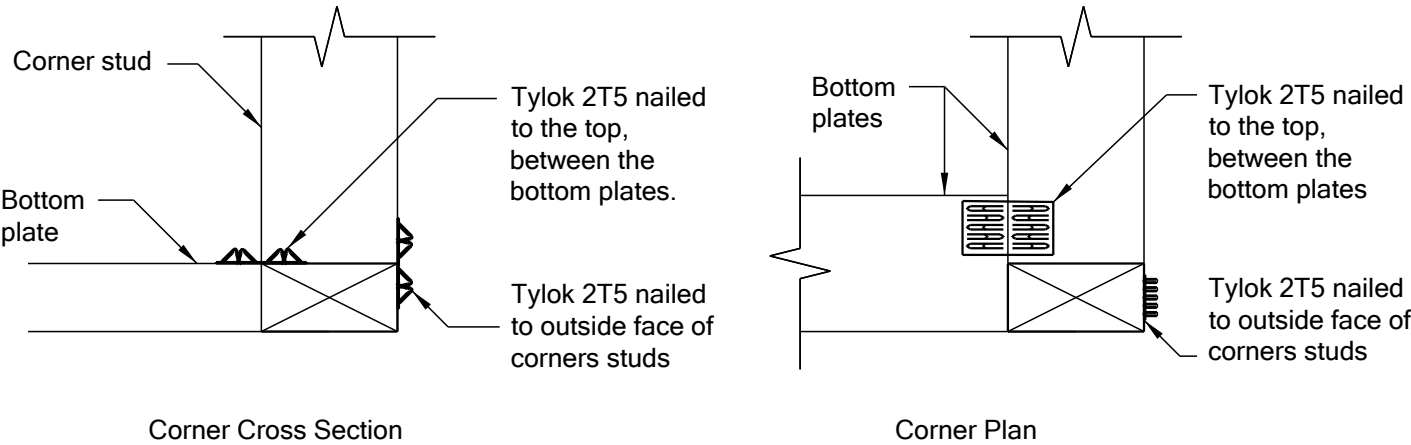
TRUSS DESIGN



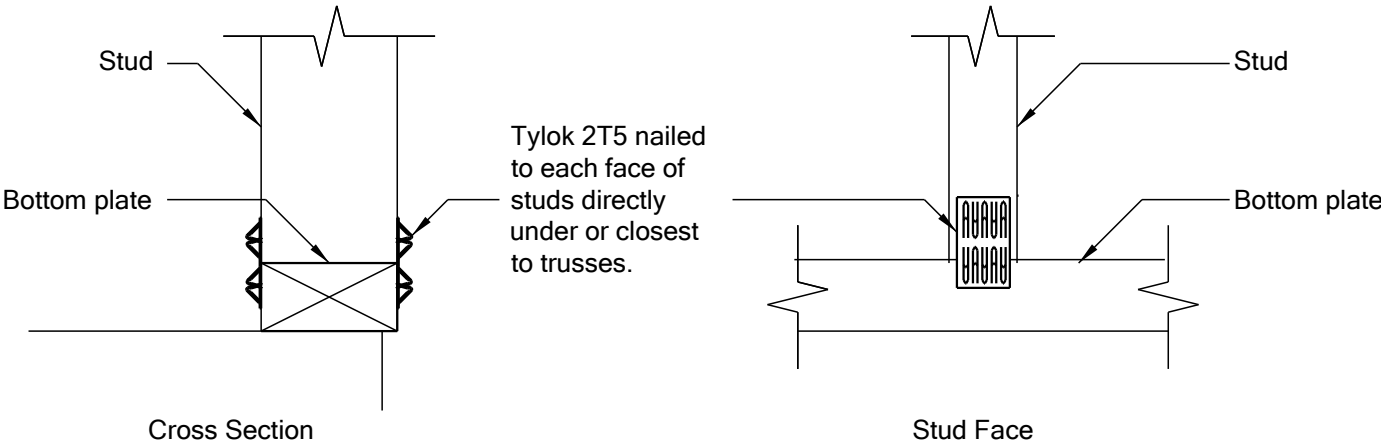
NOTE:

- Indicates location of Bottom chord brace (truss stiffener).
- △ Indicates the truss camber (typical).
- All truss plates are Gang-Nail GNQ type.
- Nail plates are to be fully pressed home on both sides of joints.
- The nail plate axis must be located in the specified or indicated direction.
- Top and Bottom chords to be 90x45 SG10 H1.2 Radiata pine.
- All webs to be 70x45 SG8 H1.2 Radiata pine.

GABLE TRUSS CORNER STUD / BOTTOM PLATE FIXING



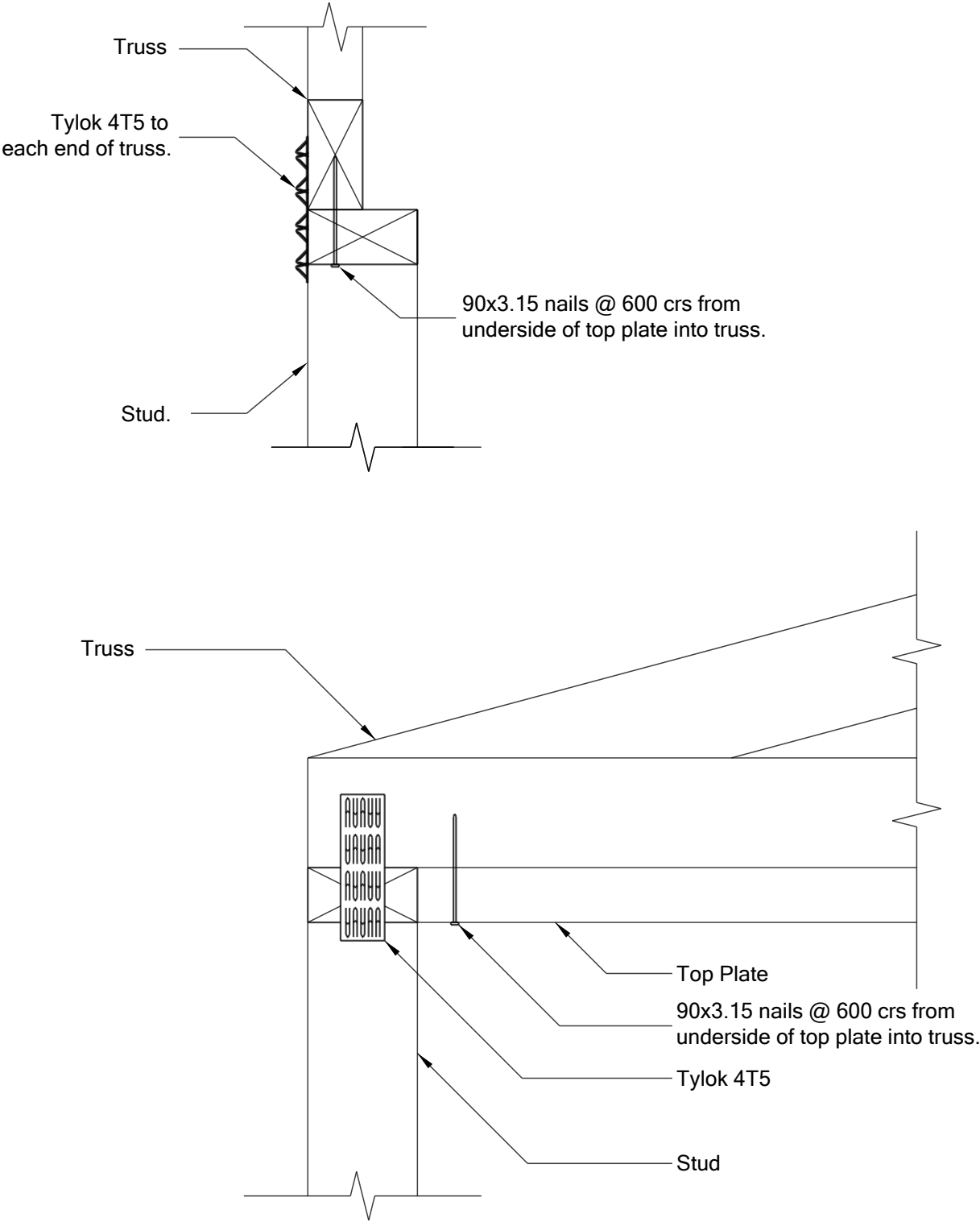
TRUSS STUD / BOTTOM PLATE FIXING



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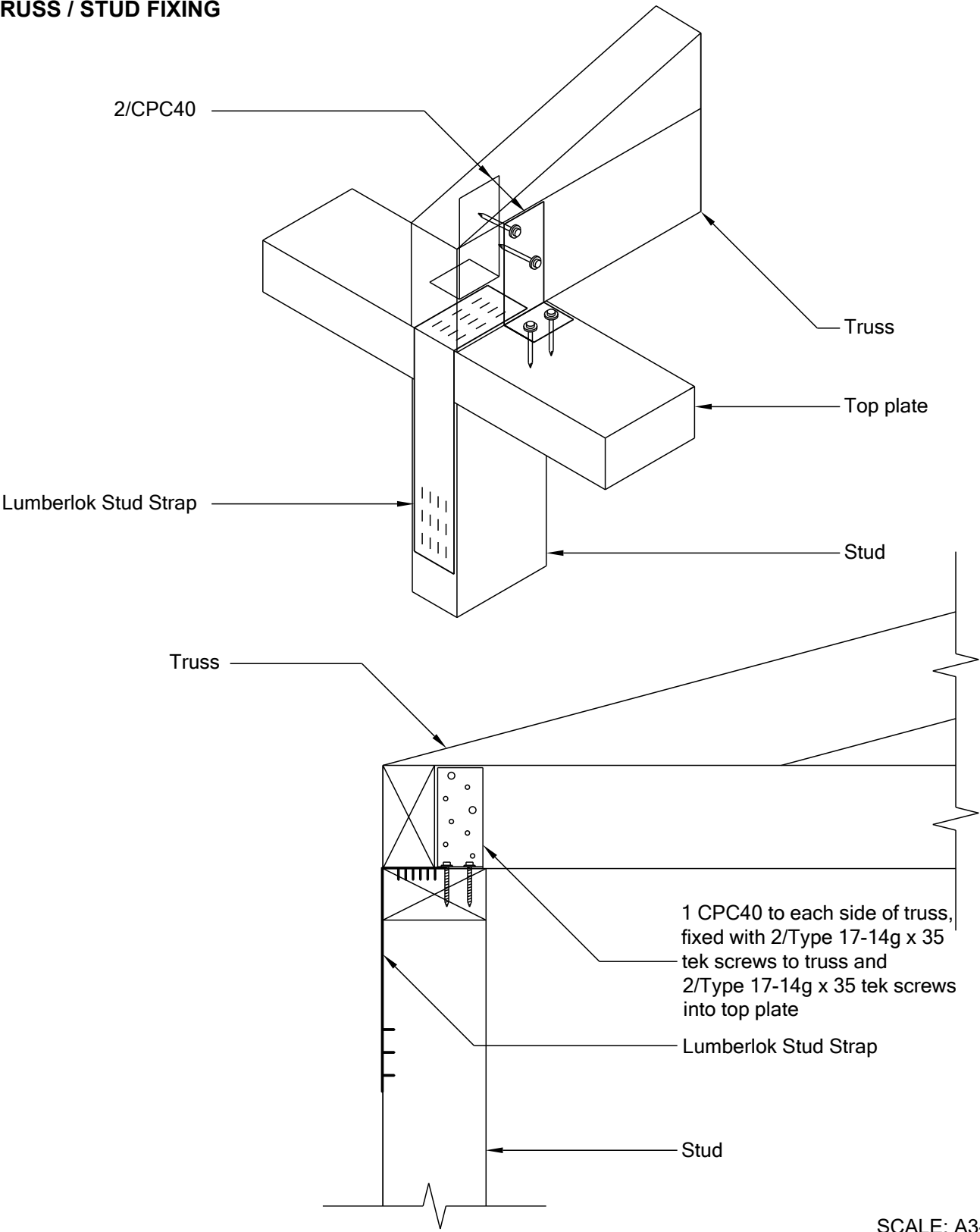
TRUSS FIXING DETAILS

GABLE TRUSS / CORNER STUD FIXING



SCALE: A3-1:5

TRUSS / STUD FIXING



SCALE: A3-1:5

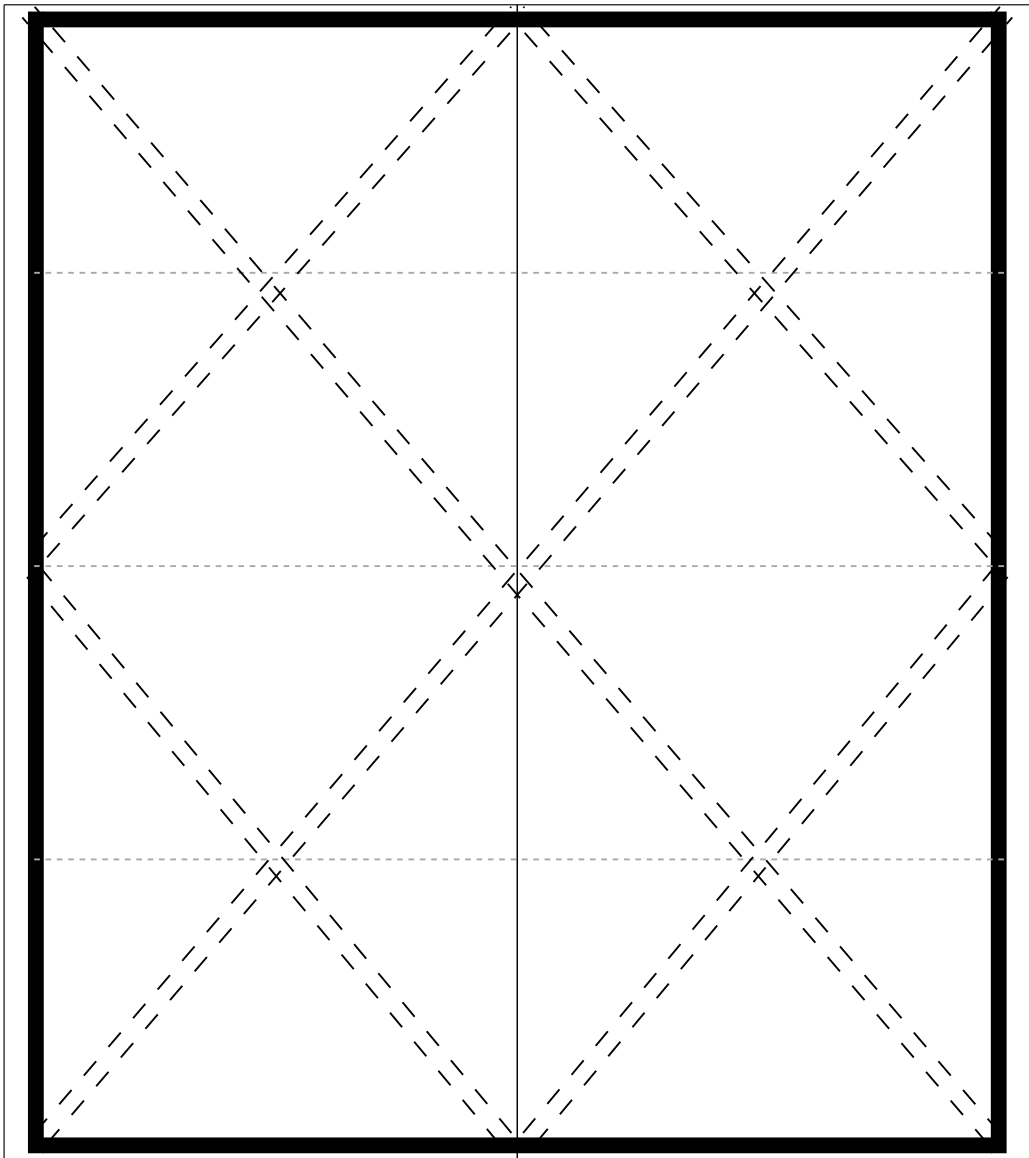
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ROOF BRACING

EXPLANATION

Using a diaphragm approach, the roof is braced using a series of Lumberlok Strip Brace patterns in the plane of the truss top chords to transfer the bracing demand to the top plates. The loads at the top plate level are then transferred to the foundation through the wall bracing system.

ROOF BRACING PATTERN LAYOUT



Scale: NTS

FIXINGS

Each single row of Lumberlok Strip Brace to be tensioned up and laid over the top of the purlins. Fix each end with 5/30x3.15 nails and fix crossings with 2/30x3.15 nails.

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WALL BRACING DEMAND

EARTHQUAKE BRACING DEMAND

Using NZS 3604:2011, Section 5 Bracing Design, Table 5.10 - Bracing demand for various combinations of cladding for single and two-storey buildings on concrete slab-on-ground (2 kPa floor load, soil type D/E, earthquake zone 3)

Roof cladding	Single storey cladding	Roof pitch degrees	Single storey walls
Light roof	Light	15°	6 BU/m2
Multiplication factors	EQ zone = 1 Soil class = D&E Deep to very soft		0.5
Earthquake demand			3 BU/m2

Using factors based on ratios in AS/NZS1170.0:2002, part 5 from BIL2 - 50 years working life to BIL1 - 50 years working life.

Building Importance Level 1 modification factor.	0.5
EARTHQUAKE DEMAND REQUIRED (Along and Across)	1.5 BU/m2
BL 7.000m x BW 6.000m = 42m2	42m2 x 1.5 BU/m2 63 BU

WIND BRACING DEMAND

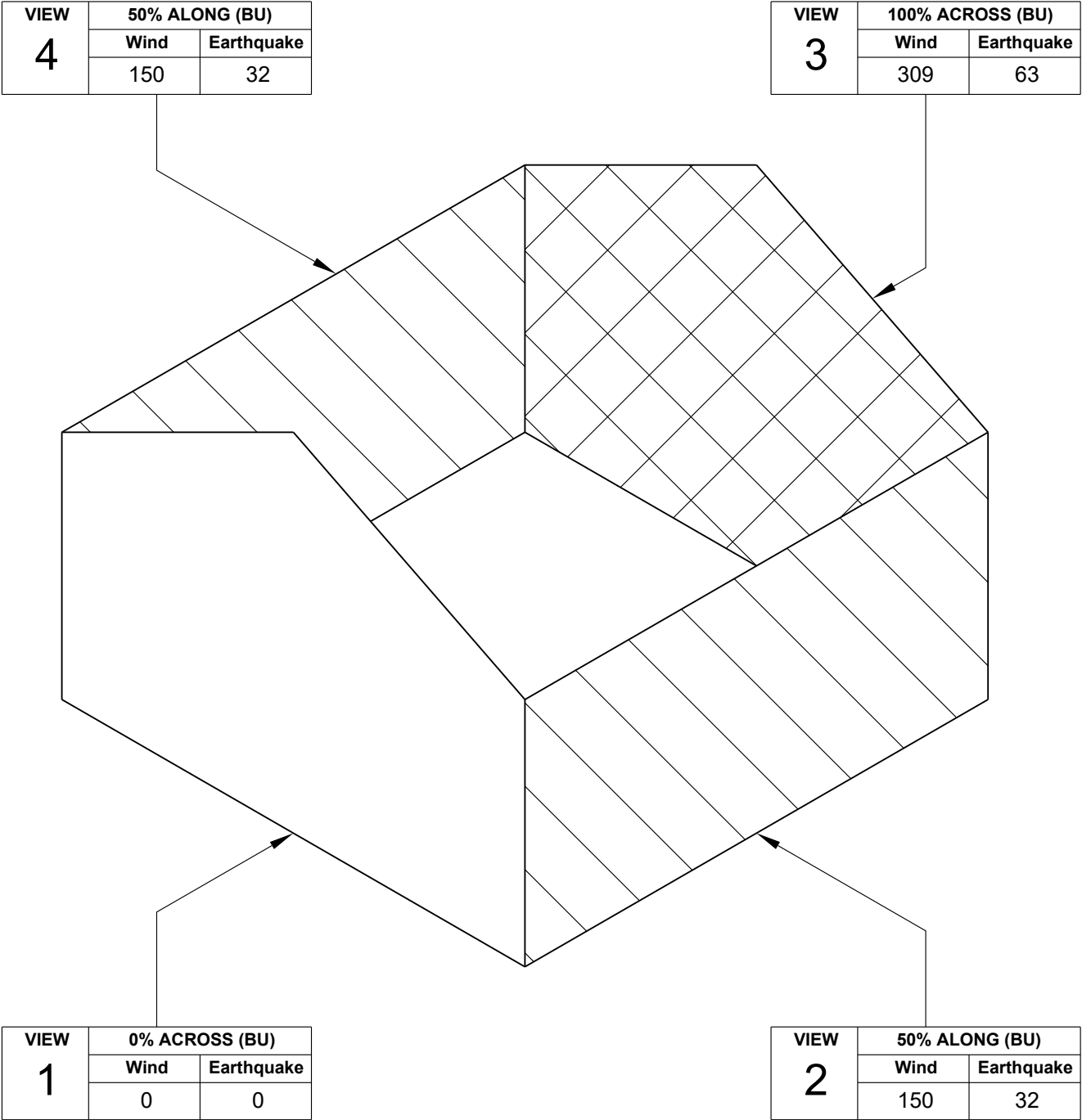
Using NZS 3604:2011, Section 5 Bracing Design, Table 5.6 - Wind bracing demand for single or upper storey wall (BU/m).

Single or Upper Floor level to apex (H)	Roof height above eaves (H)	High Wind Zone Across	High Wind Zone Along
4 m	2 m	40 BU/m	45 BU/m
In wind zones other than High, multiply the figure above by the appropriate factor given opposite.		Very High = 1.3	
Wind demand with wind zone factor applied.		Across 52 BU/m	Along 58.5 BU/m

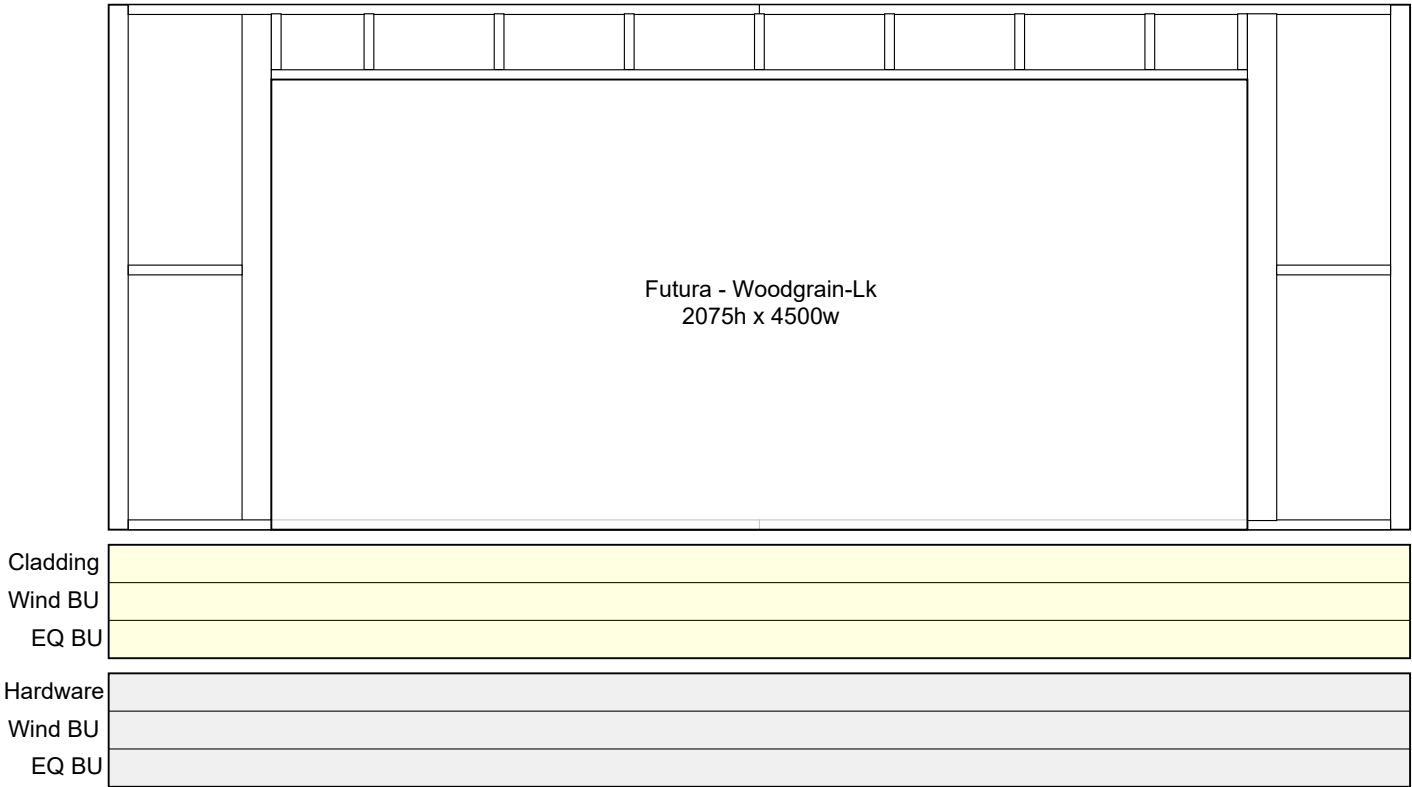
Using factors based on ratios in AS/NZS1170.0:2002, part 2 from BIL2 - 50 years working life to BIL1 - 50 years working life.

Building Importance Level 1 modification factor.	0.849	
WIND DEMAND REQUIRED	Across 44.1 BU/m	Along 49.7 BU/m
	BL 7.000m x 44.1 BU/m 309 BU	BW 6.000m x 49.7 BU/m 299 BU

BRACING UNITS DISTRIBUTION



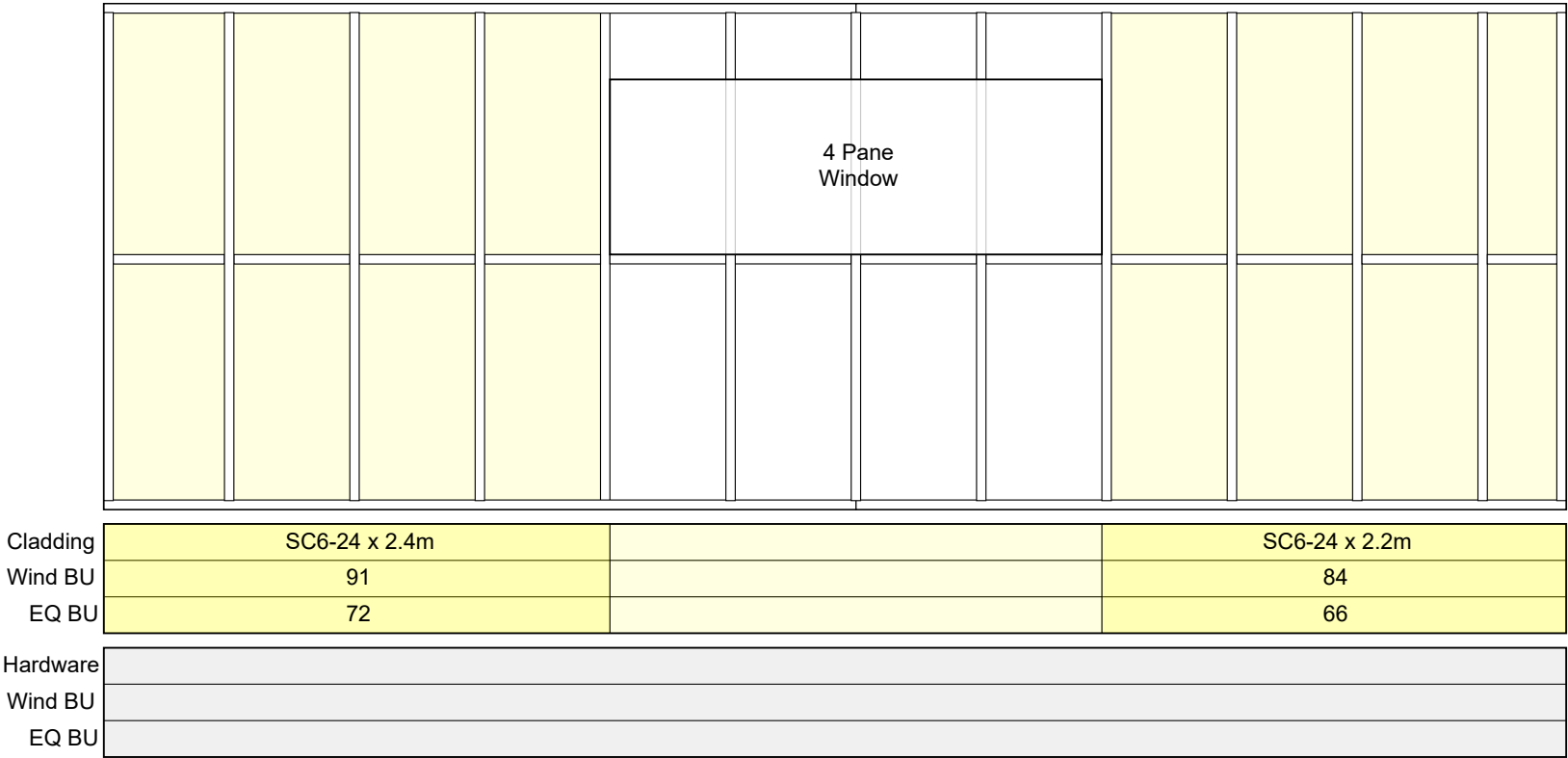
BU ACHIEVED - VIEW 1



SUMMARY - ACROSS (BU)		
	Wind	EQ
Required	0	0
Achieved	0	0

Scale NTS

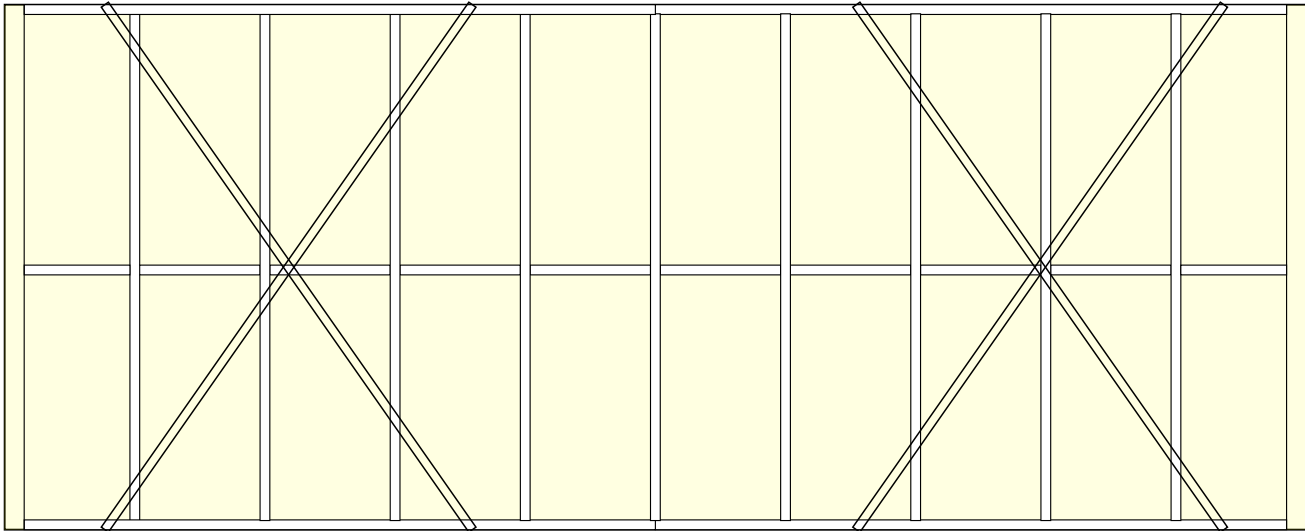
BU ACHIEVED - VIEW 2



SUMMARY - ALONG (BU)		
	Wind	EQ
Required	150	32
Achieved	175	138

Scale NTS

BU ACHIEVED - VIEW 3

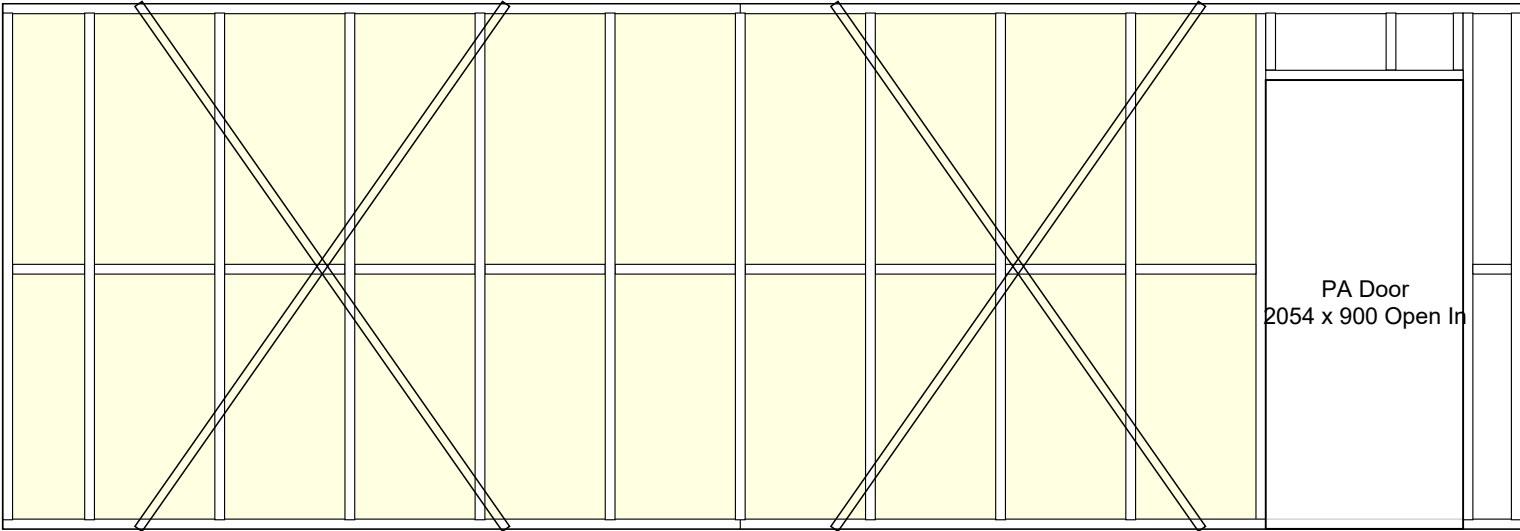


Cladding	SC6-24 x 6m			
Wind BU	228			
EQ BU	180			
Hardware	SBX6-55-24		SBX6-55-24	
Wind BU	74		74	
EQ BU	24		24	

SUMMARY - ACROSS (BU)		
	Wind	EQ
Required	309	63
Achieved	376	228

Scale NTS

BU ACHIEVED - VIEW 4



Cladding	SC6-24 x 5.8m			
Wind BU	220			
EQ BU	174			
Hardware	SBX6-55-24		SBX6-55-24	
Wind BU	74		74	
EQ BU	24		24	

SUMMARY - ALONG (BU)		
	Wind	EQ
Required	150	32
Achieved	368	222

Scale NTS



For: John Stokes  
1000 Sandhills Rd  
Ahipara  
0483

VB2000 - Design

Wall Bracing Achieved

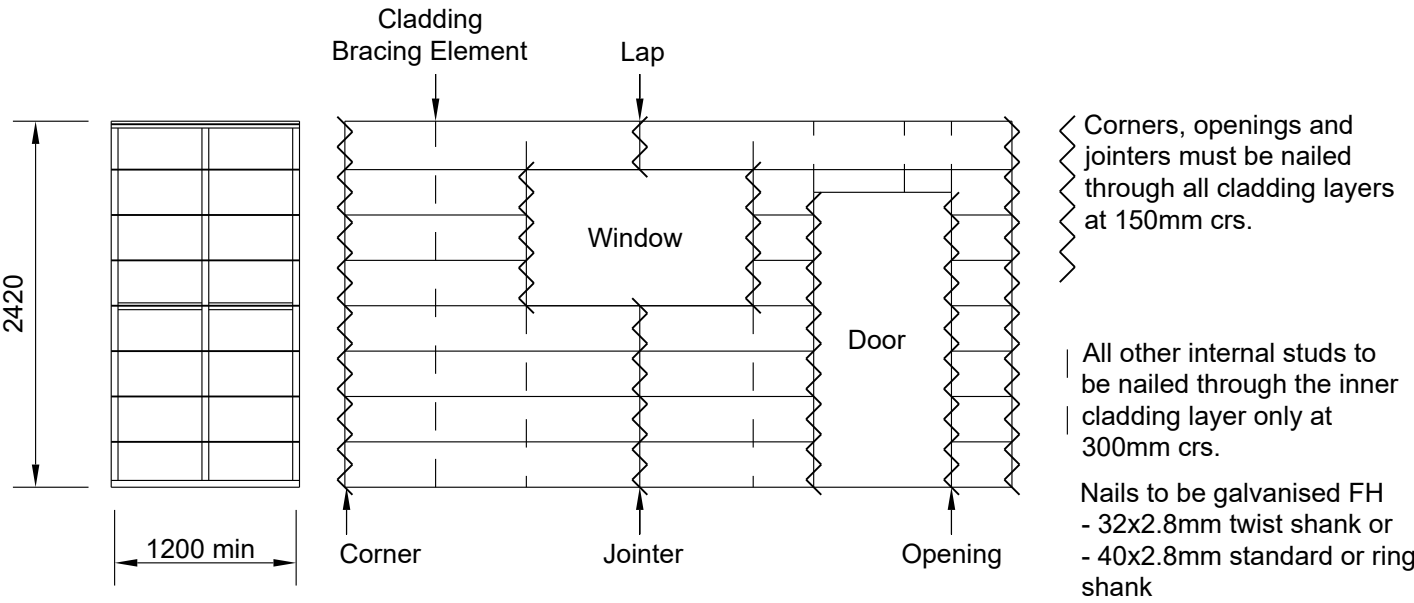
Sheet 19 of 23

**BRACING ELEMENT: SC6-24**  
Superclad Cladding

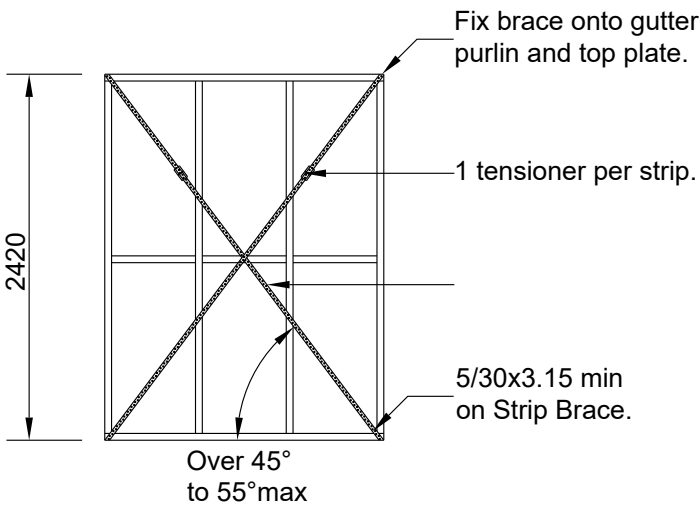
Total BU/m	Wind	38
	Earthquake	30

**BRACING ELEMENT: SBX6-55-24**

Total BU/m per Cross	Wind	74
	Earthquake	24



NTS

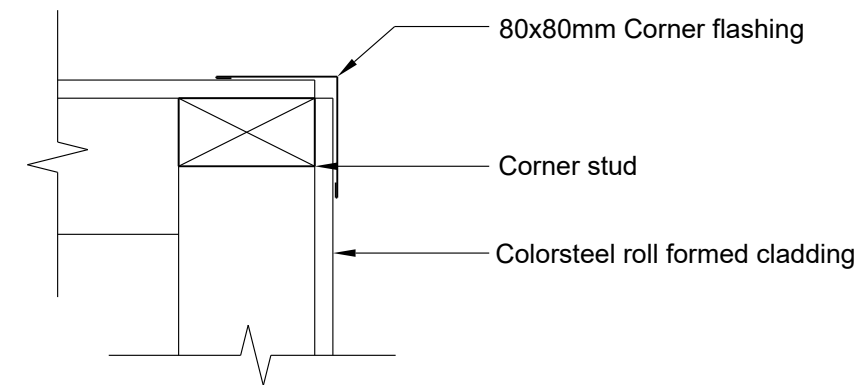


Scale A3-1:50

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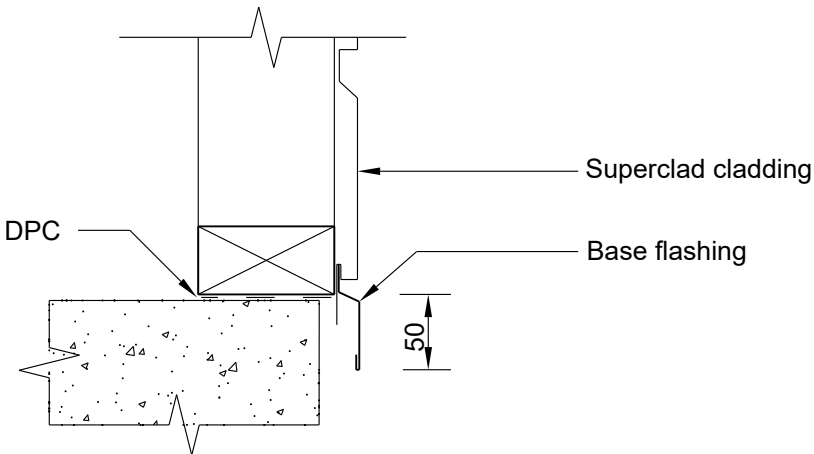


CORNER FLASHING DETAIL (NON HABITABLE)



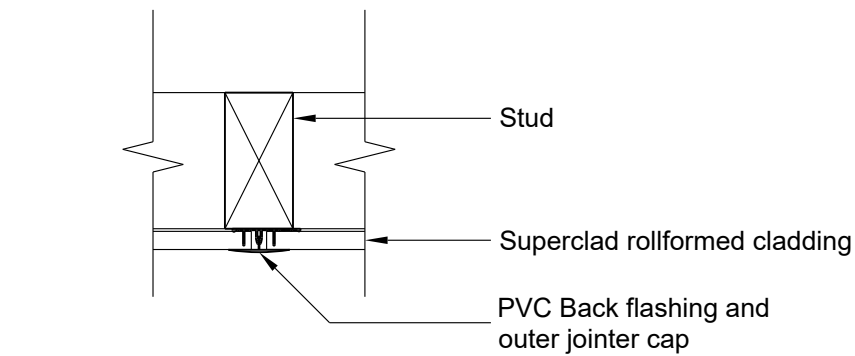
Scale A3-1:5

BASE FLASHING DETAIL

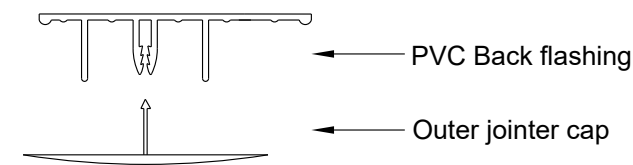


Scale A3-1:5

SUPERCLAD JOINTER DETAIL

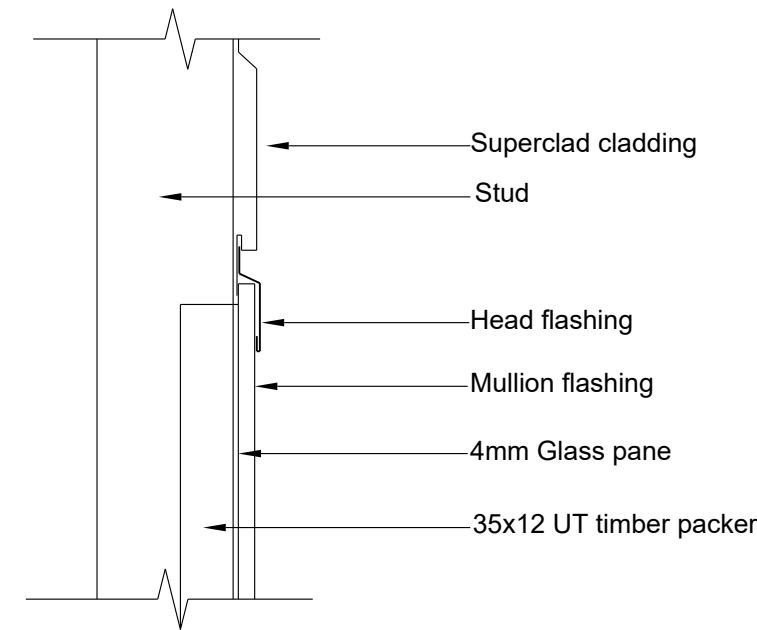


Scale A3-1:5



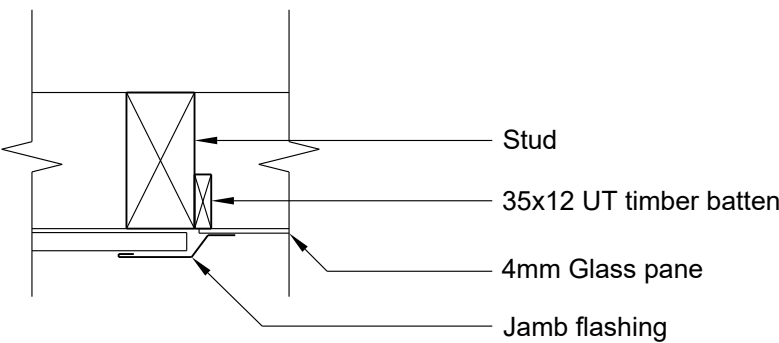
NTS

STANDARD WINDOW HEAD DETAIL



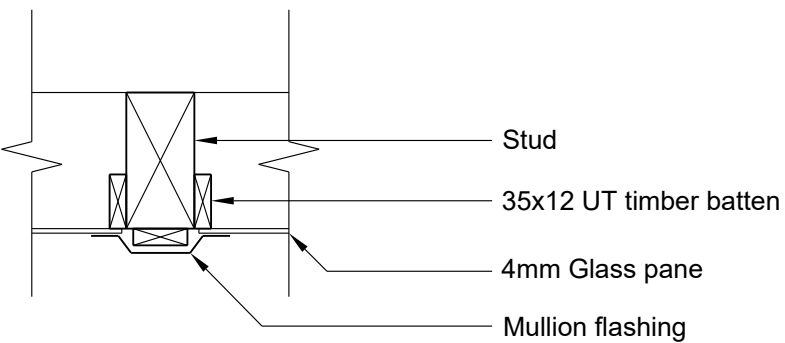
Scale A3-1:5

STANDARD WINDOW JAMB DETAIL



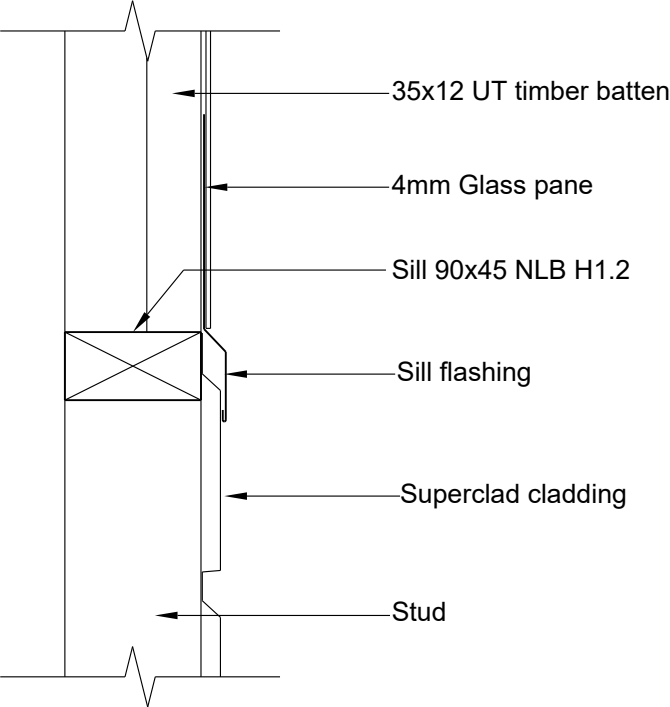
Scale A3-1:5

STANDARD WINDOW MULLION DETAIL



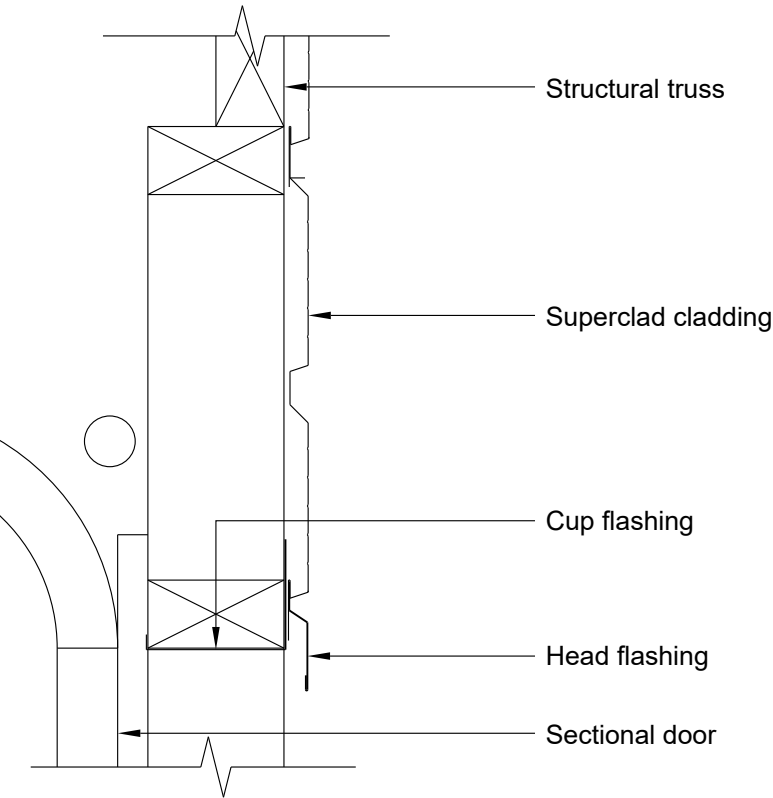
Scale A3-1:5

STANDARD WINDOW SILL DETAIL



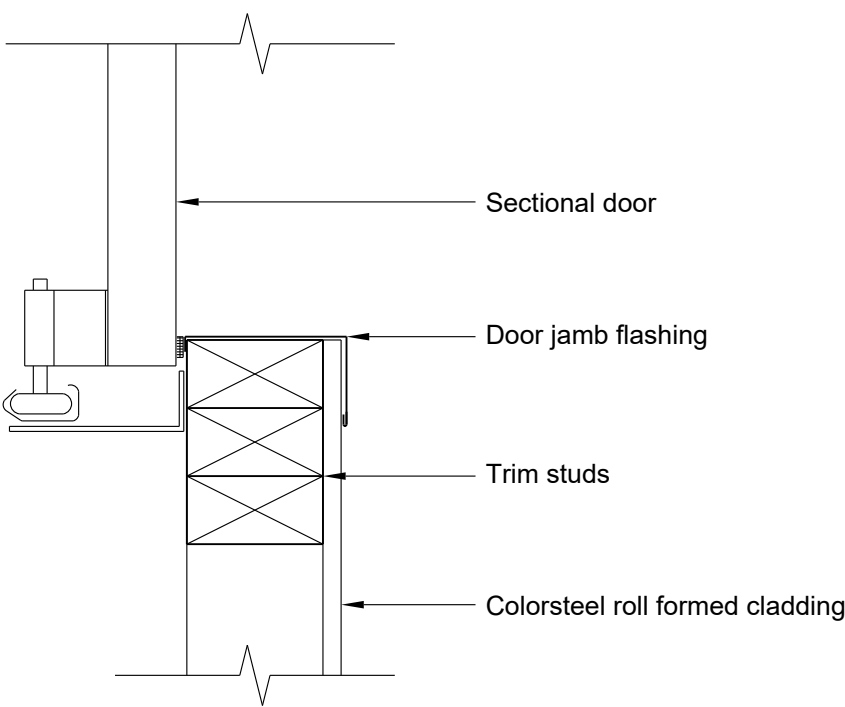
Scale A3-1:5

SECTIONAL DOOR HEAD DETAIL



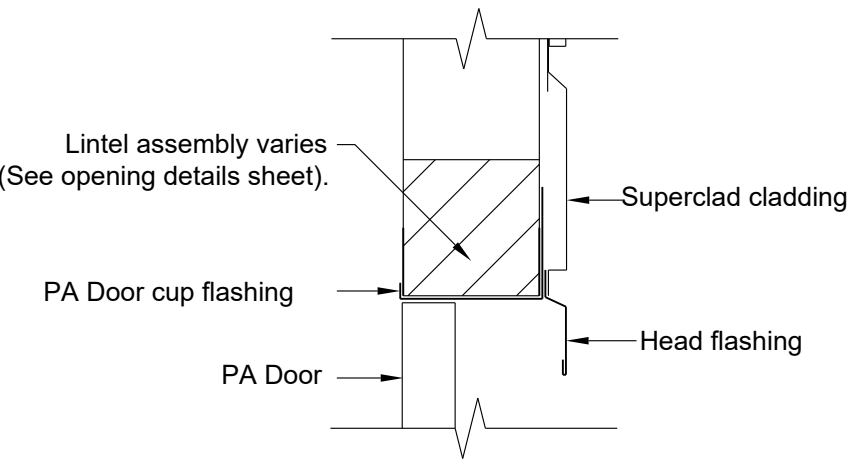
Scale A3-1:5

SECTIONAL DOOR JAMB DETAIL



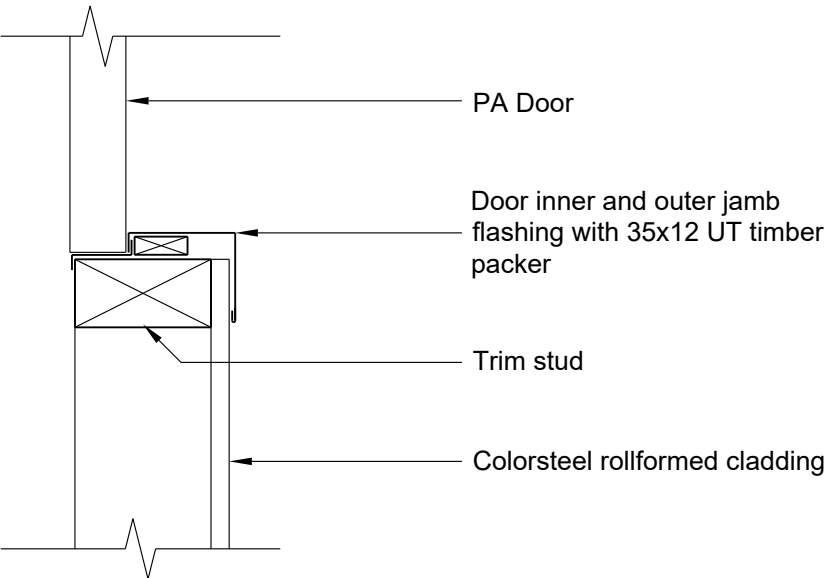
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PA DOOR HEAD DETAIL



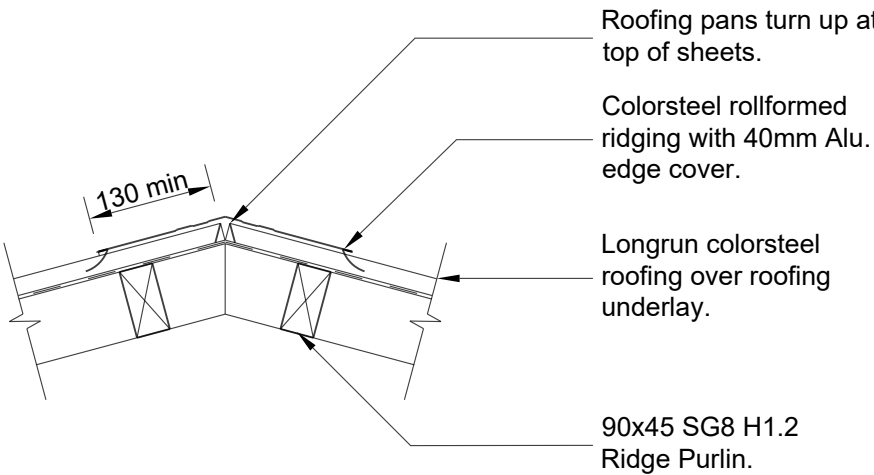
Scale A3-1:5

PA DOOR JAMB DETAIL (OPEN IN)



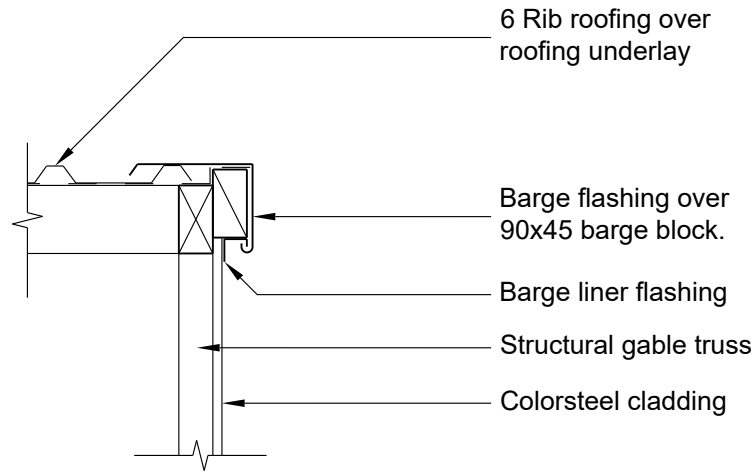
Scale A3-1:5

RIDGING DETAIL



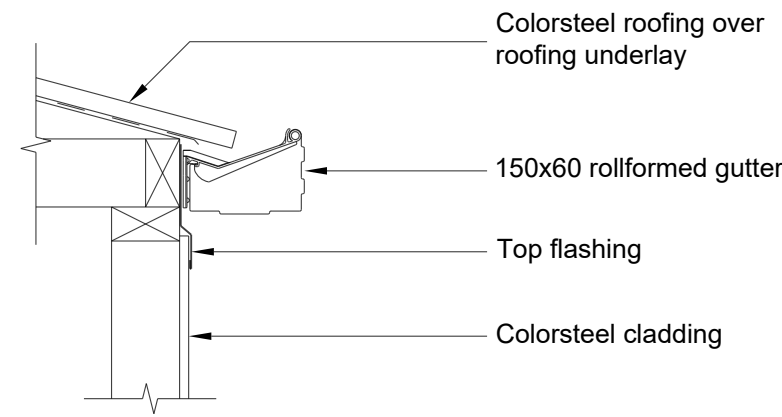
Scale A3-1:10

STANDARD BARGE DETAIL



Scale A3-1:10

GUTTER DETAIL



Scale A3-1:10

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