

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use
 Discharge
 Fast Track Land Use*
 Change of Consent Notice (s.221(3))
 Subdivision
 Extension of time (s.125)
 Consent under National Environmental Standard
 (e.g. Assessing and Managing Contaminants in Soil)
 Other (please specify) _____

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Wainui Marae trustees

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Wainui Marae Trustees

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

See Title details

**Property Address/
Location:**

17 Wainui Road, Ahipara

Postcode

0481

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:	See Title Details		
Site Address/ Location:	17 Wainui Road, Ahipara		
		Postcode	0481
Legal Description:	Ahipara 44A Block	Val Number:	00039-05800
Certificate of title:	285576		

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please contact Danny Graham on 021 0669260 to arrange the site visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Proposal to construct a new wharekai, wharepaku and mattress storage area. New carparking spaces will be provided as well as access layout as per the attached plans. LUC is required for breaches of the permitted rules for stormwater management, setback from boundaries, building coverage and car parking space standards within the Rural Production zone.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Ellen Graham

Signature:

[Redacted Signature]

Date 26-Mar-2025

Signature by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Wainui Marae

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

[Redacted contact information]

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Ellen Graham

Signature:

(signature of bill payer)

[Redacted signature]

Date 26-Mar-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Land Use Resource Consent Proposal

Wainui Marae Trustees

17 Wainui Road, Ahipara

Date: 26.03.2025

Please find attached:

- An application form for a Land-use Resource Consent to construct a new Wharekai, and Wharepaku with verandah coverage and an extension to the existing wharehui to provide a mattress storage area and
- an Assessment of Environmental Effects indicating the potential and actual effects of the proposal on the environment.

The application has been assessed as a **Discretionary Activity** under the Far North Operative District Plan and as a **Permitted Activity** under the Proposed District Plan.

If you require further information, please do not hesitate to contact me.

Regards,



Sheryl Hansford

Director/Senior Planner

Reviewed by:

Rochelle Jacobs



Director / Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED



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Appendices

Appendix 1 – Application Form – signed

Appendix 2 – Certificate of Title - LINZ

Appendix 3 – RC Plans - Arcline Architecture

Appendix 4 – Stormwater Report – Haigh Workman Engineers

Appendix 5 – Written Approval – A21A Trustee Chanel Roberts

Appendix 6 – Written Approval – Pt Ahipara 45 Andrews

Appendix 6A – Written Approval – signature of T Komene

Appendix 7 – Written Approval – Pt Ahipara 45 Hoete



Assessment of Environment Effects Report

1. Description of the Proposed Activity

- 1.1. The proposal is to construct a new Wharekai, and Wharepaku with connecting veranda coverage to support the existing Whare hui. A small extension to the Whare hui is also included to add a mattress storage room. The proposal will breach Traffic Intensity, Carparking Space Standards, Setback from Boundaries, Building Coverage and Stormwater Management as a Discretionary Activity in the Rural Production Zone.

- 1.2. The new structures will support the existing Marae activity that is currently in existence on the site.

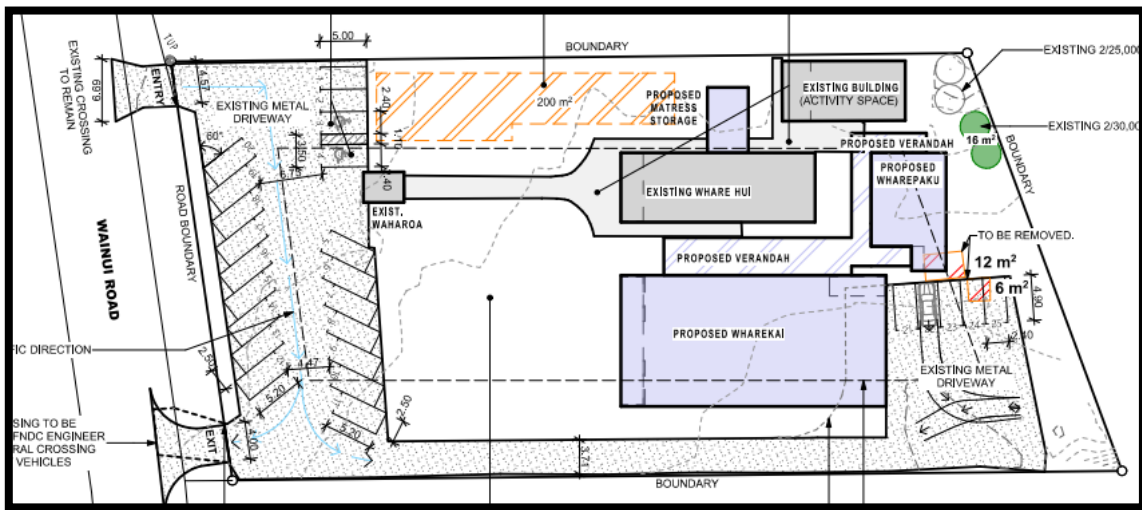


Figure 1: Site Plan

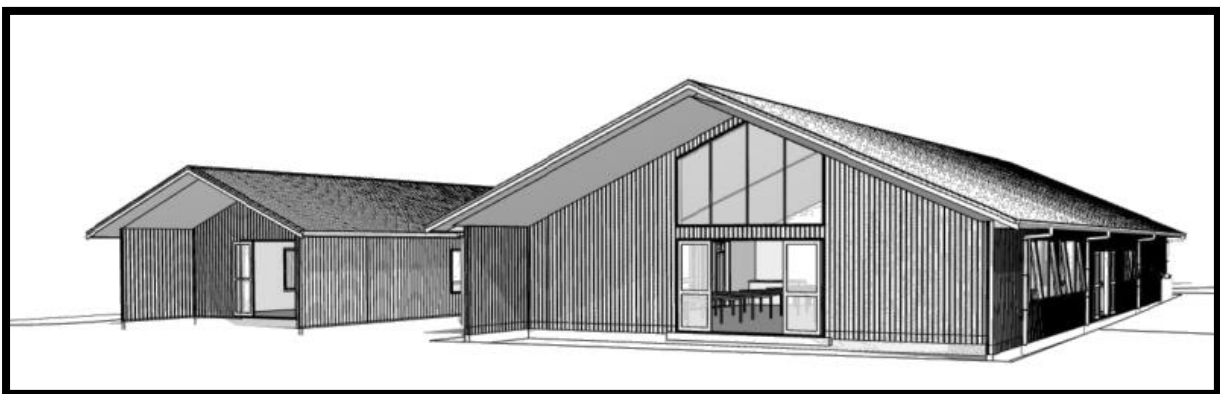


Figure 2: Concept Drawing.



2. The site and surrounding environment

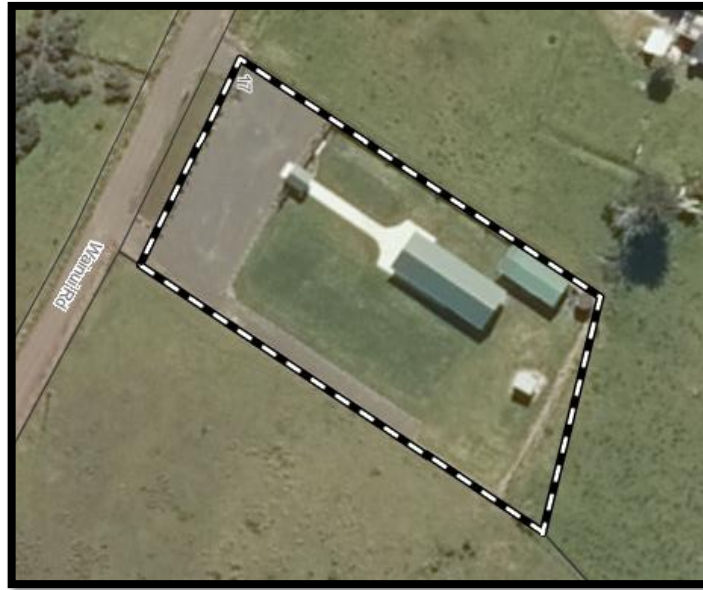


Figure 3: Aerial Image of Ahipara 44A Block (subject site (source: FNDC Maps)).

- 2.1. The 4046m² property is located at 17 Wainui Road, Ahipara which is legally described as Ahipara 44A Block within the Rural Production Zone of the Operative District Plan. The site is rectangular in shape and is relatively flat. The front of the site is fenced with a landscape strip that adjoins a metalled car park. The existing Whare Hui sits behind a closed wooden fence with the remainder of the site being predominantly grass.
- 2.2. The existing Whare Hui and Activity space will be retained. The site gains access from Wainui Road which is a metalled road of good formation, the entrances will be retained and will service the proposed Marae.

Surrounding Environment

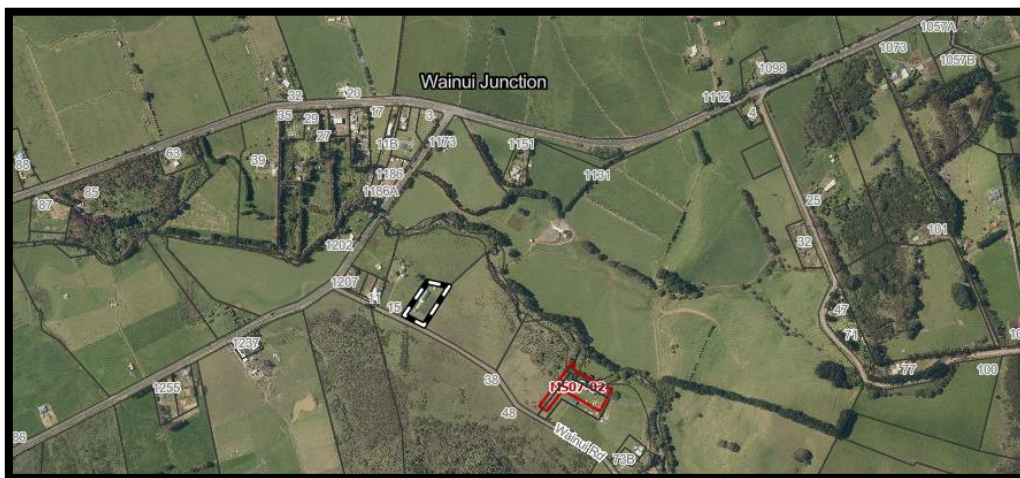


Figure 4: Aerial image of surrounding environment (FNDC Maps).

- 2.3. The surrounding environment consists of predominantly Māori Land Parcels ranging from 2000m², residential lifestyle sections to >20ha productive allotments. Within the immediate vicinity to the Marae, there is low-moderate development of residential dwellings and buildings which are common on Māori land which is near a Marae. This area of low-density development is surrounded by larger Māori Land Parcels that remain in productive use or as vacant land.

Site Photographs



Figure 5 & 3: Existing structures.



Figure 7: Access & carpark area.



Figure 8 & 9: Access to the existing Marae.



3. Background

Title

- 3.1. The subject site is currently held within Record of Title 285576. The subject site is legally described as Ahipara 44A Block and has an area of 4046m². The title is dated 20 March 2006.
- 3.2. The following interests are registered on the title. No consent notices are registered to the title.

[B294681.8](#) STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 31.5.1984 AT 11.12 AM

Figure 4: Interests registered to the title.

Site Features

- 3.3. The site is located within the Rural Production zone in the Operative District Plan and Māori Purpose - Rural under the Proposed District Plan.
- 3.4. The site is not located within the Coastal Environment under the Regional Policy Statement for Northland.
- 3.5. Given the sites rural location, there are no connections to reticulated stormwater or wastewater services.
- 3.6. The NRC Hazard Maps show that the site is not susceptible to natural hazards.
- 3.7. The site is not a HAIL site.
- 3.8. The subject site is not shown to contain any areas of Protected Natural Areas (PNA).
- 3.9. The subject site is located within a kiwi present area.
- 3.10. The site is not known to contain any areas of Outstanding Landscapes or Features or areas of High Natural Character.
- 3.11. The Land Use category for this site is LUC 2w1.

4. Permitted activities that are part of the proposal

- 4.1. Clause 3(A) of Schedule 4 of the Resource Management Act requires that information about related permitted activities be provided in the resource consent application.
- 4.2. No other permitted activities are considered relevant to this proposal.

5. Weighting of Plans

- 5.1. The proposal is subject to the Proposed District Plan process that was notified 27 July 2022.



- 5.2. The Council notified its' PDP on 27 July 2022. The period for public submissions closed on the 21 October 2022. A summary of submissions was notified on the 4 August 2023. The further submission period closed on the 5 September 2023. It is apparent from the summary of submissions relating to the applicable Rural Production zone that a large number relate to the application of these provisions. Based on the volume and comprehensive nature of these submissions, the Council has confirmed that no other rules will have legal effect until such time as a decision is made on those provisions.
- 5.3. District Plan hearings on submissions are currently underway and are scheduled to conclude in October 2025. No decision on the PDP has been issued. For this reason, little weight is given to the PDP provisions. When the PDP was notified, some rules had immediate legal effect. An assessment against these rules is set out below.

6. Activity Status of the proposal

- 6.1. Under the Operative Plan, the subject site is located within the Rural Production Zone.
- 6.2. Under the Proposed District Plan, the site is zoned as Māori Purpose - Rural

Operative Plan - Rural Production zone

- 6.3. Under the Operative Plan, the site is zoned Rural Production. An assessment of the rules under Section 8.6.5.1, has been undertaken below.

ASSESSMENT OF THE PERMITTED RURAL PRODUCTION ZONE RULES:		
<u>PERFORMANCE STANDARDS</u>		
Plan Reference	Rule	Performance of Proposal
8.6.5.1.1	RESIDENTIAL INTENSITY	Permitted The proposal is not for a residential unit.
8.6.5.1.2	SUNLIGHT	Permitted The elevation plans provided with the application demonstrate compliance with this rule.
8.6.5.1.3	STORMWATER MANAGEMENT	Discretionary Activity. The impermeable surface coverage within the site exceeds 15% of the Gross site area. As detailed on the site plan provided with the application the total impermeable surfaces coverage equates to 2426m ² or 60%. Therefore, the proposal is unable to comply with the Permitted Activity threshold. 8.6.5.2.1 To meet the threshold for a Controlled Activity, the maximum proportion of gross site area covered by buildings or other impermeable surfaces shall be 20%. As



		<p>the proposal includes 60% of impermeable areas, the proposal is unable to be assessed as a Controlled Activity.</p> <p>Therefore, as per 8.6.5.4 Discretionary Activity, this proposal will be assessed as such.</p>
8.6.5.1.4 (P)	SETBACK FROM BOUNDARIES	<p>Restricted Discretionary Activity</p> <p>The new Wharekai, Wharepaku and mattress storage extension to the existing Whare Hui will breach the permitted 10m setback from boundary provisions.</p> <p>Therefore, this rule will be assessed as a Restricted Discretionary Activity in accordance with Rule 8.6.5.3.4.</p>
8.6.5.1.5	TRANSPORTATION	This will be assessed in the table below.
8.6.5.1.6	KEEPING OF ANIMALS	<p>Not applicable.</p> <p>The application does not relate to the keeping of animals.</p>
8.6.5.1.7	NOISE	<p>Permitted</p> <p>The site is not considered to generate noise which exceeds the permitted threshold.</p>
8.6.5.1.8	BUILDING HEIGHT	<p>Permitted</p> <p>As detailed in the elevation plans, the maximum height of the Marae will be 6.4m which is within the permitted threshold of 12m under the Operative District Plan.</p>
8.6.5.1.9	HELICOPTER LANDING AREA	Not applicable.
8.6.5.1.10	BUILDING COVERAGE	<p>Discretionary Activity</p> <p>The total building coverage equates to 905m² or 23% (includes proposed building coverage and existing Whare Hui & Activity space).</p> <p>The building coverage exceeds the permitted & Controlled thresholds of the total site area.</p>
8.6.5.1.11	SCALE OF ACTIVITIES	<p>Permitted</p> <p>Rule 8.6.5.1.1 (c) allows for the permitted threshold to be exceeded when people are visiting the Marae.</p>
8.6.5.1.12	TEMPORARY EVENTS	Not applicable.

District Wide Matters



Plan Reference	Rule	Performance of Proposal
Chapter 12 Natural and Physical Resources		
12.3.6.1.1	EXCAVATION AND/OR FILLING IN THE RURAL PRODUCTION ZONE	<p>Permitted.</p> <p>The subject site is relatively flat, therefore minimal earthworks will be required to establish the building platform.</p>
Chapter 15 Transportation		
15.1.6A.2.1	TRAFFIC	<p>Restricted Discretionary activity.</p> <p>The new structures will be able to cater up to 100 people.</p> <p><i>Appendix 3A</i> does not list a Marae as an activity therefore 3A.2: states that the Traffic Intensity Factor (TIF) for the activity in <i>Appendix 3A</i> that is closest in scale, intensity and character to the activity being considered, must be used.</p> <p>It is our opinion, that a Marae is not a Residential Activity or Casual Accommodation. A <i>Place of Assembly</i> reflects a Marae best, which allows for 2 traffic movements per every person the facility is designed for.</p> <p>Therefore, we have made the following calculation below. Total occupancy = 100 x 2 (Place of assembly) = 200 TIFS</p> <p>The permitted threshold is 60 TIF's. The proposal is unable to comply with the permitted threshold, therefore, the application will be assessed as a Restricted Discretionary activity.</p>
15.1.6A.3.1 15.1.6A.4.1 (RDA)		
15.1.6B.1.1	On-site Car Parking Standard	<p>Permitted Activity.</p> <p>The minimum number of on-site car parking spaces to be provided for the users of an activity, shall be determined by reference to Appendix 3C.</p> <p><i>Appendix 3C</i> does not list a Marae as an activity therefore 3C.2: states the Parking spaces required for the activity in the <i>Appendix</i> that is the closest most similar activity being considered must be used.</p> <p>As mentioned above it is our opinion, that a Marae is not a Residential Activity or Casual Accommodation. A <i>Place of Assembly</i> reflects a Marae best, which requires 1 carpark for every 5 persons the facility is designed for.</p> <p>Therefore, we have made the following calculation below. Total occupancy = 100 / 5 (Place of assembly) = 20 Car parks</p> <p>In this case the site plan shows 25 carparks, the area designated for carparking near the road frontage plus the carparking to the rear.</p>



15.1.6B.1.4	Accessible Car Parking Spaces	Permitted Two accessible carparking spaces have been provided.
15.1.6B.1.5	Car Parking Space Standards	Discretionary activity. (a) Complies (b) NA (c) As mentioned earlier, 25 carparking spaces will be provided. The existing car park is of a metalled formation which is to remain. This is common for this type of activity as the carparks will be used irregularly.
15.1.6C.1.1	PRIVATE ACCESSWAY IN ALL ZONES	Not applicable. No private accessways are proposed as part of this application.
15.1.6C.1.2	PRIVATE ACCESSWAYS IN URBAN ZONES	Not applicable.
15.1.6C.1.3	PASSING BAYS ON PRIVATE ACCESSWAYS IN ALL ZONES	Not applicable.
15.1.6C.1.4	ACCESS OVER FOOTPATHS	Not applicable.
15.1.6C.1.5	VEHICLE CROSSING STANDARDS IN RURAL AND COASTAL ZONES	Permitted Activity. The access is existing and no upgrading is considered necessary.
15.1.6C.1.6	VEHICLE CROSSING STANDARDS IN URBAN ZONES	Not applicable.
15.1.6C.1.7	GENERAL ACCESS STANDARDS	Permitted Activity. (a) Vehicle manoeuvring is provided within the site. (b) Not applicable. (c) Complies. (d) Stormwater will be controlled and dispersed as required.
15.1.6C.1.8	FRONTAGE TO EXISTING ROADS	Not applicable.

Operative District Plan Rule Breaches

6.4. The assessment above indicates the following breaches under the Operative District Plan:

8.6.5.1.3 Stormwater Management

6.5. The proposal breaches Permitted *Rule 8.6.5.1.3 Stormwater Management* as the proposed impermeable surfaces exceed 15%.

6.6. The proposal is a Discretionary Activity under *Rule 8.6.5.4 Discretionary Activities*. The assessment criteria within Chapter 11.3 will be assessed as part of this application.

8.6.5.1.4 Setback from Boundaries



- 6.7. The proposal is unable to comply with the permitted 10m setback specified within *Rule 8.6.5.1.4 Setback from Boundaries*. This aspect of the proposal can comply with *Restricted Discretionary Rule 8.6.5.3.4*.

8.6.5.1.10 Building Coverage

- 6.8. The proposal will result in a total building coverage of 905m² or 23%, which exceeds the permitted threshold of 12.5% of the total site area. The proposal also exceeds the controlled threshold of 15%. This aspect of the proposal is considered to be a Discretionary Activity in accordance within *Rule 8.6.5.4 Discretionary Activities*.

15.1.6A.2.1 Traffic Intensity

- 6.9. The proposal is unable to comply with the permitted threshold referenced within *Rule 15.1.6A.2.1 Traffic Intensity*, as the calculation for the traffic intensity factor equates to 200 TIFs which exceeds the permitted threshold specified within *Rule 15.1.6A.2.1 Traffic Intensity*.

- 6.10. The proposal will be assessed as a Discretionary Activity under *Rule 15.1.6A.5*. Therefore, the assessment criteria listed within *Rule 15.1.6A.7* will be included as part of this application.

15.1.6B.1.5 Carparking Space Standards

- 6.11. The proposal is unable to comply with all the criteria set out within *Rule 15.1.6B.1.5 Carparking Space Standards* due to the car park formation not being of an all-weather surface as per *Rule 15.1.6B.1.5(c)*.
- 6.12. The proposal will be assessed as a Discretionary Activity under *15.1.6B.3 Discretionary Activities*. The assessment criteria within *15.1.6B.5* will be included as part of this application.

Overall Activity Status

- 6.13. Overall, the proposal requires consent under the Operative District Plan as a **Discretionary Activity**.

Proposed District Plan

- 6.14. The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned Māori Purpose - Rural. An assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	The following rules have immediate legal effect: Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource	Not applicable. The proposal does not include a new significant hazardous facility nor is the property located within an area with a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource.



	Rules HS-R5, HS-R6, HS-R9	
Heritage Area Overlays	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	Not applicable. The site is not located within a Heritage Area Overlay.
Historic Heritage	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	Not applicable. The site does not contain any areas of historic heritage.
Notable Trees	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	Not applicable. The site does not contain any notable trees.
Sites and Areas of Significance to Māori	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	Not applicable. The site does not contain any sites or areas of significance to Māori.
Ecosystems and Indigenous Biodiversity	All rules have immediate legal effect (IB-R1 to IB-R5)	Not applicable. The site does not contain any known ecosystems or indigenous biodiversity to which these rules would apply.
Subdivision	The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17	Not applicable. The proposal is not for subdivision.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Not applicable. The proposal does not involve activities on the surface of water.
Earthworks	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Permitted. Earthworks as part of this proposal will proceed under the guidance of an ADP and will be in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016, in accordance with Rules EW-12, EW-R13, EW-S3 and EW-S5.
Signs	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Not applicable. No signs are proposed as part of this application.



Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not applicable. The site is not located in the Orongo Bay Zone.
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6.15. The assessment above indicates that the proposal is **Permitted** within the Proposed District Plan.

National Environmental Standards

National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011

6.16. A site visit, review of aerials and discussions with the landowners did not indicate that the site was HAIL. The site is not known to have been or currently be, utilised for activities listed as being HAIL. The application has been considered **Permitted** in terms of this regulation.

6.17. No other National Environmental Standards are considered applicable to this development. The activity is considered permitted in terms of these above-mentioned documents.

7. Statutory Assessment

Section 104B of the Act

7.1. Section 104B governs the determination of applications for Discretionary Activities. With respect to Discretionary Activities, a consent authority may grant or refuse an application, and impose conditions under section 108.

Section 104(1) of the Act

7.2. Section 104(1) of the Act states that when considering an application for resource consent –

“the consent authority must, subject to Part II, have regard to –

- (a) any actual and potential effects on the environment of allowing the activity; and*
- (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and*
- (b) any relevant provisions of –*
 - i. a national environmental standard:*
 - ii. other regulations:*
 - iii. a national policy statement:*
 - iv. a New Zealand Coastal Policy Statement:*
 - v. a regional policy statement or proposed regional policy statement:*
 - vi. a plan or proposed plan; and*
- (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”*



- 7.3. Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (As described in section 3 of the Act). Positive effects arising from this proposal are that the site is being developed for its intended use being for Māori Purposes. The new Wharekai and Wharepaku buildings will be designed to comply with current regulations that will create a meeting place that is resilient for future generations which will create positive effects for the local and Māori community in the surrounding environment. Potential adverse effects arising from this proposal relate to Traffic, Parking surface, Stormwater Management, Setback from Boundaries and Building Coverage.
- 7.4. Section 104(1)(ab) requires that the consent authority consider 'any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. In this case the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment.
- 7.5. Section 104(1)(b) requires the consent authority to consider the relevant provisions of the above listed documents. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that the activity may have on the environment has been provided below.

8. Environmental Effects Assessment

- 8.1. Having reviewed the relevant plan provisions and taking into account the matters that must be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects warrant consideration as part of this application.

15.1.6A.2.1 Traffic Intensity

- 8.2. An assessment of effects has been carried out, addressing the relevant assessment criteria listed within 15.1.6A.7 *Assessment Criteria* which is listed below:

The matters contained in s104 and s105, and in Part II of the Act, apply to the consideration of all resource consents for land use activities.

(a) The extent by which the expected traffic intensity for a proposed activity exceeds the assumed value set by the Traffic Intensity Factor contained in Appendix 3A in Part 4 of the Plan.

(b) The time of day when the extra vehicle movements will occur.

(c) The distance between the location where the vehicle movements take place and any adjacent properties.

(d) The width and capability of any street to be able to cope safely with the extra vehicle movements.

(e) The location of any footpaths and the volume of pedestrian traffic on them.

(f) The sight distances associated with the vehicle access onto the street.



- (g) The existing volume of traffic on the streets affected.*
- (h) Any existing congestion or safety problems on the streets affected.*
- (i) With respect to effects in local neighbourhoods, the ability to mitigate any adverse effects through the design of the access, or the screening of vehicle movements, or limiting the times when vehicle movements occur.*
- (j) With respect to the effects on through traffic on arterial roads, strategic roads and State Highways, any measures such as right-turn bays, flush medians, left turn deceleration tapers, etc. proposed to be installed on the road as part of the development to accommodate traffic turning into and out of the site.*
- (k) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.*
- (l) Whether providing or having access to bicycle parking, shower/changing facilities or alternative transportation would reduce the number of vehicle movements associated with the proposed activity.*
- (m) the provision of safe access for pedestrians moving within or exiting the site.*

8.2.1. As mentioned earlier in this report, the new structures will be able to cater for up to 100 people. *Appendix 3A* does not list a Marae as an activity therefore 3A.2: states that the TIF for the activity in *Appendix 3A* that is closest in scale, intensity and character to the activity being considered must be used. It is our opinion, that a Marae is not a Residential Activity or Casual Accommodation. A *Place of Assembly* reflects a Marae best, which allows for 2 TIF's per every person the facility is designed for.

8.2.2. Total occupancy = 100 x 2 (Place of assembly) = 200 traffic movements.

8.2.3. The traffic intensity factor exceeds the permitted threshold; however, the proposal can meet the Discretionary Activity provisions. It is important to note that the proposal is for a new Wharekai & Wharepaku to support the existing structures already on the site. The Marae was first established in 1935 and forms part of the existing environment. The new structures and the addition to the existing whare hui are necessary to enable the site to be used for its intended purpose which is as a marae.

8.2.4. The Board of Trustees for the Marae have advised that the day-to-day traffic movements generated by the marae will be significantly less than what is anticipated as the indicative traffic intensity as provided for using the District Plan TIF values. There are no regular events that currently take place at the marae that would generate more than the permitted 60 traffic movements. The larger occasions such as tangihanga would draw the most people. Traffic management is put in place for large events to ensure safe ingress and egress through to the marae carpark. It is also noted that whanau often car share to these events. Therefore, it is not anticipated that the expected traffic intensity for the proposed activity will exceed the assumed value set by the Traffic Intensity Factor contained in *Appendix 3A* in Part 4 of the Operative District Plan.



- 8.2.5. Generally, when visitors come to the marae, this will likely only occur during daylight hours arriving in the morning and leaving in the afternoon. The positive effects resulting from the proposal relating to traffic include improved access to provide a formalised one-way entry and exit system and utilisation of the existing metalled car park areas including a separate parking area to the rear of the facility.
- 8.2.6. It is intended to upgrade the non-functioning culvert under the vehicle crossing and to clear the roadside water table drain so waterflow can flow to the northwest. The one-way access/exit system will control the flow of traffic to and from Wainui Road. The marae will use the existing vehicle crossing points which are located on each boundary of the site. The community are familiar with the location of the access points to the existing marae. It is not anticipated that the proposal will alter the actual traffic movements that currently occur for the site.
- 8.2.7. Wainui Road is a low user road of metalled formation. The road is straight, which provides more than adequate sightlines for accessing and egressing vehicles to the marae. The new structures will support the existing Marae activity therefore it is anticipated the traffic movements on this portion of Wainui Road will not create effects that are more than minor. It is also noted that the existing Marae has not been subject to any traffic management issues to date.
- 8.2.8. There is no known congestion or safety problems on any roads nearby.
- 8.2.9. The proposal will extend the existing marae facilities; however, the marae has been in the community for some time and it is considered the vehicle movements coming to and from the site form part of the existing environment. The new additions will include improved access and carparking arrangements to manage and mitigate traffic movements within the site.
- 8.2.10. The activity has formed part of the existing environment for many years. The proposal is not considered to result in any noticeable changes when comparing traffic for the additional structures that support the existing Marae to the traffic movements occurring previously.
- 8.2.11. A stormwater management report has been prepared to design stormwater mitigation within the site. The marae activity is not considered to cause or exacerbate any natural hazards on site.
- 8.2.12. The overall site plan has not provided a designated area for bicycle parking as this has not been a mode of transportation used to get to the marae to date. However, the site is large enough that this could be provided for in the future if the need arises. The marae will have shower/changing facilities and provides for alternative transportation as is discussed above.
- 8.2.13. Wainui Road does not contain a footpath. Due to the rural location of the marae foot traffic is unlikely however the grassed road berm offers safe passage if this ever occurred.



Summary

8.2.14. The site will be used for its intended purpose with the additional buildings supporting the existing marae activity with improved access and parking arrangements which are positive effects resulting from the proposal. It is considered the effects on traffic will be less than minor.

15.1.6B.1.5 Carparking Space Standards

8.3. An assessment of effects has been carried out, addressing the relevant assessment criteria listed within *Rule 15.1.6B.5 Assessment Criteria* which is copied below.

In assessing an application for a discretionary activity, the Council will consider the matters listed below:

- (a) Whether it is physically practicable to provide the required car parks on site.*
- (b) Whether there is an adequate alternative supply of parking in the vicinity, such as a public car park or angled road parking.*
- (c) Whether there is another site nearby where a legal agreement could be entered into with the owner of that site to allow it to be used for the parking required for the application.*
- (d) Whether it can be shown that the actual parking demand will not be as high as that indicated in Appendix 3C.*
- (e) Adequacy of the layout and design of the car parking areas in terms of other recognised standards, including the provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.*
- (f) Degree of user familiarity with the car park and length of stay of most vehicles.*
- (g) Total number of spaces in the car park.*
- (h) Clear space for car doors to be opened even if columns, walls and other obstructions intrude into a car parking space.*
- (i) For sites with a frontage with Kerikeri Road between its intersection with SH10 and Cannon Drive:
 - (i) the visual impact of hard surfaces and vehicles on the natural environment;*
 - (ii) the effectiveness of any landscape plantings in screening hard surfaces and vehicles associated with parking areas.**
- (j) Whether cycling facilities or open green space have been considered or are appropriate as an alternative to car parking.*
- (k) Whether adequate consideration has been given to providing accessible car parking spaces for those with disabilities, the location of these spaces and regulating inappropriate use of the spaces.*
- (l) The extent to which the site can be accessed by alternative transport means such as buses, cycling or walking.*
- (m) The extent to which the reduced number of car parking spaces may increase congestion along arterial and strategic roads.*
- (n) The degree to which provision of on-site car parking spaces may have resulted in adverse visual effects or fragmented pedestrian links.*
- (o) Whether a financial contribution in lieu of car parking spaces is appropriate.*
- (p) Consideration given to shared parking options between adjacent sites and activities that have varying peak parking demands.*



(q) The varying parking requirements for staff and customers.

- 8.3.1. The minimum number of on-site car parking spaces to be provided for the users of an activity shall be determined by reference to Appendix 3C. *Appendix 3C* does not list a Marae as an activity therefore 3C.2: states that parking facilities for the activity in the *Appendix* that is the closest, most similar activity to the activity being considered must be used. As mentioned above it is our opinion, that a Marae is not a Residential Activity or Casual Accommodation. A *Place of Assembly* reflects a Marae best, which requires 1 carpark per every 5 persons the facility is designed for.
- 8.3.2. Total occupancy = 100 / 5 (Place of assembly) = 20 Car parks.
- 8.3.3. Although it is physically practicable to provide the required car parks, this has been achieved by using unformed carparks. The site plan shows 25 carparks, which include 20 carparks near the road frontage, plus 5 additional car parks at the rear of the Wharekai building. It is intended for the car parking areas to remain as a metalled surface with no individual markings. The metalled formation is considered to be more practical due to the large area being provided for carparking and is aesthetically more fitting with the rural amenity of the area. The construction of the Marae plus the metalled parking area equates to 2421m² or 60% of impermeable surface areas. Therefore, it is considered a practical approach to retain the existing metalled area rather than re-surface in concrete.
- 8.3.4. As demonstrated within the site plan provided with the application, there is ample area on the site to provide adequate parking in accordance with the Operative District Plan parking requirements. Alternative parking on other sites, or the public road is not considered to be necessary. It is noted however, that the site is surrounded by other Māori Land Parcel's which are associated with this Marae.
- 8.3.5. The parking demand for the Marae will depend on the event occurring that day, however it is not anticipated to exceed the demand indicated within Appendix 3C. This is because whanau tend to come in groups with their elderly and children, such that it reduces the number of parking spaces required. The parking provided on site exceeds the permitted requirements.
- 8.3.6. A stormwater report with applicable attenuation has been provided for the proposal such that provisions will be made to mitigate the effects of stormwater. The proposal is not considered to have any adverse effects on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.
- 8.3.7. The length of stay for visitors will typically be 2-3 hours with some visitors occasionally staying overnight. The design of the carparking areas is user-friendly with enough cleared space for car doors to be opened. The carpark is an existing metalled area which has a degree of user familiarity.



- 8.3.8. The wider environment is generally rural so cycling facilities are not considered to be appropriate in this case. However, the site has enough open space that if cycling facilities are required in the future this can be accommodated.
- 8.3.9. Accessible parking has been provided near the entrance of the Marae, which is the most practical location, as it allows the users of the accessible carpark to be within close proximity to the entrance of the Marae.
- 8.3.10. This proposal has sufficient parking such that it does not increase congestion along any arterial or strategic roads.
- 8.3.11. Consideration has not been given to shared parking options due to the property being able to accommodate the required number of carparking spaces, no further parking spaces will be required.
- 8.3.12. Parking requirements for staff and customers is not applicable in this instance.

Summary

- 8.3.13. The subject site can provide the required number of car parks for the marae activity. Dispensation is sought in regard to the formation of the car parks. The site has an existing metalled car park area that the marae would like to retain. Metalled car park areas are common in rural areas and are visually in keeping with the rural amenity of the area. Although the proposal is unable to comply with Carparking Space Standards, the site can easily accommodate the required number of car parking. The reasoning behind not forming all the car parking area has been demonstrated as most practical. Therefore, the effects resulting from this rule breach is considered to be less than minor.

8.6.5.1.4 Setback from Boundaries

- 8.4. In assessing an application resulting from a breach of Rule 8.6.5.1.4 Setback from Boundaries the matters which council restrict its discretion too are listed within 8.6.5.3.4 Setback from Boundaries copied below.
- (a) the extent to which the building(s) reduces outlook and privacy of adjacent properties;*
 - (b) the extent to which the buildings restrict visibility for access and egress of vehicles;*
 - (c) the ability to mitigate any adverse effects on the surrounding environment, for example by way of planting;*
 - (d) for sites having a frontage with Kerikeri Road (between its intersection with SH10 and Cannon Drive:
 - (i) the scale of the buildings;*
 - (ii) the extent of set back from Kerikeri Road;*
 - (iii) the visual appearance of the site from the Kerikeri Road frontage;*
 - (iv) the extent to which the building(s) are in harmony with landscape plantings and shelter belts;**
 - (e) for residential buildings located within 100m of Minerals Zone:*



- (i) the position of the building platform(s) in relation to the mine or quarry;*
- (ii) the likelihood of the mine or quarry causing environmental effects, especially noise and loss of amenity values, that will impact adversely on the occupiers of the proposed residential building;*
- (iii) the effectiveness of any mitigation measures proposed; Where an application is required under this rule, the owner and/or operator of any mine or quarry within the adjacent Minerals Zone shall be considered an affected party. Where the written approval of the owner and the mine or quarry operator has been obtained, the application will be non-notified.*
- (f) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.*

8.4.1. The new Wharekai and Wharepaku buildings and the addition to the Whare hui to provide a mattress storage area will breach the 10m permitted setback distance to boundaries. The site plan shows the Wharekai building to be 3.7m from the southern boundary, the Wharepaku building 5.6m from the northern boundary and the new mattress storage area that is an extension to the existing Wharehui building as being 3.3m from the western boundary. It is noted that the existing activity space building is setback less than what is proposed for the mattress storage extension along this same boundary.

8.4.2. Written approval has been provided from the landowners of both the adjoining land parcels being Ahipara A21A & Pt Ahipara 45. Council must disregard effects of the proposal on those parties of which approval has been obtained. A brief assessment has also been provided below.

8.4.3. The setback infringements occur on the side and rear boundaries only with compliance achieved for the road boundary, hence the setback breaches do not restrict visibility for accessing and egressing vehicles.

8.4.4. The proposed activity is to construct new buildings to support the existing marae activity currently occurring within the site, which currently forms part of the existing environment. Given the location and the type of activity, no additional landscaping has been considered necessary as the rural environment enables a wide range of activities which include marae. In addition to this the proposed activity meets the purpose of the land as described in the title and will remain consistent with the character of the surrounding environment which includes Papakainga Land and vacant Māori Land parcels.

8.4.5. The property does not adjoin esplanade reserves and strips and adjacent coastal marine areas.

8.4.6. The infringed boundaries adjoin other Māori Land parcels, where the existing marae is located. Written approval has been provided with the application; therefore, Council must disregard the effects that the proposal will have on these allotments which approval has been sought. It is considered that any potential effects resulting from the setback infringements is internalised to the two boundaries and will not result in adverse effects on other properties or the surrounding environment.



8.6.5.1.3 Stormwater Management

8.5. As detailed earlier in this report, the proposal is unable to comply with the Permitted or Controlled thresholds for Stormwater Management in the Rural Production Zone. As demonstrated within the table below, the total impermeable surfaces equate to 2421m² or 60% and shall be assessed as a Discretionary Activity as per 8.6.5.4 *Discretionary Activities*. Therefore, we have provided an assessment using the assessment criteria listed within Chapter 11.3 Stormwater Management. The assessment criteria is addressed below;

- (a) *The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.*
- (b) *The extent to which Low Impact Design principles have been used to reduce site impermeability.*
- (c) *Any cumulative effects on total catchment impermeability.*
- (d) *The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.*
- (e) *The physical qualities of the soil type.*
- (f) *Any adverse effects on the life supporting capacity of soils.*
- (g) *The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.*
- (h) *The extent to which paved, impermeable surfaces are necessary for the proposed activity.*
- (i) *The extent to which landscaping may reduce adverse effects of run-off.*
- (j) *Any recognised standards promulgated by industry groups.*
- (k) *The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.*
- (l) *The extent to which the proposal has considered and provided for climate change.*
- (m) *The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.*

8.5.1. The total impermeable surfaces breakdown is shown in the table below.

Component	Coverage (m²)
Existing roof area	307
Proposed roof area	698
Driveway and parking areas (constructed pre 2011)	765
Driveway and parking areas (constructed post 2011)	502
Paths	138
Water tanks (above allowance)	16
Total existing and proposed	2,426
Total site area	4046
% Coverage	60.0%
Permitted activity	15%

Figure 11: Impermeable areas obtained from the Stormwater report – Haigh Workman



- 8.5.2. A preliminary analysis has been prepared by Haigh Workman Civil & Structural Engineers to address stormwater runoff. Retention to water tanks has been used as the method to mitigate and control stormwater which is considered a low impact design to reduce site impermeability.
- 8.5.3. The stormwater analysis provided shows the roof area of the wharekai, wharepaku and veranda will be connected to the 10,000L tank with outflow being directed into the roadside water table on Wainui Road through a 100mm diameter pipe. The overflow from the existing potable water tank will be directed into a level spreader. In addition to this the culvert under the vehicle crossing will be replaced with a RCRRJ class 4 culvert. The proposed attenuation methods will ensure that the adverse cumulative effects are mitigated to a less than minor degree.
- 8.5.4. The site is flat and requires minimal excavation to prepare the building platform. The proposed works will not alter the natural contour of the land or drainage patterns currently in existence on site or alter the ability to absorb water.
- 8.5.5. The physical qualities of the soil type will remain unchanged.
- 8.5.6. It is anticipated there will be no adverse effects on the life supporting capacity of soils.
- 8.5.7. The site is 4046m² in area which is an adequate area to provide for the disposal of effluent and stormwater within the site without adverse effects on the water quality and water quality of water bodies.
- 8.5.8. The impermeable surfaces as shown on the site plan are considered necessary for the proposed activity and associated infrastructure.
- 8.5.9. No landscaping has been proposed for the site therefore it is considered not applicable that landscaping may reduce adverse effects of run-off.
- 8.5.10. Recognised standards promulgated by industry groups is not applicable to this proposal.
- 8.5.11. The total site coverage and impermeable surfaces include the roof areas and the parking and manoeuvring areas which are necessary to provide the facilities and infrastructure required for the Marae. It is important to highlight that the property is for Māori purposes, which anticipates a Marae to be located on the property. It is considered the proposed stormwater mitigation as detailed in the stormwater analysis will mitigate stormwater runoff to that expected by the permitted activity threshold.
- 8.5.12. The stormwater analysis has provided for climate change within the calculations provided.
- 8.5.13. It is considered that detention ponds and other engineering solutions are not required in this instance.



8.5.14. The proposed development will allow the Marae activity to continue on site, with more appropriate stormwater mitigation methods. Therefore, it is considered that the effects arising from the proposal will be less than minor.

8.6.5.1.10 Building Coverage

8.6. As detailed earlier in this report, the proposal is unable to comply with the Permitted or Controlled thresholds for Building Coverage in the Rural Production Zone. As demonstrated within the plans attached with this application, the total building coverage (proposed and existing) equate to 905m² or 23% and shall be assessed as a Discretionary Activity as per 8.6.5.4 Discretionary Activities. Therefore, we have provided an assessment using the assessment criteria listed within Chapter 11.24 Building Coverage. The assessment criteria is addressed below.

(a) the ability to provide adequate landscaping for all activities associated with the site.

(b) the extent to which building(s) are consistent with the character and scale of the existing buildings in the surrounding environment.

(c) the scale and bulk of the building in relation to the site.

(d) the extent to which private open space can be provided for future uses.

(e) the extent to which the cumulative visual effects of all the buildings impact on landscapes, adjacent sites and the surrounding environment.

(f) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment.

(g) the extent to which landscaping and other visual mitigation measures may reduce adverse effects.

(h) the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.

8.6.1. Given the location and the type of activity, no additional landscaping has been considered necessary as the rural environment enables a wide range of activities which include marae. In addition to this the proposed activity meets the purpose of the land as described in the title and will remain consistent with the character of the surrounding environment which includes Papakainga Land and vacant Māori Land parcels.

8.6.2. The scale and bulk of the buildings on site are considered appropriate to enable effective use of the Marae.

8.6.3. There is ample area outside of the building footprints which can be utilised for open space, although this is not the main purpose for the use of the site.

8.6.4. The proposal is not considered to create adverse cumulative visual effects, given the proposal will enhance the site. Written approval from adjoining landowners has been obtained, with no objections raised.



- 8.6.5. The proposal will not alter the use of the subject site and is not considered to create visual dominance given the existing use of the site and surrounding environment.
- 8.6.6. As mentioned above, no landscaping is proposed or considered necessary as no adverse effects in terms of building coverage are anticipated.
- 8.6.7. The proposal is not considered to affect the privacy, outlook and enjoyment of private open space of adjacent sites. Written approval has been obtained by the two adjoining properties.

9. Policy Documents

- 9.1. In accordance with Section 104(1)(b) of the Act, the following documents are considered relevant to this application:
Any relevant provisions of –
- i. FNDC Operative District Plan
 - ii. FNDC Proposed District Plan
 - iii. The National Policy Statement for Highly Productive Land.
 - iv. National Environmental Standard for Contaminated Land.
- 9.2. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that activity may have on the environment has been provided below.

National Environmental Standards

National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health.

- 9.3. As mentioned earlier in this report, after reviewing historical photographs of the subject site and area as well as the FNDC maps which indicate HAIL sites, it is considered that the subject site is not known to have been or currently be, used for any purposes which would classify the site as a HAIL site. Therefore, the National Environmental Standards for Assessing and Managing Contaminants in Soils to Protect Human Health is not considered relevant to these applications.
- 9.4. No other National Environmental Standards are considered applicable to this development.

National Policy Statements

- 9.5. There are currently eight National Policy Statements in place. These are as follows:
- National Policy Statement on Urban Development
 - National Policy Statement for Freshwater Management
 - National Policy Statement for Renewable Electricity Generation
 - National Policy on Electricity Transmission
 - National Policy Statement for Highly Productive Land
 - National Policy Statement for Indigenous Biodiversity
 - National Policy Statement for Greenhouse Gas Emissions from Industrial Process Heat 2023



- New Zealand Coastal Policy Statement

9.6. It is considered that only the National Policy Statement for High Productive Land is relevant to this proposal. The other National Policy Statements are not considered applicable to this application including the Coastal Policy Statement as the development is not located within or in close proximity to the coastal environment.

National Policy Statement for Highly Productive Land

9.6.1. The property has a land use classification of 2w1 such that it is classified as being Highly Productive Land under Section 3.6 of the NPS for HPL.

9.6.2. Section 3.9 of the NPS HPL states that a use and development of highly productive land is inappropriate, except where at least one of the following applications (a)-(j) applies to the use or development and the measures in subclause (3) are applied. In this case subclause (d) applies as the development is located on Māori Land, therefore the measures within subclause (3) must be applied.

(3) Territorial authorities must take measures to ensure that any use or development on highly productive land:

(a) minimises or mitigates any actual loss or potential cumulative loss of the availability and productive capacity of highly productive land in their district; and

(b) avoids if possible, or otherwise mitigates, any actual or potential reverse sensitivity effects on land-based primary production activities from the use or development.

9.6.3. The site contains existing built development and metalled car park areas which will be retained as part of this proposal. This is considered an efficient use of the land as the layout and design of the proposal leaves large open areas in grass as open green space. The site has not been previously used for horticultural purposes.

9.6.4. The surrounding land consists of other Māori Land Parcels, including Papakainga Land, and other residential and productive activities. The location of the proposed Marae is not considered to result in any reverse sensitivity effects as the Marae is setback from any land in productive use to an extent that it completely avoids reverse sensitivity. The Marae is considered to complement the surrounding environment given the surrounding use of the land. It is also noted the Record of Title states the purpose as a Māori reservation for the purpose of a meeting place or marae for the common use and benefit of Ngati Moetonga and Te Rokeka hapu. The proposed structures are to support the existing marae activity within the site.

9.6.5. Therefore, it is considered that the proposal is able to comply with the measures outlined in subclause 3, which demonstrates that the proposal is not contrary to the objectives and policies within the NPS HPL.



Regional Policy Statement

9.7. The role of the Regional Policy Statement is to promote sustainable management of Northland's natural and physical resources by providing an overview of the regions resource management issues and setting out policies and methods to achieve integrated management of Northlands natural and physical resources.

9.8. The relevant objectives and policies have been assessed below.

Objective 3.5 – Enabling Economic Wellbeing

Northland's natural and physical resources are sustainably managed in a way that is attractive for business and investment that will improve the economic wellbeing of Northland and its communities.

9.8.1. The proposal achieves this objective as the explanation provided in the RPS recognises the need for people and businesses to choose Northland as a place to invest and for economic development to be aligned with environmental outcomes and acknowledges that the character and quality of Northland's natural environment is a major attraction for people, investors and businesses. The proposal is considered to result in the additional investment in the district as the marae is a community space that provides for the economic wellbeing for the community.

Objective 3.6 – Economic Activities – Reverse Sensitivity and Sterilisation

The viability of land and activities important for Northland's economy is protected from the negative impacts of new subdivision, use and development, with particular emphasis on either:

(a) Reverse sensitivity for existing:

(i) Primary production activities;

(ii) Industrial and commercial activities;

(iii) Mining*; or

(iv) Existing and planned regionally significant infrastructure; or

(b) Sterilisation of:

(i) Land with regionally significant mineral resources; or

(ii) Land which is likely to be used for regionally significant infrastructure. *Includes aggregates and other minerals.

9.8.2. Due to the location and zoning of the site, there are no reverse sensitivity effects created. The site will provide a resilient space for Hapu and the local community. The proposal will not change what is currently already in existence in the community as the proposal will support the existing Marae activity. This will provide positive outcomes by providing a structurally sound Marae which is adaptable and resilient for future generations. The Marae already forms part of the existing environment and is anticipated by the purpose described on the Record of Title, the Proposed and Operative District Plan zoning. The site is surrounding by Māori Land Parcels, which is common within areas in close proximity to their local Marae. The Marae does not adjoin any productive allotments, such that any potential for reverse sensitivity is avoided.



- 9.8.3. Due to the above, it is considered that there will be no reverse sensitivity effects as the proposal is to support the existing marae activity which is not objectionable to the surrounding environment and maintains the amenity of the area and the Rural Production zone.

Policy 7.1.1 – General Risk Management Approach

Subdivision, use and development of land will be managed to minimise the risks from natural hazards by:

- (a) Seeking to use the best available information, including formal risk management techniques in areas potentially affected by natural hazards;***
- (b) Minimising any increase in vulnerability due to residual risk;***
- (c) Aligning with emergency management approaches (especially risk reduction);***
- (d) Ensuring that natural hazard risk to vehicular access routes and building platforms for proposed new lots is considered when assessing subdivision proposals; and***
- (e) Exercising a degree of caution that reflects the level of uncertainty as to the likelihood or consequences of a natural hazard event.***

- 9.8.4. The risk of natural hazards is considered to be minimised, as engineering input has been included into the design which will ensure the building will not be impacted by Flood Hazard risk, reducing the vulnerability. A stormwater Report has been prepared where it is shown that stormwater can effectively be managed onsite.

- 9.8.5. With the above methods, it is considered that the proposal builds resilience to the potential impacts of natural hazard events.

Policy 7.1.2 – New Subdivision and Land use within 10-year and 100-year flood Hazard Areas
New subdivision, built development (including wastewater treatment and disposal systems), and land use change may be appropriate within 10-year and 100-year¹⁹ flood hazard areas provided all of the following are met:

- (a) Hazardous substances will not be inundated during a 100-year flood event.***
- (b) Earthworks (other than earthworks associated with flood control works) do not divert flood flow onto neighbouring properties, and within 10-year flood hazard areas do not deplete flood plain storage capacity;***
- (c) A minimum freeboard above a 100-year flood event of at least 500mm is provided for residential buildings.***
- (d) Commercial and industrial buildings are constructed so as to not be subject to material damage in a 100 year flood event.***
- (e) New subdivision plans are able to identify that building platforms will not be subject to inundation and / or material damage (including erosion) in a 100-year flood event;***
- (f) Within 10-year flood hazard areas, land use or built development is of a type that will not be subject to material damage in a 100-year flood event; and***
- (g) Flood hazard risk to vehicular access routes for proposed new lots is assessed.***

- 9.8.6. There are no known hazardous substances on the site.



- 9.8.7. The proposal will not result in any earthworks which will divert flow onto neighbouring properties nor deplete flood plain storage capacity. The earthworks associated with the proposal may involve the upgrading of the access points.
- 9.8.8. The new structures will be built to comply with the minimum freeboard requirements.
- 9.8.9. It is anticipated that with the existing and proposed structures on the site, it will not be subject to inundation or material damage.
- 9.8.10. The vehicular access route is existing and will be upgraded as result of this proposal. In addition to this impermeable surface areas have been kept to a minimum. The vehicular access routes have not resulted in an increase of risk to material damage compared to what is existing, in addition there has been no previous signs of material damage resulting for vehicular access routes with the existing marae.
- 9.8.11. Overall, the proposal is to construct new wharekai, wharepaku with verandah coverage and extend the existing wharehui to add a mattress storage area which will support the existing Marae buildings. Engineering design has been considered in relation to stormwater management and wastewater disposal, with up to date systems being put in place. This is considered to be a positive outcome.
- 9.8.12. It is considered that the land is suitable for the proposal and does not increase the risk of material damage.

Policy 7.1.4 – Existing development in known hazard prone areas

In 10-year and 100-year flood hazard areas and coastal hazard areas, mitigation measures to reduce natural hazard risk to existing development will be encouraged. These may include one or more of the following:

- (a) Designing for relocatable or recoverable structures (when changing existing buildings);***
- (b) Providing for low or no risk activities within hazard-prone areas;***
- (c) Providing for setbacks (from rivers / streams or the coastal marine area);***
- (d) Managed retreat by relocation, removal, or abandonment of structures;***
- (e) Replacing or modifying existing development without resorting to hard protection structures (see Policy 7.2.2); or***
- (f) Protecting, restoring or enhancing natural defences against natural hazards (see Policy 7.2.1).***

- 9.8.13. Natural hazard risks have been mitigated by constructing the Marae using current engineering standards which includes a low-risk construction design incorporating a floor level height applicable for this site.

Policy 7.1.6 – Climate change and development

When managing subdivision, use and development in Northland, climate change effects will be included in all estimates of natural hazard risk, taking into account the scale and type of



the proposed development and using the latest national guidance and best available information on the likely effects of climate change on the region or district.

9.8.14. Climate change factors have been included in the calculations provided in the Stormwater Preliminary Analysis carried out by Haigh Workman Engineers.

Policy 7.2.1 – Role of Natural features

Recognise and protect, restore or enhance natural systems and features that contribute to reducing the impacts of natural hazard events on the built environment.

9.8.15. The proposed activity recognises and protects the natural systems and features that contribute to reducing the impacts of natural hazard events by implementing a low impact design for stormwater mitigation to ensure run-off is attenuated and dispersed in a controlled manner. Furthermore, the proposed activity requires minimal excavation such that there will be no change to the drainage patterns on site.

9.8.16. Overall, it is considered that the proposal is consistent with the intent of the RPS, and adequate mitigation measures have been offered to ensure that the effects of natural hazards are mitigated to a less than minor degree.

Far North Operative District Plan

Relevant objectives and policies

9.9. The relevant objectives and policies of the Plan are those related to the Rural Environment, Rural Production Zone, and the Transportation Chapter. The proposal is considered to create no more than minor adverse effects on these environments. The proposal is considered to be consistent with the character of the surrounding area and is considered to have negligible effects on the amenity value of the area. The proposal is considered to be consistent with the objectives and policies of the Plan.

Assessment of Objectives and Policies within the Rural Environment

9.10. The following assessment is based upon the objectives and policies contained within Sections 8.3 and 8.4.

Objectives

8.3.1 To promote the sustainable management of natural and physical resources of the rural environment.

8.3.2 To ensure that the life supporting capacity of soils is not compromised by inappropriate subdivision, use or development.

8.3.3 To avoid, remedy or mitigate the adverse and cumulative effects of activities on the rural environment.

8.3.4 To protect areas of significant indigenous vegetation and significant habitats of indigenous fauna.

8.3.5 To protect outstanding natural features and landscapes.

8.3.6 To avoid actual and potential conflicts between land use activities in the rural environment.



8.3.7 To promote the maintenance and enhancement of amenity values of the rural environment to a level that is consistent with the productive intent of the zone.

8.3.8 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.

8.3.9 To enable rural production activities to be undertaken in the rural environment.

8.3.10 To enable the activities compatible with the amenity values of rural areas and rural production activities to establish in the rural environment.

9.10.1. The proposal is not considered to affect the natural and physical resources of the Rural Environment. The site is generally Rural Lifestyle use in nature with the existing Marae already established in the immediate environment. The wider environment consists of other Māori land blocks and larger land parcels. The proposal will result in new wharekai & wharepaku buildings with an extension to the existing wharehui to provide a mattress storage area. Existing car park areas will be utilised with the remainder of the land remaining in grass. The proposed structures will support the existing Marae, such that there will be no change to the existing environment.

9.10.2. The life supporting capacity of soils is not considered to be compromised by the proposal.

9.10.3. The proposal is consistent with what is envisioned on Māori Land. The new structures will be located in close proximity to what is currently existing within the site, allowing the remainder of land to continue to be utilized for parking and open green space. No cumulative effects are anticipated as the proposal is to support the existing Marae activity. No areas of indigenous vegetation or fauna will be affected by the proposal nor any areas of Outstanding Natural Features or Landscapes. No conflicts in land use are anticipated. The proposal will not affect the capability of rural production activities to be undertaken in the zone. The proposed Marae is compatible with the amenity values of the area.

Policies

8.4.1 That activities which will contribute to the sustainable management of the natural and physical resources of the rural environment are enabled to locate in that environment.

8.4.2 That activities be allowed to establish within the rural environment to the extent that any adverse effects of these activities are able to be avoided, remedied or mitigated and as a result the life supporting capacity of soils and ecosystems is safeguarded and rural productive activities are able to continue.

8.4.3 That any new infrastructure for development in rural areas be designed and operated in a way that safeguards the life supporting capacity of air, water, soil and ecosystems while protecting areas of significant indigenous vegetation and significant habitats of indigenous fauna, outstanding natural features and landscapes.

8.4.4 That development which will maintain or enhance the amenity value of the rural environment and outstanding natural features and outstanding landscapes be enabled to locate in the rural environment.

8.4.5 That plan provisions encourage the avoidance of adverse effects from incompatible land uses, particularly new developments adversely affecting existing land-uses (including by constraining the existing land-uses on account of sensitivity by the new use to adverse affects from the existing use – i.e. reverse sensitivity).



8.4.6 That areas of significant indigenous vegetation and significant habitats of indigenous fauna habitat be protected as an integral part of managing the use, development and protection of the natural and physical resources of the rural environment.

8.4.7 That Plan provisions encourage the efficient use and development of natural and physical resources, including consideration of demands upon infrastructure.

8.4.8 That, when considering subdivision, use and development in the rural environment, the Council will have particular regard to ensuring that its intensity, scale and type is controlled to ensure that adverse effects on habitats (including freshwater habitats), outstanding natural features and landscapes on the amenity value of the rural environment, and where appropriate on natural character of the coastal environment, are avoided, remedied or mitigated. Consideration will further be given to the functional need for the activity to be within rural environment and the potential cumulative effects of non-farming activities.

- 9.11. As mentioned, the proposal will not adversely affect the natural and physical resources of the site or rural environment. No effects on the life supporting capacity of soils are anticipated as detailed above. The proposal will maintain the amenity values of the area as the proposed activity is not considered to be objectional in the surrounding environment given the location of the site and the surrounding land parcels. No incompatible land uses are anticipated as the site is located away from any other activities where reverse sensitivity could arise. There are no areas of indigenous vegetation or fauna within close proximity to the property. The intensity, scale and type are considered consistent with the zone and the Marae is considered to have a functional need to be located within the site. It is noted on the Record of the Title that the land is set apart as a Māori Reservation for the purpose of a meeting place or marae for the common use and benefit of Ngati Moetonga and Te Rokeka hapu.

Assessment of the objectives and policies within the Rural Production Zone

- 9.12. The following assessment is based upon the objectives and policies contained within Sections 8.6.3 and 8.6.4.

Objectives

8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.

8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural well being and for their health and safety.

8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.

8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone.

8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.

8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.

8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.

8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.

8.6.3.9 To enable rural production activities to be undertaken in the zone.



9.12.1. Sustainable management of natural and physical resources will be promoted. The proposed structures support the existing Marae buildings and is considered to have a positive effect on the social, economic and cultural wellbeing of the community. The site does not have frontage to Kerikeri Road. No potential conflicts are anticipated nor incompatible land use. The Marae activity is considered compatible to be placed within the Rural Production zone as the property is Māori land and is of a sufficient size to cater for many uses. The Record of Title also notes the purpose of the land as being for land set apart as a Maori reservation for the purpose of a meeting place or marae for the common use and benefit of Ngati Moetonga and Te Rokeka hapu. The proposal will not affect the ability of rural production activities to be undertaken within the zone as the proposal does not stifle or compromise existing rural productive activities in the surrounding area.

Policies

8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.

8.6.4.2 That standards be imposed to ensure that the off site effects of activities in the Rural Production Zone are avoided, remedied or mitigated.

8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.

8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.

8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.

8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.

8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.

8.6.4.8 That activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities

8.6.4.9 That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones.

9.12.2. The site already contains a wharehui with a standalone structure used as activity space. Due to the size of the site and immediate environment the site does not contain any large scale rural productive activities. The property does not directly adjoin any other properties that carry out existing activities which may be incompatible with the proposal. The marae is part of the existing environment, with the additional structures supporting this activity. Therefore, any potential for reverse sensitivity is considered to be less than minor. Adjoining allotments



are also Māori land some of which have been developed with residential/papakāinga development. No off-site effects are anticipated as all effects will be managed within the site boundaries, such as traffic and parking. No adverse effects on natural and physical resources are anticipated. The type, scale and intensity of the development will maintain the amenity values of the zone. The site does not have frontage to Kerikeri Road. No conflicting land use effects are anticipated nor reverse sensitivity effects.

- 9.12.3. Overall, it is considered that the proposal is consistent with the intent of the Rural Production Zone and adequate mitigation measures have been offered to ensure that the effects are mitigated to a less than minor degree.

Assessment of the objectives and policies for Transportation

- 9.13. The following assessment is based upon the objectives and policies contained within Sections 15.1.3 and 15.1.4.

Objectives

- 15.1.3.1 To minimise the adverse effects of traffic on the natural and physical environment.*
- 15.1.3.2 To provide sufficient parking spaces to meet seasonal demand in tourist destinations.*
- 15.1.3.3 To ensure that appropriate provision is made for on-site car parking for all activities, while considering safe cycling and pedestrian access and use of the site.*
- 15.1.3.4 To ensure that appropriate and efficient provision is made for loading and access for activities.*
- 1.6.5.5 To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities.*

- 9.13.1. The proposal meets the intention of the site being for Māori Purposes. The proposal is to construct new buildings with verandah coverage and an extension to the existing wharehui to support the existing Marae. Traffic effects have been mitigated with the upgrade to the vehicle crossing, providing shared transport options. In addition to this, appropriate provision has been made for on-site car parking (including disability parking). Pedestrian safety has also been considered in the design of the facility by making use of the existing structure and fencing partition to the parking area. A carpark has also been provided to the rear of the new wharekai building to provide a safe delivery area for supplies. The overall site layout promotes safe and efficient movement for both vehicle and pedestrian traffic.

Policies

- 15.1.4.1 That the traffic effects of activities be evaluated in making decisions on resource consent applications.*
- 15.1.4.2 That the need to protect features of the natural and built environment be recognised in the provision of parking spaces.*
- 15.1.4.3 That parking spaces be provided at a location and scale which enables the efficient use of parking spaces and handling of traffic generation by the adjacent roading network.*
- 15.1.4.4 That existing parking spaces are retained or replaced with equal or better capacity where appropriate, so as to ensure the orderly movement and control of traffic.*



15.1.4.5 That appropriate loading spaces be provided for commercial and industrial activities to assist with the pick-up and delivery of goods.

15.1.4.6 That the number, size, gradient and placement of vehicle access points be regulated to assist traffic safety and control, taking into consideration the requirements of both the New Zealand Transport Agency and the Far North District Council.

15.1.4.7 That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.

15.1.4.8 That alternative options be considered to meeting parking requirements where this is deemed appropriate by the Far North District Council.

9.13.2. The traffic effects of the activity have been evaluated in this report, with improved access points and parking being provided adjacent to Wainui Road and to the rear of the new wharekai building. Car parking has been provided in a way that enables efficient use of space. Disability parking has been provided at appropriate and practical locations near the entrance to the wharehui. Due to the rural nature of the site, cycling has not been a mode of transportation to date however there is adequate area available, as well as shower facilities to meet the needs of cyclists if this occurs.

9.13.3. Overall, it is considered that the proposal is consistent with the intent of the Transportation Chapter and adequate mitigation measures have been offered to ensure that the effects are mitigated to a less than minor degree.

Proposed District Plan

9.14. Under the Proposed District Plan, the site is zoned Māori Purpose Rural therefore an assessment of the objectives and policies within this chapter has been included below. The proposal is considered to create no more than minor adverse effects on the environment and is consistent with the rural intent of the surrounding environment and the zone. The proposal is considered to be consistent with the objectives and policies of the Proposed District Plan.

Assessment of objectives and policies in the Māori Purpose Zone.

Objectives

MPZ-O1 The viability of the Māori Purpose zone is ensured for future generations.

MPZ-O2 The Māori Purpose zone enables a range of social, cultural and economic development opportunities that support the occupation, use, development and ongoing relationship with ancestral land.

MPZ-O3 Use and development in the Māori Purpose zone reflects the sustainable carrying capacity of the land and surrounding environment.

9.14.1. The proposal ensures the viability of the Māori Purpose zone is ensured for future generations, while enabling a range of social, cultural, and economic development opportunities. The proposal is to construct a new wharekai, wharepaku with verandah coverage and an extension



to the existing wharehau to provide for a mattress storage area. These structures will support the marae activity. The proposal enables sustainable use and development of Māori Land.

Policies

MPZ-P1 Provide for the use and development of ancestral Māori land administered under Te Ture Whenua Māori Act 1993.

MPZ-P2 Enable a range of activities on Māori land in the Māori Purpose zone including marae, papakāinga, customary use, cultural and small-scale commercial activities where the adverse effects can be avoided, remedied or mitigated.

MPZ-P3 Provide for development on Māori land where it is demonstrated;

- a) it is compatible with surrounding activities;*
- b) it will not compromise occupation, development and use of Māori land;*
- c) it will not compromise use of adjacent land or other zones to be efficiently and effectively used for their intended purpose;*
- d) it maintains character and amenity of surrounding area;*
- e) it provides for community wellbeing, health and safety;*
- f) it can be serviced by onsite infrastructure or reticulated infrastructure where this is available; and*
- g) that any adverse effects can be avoided, remedied or mitigated.*

MPZ-P4 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a) consistency with the scale, density, design and character of the environment and purpose of the zone.*
- b) the location, scale and design of buildings and structures.*
- c) the positive effects resulting from the economic, social and cultural wellbeing provided by the proposed activity.*
- d) at zone interfaces:*
- e) any setbacks, fencing, screening or landscaping required to address potential conflicts;*
- f) managing reverse sensitivity effects on adjacent land uses, including the ability of surrounding properties to undertake primary production activities in a rural environment;*
- g) the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; or the capacity of the site to cater for on-site infrastructure associated with the proposed activity;*
- h) the adequacy of roading infrastructure to service the proposed activity;*
- i) managing natural hazards;*
- j) any loss of highly productive land;*
- k) adverse effects on areas with historic heritage and cultural values, natural features and landscapes, natural character or indigenous biodiversity values; and*
- l) any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*



- 9.14.2. The proposal provides for the use and development of ancestral Māori Land administered under Te Ture Whenua Māori Act 1993, which enables a range of activities on Māori Land in the Māori Purpose zone which includes Marae's.
- 9.14.3. The proposal is compatible with the surrounding activities, which includes the existing Marae which will be supported by the new structures contained within this proposal. The proposal will not compromise the occupation, development, or use of Māori Land. The proposal will also not compromise the use of adjacent land or other zones to be efficiently and effectively used for their intended purposes. The new structures are a vital part to sustain the existing Marae activity and will provide for community welling-being, health and safety. The Marae can accommodate on-site infrastructure.
- 9.14.4. The Marae is consistent with the intention of the zone, and provides positive social, economic and cultural outcomes. The new structures breach the setback to boundary provisions, however written approval has been obtained from the adjoining land owners. This application has been able to demonstrate that on-site stormwater controls can be accommodated. The site is located on land that is considered Highly productive under the National Policy Statement for Highly Productive Land, however in this case, clause 3.9 of the NPS HPL can be achieved which has been addressed earlier in this report.
- 9.14.5. Overall, it is considered that the proposal is consistent with the intent of the Māori Purpose – Rural zone and adequate mitigation measures have been offered to ensure that the effects are mitigated to a less than minor degree.

Summary

- 9.15. The above assessment demonstrates that the proposal will be consistent with the relevant objectives and policies and assessment criteria of the relevant statutory documents.

10. Notification Assessment – Sections 95A to 95G of The Act

Public Notification Assessment

- 10.1. Section 95A requires a council to follow specific steps to determine whether to publicly notify an application. The following is an assessment of the application against these steps:

Step 1 Mandatory public notification in certain circumstances

(2) Determine whether the application meets any of the criteria set out in subsection (3) and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, go to step 2.

(3) The criteria for step 1 are as follows:

(a) the applicant has requested that the application be publicly notified:

(b) public notification is required under section 95C:

(c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.



- 10.1.1. It is not requested the application be publicly notified and the application is not made jointly with an application to exchange reserve land. Therefore Step 1 does not apply and Step 2 must be considered.

Step 2: Public Notification precluded in certain circumstances

(4) Determine whether the application meets either of the criteria set out in subsection (5) and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(5) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification:

(b) the application is for a resource consent for 1 or more of the following, but no other, activities:

(i) a controlled activity:

(ii) [Repealed]

(iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.

(iv) [Repealed]

(6) [Repealed]

- 10.1.2. The application is not subject to a rule or NES that precludes public notification. The application is not for a controlled activity. The proposal includes activities which are not boundary activities. Therefore Step 3 must be considered.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

(7) Determine whether the application meets either of the criteria set out in subsection (8) and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, go to step 4.

(8) The criteria for step 3 are as follows:

(a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification:

(b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

- 10.1.3. No applicable rules require public notification of the application. The proposal is not considered to have a more than minor effect on the environment as detailed in the sections above.

Step 4: Public notification in special circumstances

(9) Determine whether special circumstances exist in relation to the application that warrant the application being publicly notified and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, do not publicly notify the application, but determine whether to give limited notification of the application under section 95B.

- 10.1.4. There are no special circumstances that exist to justify public notification of the application because the proposal is to construct new buildings to support the existing Marae within a



site that was anticipated for this type of development. The Marae is consistent with development in the area.

Public Notification Summary

- 10.1.5. From the assessment above it is considered that the application does not need to be publicly notified, but an assessment of limited notification is required.

Limited Notification Assessment

- 10.2. If the application is not publicly notified, a consent authority must follow the steps of section 95B to determine whether to give limited notification of an application.

11.2.1 Step 1: Certain affected groups and affected persons must be notified

(2) Determine whether there are any—

(a) affected protected customary rights groups; or

(b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).

(3) Determine—

(a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and

(b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.

(4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).

- 10.2.1. There are no protected customary rights groups or customary marine title groups or statutory acknowledgement areas that are relevant to this application.

Step 2: Limited notification precluded in certain circumstances

(5) Determine whether the application meets either of the criteria set out in subsection (6) and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(6) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:

(b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 10.2.2. There is no rule in the plan or national environmental standard that precludes notification. The application is not for a controlled activity. Therefore Step 2 does not apply and Step 3 must be considered.

Step 3: Certain other affected persons must be notified

(7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

(9) Notify each affected person identified under subsections (7) and (8) of the application. The proposal is not for a boundary activity nor is it a prescribed activity.



10.2.3. The proposal does involve a boundary activity.

In deciding who is an affected person under section 95E, a council under section 95E(2):
(2) *The consent authority, in assessing an activity's adverse effects on a person for the purpose of this section,—*

(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and

(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and

(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

10.2.4. A Council must not consider that a person is affected if they have given their written approval, or it is unreasonable in the circumstances to seek that person's approval.

10.2.5. In this case, written approval has been provided by Ahipara A21A & Pt Ahipara 45. Therefore Council must disregard the effects the proposal will have on those properties.



Figure 12: Aerial image showing properties which have provided written approval.

10.2.6. With respect to section 95B(8) and section 95E, the permitted baseline was considered as part of the assessment of environmental effects undertaken in Section 8 of this report, which found that the potential adverse effects on the environment will be minor. In regard to effects on persons, the assessment in Sections 7, 8 & 9 are also relied on and the following comments made:

- The site is located within an area which is intended for the purpose of a Marae.
- The proposed new structures and extension will support the existing marae.
- The proposal is giving effect to the intended use of the site.
- The proposal is consistent with other development in the area.



- The proposal is not considered to be contrary to the objectives and policies under the Operative & Proposed District Plans, Regional Policy Statement and Regional Plan.
- All other persons are sufficiently separated from the proposed development and works, such that there will be no effects on these people.

10.2.7. Therefore, no persons will be affected to a minor or more than minor degree.

10.2.8. Overall, the adverse effects on any persons are considered to be less than minor. Therefore Step 3 does not apply and Step 4 must be considered.

Step 4: Further notification in special circumstances

(10) whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons),

10.2.9. The proposal is to construct a new wharekai building, new wharepaku with supporting verandah coverage and an extension to the existing wharehui to provide a mattress storage area. It is considered that no special circumstances exist in relation to the application.

Limited Notification Assessment Summary

10.2.10. Overall, from the assessment undertaken Steps 1 to 4 do not apply and there are no affected persons.

Notification Assessment Conclusion

10.3. Pursuant to sections 95A to 95G it is recommended that the Council determine the application be non-notified for the above-mentioned reasons.

11. Part 2 Assessment

11.1. The application must be considered in relation to the purpose and principles of the Resource Management Act 1991 which are contained in Section 5 to 8 of the Act inclusive.

11.2. The proposal will meet Section 5 of the RMA as the proposal will sustain the potential of natural and physical resources whilst meeting the foreseeable needs of future generations as the proposal is considered to retain the rural character of the site and surrounding environment.

11.3. Section 6 of the Act sets out a number of matters of national importance. These matters of national importance are considered relevant to this application. The proposal is not located within the Coastal Environment nor are there any lakes or wetlands located nearby. The site does not contain any areas of Outstanding Natural Features and Landscapes nor any areas of Significant Indigenous Flora or Fauna. The site is not located along the coastal marine area or near lakes or rivers where public access would be required. The site is not known to contain any areas of cultural significance and the proposal is not considered to affect the relationship of Māori and their culture and traditions. On the contrary it will enhance the relationship of Māori and their culture and traditions because the proposal provides a better facility for the



local hapu. The site does not contain areas of known historical significance. The proposal does not increase the risk of natural hazards and will not accelerate, exacerbate, or worsen the effects from natural hazards. It is therefore considered that the proposal is consistent with Section 6 of the Act.

- 11.4. Section 7 identifies a number of “other matters” to be given particular regard by a Council in the consideration of any assessment for resource consent, including the maintenance and enhancement of amenity values. The proposal maintains amenity values in the area as the proposal is in keeping with the existing character of the surrounding environment.
- 11.5. Section 8 requires Council to take into account the principals of the Treaty of Waitangi. It is considered that the proposal raises no Treaty issues. The subject site is not known to be located within an area of significance to Māori as defined in the District Plan. The proposal has taken into account the principals of the Treaty of Waitangi and is not considered to be contrary to these principals.
- 11.6. Overall, the application is considered to be consistent with the relevant provisions of Part 2 of the Act, as expressed through the objectives, policies and rules reviewed in earlier sections of this application. Given that consistency, we conclude that the proposal achieves the purposes of sustainable management set out by Sections 5-8 of the Act.

12. Conclusion

- 12.1. The proposal is to construct a new wharekai building, new wharepaku with supporting verandah coverage and an extension to the existing wharehui to provide a mattress storage area. The proposal is considered suitable in the context of the site and surrounding environment and meets the purpose of the land which is described on the title as being set apart as a Māori reservation for the purpose of a meeting place or marae for the common use and benefit of Ngati Moetonga and Te Rokeka hapu. The development will result in no more than minor adverse effects on the rural environment, and no more than minor effects on any person or party.
- 12.2. Due to the existing pattern of development in the area it is not considered that there are any adverse cumulative effects, and that the proposal does not result in degradation of the character of the surrounding rural environment.
- 12.3. In terms of section 104(1)(b) of the Act, the actual and potential effects of the proposal will be less than minor.
- 12.4. It is also considered that the proposal will have less than minor adverse effects on the wider environment; no persons will be adversely affected by the proposal and there are no special circumstances.
- 12.5. As a Discretionary Activity, the proposal has been assessed against the relevant objectives, policies and assessment criteria contained within the Operative District Plan and Proposed District Plan. It is considered that the proposal would not be contrary to those provisions and



that any potential adverse effects can be avoided or mitigated. It is considered appropriate for consent to be granted on a non-notified basis.

13. LIMITATIONS

- 13.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 13.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 13.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 13.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier **285576**
Land Registration District **North Auckland**
Date Issued 20 March 2006

Prior References
NA54A/1029

Estate Fee Simple
Area 4046 square metres more or less
Legal Description Ahipara 44A Block
Purpose a Maori reservation for the purpose of a
meeting place or marae for the common
use and benefit of Ngati Moetonga and Te
Rokeka hapus

Registered Owners

Noble Graham, Lisa McNab, Christopher Ken Murray, Daniel Graham, Ellen Graham, Mary Jennifer Snowden, Channel Joane Roberts, Fleur Edith Brassett and Delwyn Moana Wood as responsible trustees jointly, no survivorship

Interests

B294681.8 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD
LAND - 31.5.1984 AT 11.12 AM



Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

285576

Identified as potentially Maori Freehold Land

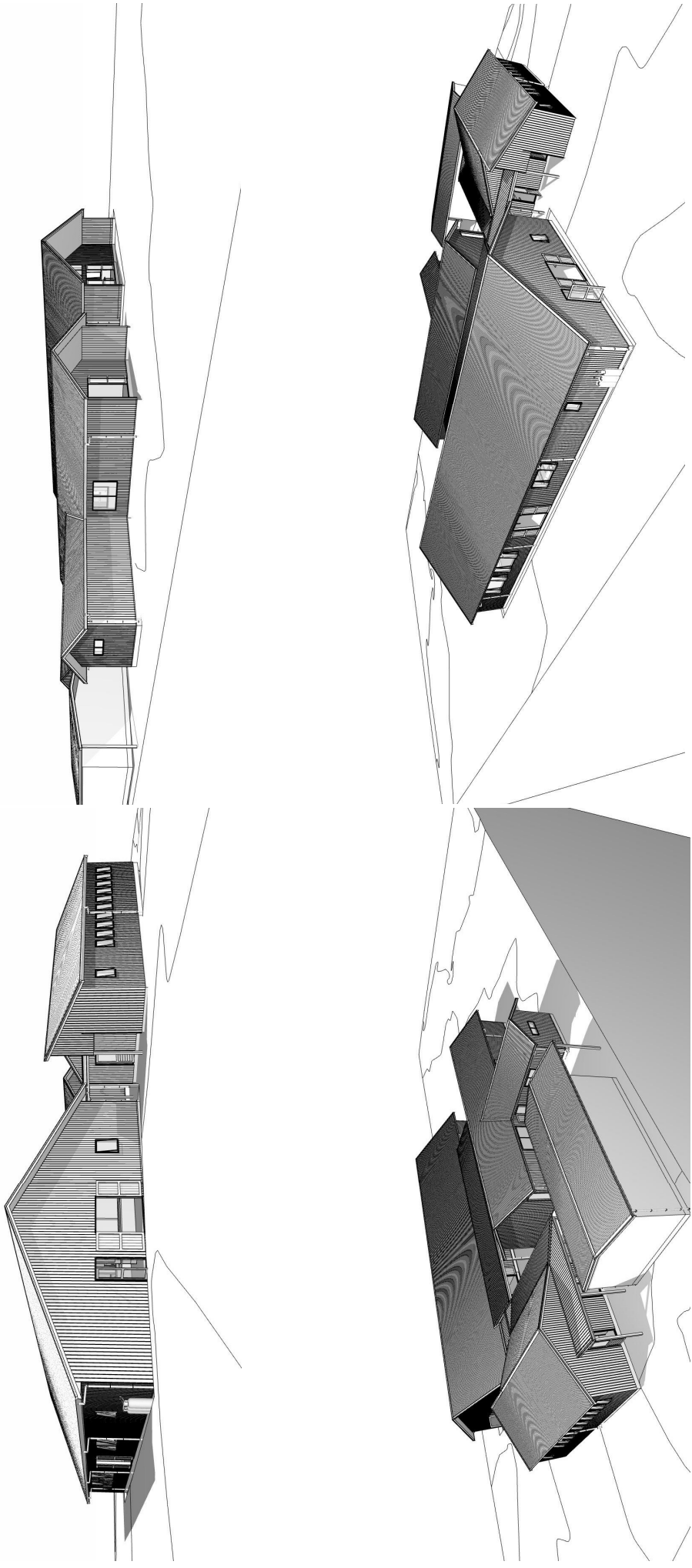
***** End of Report *****

NEW BUILDINGS FOR WAINUI MARAE



AHIPARA 44A BLOCK
17 WAINUI ROAD AHIPARA
KAITAIA 0481

SHEET INDEX	
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A1501	Floor Plan (Overall)
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A1514	Structural Steel Plan
A1601	Roof Plan (Wharekai/ Dining)
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A1612	Roof Framing Plan (Wharehū)
A1613	Roof Framing Plan (Wharepaku)
A1701	Floor Finishes Plan (Wharekai/ Dining)
A1702	Floor Finishes Plan (Wharehū)
A1703	Floor Finishes Plan (Wharepaku)
A1801	Reflected Ceiling Plan (Wharekai/ Dining)
A1802	Reflected Ceiling Plan (Wharehū)
A1803	Reflected Ceiling Plan (Wharepaku)
A1901	Bracing Plan
A1911	Plumbing Plan (Wharekai/ Dining)
A1912	Plumbing Plan (Wharehū)
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A1914	Electrical Plan (Wharekai/ Dining)
A1915	Electrical Plan (Wharehū)
A1916	Electrical Plan (Wharepaku)
A2001	Wharekai Elevations
A2002	Wharekai Elevations
A2003	Wharehū Elevations
A2004	Wharehū Elevations
A2005	Wharepaku Elevations
A2006	Wharepaku Elevations
A2501	Section AA
A2502	Section BB
A2503	Section CC
A2504	Section DD
A2505	Section MM
A2506	Section MM
A2507	Section NN
A2508	Section PP
A2601	INTERNAL ELEVATIONS - DINING
A2602	INTERNAL ELEVATIONS - DINING



Presentation

WAINUI MARAE
 17 WAINUI ROAD, AHIKARA
 KATAIA 0481

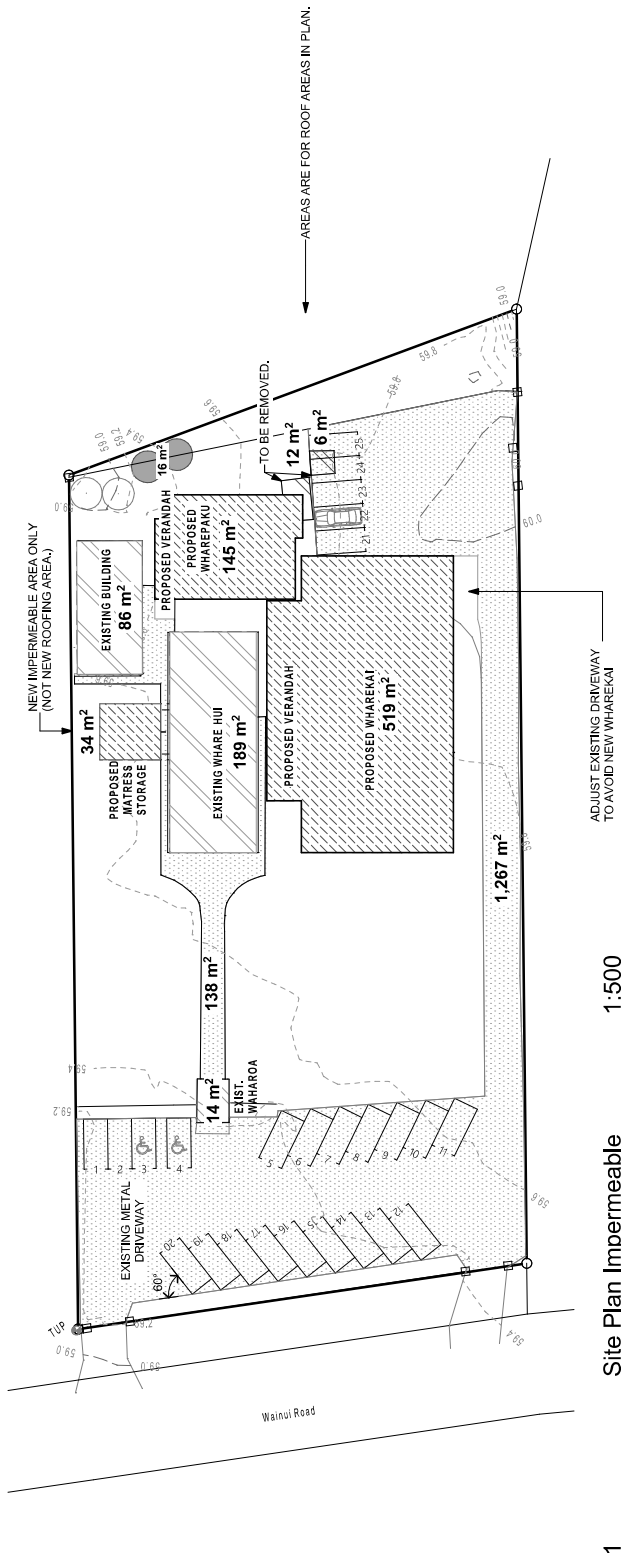
Rev No. Revision

Date

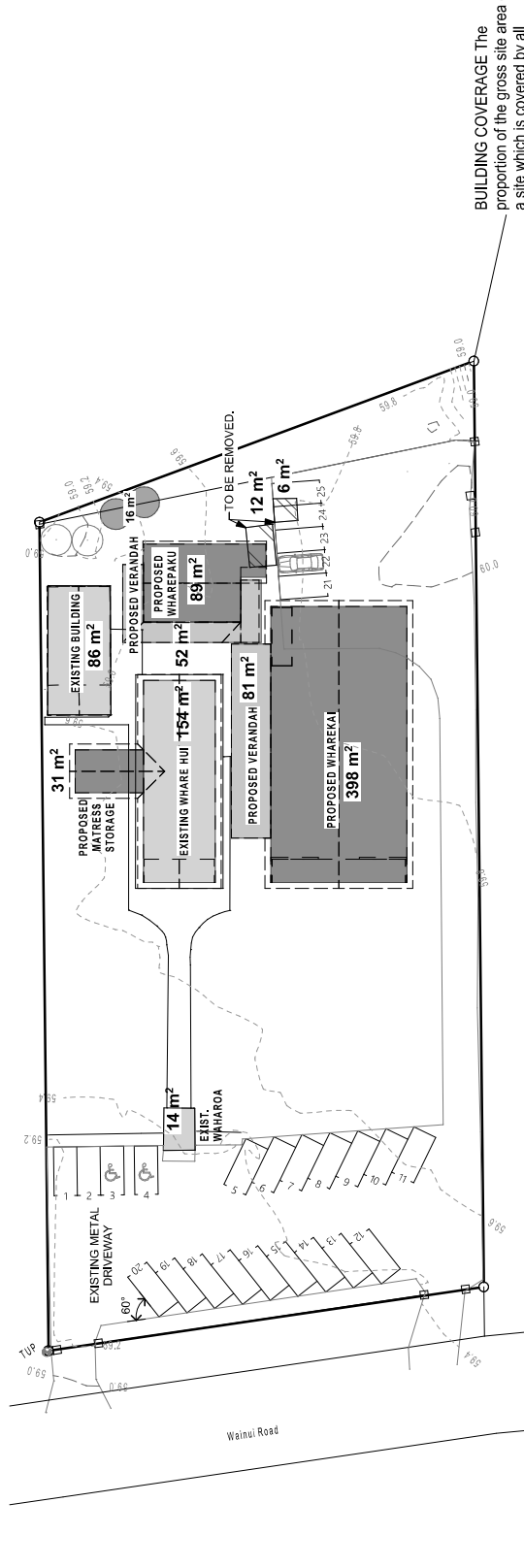
Scale @ A3: 1:161,2903
 Drawn By: J.A
 Issued: 6/03/2025
 2:32 pm

STORMWATER MANAGEMENT	4046m ²
SITE AREA	605.9m ² (0.5%)
TOTAL AREA PERMITTED	
PRE DEVELOPMENT	
ROOFS - 307m ² (14+189+86+12+6)	
PATHS AND PARKING (NOT COVERED BY ROOF) 1486m ²	
(148+138+1267)	
PRE DEVELOPMENT TOTAL - 1793m ² - 45%	
POST DEVELOPMENT	
ROOFS - 897m ² (14+189+86+34+145+519)	
PATHS AND PARKING (NOT COVERED BY ROOF) 1405m ²	
(138+1267)	
POST DEVELOPMENT TOTAL - 2402m ² - 60%	
DOES NOT COMPLY	
AREAS SHOWN ABOVE ARE FOR COUNCIL / RESOURCE CONSENT PURPOSES. NOT FOR PRICING	

SITE PLAN NOTES:	
SITE DESCRIPTION:	AHIPARA 44A BLOCK
LEGAL DESCRIPTION:	17 WAINUI ROAD
ADDRESS:	AHIPARA KATAIA 0481
SITE ENVIRONMENT	BRANZ - 1 BRANZ - ZONE 1 BRANZ - ZONE C BRANZ - NO TBC - ENG BRANZ - A BRANZ - 90mm/HR 3604 - NO
CLIMATE ZONE	RURAL PRODUCTION
PLANNING ZONE	
BUILDING COVERAGE	4046m ²
SITE AREA	
MAX. BUILDING COVERAGE PERMITTED:	505.75m ²
PRE DEVELOPMENT COVERAGE	179.3m ² (45%)
POST DEVELOPMENT TOTAL:	272m ² - 6.8%
AREAS SHOWN ABOVE ARE FOR COUNCIL / RESOURCE CONSENT PURPOSES. NOT FOR PRICING	
BUILDING HEIGHT	12m
MAX. HEIGHT PERMITTED	COMPLIES
PROPOSED HEIGHT	COMPLIES
HIRB	COMPLIES
SETBACK TO BOUNDARIES	DOES NOT COMPLY
10m TO ALL BOUNDARIES	
CAR PARK OCCUPANCY AS PER FNDC APPENDIX 3C:	
CAR PARK PER EVERY 4 PERSONS FACILITY DESIGNED FOR:	100
NUMBER OF OCCUPANTS	25
NUMBER OF CAR PARKS REQUIRED	2
NUMBER OF ACCESSIBLE CAR PARKS REQUIRED	2
BUILDING OCCUPANCY	
BUILDING AND SYSTEMS DESIGNED TO 100 PEOPLE	
OCCUPANCY SIGNAGE TO BE PROVIDED TO BUILDINGS	
MAXIMUM 100 PEOPLE OCCUPANCY	



1 Site Plan Impermeable 1:500



4 Site Building Coverage Plan 1:500

BUILDING COVERAGE The proportion of the gross site area of a site which is covered by all buildings including any part of overhangs/leaves more than 600mm from an outside wall or supporting structure.

<p>Arcline Architecture Office: Kaitiaki Kaitiaki Whangarei Phone: 09 438 2222 Email: info@arcline.co.nz Web: www.arcline.co.nz</p>	<p>Scale @ A3: 1:500</p> <p>Drawn By: J.A</p> <p>Issued: 6/03/2025</p> <p>2:32 pm</p>	<p>Sheet No: A1003</p> <p>DEVELOPED DESIGN</p>
	<p>Rev No. Revision</p> <p>WAINUI MARAE</p> <p>17 WAINUI ROAD, AHIPARA</p> <p>KATAIA 0481</p>	<p>Date</p>

EARTHWORKS:

GENERAL SITE WORKS NOTES:
 - ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 - WORK ONLY TO FIGURED DIMENSIONS.
 - IN THE EVENT OF A DISCREPANCY CONTACT THE DESIGNER AS SOON AS POSSIBLE

EARTHWORKS

- STRIP TOPSOIL BEFORE BUILDING AND DRIVEWAY
- ALL CUBIC METERS ARE ESTIMATES. CONTRACTOR TO CONFIRM ON SITE.
- DESIGNER TAKES NO LIABILITY FOR ADDITIONAL WORKS IF VOLUMES CHANGE
- THE REMOVAL OF TOPSOIL AND/OR ANY SOFT SOILS IS NOT INCLUDED IN CALCULATIONS.
- ALL WORKS TO COMPLY WITH ACCIDENTAL DISCOVERY PROTOCOLS AS PER EARTHWORKS STANDARDS EW-53 AND EW-55
- EARTHWORKS TO COMPLY WITH AUCKLAND COUNCIL GUIDANCE DOCUMENT GD005 FOR EROSION.

SILT FENCE

INSTALL TEMPORARY SILT CONTROL FENCE TO DC STANDARDS.

RETAINING WALLS

ANY DIMENSIONS ARE TO THE WALL. EXCAVATE MIN. 500mm BEHIND WALL TO AID CONSTRUCTION.

DRIVEWAY:

100mm 25MPA CONCRETE WITH 688 MESH, 7KG/M² BLACK OXIDE. CONTROL CUTS @ 6M MAX CRS. BROOM FINISH. 1:100 FALL AWAY FROM BUILDING / TOWARDS SUMPS

PATIOS

MIN. 1:100 FALL AWAY FROM BUILDING

CHANNEL DRAINS

MIN. 1:200 FALL TO SUMP
 3.7m MAX. LENGTH TO CHANNEL OUTLETS

EARTHWORKS:

VOLUME PERMITTED 5,000m³ (APPROX)

CUT 140m³

FILL 0m³

GROSS CUT/FILL (EST): 140m³

COMPLIES

AREA PERMITTED N/A

CUT SURFACE AREA 750m²

FILL SURFACE AREA 0m²

COMPLIES

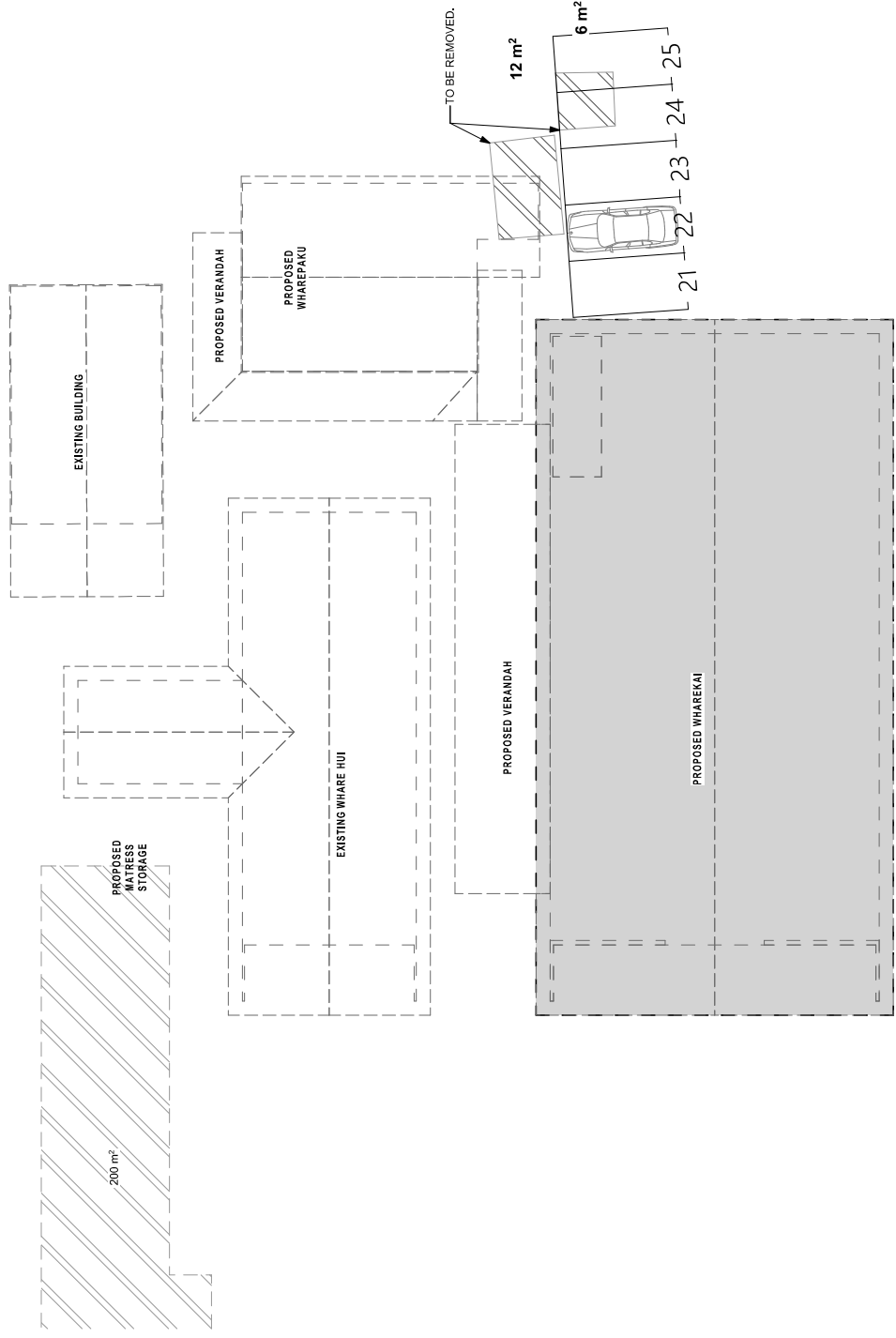
EARTHWORKS PERMIT REQUIRED IF EXCAVATIONS ARE:

>50m² AREA

>60m³ VOLUME

>0.6m HEIGHT

<3.0m TO BOUNDARY



Excavation Plan

WAINUI MARAE
 17 WAINUI ROAD, AHIKARA
 KATAIKI 0481

Rev No. Revision

Date

Scale @ A3: 1:200

Drawn By: J.A

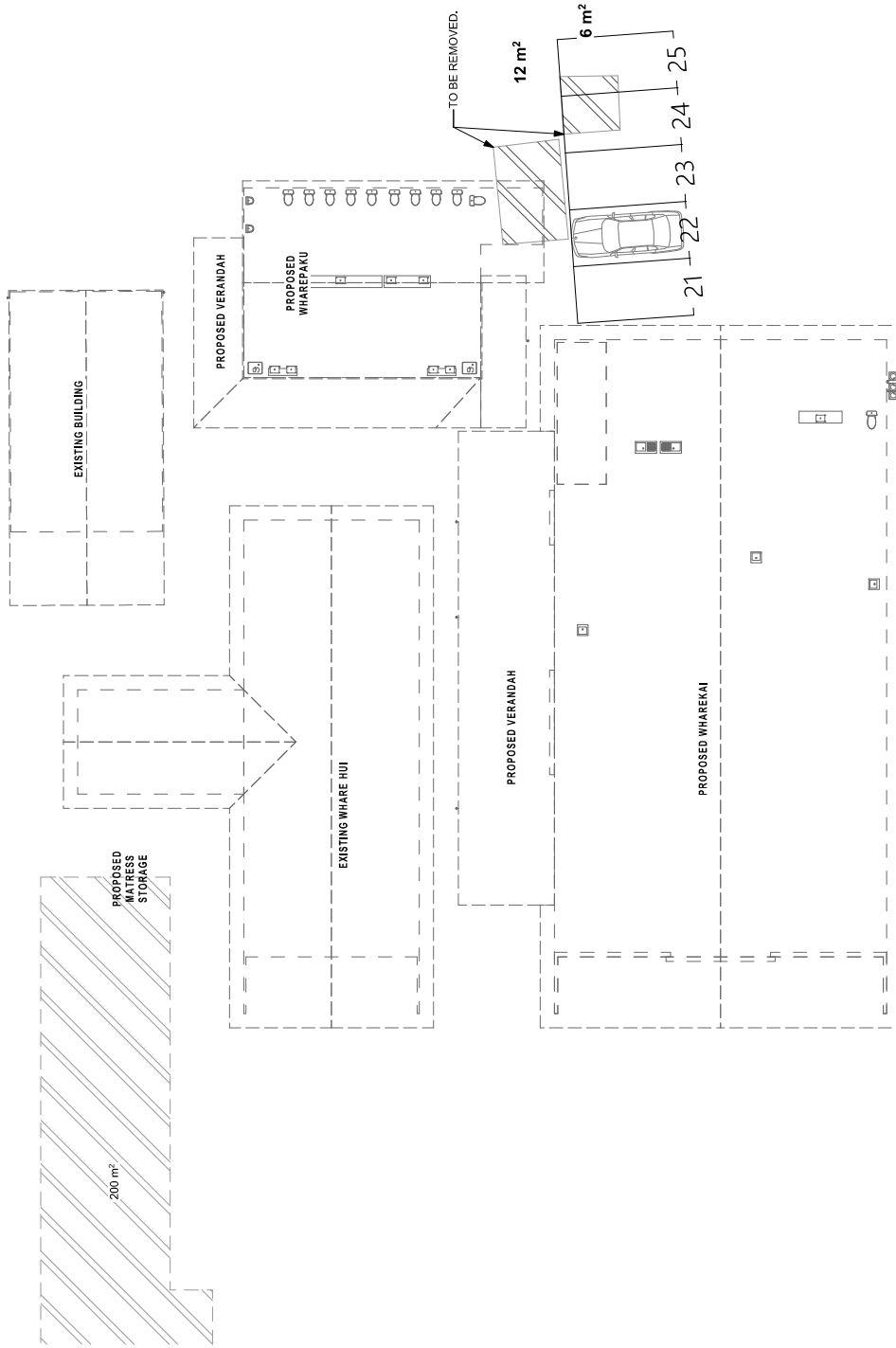
Issued: 6/03/2025

2:32 pm

Sheet No:

A1101

DEVELOPED DESIGN



FLOOR AREAS
 WHAREKAU/ DINING FLOOR AREA: 364.00m²
 WHAREPAKU/ ABLUTION AREA: 86.21m²
 EXISTING WHAREHUJI 136.59m²
 PROPOSED MATTRESS STORAGE 30.86m²
 TOTAL FLOOR AREA: 617.46m²

INTERIOR FINISHES
 ALL WALLS TO BE GRITTED TO CHINE TO DINING.
 12mm GRITTED CHINE TO DINING.
 6mm HARDIEGLAZE OVER 12mm H3 PLYWOOD TO KITCHEN, PREP AREA, WCs & WET AREAS
 150mm HIGH 6mm HARDIFLEX FOR COVING EPOXY FLOOR
 INTERNAL DOORS 1,980mm TYPICAL INTERNAL DOOR HEIGHT.
 TRIMS 135x18 F.J. PINE SPLAY SKIRTING.
 65x18 F.J. PINE ARCHITRAVE.
 40x18 PINE SCOTIA. PRE-PAINT WHEN INSTALL AGAINST HARDIEGLAZE

INSULATION
 COMMUNAL NON-RESIDENTIAL: ASSEMBLY SERVICE:
 R3.8 BATTS ROOF INSULATION
 R2.4 BATTS WALL INSULATION
 ACOUSTIC INSULATION TO ALL WC/ BATHROOM WALLS
 ROLLER GARAGE DOOR NOT TO BE INSULATED.

ACCESS
 SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESS SPACES BELOW OR BY OTHER MEANS BY ACCESSIBLE TO ALL WITH ABLUTIONS TO NZBC D1A1:1 LEVEL SURFACE FINISH
 CONCRETE DRY - SMOOTH TROWEL FINISH
 CONCRETE WET - BROOMED OR WOOD FLOAT








WET AREAS
 ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURER'S PRODUCT DETAILS. PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED. THIS INCLUDES BATHROOMS, KITCHENS, WET AREAS, WET AREAS, SHOWERS, AND WET AREAS. JOINTS BETWEEN FIXTURES & LININGS SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.

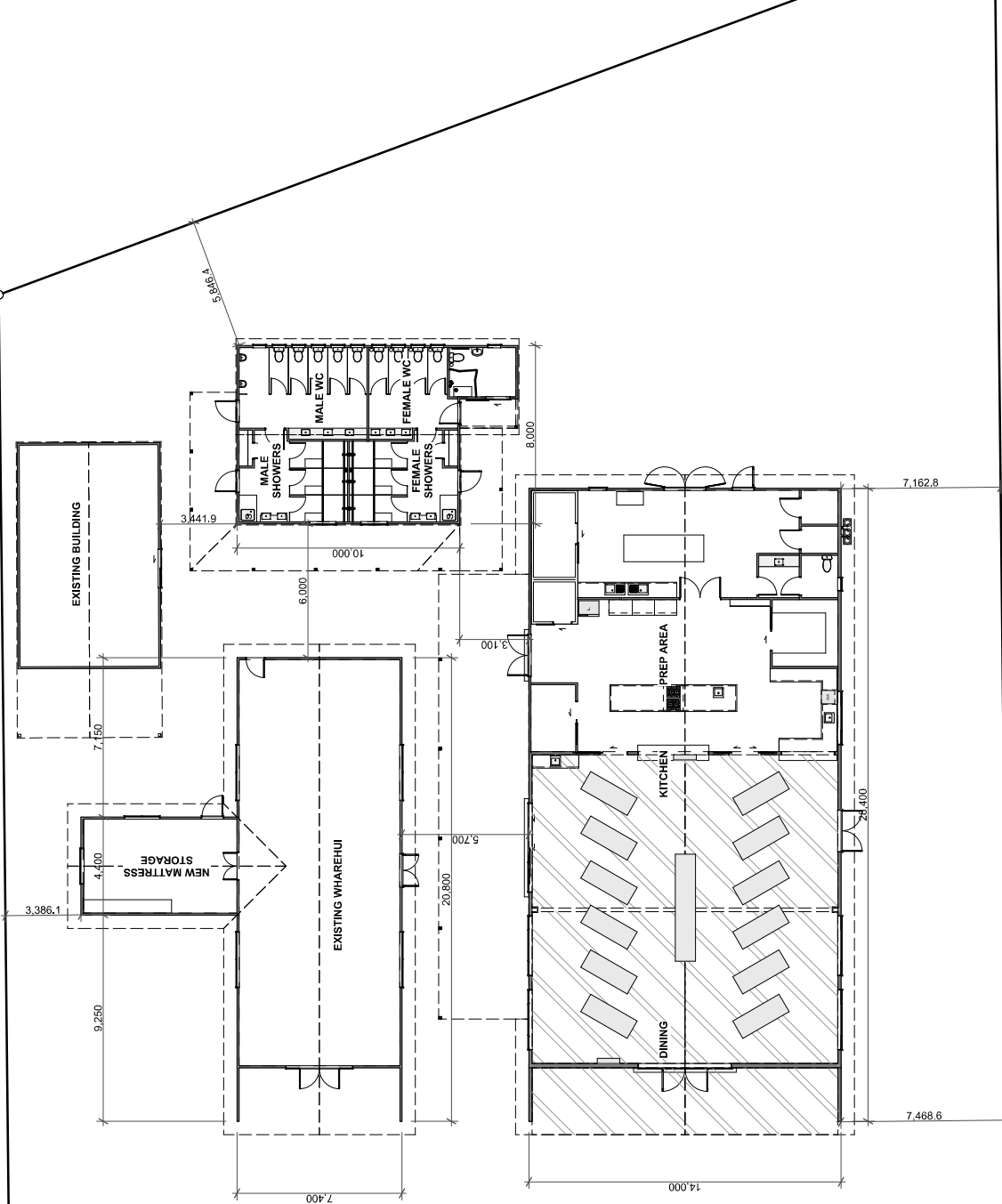
GLAZING
 ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS
 ALL ACCESS ROUTES, BOTH EXTERNAL AND INTERNAL, TO BE SEALED TO COMPLY WITH NZBC CLAUSE D1A1:1 (SLIP RESISTANCE)


WATER HEATING
 HOT WATER HEATING TO BE INSTALLED IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN
 3x45KG BOTTLES AS SHOWN ON FLOOR PLAN, (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

FIRE ALARM SYSTEM TO BE INSTALLED THROUGHOUT BUILDINGS AS PER FIRE REPORT.

KEY:

-  FLAT SOFFIT
-  RAKING CEILING
-  CEILING HATCH
-  EXTERIOR POWER METER BOX
-  POWER DISTRIBUTION BOARD
-  MECHANICAL VENT DUCTED TO EXTERIOR
-  EXTERIOR WATER TAP



 <p>Arcline Architecture Office: Kaitiaki Kaitiaki Whangarei Phone: +64 9 412 1234 info@arcline.co.nz (Email): info@arcline.co.nz (Web): www.arcline.co.nz</p>	<h2 style="margin: 0;">Floor Plan (Overall)</h2>	<p>WAINUI MARAE 17 WAINUI ROAD, AHIKAPARA KATAIKI 0481</p>	<p>Scale @ A3: 1:200 Drawn By: J.A. Issued: 6/03/2025 2:33 pm</p>
<p>Rev No. Revision Date</p>		<p>Sheet No: A1501 DEVELOPED DESIGN</p>	<p>11.05.22</p>

FLOOR AREAS
 WHAREKAU DINING FLOOR AREA: 364.00m²
 WHAREKAU ABLUTION AREA: 86.21m²
 EXISTING WHAREHUJI PROPOSED MATRESS STORAGE TOTAL FLOOR AREA: 136.59m²
 30.89m²
 617.46m²

INTERIOR FINISHES
 ALL WALLS TO BE GYPSONUM BOARD TO CEILING LINE TO DINING. 6mm HARDIEGLAZE OVER 12mm H3 PLYWOOD TO KITCHEN, PREP AREA, WCs & WET AREAS. 150mm HIGH 6mm HARDIFLEX FOR COVING EPOXY FLOOR INTERNAL DOORS. 1,980mm TYPICAL INTERNAL DOOR HEIGHT.

TRIMS
 135x18 F.J. PINE SPLY SKIRTING, 65x18 F.J. PINE ARCHITRAVE, 40x18 PINE SCOTIA, PRE-PAINT WHEN INSTALL AGAINST HARDIEGLAZE

INSULATION
 COMMUNAL NON-RESIDENTIAL: ASSEMBLY SERVICE: R3.8 BATTS ROOF INSULATION R2.4 BATTS WALL INSULATION ACOUSTIC INSULATION TO ALL WC/ BATHROOM WALLS ROLLER GARAGE DOOR NOT TO BE INSULATED.

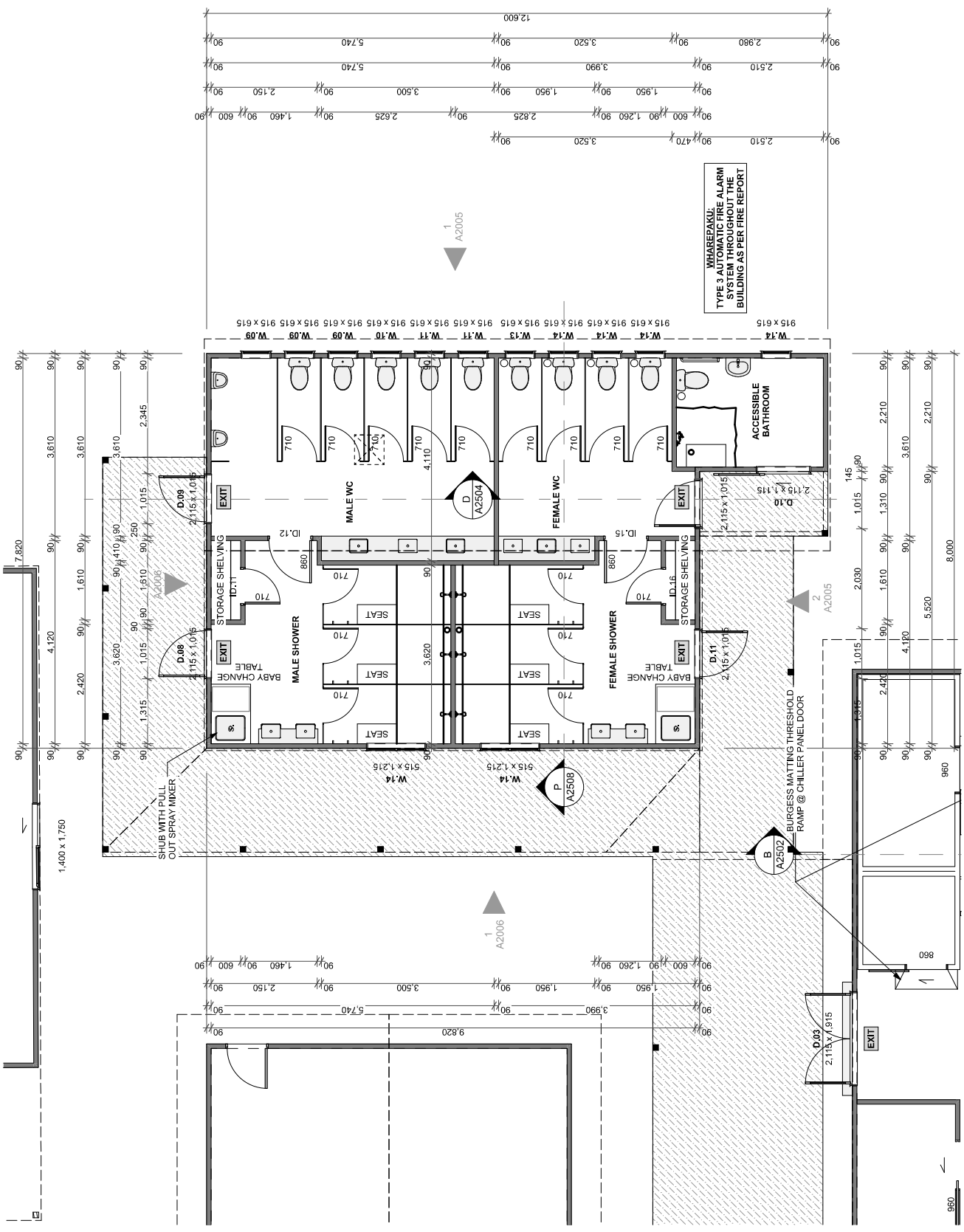
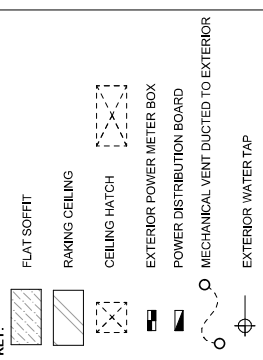
ACCESS
 SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESSWAYS BELOW OR BY OTHER MEANS BY A SURFACE FINISH AS TABLE 2 / SECTION 2 NZBC D1A151: LEVEL SURFACE FINISH CONCRETE DRY - SMOOTH TROWEL FINISH CONCRETE WET - BROOMED OR WOOD FLOAT

WET AREAS
 ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURER'S PRODUCT DETAILS, PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED. JOINTS BETWEEN WALLS, FLOORS & LININGS, WHERE JOINTS ARE NECESSARY, SHALL BE MADE USING WET AREA LININGS THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.

GLAZING
 ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS. ALL ACCESS ROUTES, BOTH EXTERNAL AND INTERNAL, MUST BE WEATHER TIGHT AND COMPLYING WITH NZBC CLAUSE D1A151 (E1: SLIP RESISTANCE)

WATER HEATING
 FRONT FINISH IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN. 3x4KG BOTTLES AS SHOWN ON FLOOR PLAN, (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

FIRE ALARM SYSTEM TO BE INSTALLED THROUGHOUT BUILDINGS AS PER FIRE REPORT.



Scale @ A3: 1:75
Drawn By: J.A.
Issued: 6/03/2025
 2:33 pm
 (www.arcline.co.nz)

Sheet No:
A1504
DEVELOPED DESIGN

Rev No. **Revision** **Date**

WAINUI MARAE
 17 WAINUI ROAD, AHI-PARA
 KATAIA 0481

Floor Plan (Wharepaku/ Ablutions)

Arcline
 Architecture
 Offices: Kaitiaki | Kerikeri | Whangarei
 (Phone): 09 438 4100
 (Email): info@arcline.co.nz
 (Web): www.arcline.co.nz

ELEVATION NOTES

ROOFS

ENDURA,
0.40G CORRUGATE TO MATCH EXISTING
WHARENUI ROOF.
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

ENDURA,

0.40G TRIMLINE TO VERANDAH ROOFS
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.
BAYONET BAYOWRAP SS ROOF UNDERLAY.
LAD HORIZONTALLY OVER GALV MESH TO
3° ROOF ONLY.

WHAREKAI & NEW MATTRESS

EAVE-600mm
BARGE-600mm

WHAREPAKU

EAVE-600mm
BARGE-600mm

UPVC SPOULTING TO MATCH EXISTING
(MARLEY CLASSIC OR SIM)

INTERNAL

800 UPVC DOWNPIPES

BRACKETS AT 400mmCRS WITH SS

SCREWS

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS

LEAF SLIDERS

200 x 40 H3.1 PRE-PRIMED FASCIA BOARD

JH 4.5mm HARDFLEX SOFFT LINING.

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS.(PVC JOINTERS).

WALLS

JH AXON 133mm GRAINED DIRECT FIXED
WITH EXTERIOR BOXED CORNERS
ON 20mm CAVITY TO WHAREPAKU ONLY.

ECOPLY BARRIER TO WHAREKAI/BAYONET

BAYOWRAP WALL UNDERLAY TO BALANCE.

FLOORS

RAFT SLAB AS PER ENGINEERS DESIGN

AND DETAILS.

GLAZING / JOINERY

DOUBLE GLAZED POWDER COATED MIN
40mm PLATFORM COMMERCIAL GRADE
ALUMINIUM JOINERY.

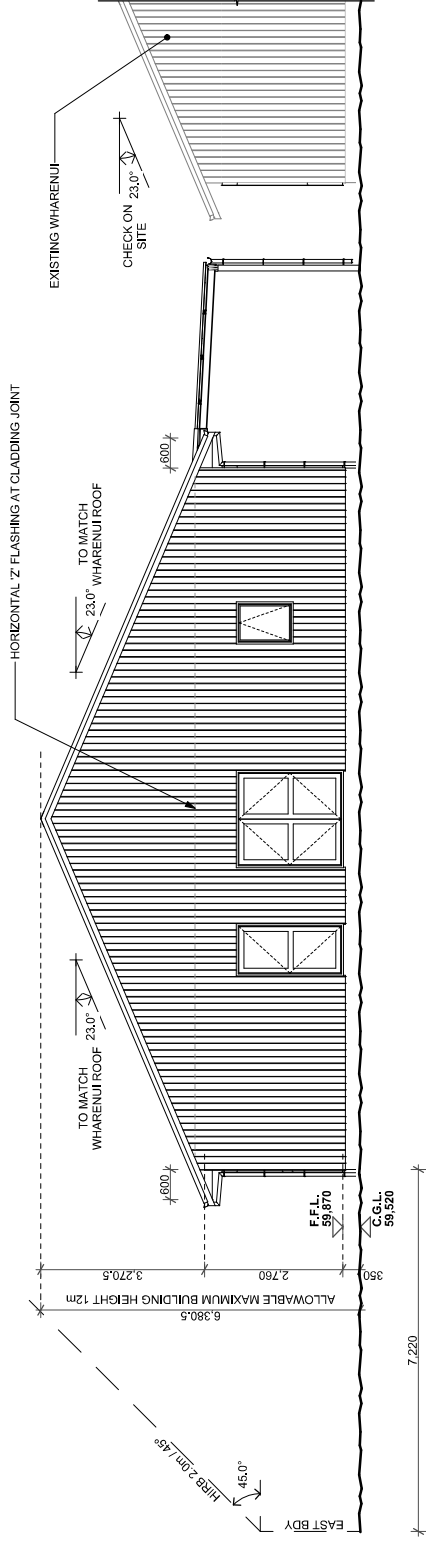
ROLLER GARAGE DOOR NOT TO BE

INSULATED.

PLUMBING

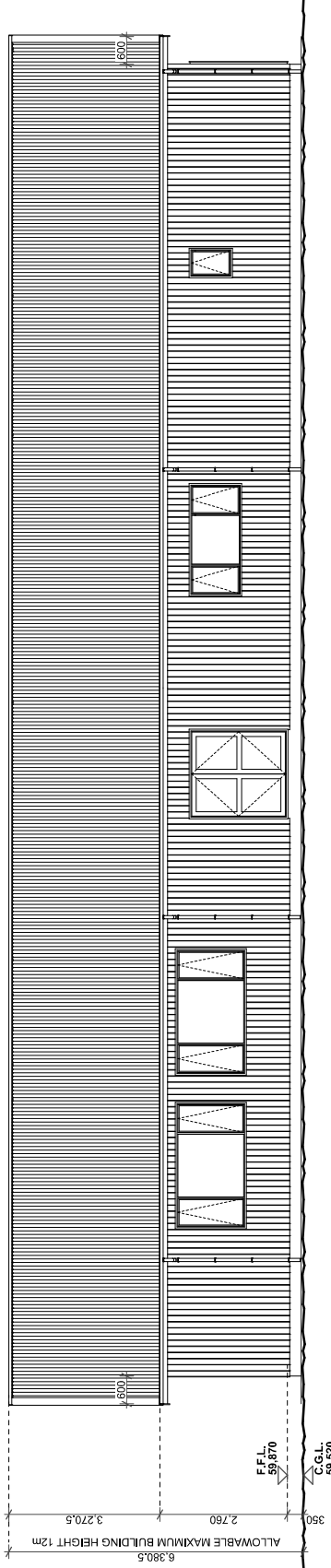
FLUED GAS CALUFONT RINNAI IN CEILING
SPACE AS SHOWN ON THE ELECTRICAL
PLAN.

3x45KG BOTTLES AS SHOWN ON FLOOR
PLAN. (WITH SEISMIC RESTRAINTS & IN
VANDAL RESISTANT GALV CAGE)



BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

1 Wharekai North Elevation 1:100



2 Wharekai East Elevation 1:100

ELEVATION NOTES

ROOFS

ENDURA
0.40G CORRUGATE TO MATCH EXISTING
WHARENUI ROOF.
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

ENDURA

0.40G TRIMLINE TO VERANDAH ROOFS
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.
BAYONET BAYOWRAP SS ROOF UNDERLAY.
LAD HORIZONTALLY OVER GALV MESH TO
3' ROOF ONLY.

WHAREKAI & NEW MATTRESS

EAVE-600mm
BARGE-600mm

WHAREPAKU

EAVE-600mm
BARGE-600mm

UPVC SPOUTING TO MATCH EXISTING

(MARLEY CLASSIC OR SIM)

800 UPVC DOWNPIPES

INTERNAL

BRACKETS AT 400mmCRS WITH SS

SCREWS

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS

LEAF SLIDERS

200 x 40 H3.1 PRE-PRIMED FASCIA BOARD

JH 4.5mm HARDFLEX SOFFIT LINING.

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS.(PVC JOINTERS).

WALLS

JH AXON 133mm GRAINED DIRECT FIXED
WITH EXTERIOR BOXED CORNERS
ON 20mm CAVITY TO WHAREPAKU ONLY.

ECOPLY BARRIER TO WHAREKAI/BAYONET

BAYOWRAP WALL UNDERLAY TO BALANCE.

FLOORS

RAFT SLAB AS PER ENGINEERS DESIGN
AND DETAILS.

GLAZING / JOINERY

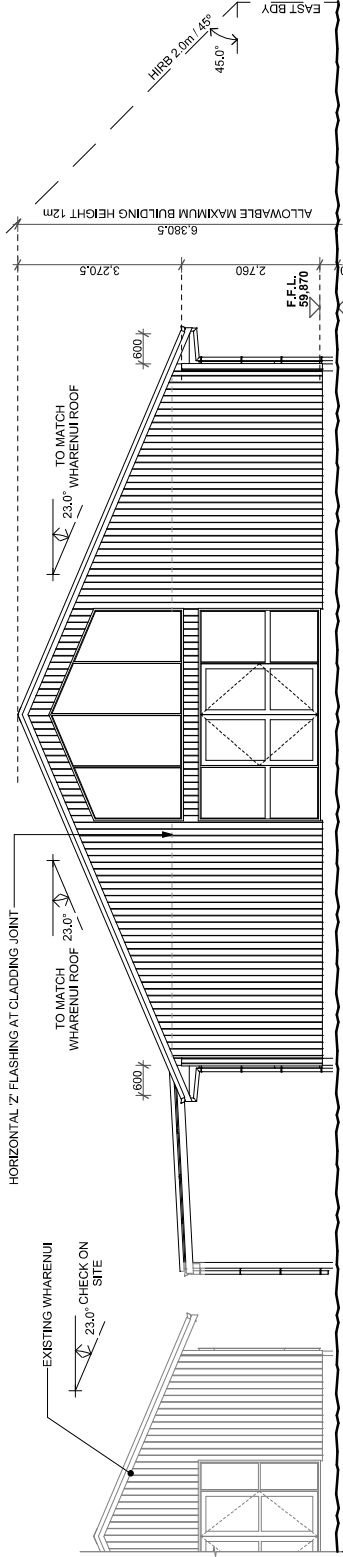
DOUBLE GLAZED POWDER COATED MIN
40mm PLATFORM COMMERCIAL GRADE
ALUMINIUM JOINERY.

ROLLER GARAGE DOOR NOT TO BE
INSULATED.

PLUMBING

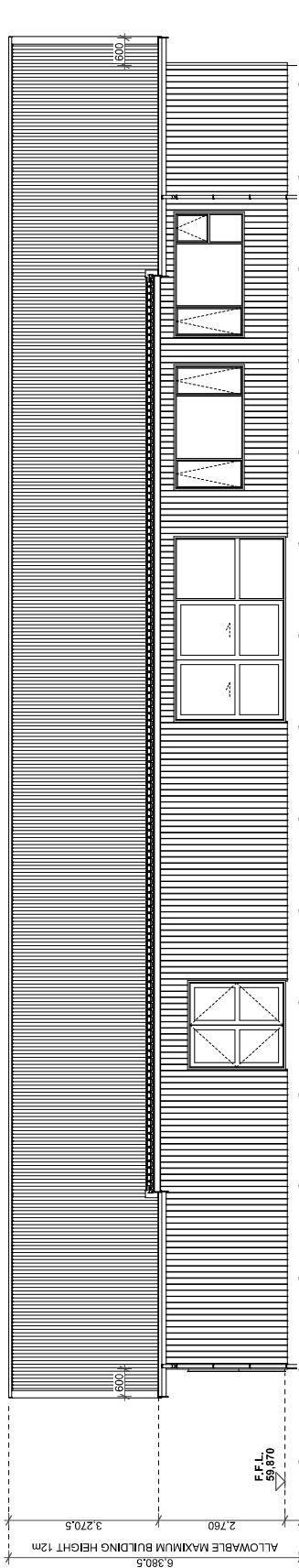
FLIED GAS CALFONET RINNAI IN CEILING
SPACE AS SHOWN ON THE ELECTRICAL
PLAN.

3x45KG BOTTLES AS SHOWN ON FLOOR
PLAN. (WITH SEISMIC RESTRAINTS & IN
VANDAL RESISTANT GALV CAGE)



BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3804)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3

1 Wharekai South Elevation 1:100
A1502, A1503



2 Wharekai West Elevation 1:100
A1502

ELEVATION NOTES

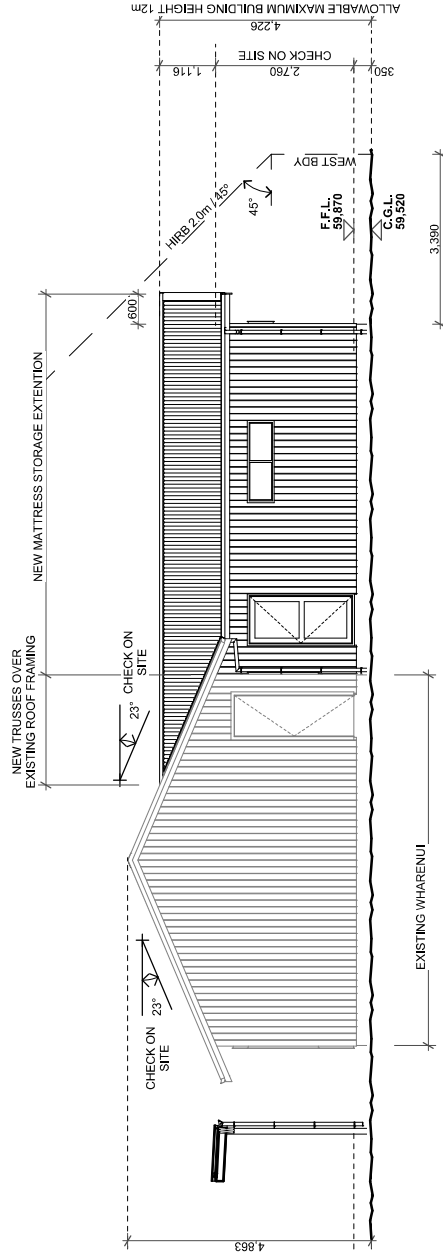
- ROOFS**
 ENDURA
 0.40G CORRUGATE TO MATCH EXISTING
 WHAREHUI ROOF.
 SCREW FIXED WITH EDGE FLASHINGS TO
 MATCH.
 ENDURA
 0.40G TRIMLINE TO VERANDAH ROOFS
 SCREW FIXED WITH EDGE FLASHINGS TO
 MATCH.
 BAYONET BAYOWRAP SS ROOF UNDERLAY.
 LAD HORIZONTALLY OVER GALV MESH TO
 3° ROOF ONLY.
 WHAREKAI & NEW MATTRESS
 EAVE-600mm
 BARGE-600mm
 WHAREPAKU
 EAVE-600mm
 BARGE-600mm
 UPVC SPOUTING TO MATCH EXISTING
 (MARLEY CLASSIC OR SIM)
 800 UPVC DOWNPIPES
 INTERNAL
 BRACKETS AT 400mmCRS WITH SS
 SCREWS
 INSTALL TO MANUFACTURERS'
 RECOMMENDATIONS
 LEAF SLIDERS
 200 x 40 H3.1 PRE-PRIMED FASCIA BOARD
 JH 4.5mm HARDIFLEX SOFFT LINING.
 INSTALL TO MANUFACTURERS'
 RECOMMENDATIONS.(PVC JOINTERS).

- WALLS**
 JH AXON 133mm GRAINED DIRECT FIXED
 WITH EXTERIOR BOXED CORNERS
 ON 20mm CAVITY TO WHAREPAKU ONLY.
 ECOPLY BARRIER TO WHAREKAI/BAYONET
 BAYOWRAP WALL UNDERLAY TO BALANCE.

- FLOORS**
 RAFT SLAB AS PER ENGINEERS DESIGN
 AND DETAILS.

- GLAZING / JOINERY**
 DOUBLE GLAZED POWDER COATED MIN
 40mm FLAT FRAME COMMERCIAL GRADE
 ALUMINIUM JOINERY.
 ROLLER GARAGE DOOR NOT TO BE
 INSULATED.

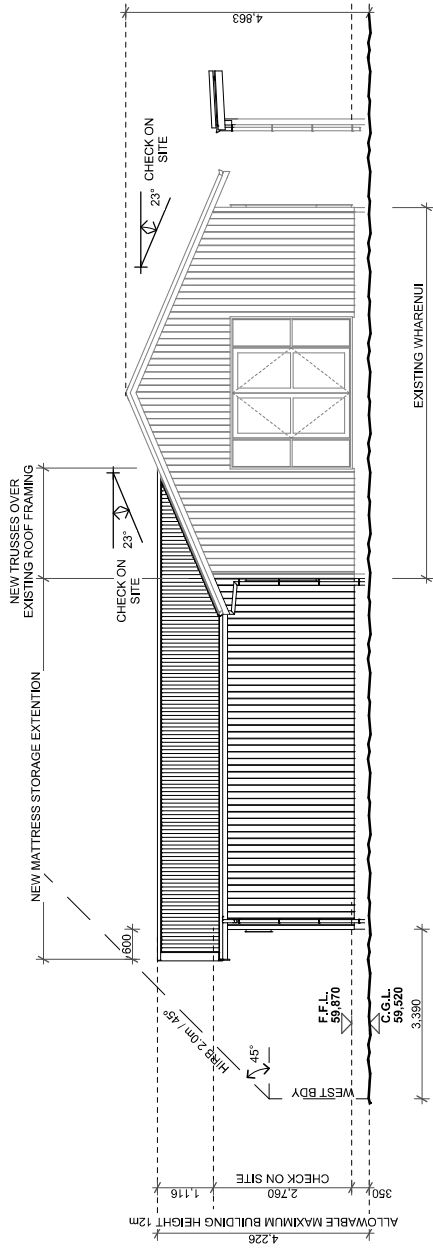
- PLUMBING**
 FLUED GAS CALUFONT RINNAI IN CEILING
 SPACE AS SHOWN ON THE ELECTRICAL
 PLAN.
 3X45KG BOTTLES AS SHOWN ON FLOOR
 PLAN. (WITH SEISMIC RESTRAINTS & IN
 VANDAL RESISTANT GALV CAGE)



1 Wharehui North Elevation 1:100

A1503

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		4



2 Wharehui South Elevation 1:100

A1503

ELEVATION NOTES

ROOFS

ENDURA.
0.40G CORRUGATE TO MATCH EXISTING
WHAREHUI ROOF.
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

ENDURA.

0.40G TRIMLINE TO VERANDAH ROOFS
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

BAYONET BAYOWRAP SS ROOF UNDERLAY.
LAD HORIZONTALLY OVER GALV MESH TO
3' ROOF ONLY.

WHAREKAI & NEW MATTRESS

EAVE-600mm
BARGE-600mm

WHAREPAKU

EAVE-600mm
BARGE-600mm

UPVC SPOUTING TO MATCH EXISTING
(MARLEY CLASSIC OR SIM)

800 UPVC DOWNPIPES

INTERNAL

BRACKETS AT 400mmCRS WITH SS

SCREWS

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS

LEAF SLIDERS

200 x 40 H3.1 PRE-PRIMED FASCIA BOARD

JH 4.5mm HARDIFLEX SOFFT LINING.

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS.(PVC JOINTERS).

WALLS

JH AXON 133mm GRAINED DIRECT FIXED
WITH EXTERIOR BOXED CORNERS

ON 20mm CAVITY TO WHAREPAKU ONLY.

ECOPLY BARRIER TO WHAREKAI/BAYONET

BAYOWRAP WALL UNDERLAY TO BALANCE.

FLOORS

RAFT SLAB AS PER ENGINEERS DESIGN
AND DETAILS.

GLAZING / JOINERY

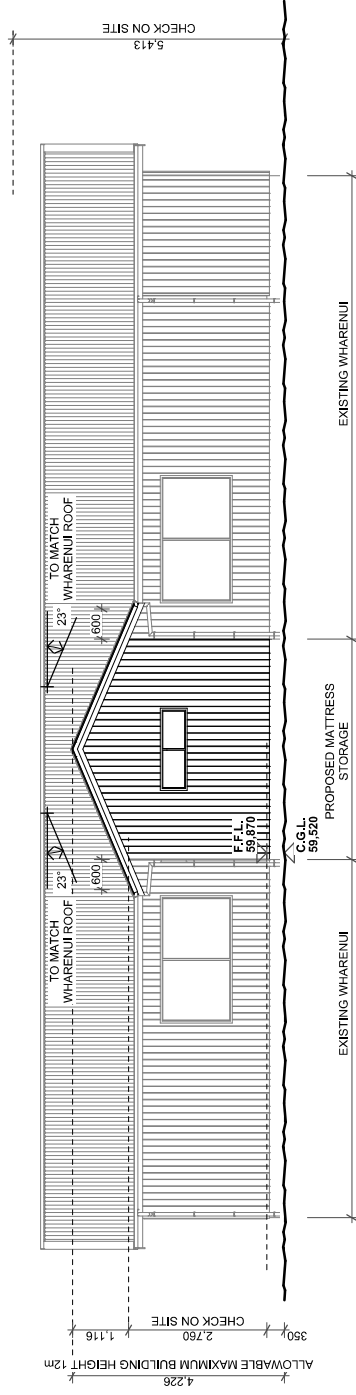
DOUBLE GLAZED POWDER COATED MIN
40mm PLATFORU COMMERCIAL GRADE
ALUMINIUM JOINERY.

ROLLER GARAGE DOOR NOT TO BE
INSULATED.

PLUMBING

FLUED GAS CALUFONT RINNAI IN CEILING
SPACE AS SHOWN ON THE ELECTRICAL
PLAN.

3X45KG BOTTLES AS SHOWN ON FLOOR
PLAN. (WITH SEISMIC RESTRAINTS & IN
VANDAL RESISTANT GALV CAGE)



BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		4

1 Wharehui West Elevation 1:100

A1503

ELEVATION NOTES

ROOFS

ENDURA,
0.40G CORRUGATE TO MATCH EXISTING
WHARENUI ROOF.
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

ENDURA,

0.40G TRIMLINE TO VERANDAH ROOFS
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

BAYONET BAYOWRAP SS ROOF UNDERLAY,
LAID HORIZONTALLY OVER GALV MESH TO
3° ROOF ONLY.

WHAREKAI & NEW MATTRESS

EAVE-600mm
BARGE-600mm

WHAREPAKU

EAVE-600mm
BARGE-600mm

UPVC SPOUTING TO MATCH EXISTING
(MARLEY CLASSIC OR SIM)

800 UPVC DOWNPIPES

INTERNAL

BRACKETS AT 400mm CRS WITH SS

SCREWS

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS

LEAF SLIDERS

200 x 40 H3.1 PRE-PRIMED FASCIA BOARD

JH 4.5mm HARDFLEX SOFFIT LINING.

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS.(PVC JOINTERS).

WALLS

JH AXON 133mm GRAINED DIRECT FIXED

WITH EXTERIOR BOXED CORNERS

ON 20mm CAVITY TO WHAREPAKU ONLY.

ECOPLY BARRIER TO WHAREKAI/BAYONET

BAYOWRAP WALL UNDERLAY TO BALANCE.

FLOORS

RAFT SLAB AS PER ENGINEERS DESIGN

AND DETAILS.

GLAZING / JOINERY

DOUBLE GLAZED POWDER COATED MIN

40mm FLATFORM COMMERCIAL GRADE

ALUMINIUM JOINERY.

ROLLER GARAGE DOOR NOT TO BE

INSULATED.

PLUMBING

FLUED GAS CALUFONT RINNAI IN CEILING

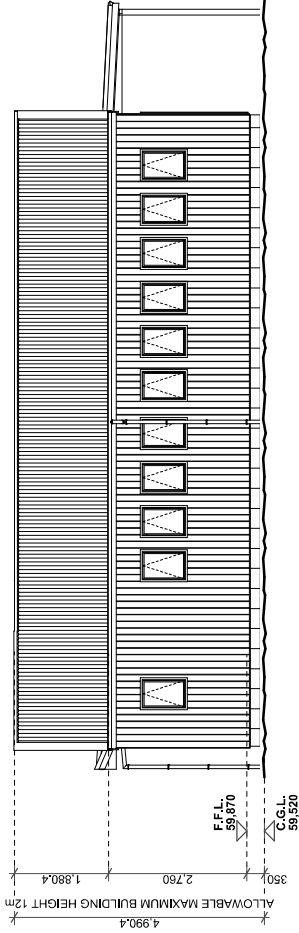
SPACE AS SHOWN ON THE ELECTRICAL

PLAN.

3x45KG BOTTLES AS SHOWN ON FLOOR

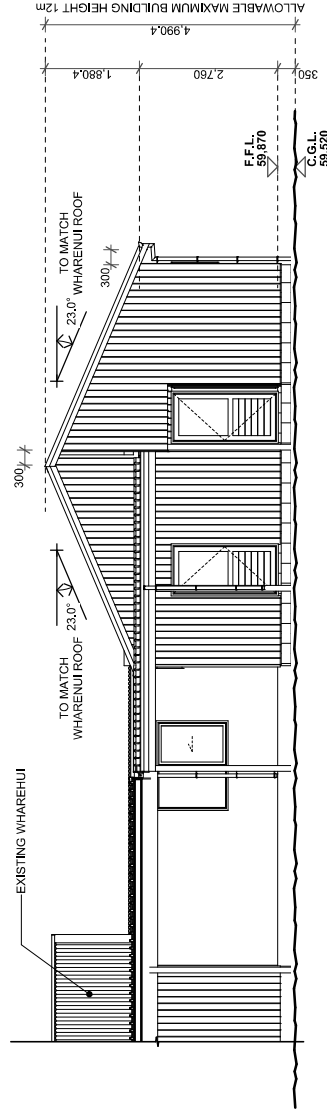
PLAN. (WITH SEISMIC RESTRAINTS & IN

VANDAL RESISTANT GALV CAGE)



1 Wharepaku North Elevation 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		9



2 Wharepaku East Elevation 1:100

ELEVATION NOTES

ROOFS

ENDURA,
0.40G CORRUGATE TO MATCH EXISTING
WHARENUI ROOF.
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

ENDURA,

0.40G TRIMLINE TO VERANDAH ROOFS
SCREW FIXED WITH EDGE FLASHINGS TO
MATCH.

BAYONET BAYOWRAP SS ROOF UNDERLAY,
LAD HORIZONTALLY OVER GALV MESH TO
3' ROOF ONLY.

WHAREKAI & NEW MATTRESS

EAVE-600mm

BARGE-600mm

WHAREPAKU

EAVE-600mm

BARGE-600mm

UPVC SPOUTING TO MATCH EXISTING

(MARLEY CLASSIC OR SIM)

800 UPVC DOWNPIPES

INTERNAL

BRACKETS AT 400mmCRS WITH SS

SCREWS

INSTALL TO MANUFACTURERS'

RECOMMENDATIONS

LEAF SLIDERS

200 x 40 H3.1 PRE-PRIMED FASCIA BOARD

JH 4.5mm HARDFLEX SOFFIT LINING,

INSTALL TO MANUFACTURERS

RECOMMENDATIONS.(PVC JOINTERS).

WALLS

JH AXON 133mm GRAINED DIRECT FIXED

WITH EXTERIOR BOXED CORNERS

ON 20mm CAVITY TO WHAREPAKU ONLY.

ECOPLY BARRIER TO WHAREKAI/BAYONET

BAYOWRAP WALL UNDERLAY TO BALANCE.

FLOORS

RAFT SLAB AS PER ENGINEERS DESIGN

AND DETAILS.

GLAZING / JOINERY

DOUBLE GLAZED POWDER COATED MIN

40mm FLATFORM COMMERCIAL GRADE

ALUMINIUM JOINERY.

ROLLER GARAGE DOOR NOT TO BE

INSULATED.

PLUMBING

FLUED GAS CALUFONT RINNAI IN CEILING

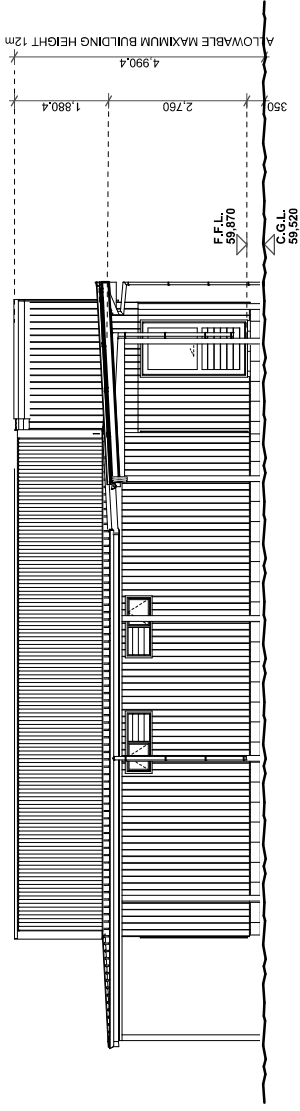
SPACE AS SHOWN ON THE ELECTRICAL

PLAN.

3X45KG BOTTLES AS SHOWN ON FLOOR

PLAN. (WITH SEISMIC RESTRAINTS & IN

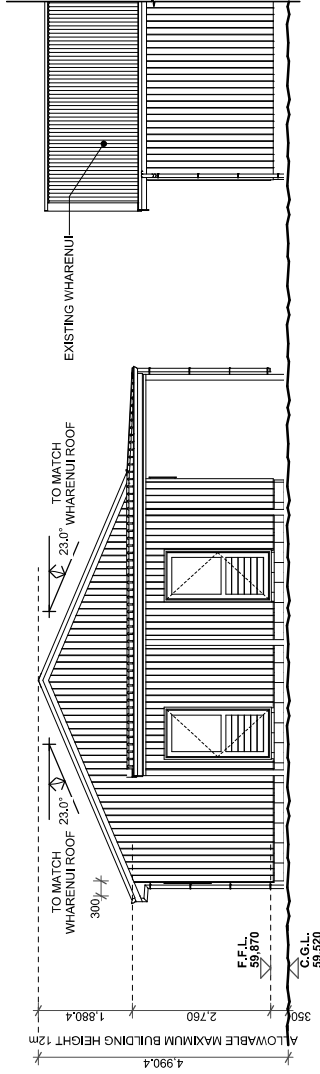
VANDAL RESISTANT GALV CAGE)



1 Wharepaku South Elevation 1:100

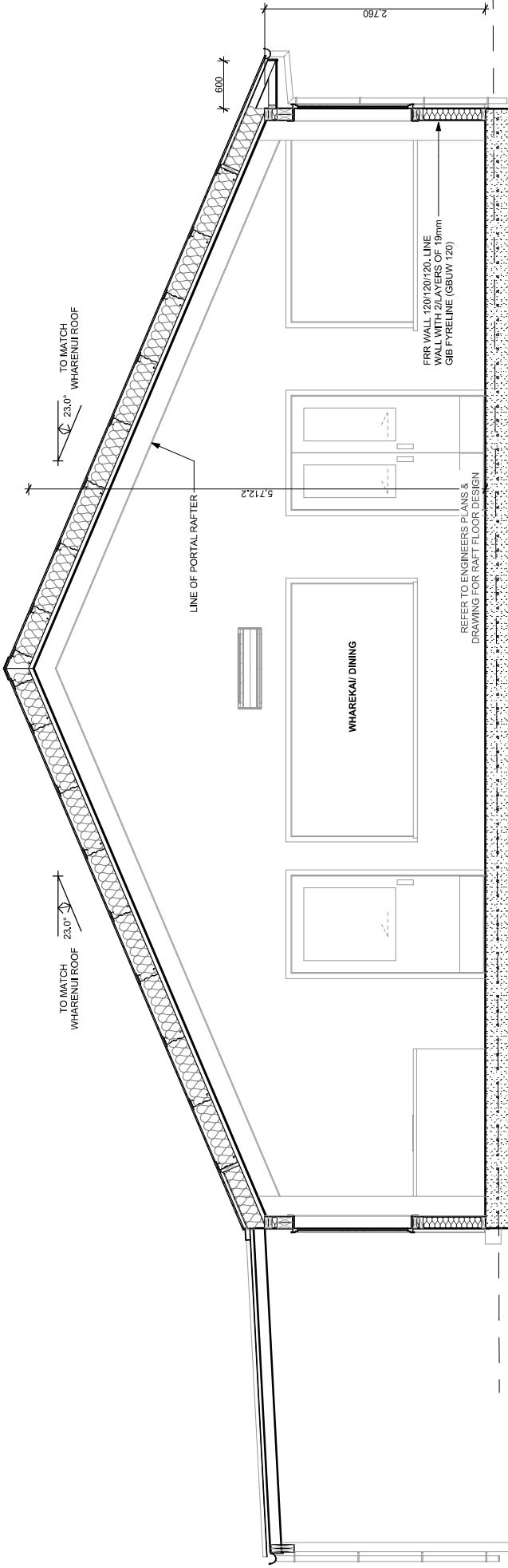
A1504

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		9



2 Wharepaku West Elevation 1:100

A1504



SECTION NOTES

- ROOFS**
- 0.40G CORRUGATE TO MATCH EXISTING WHAREKAI ROOF.
- MATCH EXISTING WHAREKAI TRUSSES.
- 0.40G TRIMLINE TO VERANDAH ROOFS SCREW FIXED WITH EDGE FLASHINGS TO MATCH.
- ROOF UNDERLAY BAYONET BAYOWRAP SS ROOF UNDERLAY, LAID HORIZONTALLY OVER GALV MESH TO 3° ROOF ONLY.
- PURLINS 70x45 PURLINS SGR H1.2 AT 900mm CRS, 80mm, 10g SCREW FIXING (BLUE SCREW) (2.4KN)

GANGVAL TRUSSES TROUGHOUT

- RAFTERS TO VERANDAHS WHAREKAI & NEW MATTRESS EAVE-600mm BARGE-600mm
- WHAREPAKU EAVE-600mm BARGE-600mm
- GANGVAL TRUSSES TROUGHOUT RAFTERS TO VERANDAHS WHAREKAI & NEW MATTRESS EAVE-600mm BARGE-600mm
- WHAREPAKU EAVE-600mm BARGE-600mm
- GUTTER UPVC SPOUTING TO MATCH EXISTING (MARLEY CLASSIC OR SIM)

DOWNPIPES

- ROOF PVC DOWNPIPES BRACKETS AT 400mm CRS WITH SS SCREWS INSTALL TO MANUFACTURERS' RECOMMENDATIONS
- LEAF SLIDERS
- FASCIA 200 x 40 H3.1 PRE-PRIMED FASCIA BOARD
- SOFFIT TYPICAL JH 4.5mm HARDIFLEX SOFFIT LINING. INSTALL TO MANUFACTURERS' RECOMMENDATIONS.
- SOFFIT VERANDAH VERANDAH ROOF SOFFIT LINING TO VERANDAH. INSTALL TO MANUFACTURERS' RECOMMENDATIONS.(PVC JOINTERS)
- WALLS** JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS ON 20mm CAVITY TO WHAREPAKU ONLY. ECOR Y BARRIER TO WHAREKAI BAYONET BAYOWRAP WALL UNDERLAY TO BALANCE.

STUD HEIGHT

- 2.700m, H3Z BOTTOM PLATES
- FLOORS** RAFT SLABS AS PER ENGINEERS DESIGN AND DETAILS.
- FLOORING** EPOXY FLOOR COVERED 150mm UP WALLS TO ENTIRE WHAREKAI COMMERCIAL GRADE CARPET TILES TO NEW MATTRESS STORAGE ROOMS, VINYL COVERED 150mm UP WALLS TO WHAREPAKU NON-SLIP WET AREA VINYL TO SHOWER ENCLOSURE ONLY
- GLAZING / JOINERY** DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORM COMMERCIAL GRADE ALUMINIUM JOINERY. 2.115 WINDOW HEAD HEIGHT TYPICAL 2.415 WINDOW HEAD HEIGHT TO DINING ONLY

INTERIOR LININGS

- WALLS GIB TOUCHLINE TO DINING. 13mm GIB AQUALINE TO TOILET & WET AREAS TO KITCHEN. PREP AREA, WCS & WET AREAS 150mm HIGH 6mm HARDIFLEX FOR COVING EPOXY FLOOR
- CEILING 13mm GIB STANDARD CEILING TYPICAL 13mm GIB AQUALINE TO TOILET & WET AREAS 6mm HARDIEGLAZE OVER 13mm GIB AQUALINE TO KITCHEN & PREP AREA
- STRUCTURECRAFT PERFORATED PLY OVER THE WHAREKAI DINING 70x35 555 H1.2 TIMBER BATTENS @ 600CRS
- INTERIOR FITOUT** 1,980mm TYPICAL INTERNAL DOOR HEIGHT. 135x18 FJ PINE SPLY SKirting. 65x18 FJ PINE ARCHITRAVE. 40x18 PINE SCOTIA. PRE-PAINT WHEN INSTALL AGAINST HARDIEGLAZE

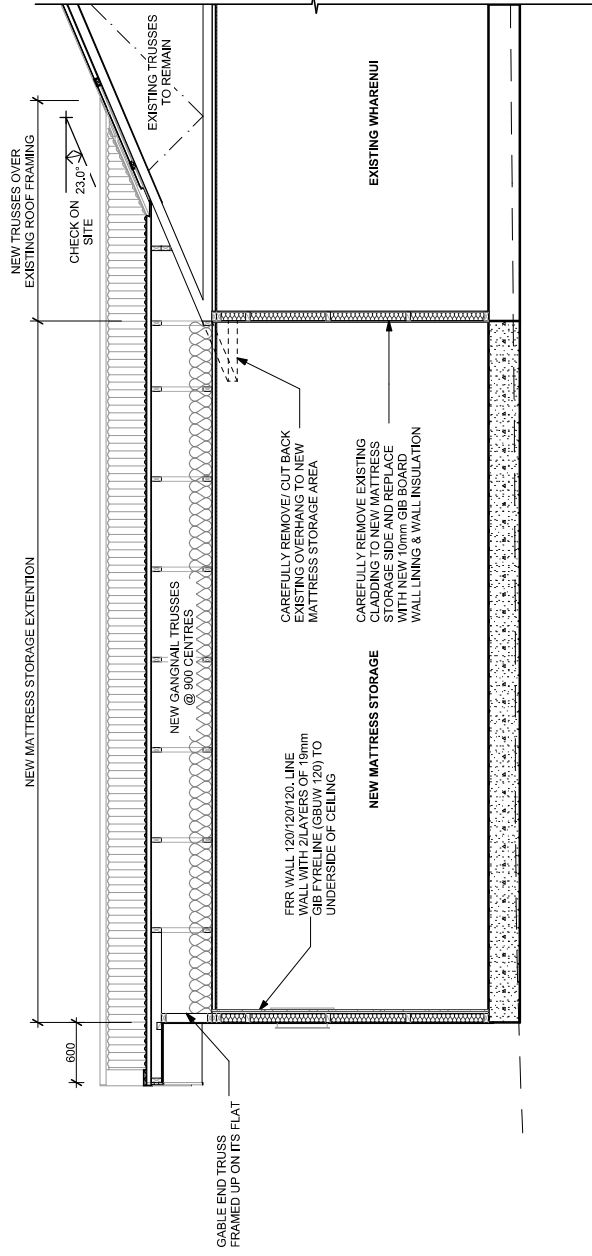
INSULATION

- 3.5g BATTENS WALL INSULATION
- ROOF BATTENS WALL INSULATION
- ROLLER GARAGE DOOR NOT TO BE INSULATED
- ACOUSTIC INSULATION TO ALL WC/BATHROOM WALLS
- SPACE HEATING** HEAT PUMPS
- PLUMBING** 6mm HARDIEGLAZE TO SHOWER WALLS WITH SILVER ANODISED ALUMINIUM JOINTERS OVER 12mm H3 PLYWOOD
- FLUED GAS CALIFONT RINNAL IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN. 3X45KG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH BEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)
- KITCHEN** BRAYCO PC SUM = \$30K INCL KITCHEN DESIGN APPLIANCE PC SUM = \$30K RANGEHOOD & STAINLESS STEEL SPLASHBACK PC SUM = \$15K TOTAL KITCHEN PC SUM = \$75K

Section AA

WAINUI MARAE
 17 WAINUI ROAD, AHIKARA
 KATAIA 0481

Scale @ A3: 1:50
 Drawn By: J.A
 Issued: 6/03/2025
 2:35 pm



SECTION NOTES

ROOFING
 0.40G CORRUGATE TO MATCH EXISTING WHARENUI ROOF.
 MATCH EXISTING WHARENUI TRUSSES.
 0.40G TRIMLINE TO VERANDAH ROOFS.
 SCREW FIXED WITH EDGE FLASHINGS TO MATCH.
 ROOF UNDERLAY BAYONET BAYOWRAP SS ROOF UNDERLAY. LAID HORIZONTALLY OVER GALV MESH TO 3° ROOF ONLY.
 PURLINS 70x45 PURLINS SGR H1.2 AT 900mm CRS. 80mm, 10g SCREW FIXING (BLUE SCREW) (2.4KN)

GANGNAIL TRUSSES TROUGHOUT
 RAFTERS TO VERANDAHS WHAREKAH & NEW MATTRESS EAVE-600mm BARGE-600mm
 WHAREPAKU EAVE-600mm BARGE-600mm
 TRUSSES TO VERANDAHS WHAREKAH & NEW MATTRESS EAVE-600mm BARGE-600mm
 WHAREPAKU EAVE-600mm BARGE-600mm
 GUTTER UPVC SPOUTING TO MATCH EXISTING (MARLEY CLASSIC OR SIM)

DOWNPIPES
 80mm PVC DOWNPIPES BRACKETS AT 400mm CRS WITH SS SCREWS INSTALL TO MANUFACTURERS' RECOMMENDATIONS
 LEAF SLIDERS FASCIA 200 x 40 H3.1 PRE-PRIMED FASCIA BOARD SOFFIT TYPICAL JH 4.5mm HARDIFLEX SOFFIT LINING. INSTALL TO MANUFACTURERS' RECOMMENDATIONS.
 SOFFIT VERANDAH VERANDAH REMOVE SOFFIT LINING TO VERANDAH. INSTALL TO MANUFACTURERS' RECOMMENDATIONS.(PVC JOINTERS)
WALLS
 JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS ON 20mm CAVITY TO WHAREPAKU ONLY.
 ECOPY Y BARRIER TO WHAREKAH/BAYONET BAYOWRAP WALL UNDERLAY TO BALANCE.

STUD HEIGHT
 2.700m, H32 BOTTOM PLATES
FLOORS
 RAFT SLABS AS PER ENGINEERS DESIGN AND DETAILS.
FLOORING
 EPOXY FLOOR COVERED 150mm UP WALLS TO ENTIRE WHAREKAH COMMERCIAL GRADE CARPET TILES TO NEW MATTRESS STORAGE. VINYL COVERED 150mm UP WALLS TO WHAREPAKU NON-SLIP WET AREA VINYL TO SHOWER ENCLOSURE ONLY
GLAZING / JOINERY
 DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORM COMMERCIAL GRADE ALUMINIUM JOINERY.
 2.115 WINDOW HEAD HEIGHT TYPICAL
 2.115 WINDOW HEAD HEIGHT TO DINING ONLY

INTERIOR LININGS
 WALLS GIB TOUCHLINE TO DINING. 13mm GIB AQUALINE TO TOILET & WET AREAS TO KITCHEN. PREP AREA, WCG & WET AREAS 150mm HIGH 6mm HARDIFLEX FOR COVING EPOXY FLOOR
 CEILING 12mm GIB STANDARD CEILING TYPICAL 13mm GIB AQUALINE TO TOILET & WET AREAS TO KITCHEN & PREP AREA
 FEATURECRAFT PERFORMED PLY OVER THE WHAREKAH DINING 70x35 555 H1.2 TIMBER BATTENS @ 600CRS
INTERIOR FITOUT
 135x18 FJ PINE SPLAY SKirting.
 65x18 FJ PINE ARCHITRAVE.
 65x18 PINE SCOTIA. PRE-PAINT WHEN INSTALL AGAINST HARDIEGLAZE

INSULATION
 3.5g Batts WALL INSULATION
 3.5g Batts WALL INSULATION
 ROLLER GARAGE DOOR NOT TO BE INSULATED
 ACOUSTIC INSULATION TO ALL WC/BATHROOM WALLS
SPACE HEATING
 HEAT PUMPS
PLUMBING
 6mm HARDIEGLAZE TO SHOWER WALLS WITH SILVER ANODISED ALUMINIUM JOINTERS OVER 12mm H3 PLYWOOD
 FLUED GAS CALIFONT RINNALIN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN.
 3X45KG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)
KITCHEN
 BRAYCO PC SUM = \$30K INCL. KITCHEN DESIGN APPLIANCE PC SUM = \$30K
 RANGEHOOD & STAINLESS STEEL SPLASHBACK PC SUM = \$15K
 TOTAL KITCHEN PC SUM = \$75K

Section CC

WAINUI MARAE
 17 WAINUI ROAD, AHI-IPARA
 KATAIA 0481

Rev No. Revision

Date

Scale @ A3: 1:50
 Drawn By J.A
 Issued: 6/03/2025
 2:35 pm

Stormwater Management Report
Wainui Marae Development
17 Wainui Road, Ahipara
Ahipara 44A Block
For
Wainui Marae Trustees

Haigh Workman reference 24 230

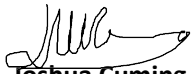
Mar-25



Revision History

Revision N ^o	Issued By	Description	Date
1	Joshua Cuming	First Revision	03/11/2024
2	Joshua Cuming	Revised for updated plans	17/03/2025

Prepared by:



Joshua Cuming
Environmental Geologist
BSc (Geol, Env Stu.) CEnvP

Approved by:



John Papesch
Senior Civil Engineer
BE (Civil), CPEng, CMEngNZ

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Executive Summary

Haigh Workman Ltd (Haigh Workman) was commissioned by Wainui Marae Trustees (the client) to undertake a stormwater management report for the proposed development at Ahipara 44A Block, 17 Wainui Road, Ahipara (the 'Site').

The property is has a total land area of 4046 m². The client intends to build Wharekai and Wharepuku building, a mattress store room and an associated verandas. Under the Far North District Plan the Site is zoned as Rural Production.

Stormwater Management

Total impermeable surfaces following the proposed development is estimated in the following table:

Component	Coverage (m ²)
Existing roof area to be retained	289
Proposed roof area	698
Driveway and parking areas (constructed pre 2011)	765
Driveway and parking areas (constructed post 2011)	502
Paths	138
Water tanks (above allowance)	16
Total existing and proposed	2,408
Total site area	4046
% Coverage	59.5%
Permitted activity	15%

Total impermeable surfaces will exceed the 12.5% permitted activity threshold and also the 20% of the controlled activity threshold.

The proposed stormwater attenuation system is as follows:

- **Attenuation tank**

The proposed roof area of the wharekai, wharepaku and veranda will be connected to a 10,000L tank which will attenuate flow back to 80% of predevelopment levels for the 50%, 20% and 10% AEP events. The outflow from the tank will be directed into the roadside water table on Wainui Road through a 100mm diameter pipe. An easement will be required to convey water over the neighbouring property into the roadside drain.

- **Culvert under vehicle crossing**

The non-functioning culvert under the vehicle crossing should be replaced with a RCRRJ class 4 culvert with a diameter of at least 300mm.

- **Roadside water table**

The roadside water table should be cleaned so it falls to the northwest.

- **Culvert under Wainui Road**

The inlet to the culvert under Wainui Road should be cleared.

- **Potable water storage tank overflow**

The overflow from the existing potable water tank should be directed into a level spreader as shown in the appended Figure C22 Above Ground Flow Dispersal, Countryside Living Toolbox.

1 Introduction

1.1 Introduction

Haigh Workman Ltd (Haigh Workman) was commissioned by Wainui Marae Trustees (the client) to undertake a stormwater management report for the proposed development at Ahipara 44A Block, 17 Wainui Road, Ahipara (the 'Site').

The property is has a total land area of 4046 m². The client intends to build Wharekai and Wharepuku building, a mattress store room and an associated veranda.

Under the Far North District Plan the Site is zoned as Rural Production.

1.2 Objective and Scope

The scope of this report includes a stormwater neutrality for the site and recommend mitigation measures for the proposed new development.

1.3 Applicability

This report has been prepared for our client with respect to the particular brief given to us. This report is to be used by our Client and Consultants and may be relied upon by the Far North District Council when considering the application for the proposed development. The information and opinions contained within this report shall not be used in any other context for any other purpose without prior review and agreement by Haigh Workman Ltd.

2 Site Description

2.1 Site Identification

Site Address: 17 Wainui Road, Ahipara

Legal Description: Ahipara 44A Block

Site Area: 4046 m²

The property is legally described as Ahipara 44A Block with a total land area of 4046 m² and comprises a marae. The topography of the site is approximately flat.

The site is bordered by rural production lots, with several houses located to the west.

Access to the site from Wainui Road is via a small strip over the neighbouring property.

The proposed location for the proposed buildings has been provided by the client and is included in Appendix A.

Figure 1 Indicative site location



3 Environmental Setting

Published environmental data relating to the site has been reviewed. A summary of relevant information is provided below.

3.1 Hydrology and Flooding

A small area in the northeast of the site (approximately 40m²) is mapped as being within the 100 year River Flood Hazard Zone - Regionwide Model. The site is not mapped as being within the coastal flood hazard.

A summary of available information pertaining to hydrology and hydrogeology is presented in Table 3.1. Far North District Council (FNDC) and Northland Regional Council (NRC) GIS databases is included below.

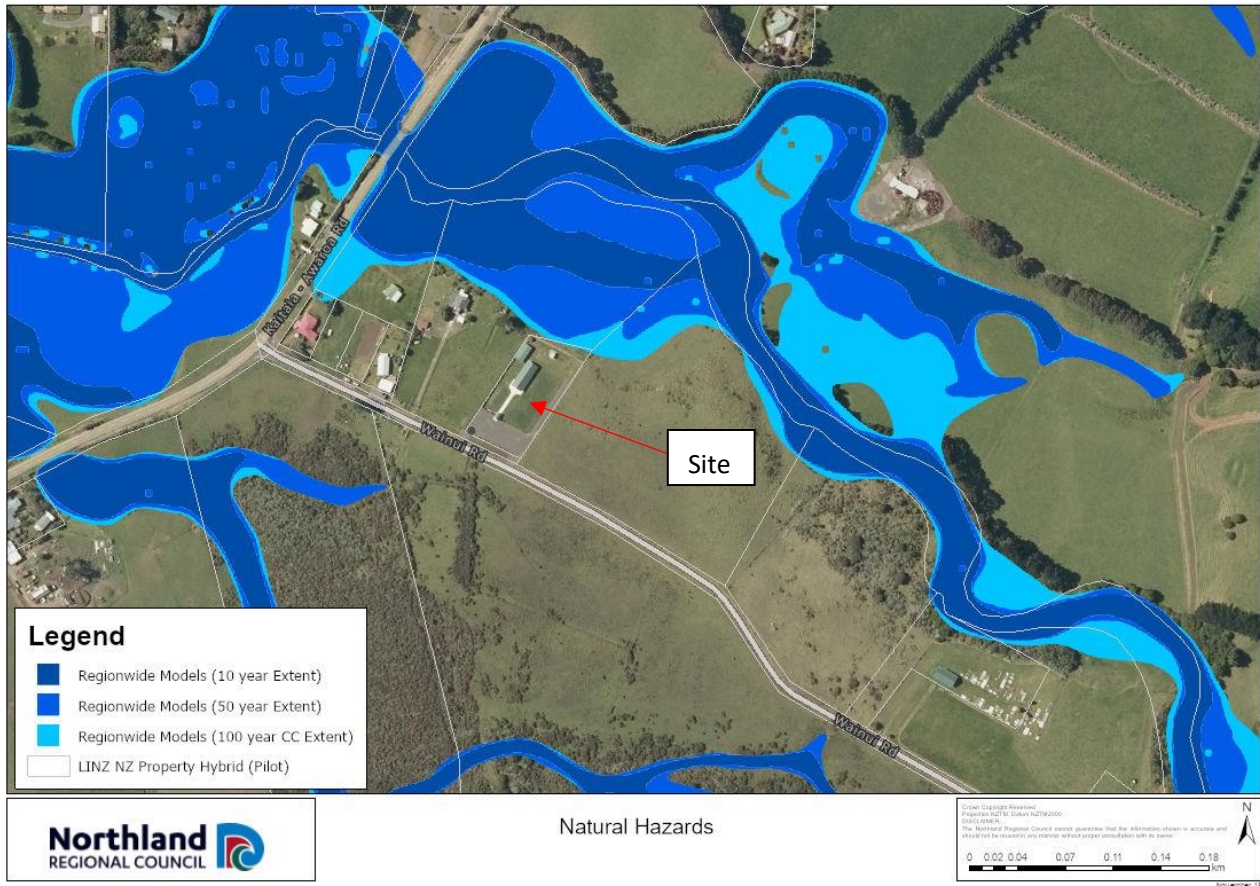


Table 1 Surface Water Features & Flooding

	Presence/Location	Comments
Surface Water Features (Ponds, Lakes etc).	NA	N/A
Watercourses (within 500 m)	The Wainui Stream is located 120m northeast of site. The Waiora Stream is located 190m southwest of site.	N/A
Flood Risk Status	None recorded on GIS databases.	A small area in the northeast of the site (approximately 40m ²) is mapped as being within the 100 year River Flood Hazard Zone - Regionwide Model.

3.2 Site Geology

3.3 Published Geology

Sources of Information:

- Institute of Geological & Nuclear Sciences 1:250,000 Geological Map 1, 2009: “Geology of the Kaitaia area”.
- NZMS 290 Sheet N04/05, 1: 100,000 scale, 1979: “Soil map of the Ahipara - Herekino area”.

The site is within the bounds of the GNS Geological Map 1 “Geology of the Kaitaia area”, 1:250,000 scale*. The published geology shows the site to be underlain by the Pakihi Supergroup. An excerpt of the geological map is shown in figure 2.

Further reference to the published New Zealand land inventory maps (Ahipara - Herekino), indicates the site is underlain by soils of the flood plains; ‘well to moderately well drained Mangakahia silt loam and clay loam (MF)’.

Figure 2 Geological map extract

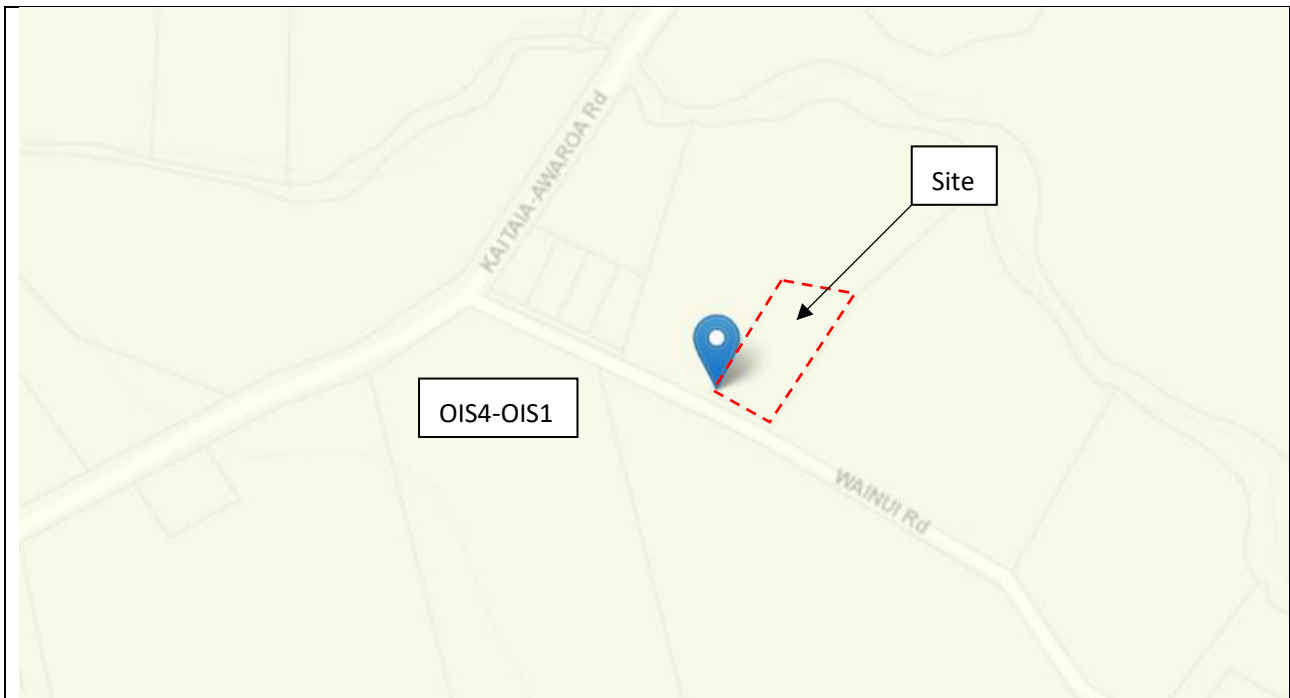


Table 2 Geological Legend

Symbol	Unit Name	Description
OIS4-OIS1	Pakihi Supergroup	Unconsolidated to poorly consolidated sand, peat, mud and shell deposits (estuarine, lacustrine, swamp, alluvial and colluvial).

4 Stormwater Management

4.1 Statutory Framework

4.1.1 Far North District Plan

The site is within the Rural Production zone. The relevant stormwater management/ impermeable surface rules are as follows:

Permitted Activity

8.6.5.1.3 STORMWATER MANAGEMENT

The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.

Controlled Activity

8.6.5.2.1 STORMWATER MANAGEMENT

The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 20%.

Total impermeable surfaces following the proposed development is estimated in the following table:

Table 3 Impermeable Surfaces

Component	Coverage (m ²)
Existing roof area to be retained	289
Proposed roof area	698
Driveway and parking areas (constructed pre 2011)	765
Driveway and parking areas (constructed post 2011)	502
Paths	138
Water tanks (above allowance)	16
Total existing and proposed	2,408
Total site area	4046
% Coverage	59.5%
Permitted activity	15%

Total impermeable surfaces will exceed the 15% permitted activity threshold and also the 20% of the controlled activity threshold.

4.1.2 Regional Water and Soil Plan for Northland

The Northland Regional Council has published an updated Proposed Regional Plan for Northland dated February 2024. The stormwater rules are no longer subject to appeal and are deemed operative.

Rule C.6.4.2 relates to permitted activities for other stormwater discharges and is relevant to this site. Clause 2 relates to stormwater quantity and downstream flooding affects:

2) the diversion and discharge does not cause or increase flooding of land on another property in a storm event of up to and including a 10 percent annual exceedance probability, or flooding of buildings on another property in a storm event of up to and including a one percent annual exceedance probability.

The site is located within the lower half of the catchment therefore attenuation for the 1% AEP event is not proposed.

All other conditions of Rule C.6.4.2 are complied with.

4.1.3 Council Engineering Standards 2023

The FNDC Engineering Standards have recently been updated and Council is encouraging their use. The pertinent sections relating to stormwater management are:

Chapter 4: Stormwater and Drainage

4.1.3 Performance Standards

e. The primary stormwater system shall be capable of conveying 10% AEP design storm events without surcharge (see Section 4.3.9 Hydrological Design Criteria).

4.1.6. Managing Effects of Land Use on Receiving Environments

Hydrological balance can be partly maintained by limiting the maximum rate of discharge and peak flood levels for post-development to that at pre-development levels and enabling infiltration to minimise impacts on base flow and ground water recharge.

Peak flow management can be achieved using detention storage, utilising extended duration, for the duration of a limited peak flow event. Therefore, in the absence of more detailed assessment of stream stability, the discharges from detention devices into a stormwater network shall be constrained to 80% of pre-development peak flow rate. These constraints may be relaxed, subject to detailed assessments and hydrological/hydraulic modelling of the catchment being provided.

4.2.1. Discharge into a Stream or Watercourse

All new and existing discharges to an existing FNDC owned and / or maintained watercourse(s) located within approximately 500m require specific approval from the Stormwater Manager before proceeding with design details and, if approved, FNDC shall apply appropriate conditions to the discharge.

4.3.8. System Design

Table 4-1: Minimum Design Summary

Current rainfall (i.e. not climate change adjusted) shall be used for the following:

- Determining pre-development stormwater runoff flows and volumes for use in combination with calculated post development flows to determine stormwater treatment (quantity and quality) requirements.

Climate change adjusted rainfall shall be used for the following:

- Determining post-development stormwater runoff flows and volumes for stormwater infrastructure design.

Flood Control (1% AEP event). Detention required, limiting the post-development 1% AEP event flow rates to 80% of the pre-development 1% AEP event flow rates.

Flow attenuation (Attenuation of the 50% and 20% AEP events). Limit the post-development 50% and 20% AEP event flow rates to 80% of the pre-development flows through controlled attenuation and release. Typically, always required in the upper catchment and sometimes not required where development site is located in proximity to the catchment outlet, discharging to a watercourse with sufficient network capacity, and where flow attenuation may worsen flooding hazards due to relative timing of peak flows. This is subject to assessment demonstrating no negative impacts would occur. If the proposed stormwater discharge is into a tidal zone, then no attenuation is required.

The site is located within the lower half of the catchment therefore attenuation for the 1% AEP event is not proposed.

4.2 Existing and Proposed Development

A marae is currently established onsite and consists of a wharehui and an activity building with associated driveway, parking areas and paths. A portion of the driveway and carpark predates gravelled surfaces being considered impermeable surfaces under the district plan. Therefore the portion of the gravelled area that predates this is deemed to be existing consented for attenuation calculations.

The proposed development consists of a wharekai, wharepaku, verandah and mattress storage extension.

Total impermeable surfaces following the proposed development is estimated in the following table:

Component	Coverage (m ²)
Existing roof area to be retained	289
Proposed roof area	698
Driveway and parking areas (constructed pre 2011)	765
Driveway and parking areas (constructed post 2011)	502
Paths	138
Water tanks (above allowance)	16
Total existing and proposed	2,408
Total site area	4046
% Coverage	59.5%

4.3 Existing Site Drainage

The site has a very slight slope to the southeast. Stormwater sheet flows to the southeast where it flows across the boundary into a field drain constructed on the neighbouring property. This drain then flows southwest into the roadside water table of Wainui Road.

The culvert under the southeastern vehicle crossing is no longer in functioning condition. To the northwest of the vehicle crossing the roadside water table extends to a 375mm culvert under Wainui Road. This culvert leads to a flow path which carries stormwater to the Waiora Stream.

Existing roof runoff is directed into tanks for potable water. The overflow from these tanks currently flows out of the tanks and is not directed away from the tanks.

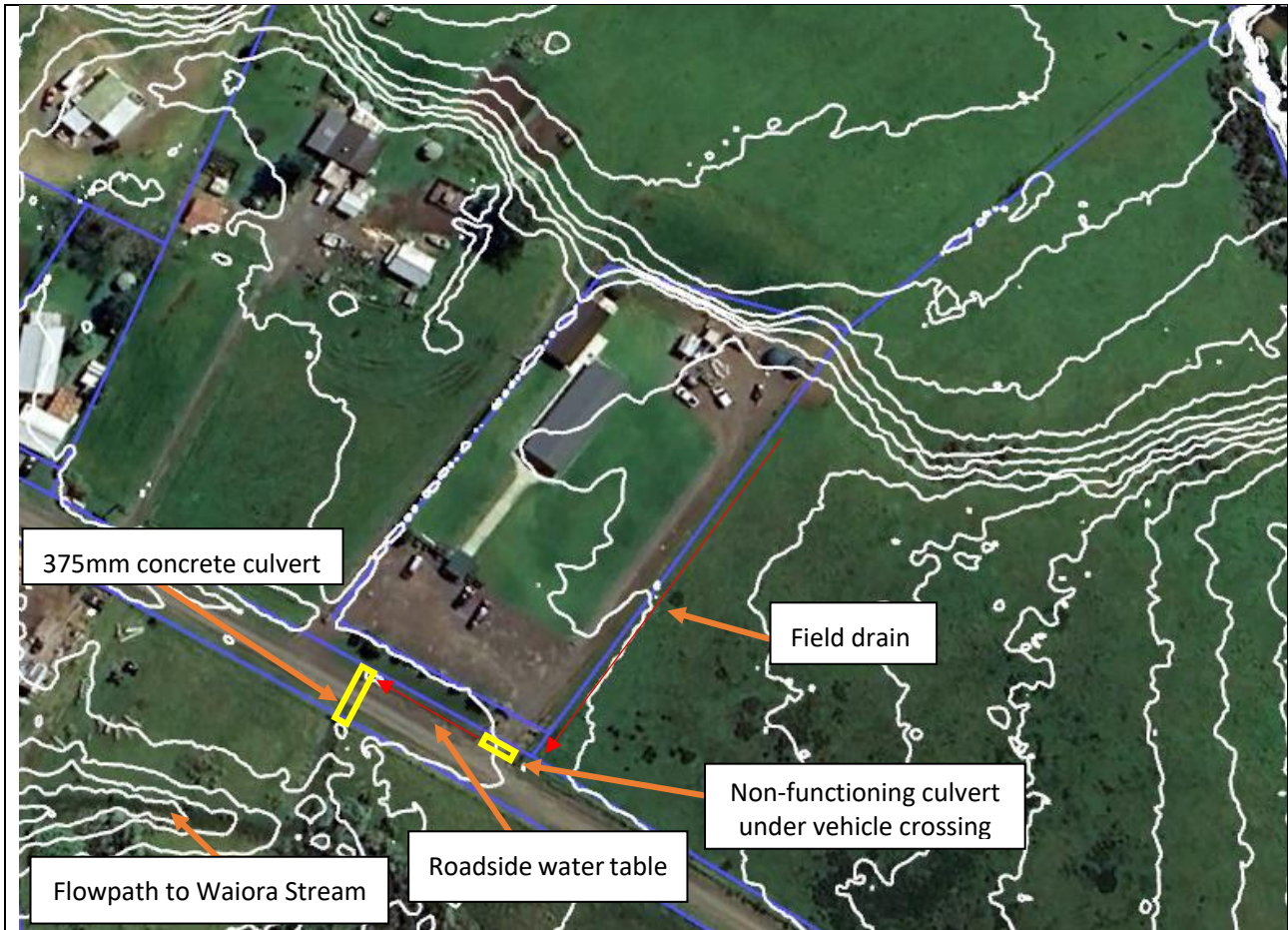


Figure 3 Site topography (0.5m contours LINZ)

4.4 Proposed Stormwater System

4.4.1 Stormwater Attenuation

Stormwater attenuation has been designed for the 50%, 20% and 10% AEP events back to 80% of pre-development. Design rainfall shall be historical data from HIRDS with no adjustment for climate change. Runoff coefficients are those given in 2023 FNDC Engineering Standards Table 4.3.

The attenuation design includes attenuating the proposed impermeable surfaces back to 80% pre-development (grass) for the 50%, 20% and 10% AEP events.

The proposed development is not expected to result in contaminated stormwater runoff. discharging concentrated flows to ground in a dispersive manner and making use of existing drains and flow paths, stormwater contamination can be avoided.

The summary of the stormwater system is proposed for the site:

- **Attenuation tank**

The proposed roof area of the wharekai, wharepaku and veranda will be connected to the 25,000L tank which will attenuate flow back to 80% of predevelopment levels for the 50%,20% and 10% AEP events. The outflow from the tank will be directed into the roadside water table on Wainui Road through a 100mm diameter pipe. An easement will be required to convey water over the neighbouring property into the roadside drain.

- **Culvert under vehicle crossing**

The non-functioning culvert under the vehicle crossing should be replaced with a RCRRJ class 4 culvert with a diameter of at least 300mm.

- **Roadside water table**

The roadside water table should be cleaned so it falls to the northwest.

- **Culvert under Wainui Road**

The inlet to the culvert under Wainui Road should be cleared.

- **Potable water storage tank overflow**

The overflow from the existing potable water tank should be directed into a level spreader as shown in the appended Figure C22 Above Ground Flow Dispersal, Countryside Living Toolbox.

The soils onsite are determined to be hydrologic soil group D. The runoff coefficients relevant to the site are:

Table 4 Run-off Coefficient (C)

Surface Type	Adopted coefficient
Lawn	0.67
Gravel driveway / parking	0.83
Path	0.96
Roof areas	0.96
Tanks	0.96

For design rainfall intensities, HIRDS data for the Current-Historical event was adopted.

4.5 Stormwater Detention Tank

It is proposed to reduce total stormwater run-off from the site to 80% of predevelopment runoff by detaining runoff from the proposed roof areas in a stormwater detention tank. Predevelopment runoff is the runoff from the footprint of the proposed development where the surface type is changing. Haigh Workman has developed a hyetograph which incorporates the 180-minute duration storms for the 50%, 20% and 10% AEP events to calculate the detention requirements. Runoff coefficients are those given in 2023 FNDC Engineering Standards Table 4.3.

Runoff from the wharekai, wharepaku and veranda (664m²) will flow into a dedicated attenuation tank. Runoff from the proposed mattress store will be directed into the existing potable water tanks. The attenuation system is summarised below:

Table 5 - Detention Tank (10,000 L) details

Parameter	Value
Roof Area	664 m ²
Water Tank Area	10.75 m ²
Lower orifice diameter	40 mm
Lower orifice position	No greater than 1.381 from base.
Upper orifice diameter	20 mm
Upper orifice position	0.912m above lower orifice.
Maximum Roof Runoff	15.5 l/s
Maximum Tank Outflow	4.5 l/s
Maximum Storage Height	1.44 m
Maximum Storage Volume	15.47 m ³

With the tank dimensions and orifice arrangement as displayed above, the following flow rates are achieved:

Table 6 Runoff

	80% Pre-development runoff (l/s)	Unattenuated Runoff (l/s)	Excess Runoff (l/s)	Attenuation Achieved (l/s)
2-year (50% AEP, current event)	10.5	17.5	7.0	7.1
5-year (20% AEP, current event)	13.6	22.6	9.1	9.2
10-year (10% AEP, current event)	15.9	26.4	10.6	11.0

Note: Runoff rounded to 1dp. The unchanged permeable area was excluded from our calculations

Our calculations show stormwater quantity objectives can be met for the 2, 5 and 10-year ARI storms by using a single 10,000L tank.

4.6 FNDC Assessment Criteria

The proposed stormwater management has been assessed against the Assessment Criteria in Section 11.3 of the Far North District Plan as follows:

Table 7 - FNDC assessment criteria

Criterion	Assessment
(a) The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total	Runoff created post-development can be attenuated back to 80% of pre-development levels.

	catchment impermeability and the provisions of any catchment or drainage plan for that catchment.	
(b)	The extent to which Low Impact Design principles have been used to reduce site impermeability.	The proposal is to use a 25,000L standard water tank for stormwater detention to reduce run-off back to pre-development levels at the source
(c)	Any cumulative effects on total catchment impermeability.	Run-off will be attenuated back to 80% of pre-development levels, therefore effects on catchment impermeability are negligible.
(d)	The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.	Drainage patterns will not be altered by the new development.
(e)	The physical qualities of the soil type.	The underlying soil is classified as 'well to moderately well drained Mangakahia silt loam and clay loam'
(f)	Any adverse effects on the life supporting capacity of soils.	There will be an increase in impermeable surfaces due to development.
(g)	The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.	Stormwater runoff will be discharged into the council stormwater system.
(h)	The extent to which paved, impermeable surfaces are necessary for the proposed activity.	Impermeable surfaces are required for the proposed development.
(i)	The extent to which landscaping may reduce adverse effects of run-off.	No further landscaping would be proposed
(j)	Any recognised standards promulgated by industry groups.	Stormwater detention is proposed to reduce run-off back to pre-development rates. This solution is a common solution recommended in Auckland Council publication GD01.
(k)	The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.	Stormwater detention tanks are effective methods of attenuating runoff back to predevelopment flow levels.
(l)	The extent to which the proposal has considered and provided for climate change.	In accordance with the new 2023 Council Engineering Standards stormwater has been attenuated back to 80% of pre-development which will help to offset climate change.
(m)	The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.	Stormwater ponds are not proposed as they are not required for this site. A stormwater detention tank is proposed to attenuate excess flow back to pre development levels.

Appendix A - Drawings



Legend

- Property boundaries
- Attenuation Tank (10,000 litre)
- Outlet from attenuation tank (100mm)
- Roadside water table
- ▭ Proposed roof areas (Approximate)
- 0.5m Contours (LINZ)

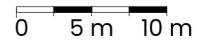


Existing potable water tanks. Overflow to be directed to a level spreader.

Inlet to cuvlert under road to be cleared.

Replace damaged culvert with 300mm concrete culvert.

Roadside watertable to be cleared.

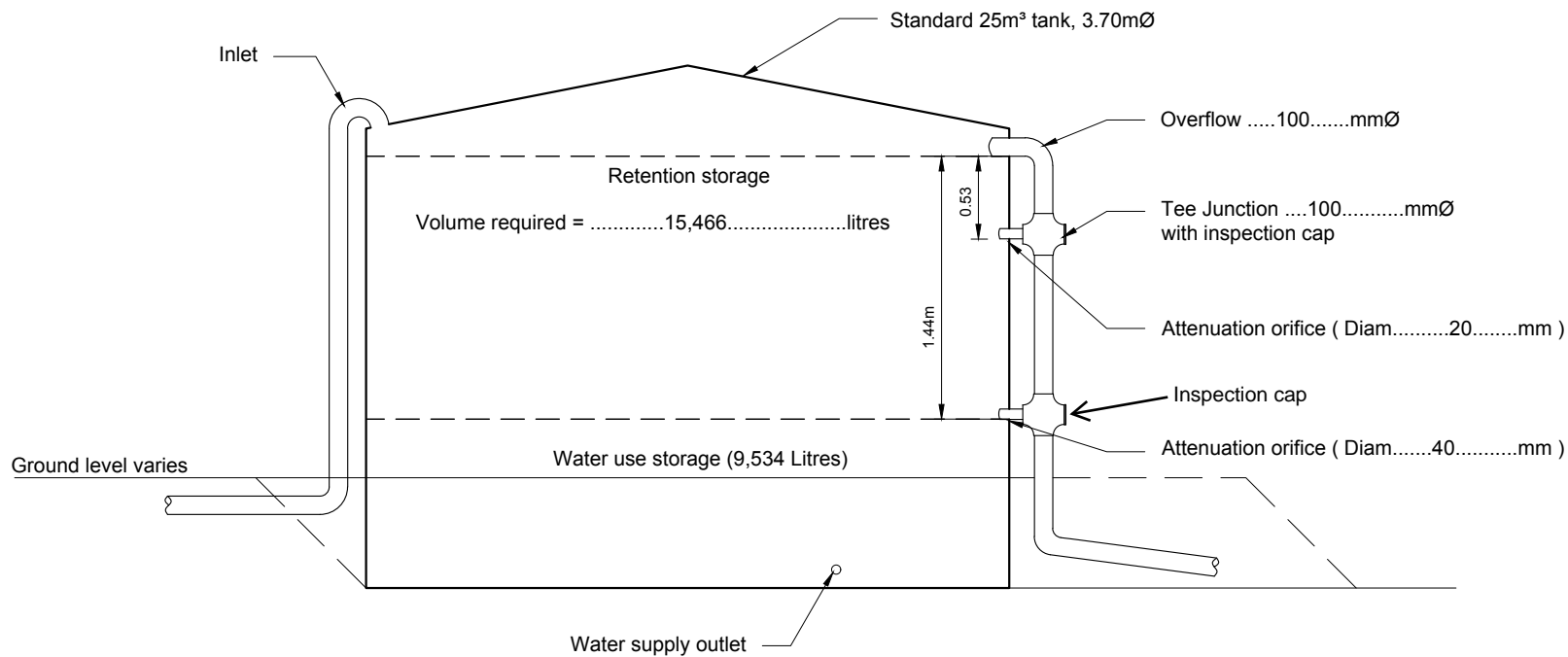


LINZ CC BY 4.0 © Imagery Basemap contributors




Produced by **Datanest.earth**

Title: Stormwater Plan		
Client: Wainui Marae Trustees		Size: A3
Project: 17 Wainui Road, Ahipara	Drawn: JCum	Drawing No.: 1
Date: 02-12-2024	Checked: JP	
Proj No: 24 230	Scale: 1:500	Version: REV1



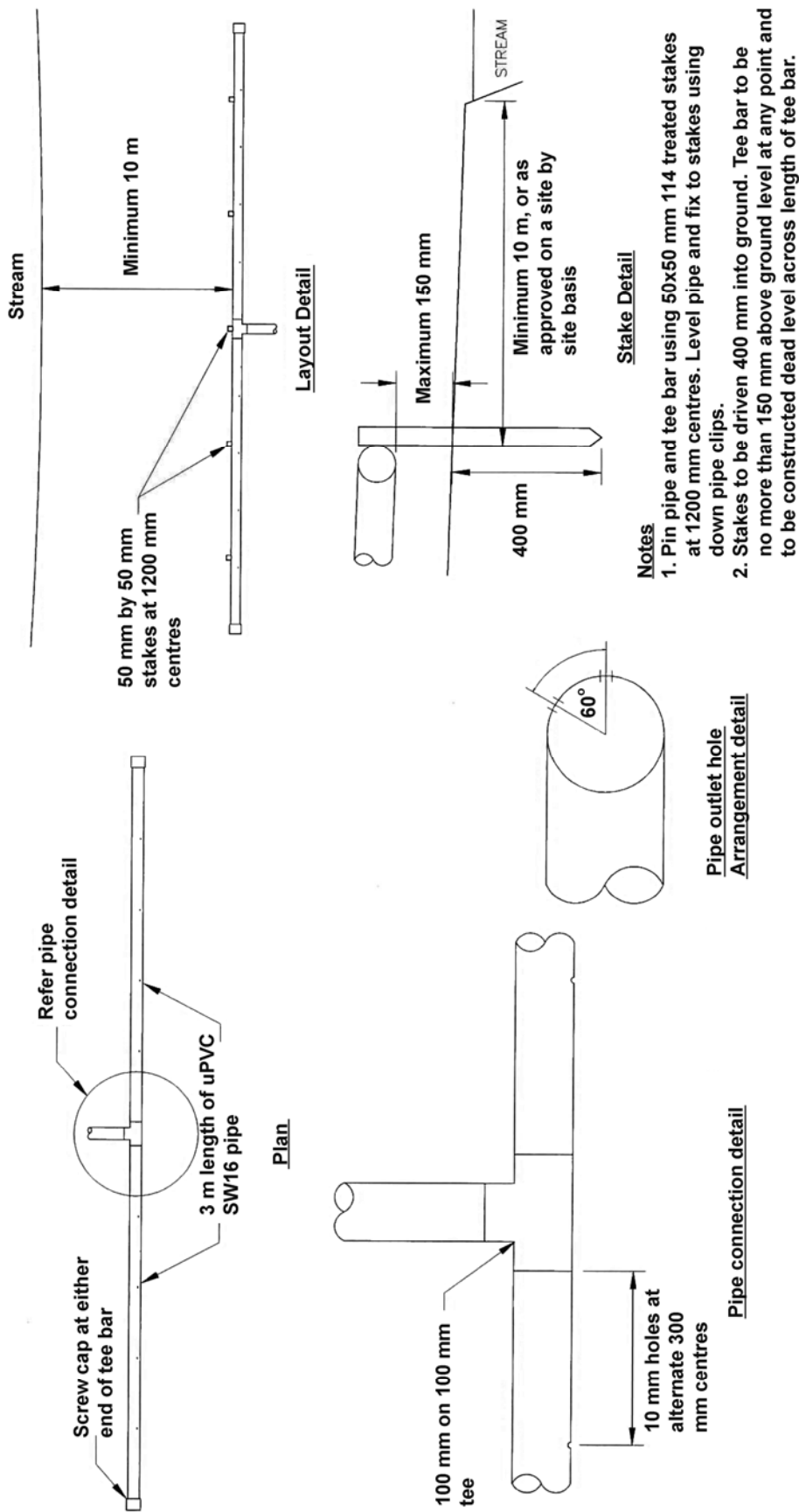
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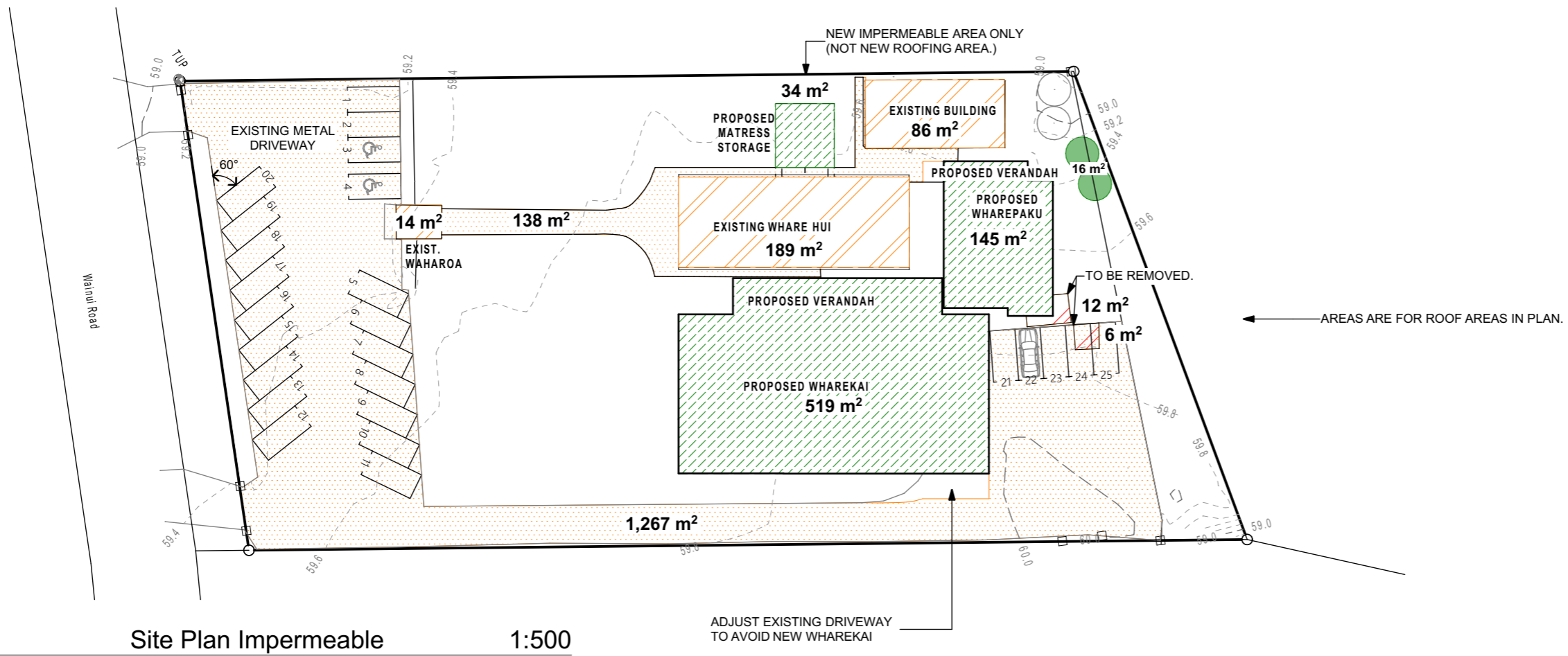
- Maximum orifice pipe length is 150mm. Allow 75mm clearance from end of pipe to outside tank wall
- Fix orifice pipe to tee junction using reducer fittings

Issue	Date	Revision	DWG			Note						Project		
-	03/12/24	For Approval	Combined Detention Storage Tank						6 Fairway Drive, Kerikeri, BOI. T: 09 407 8327 F: 09 407 8378 E: info@haighworkman.co.nz			17 Wainui Road, Ahipara		
			DWG No.	Scale	N.T.S. @A4				Client					
			Drawn	JCum	Check	JP	Approved	JP	Wainui Marae Trustees					
			Filename	Date	03/12/2024				Project No.	24 230	RC no.			

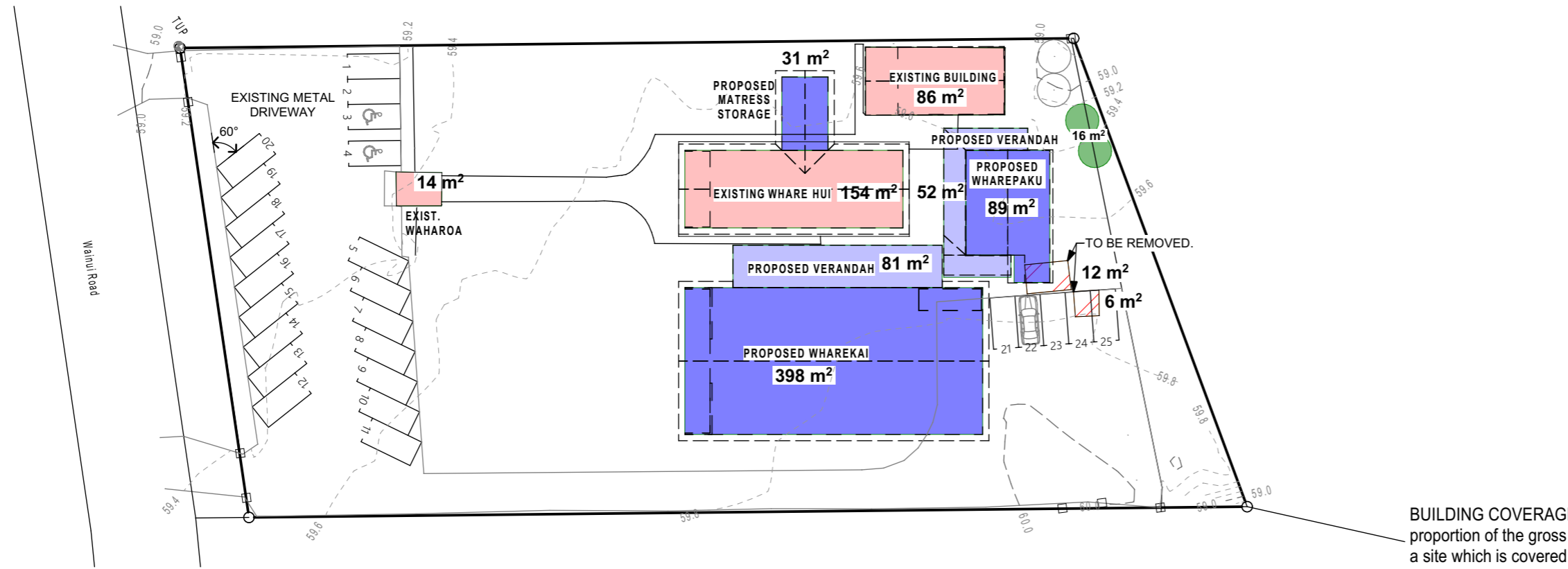
DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THEREOF REMAIN THE PROPERTY OF HAIGH WORKMAN. ©2006

Figure C22
Above Ground Flow Dispersal





1 Site Plan Impermeable 1:500



4 Site Building Coverage Plan 1:500

STORMWATER MANAGEMENT	
SITE AREA	4046m ²
TOTAL AREA PERMITTED	606.9m ² (15%)
PRE DEVELOPMENT	
ROOFS	-307m ² (14+189+86+12+6)
PATHS AND PARKING (NOT COVERED BY ROOF)	1486m ² (145+1340)
PRE DEVELOPMENT TOTAL	-1793m ² . 45%
POST DEVELOPMENT	
ROOFS	-987m ² (14+189+86+34+145+519)
PATHS AND PARKING (NOT COVERED BY ROOF)	1405m ² (138+1267)
2 TANKS	-15.74m ²
POST DEVELOPMENT TOTAL	-2408m ² . 60%
DOES NOT COMPLY	
AREAS SHOWN ABOVE ARE FOR COUNCIL/ RESOURCE CONSENT PURPOSES, NOT FOR PRICING	

SITE PLAN NOTES:	
SITE PLAN NOTES:	
SITE DESCRIPTION	
LEGAL DESCRIPTION:	AHIPARA 44A BLOCK
ADDRESS:	17 WAINUI ROAD AHIPARA KAITAIA 0481
SITE ENVIRONMENT	
CLIMATE ZONE	BRANZ - 1
EARTHQUAKE ZONE	BRANZ - ZONE 1
EXPOSURE ZONE	BRANZ - ZONE C
LEE ZONE	BRANZ - NO
WIND ZONE	TBC - ENG
WIND REGION	BRANZ - A
RAINFALL RANGE	BRANZ - 90mm/HR
SNOW ZONE	3604 - N0
DISTRICT PLAN COMPLIANCE	
PLANNING ZONE	RURAL PRODUCTION
BUILDING COVERAGE	
SITE AREA	4046m ²
MAX. BUILDING COVERAGE PERMITTED:	505.75m ² (12.5%)
PRE DEVELOPMENT COVERAGE	
(14+154+86+12+6)	
PRE DEVELOPMENT TOTAL	-272m ² . 6.8%
POST DEVELOPMENT	
(14+154+86+31+89+52+81+398)	
POST DEVELOPMENT TOTAL	-905m ² . 23%
DOES NOT COMPLY	
AREAS SHOWN ABOVE ARE FOR COUNCIL/ RESOURCE CONSENT PURPOSES, NOT FOR PRICING	
BUILDING HEIGHT	
MAX. HEIGHT PERMITTED	12m
PROPOSED HEIGHT	6.4m COMPLIES
HIRB	
	2m UP, 45° COMPLIES
SETBACK TO BOUNDARIES	
10m TO ALL BOUNDARIES	DOES NOT COMPLY
CAR PARK OCCUPANCY AS PER FNDC APPENDIX 3C:	
1 CAR PARK PER EVERY 4 PERSONS FACILITY DESIGNED FOR:	
NUMBER OF OCCUPANTS	100
NUMBER OF CAR PARKS REQUIRED	25
NUMBER OF ACCESSIBLE CAR PARKS REQUIRED	2
BUILDING OCCUPANCY	
BUILDING AND SYSTEMS DESIGNED TO 100 PEOPLE OCCUPANCY. SIGNAGE TO BE PROVIDED TO BUILDINGS (WHAREHUI AND WHAREKAI) LIMITING BUILDING TO MAXIMUM 100 PEOPLE OCCUPANCY.	

Appendix B - Tank Model Calculations

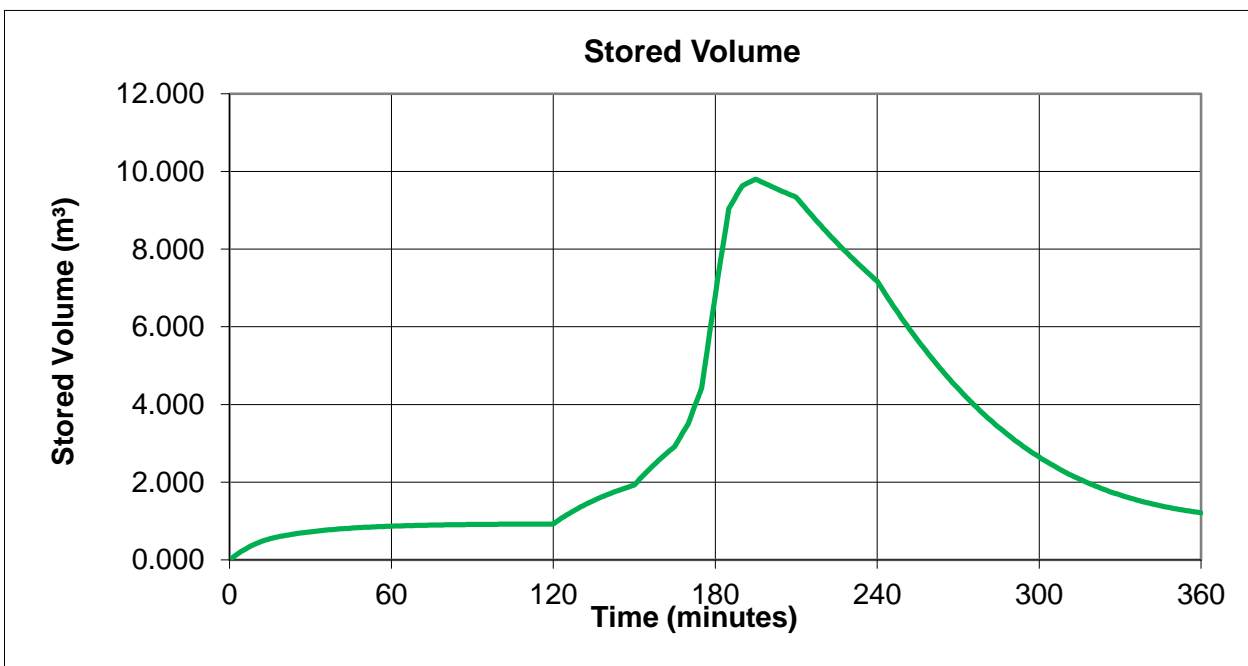
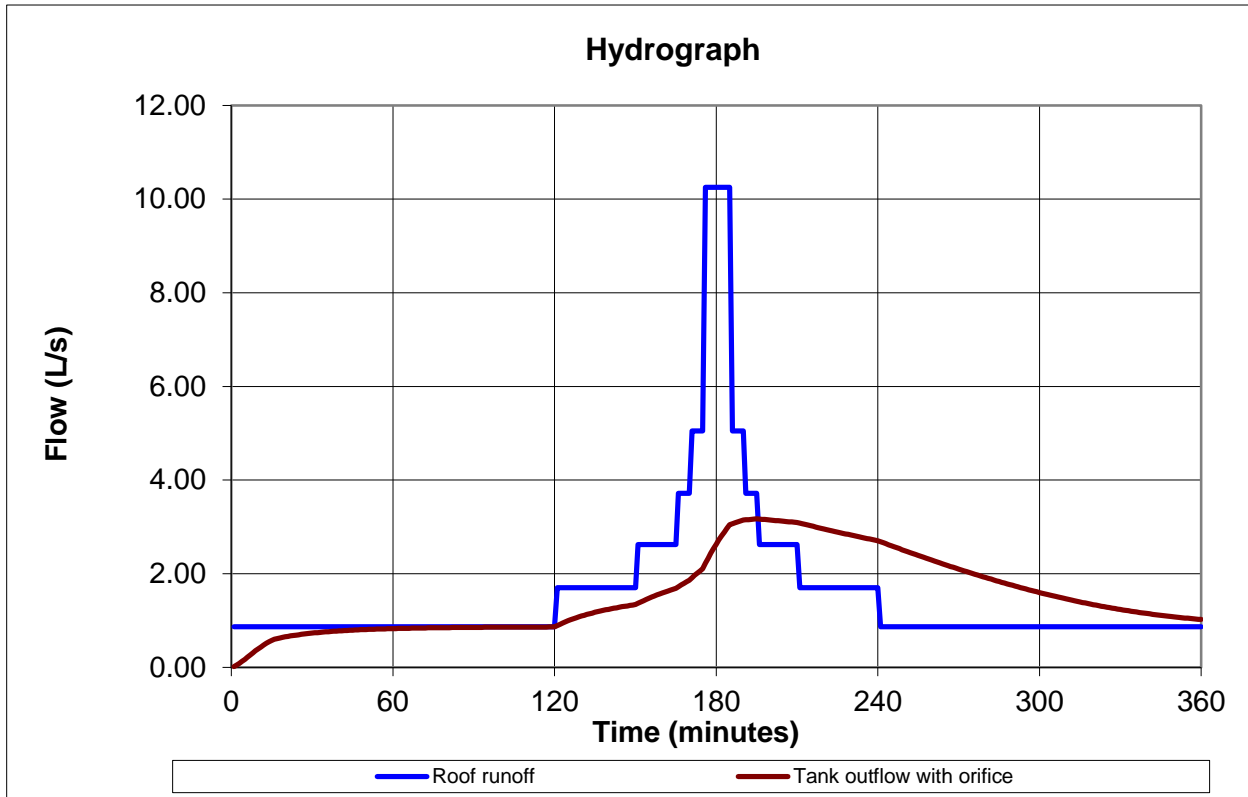
Stormwater Runoff Calculation
Haigh Workman Ltd

Project Number 24 230

Consideration: 2-Year Design Storm

Project: Proposed Development
 Location: 17 Wainui Road, Ahipara
 Client: Wainui Marae Trustees
 Designer: Jcum
 Date: 17/03/2025

Roof area	664 m ²		
Area of tank	10.75	Dia.	3.7 m
Diameter of lower orifice	40 mm	Tanks	1
Maximum attenuation provided	7.1 L/s	Required	7.0 L/s



Stormwater Runoff Calculation
Haigh Workman Ltd

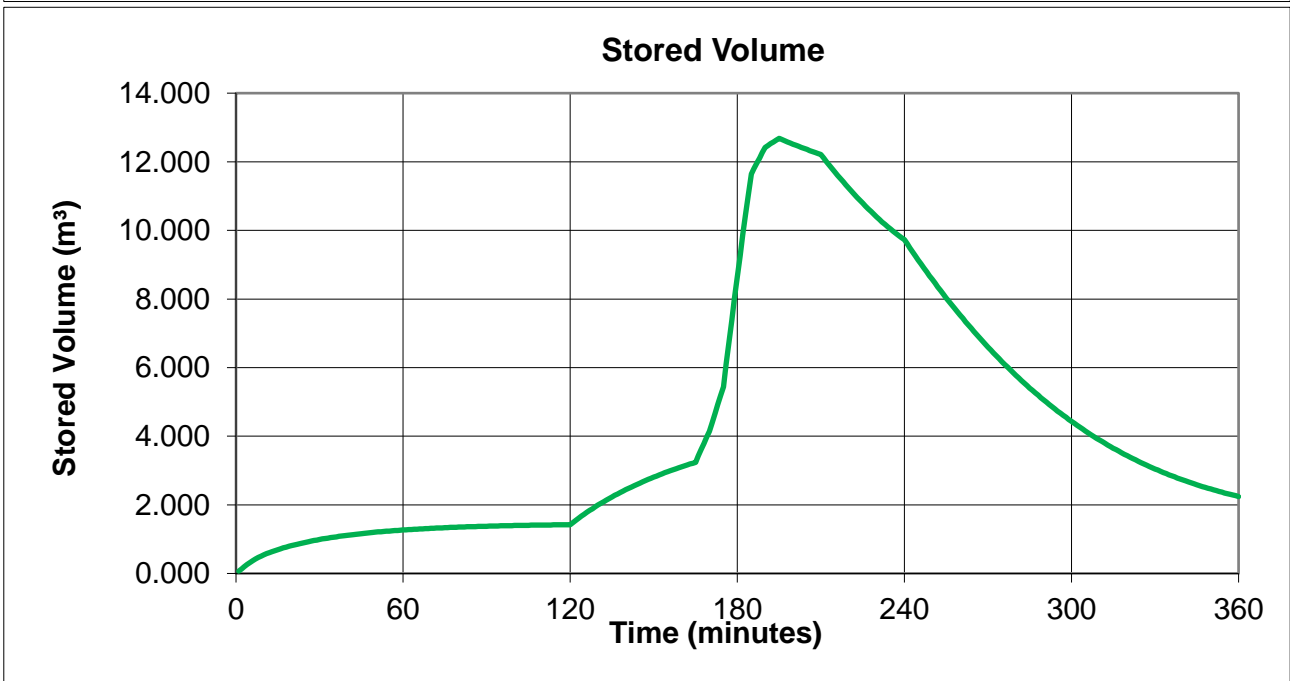
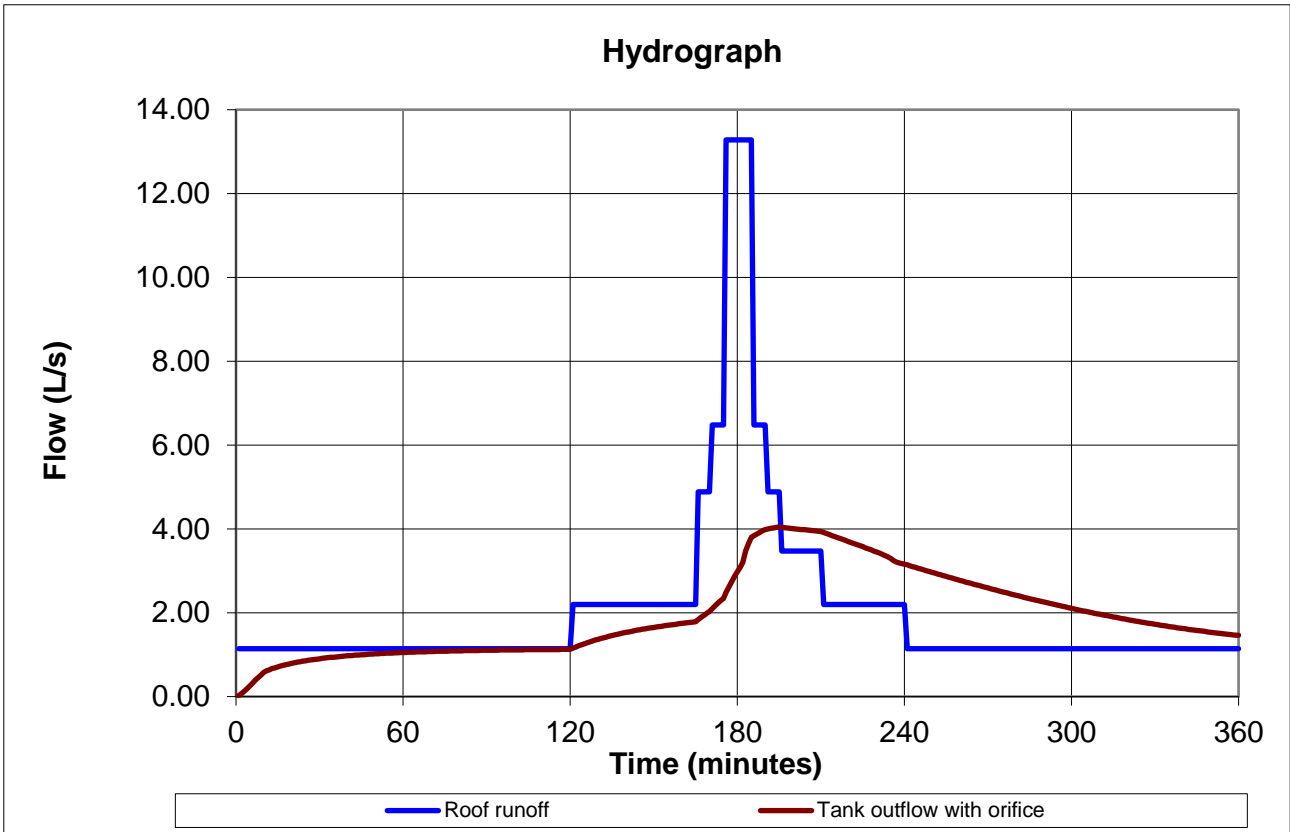
Project Number 24 230

Consideration: 5-Year Design Storm

Project: Proposed Development
 Location: 17 Wainui Road, Ahipara
 Client: Wainui Marae Trustees
 Designer: Jcum
 Date: 17/03/2025
 Peak Stored Volume 12.7 m³

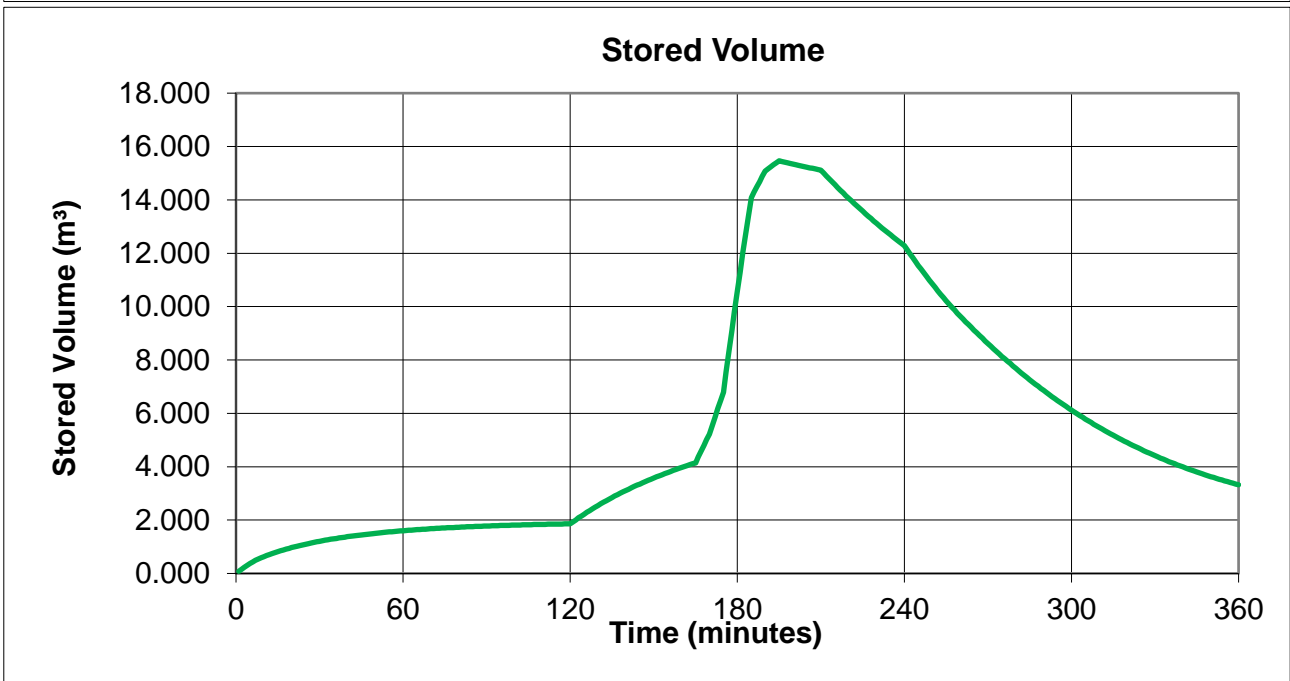
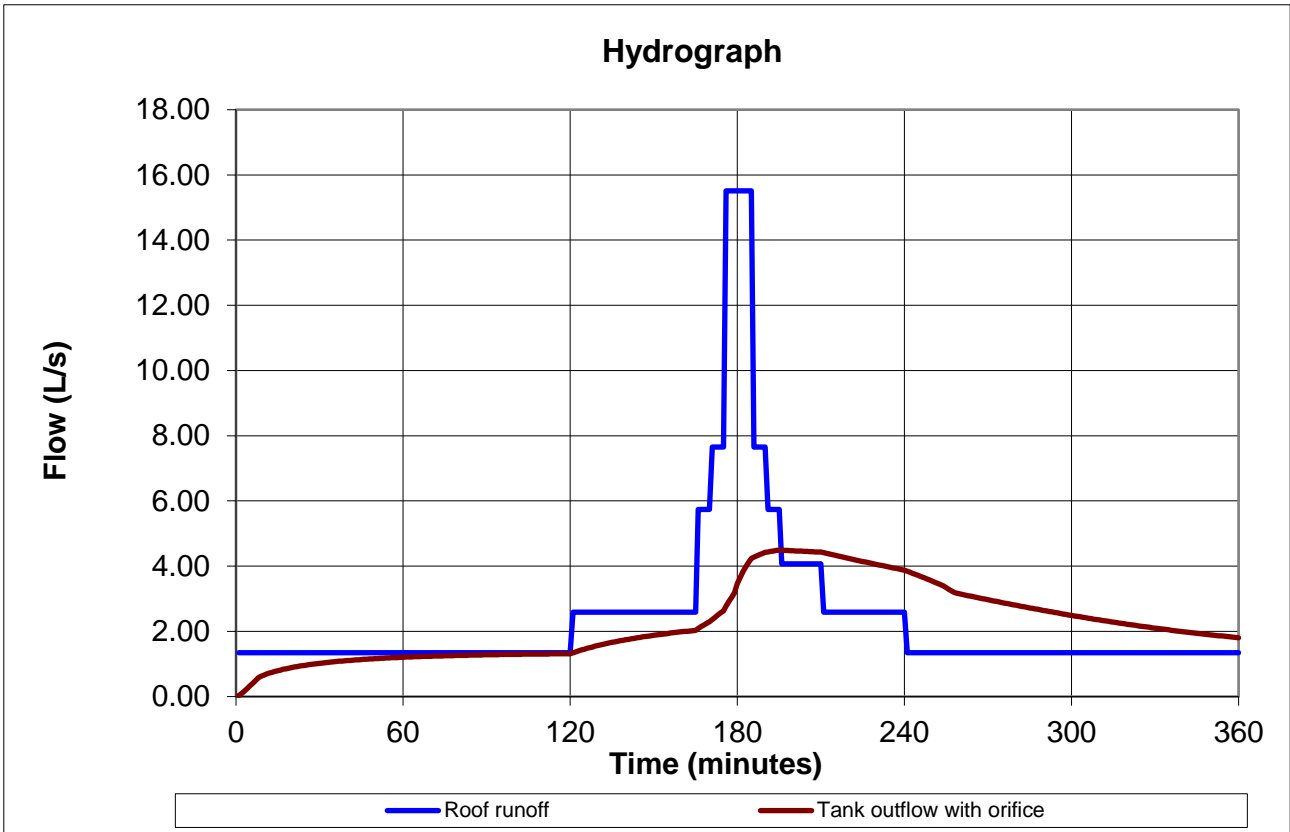
Roof area 664 m²
 Area of tank 10.7 m²
 Diameter of upper orifice 30 mm
 Maximum attenuation provided 9.2 L/s
 Min. Depth to Overflow 1.18 m (from lower orifice)

Dia. 3.7 m
 Tanks 1
 Required 9.1 L/s



Project: Proposed Development
 Location: 17 Wainui Road, Ahipara
 Client: Wainui Marae Trustees
 Designer: Jcum
 Date: 17/03/2025
 Peak Stored Volume 12.7 m³

Roof area 664 m²
 Area of tank 10.7 m² Dia. 3.7 m
 Diameter of upper orifice 20 mm Tanks 1
 Maximum attenuation provided 9.2 L/s Required 10.6 L/s
 Min. Depth to Overflow 1.18 m (from lower orifice)



Appendix C - Photos



1. Site from vehicle crossing



2. Field drain on neighbouring property



3. Non functioning culvert under vehicle crossing



4. Non functioning culvert under vehicle crossing



5. Roadside water table



6. 375mm culvert under Wainui Road



7. Flowpath to Waiora Stream.



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Wainui Marae
Address of proposed activity:	17 Wainui Road, Ahipara
Legal description:	Ahipara 44A Block
Description of the proposal (including why you need resource consent):	Proposal to construct a new wharekai, wharepaku, and mattress storage area. New carparking spaces will be provided as well as access layout as per the attached plans. Resource consent is required for breaches of the permitted rules for stormwater management, setback from boundaries, building coverage and car parking space standards within the Rural Production zone under the Operative District Plan. Written approval is also required for access to and from the site over Ahipara A21A as per the site plan attached.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none">1. Plan Set - including floor plan, site plan and elevations.2. _____3. _____4. _____5. _____6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Channel Joane Roberts

Address of affected property including legal description

Wainui Road, Ahipara / Ahipara 45 Block

Contact Phone Number/s and email address

Daytime: 0272140423


email: channelzmaracemail@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature



Date

22/10/24

Signature

Date

Signature

Date

Signature

Date

NEW BUILDINGS FOR WAINUI MARAE

	SHEET INDEX
A0001	Cover Page
A0002	Presentation
A1001	Overall Site Plan
A1002	Site Plan
A1501	Floor Plan (Overall)
A1502	Floor Plan (Wharekai/ Dining)
A1503	Floor Plan (Wharehuru)
A1504	Floor Plan (Wharepaku/ Ablutions)
A2001	Wharekai Elevations
A2002	Wharekai Elevations
A2003	Wharehuru Elevations
A2004	Wharehuru Elevations
A2005	Wharepaku Elevations
A2006	Wharepaku Elevations



AHIPARA 44A BLOCK
17 WAINUI ROAD AHIPARA
KAITAIA 0481



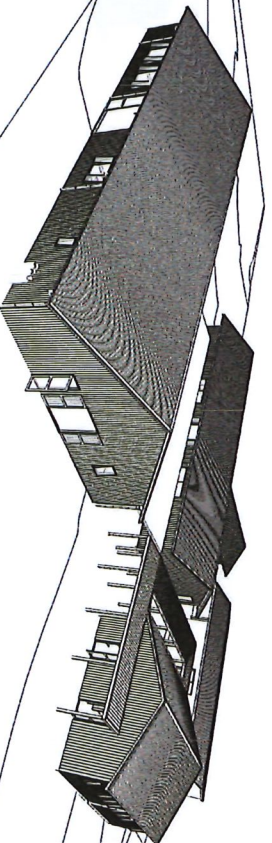
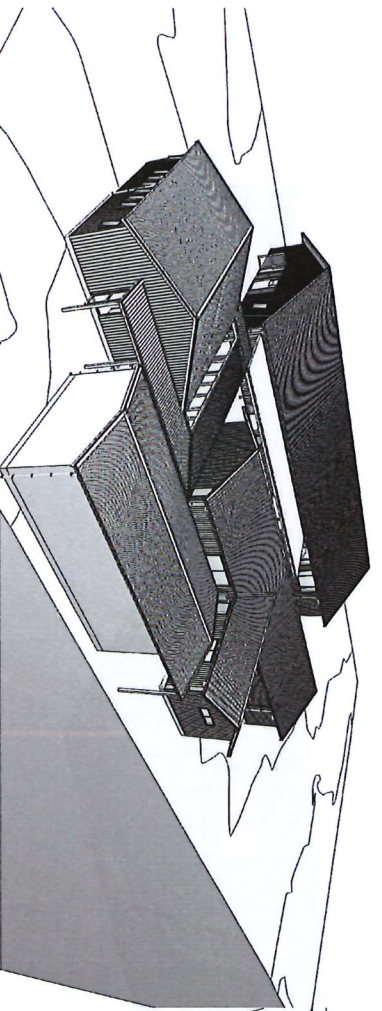
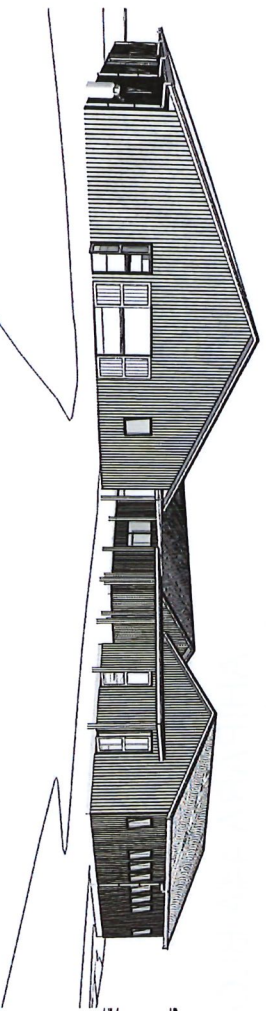
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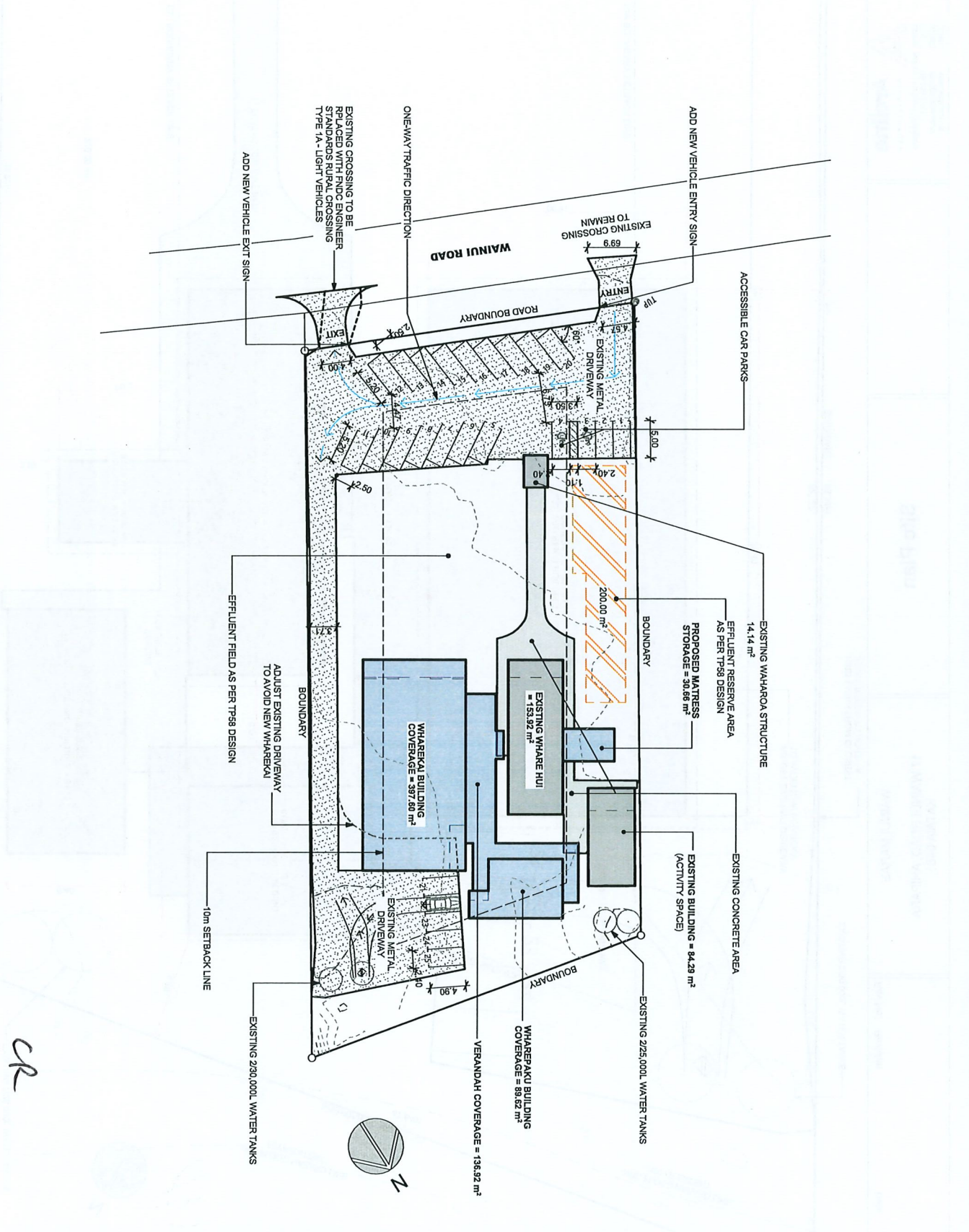
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 <p>Arcline Architecture Office: Kaitiaki / Kaitiaki Whaitangi P.O. Box 100 Wellington 6140 (Web): www.arcline.co.nz</p>		<p>Presentation</p>	<p>WAINUI MARAE 17 WAINUI ROAD, AHIPARA KAITIAKI 0481</p>	<p>Rev No. Revision</p>	<p>Date</p>	<p>Scale @ A3: 1:161,2903 Drawn By: J.A. Issued: 27/09/2024 3:39 pm <small>WAINUI MARAE 02 09 2024 J.A.</small></p>	<p>Sheet No: A0002 DEVELOPED DESIGN <small>1:2024</small></p>
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SITE PLAN NOTES:

SITE DESCRIPTION:
 LEGAL DESCRIPTION:
 ADDRESS:

SITE ENVIRONMENT:
 CLIMATE ZONE
 EARTHQUAKE ZONE
 LEE ZONE
 WIND ZONE
 WIND REGION
 RAINFALL RANGE
 SNOW ZONE

DISTRICT PLAN COMPLIANCE:
 PLANNING ZONE
 BUILDING COVERAGE
 SITE AREA
 MAX. BUILDING COVERAGE PERMITTED:
 EXISTING COVERAGE
 PROPOSED COVERAGE
 TOTAL BUILDING COVERAGE

BUILDING HEIGHT:
 MAX. HEIGHT PERMITTED
 PROPOSED HEIGHT
 HIRE

SETBACK TO BOUNDARIES:
 10m TO ALL BOUNDARIES
 STORMWATER MANAGEMENT
 SITE AREA
 TOTAL AREA PERMITTED
 ROOF AREAS
 PATHS
 DRIVES
 TOTAL PROPOSED

AREAS SHOWN ABOVE ARE FOR COUNCIL/ RESOURCE CONSENT PURPOSES, NOT FOR PRICING.
CAR PARK OCCUPANCY AS PER PNDC APPENDIX 3C:
 1 CAR PARK PER EVERY 4 PERSONS FACILITY DESIGNED FOR:

NUMBER OF OCCUPANTS:
 NUMBER OF CAR PARKS REQUIRED

NUMBER OF ACCESSIBLE CAR PARKS REQUIRED:
 2

ACCESSIBLE CAR PARKS SHALL PROVIDE A STABLE, FIRM, SLIP RESISTANT FLAT SURFACE WITH A SLOPE NOT EXCEEDING 1:50. INSTALL SIGNAGE TO IDENTIFY CAR PARK SPACES & GROUND MARKINGS TO COMPLY WITH NZS 4121.

BUILDING OCCUPANCY:
 BUILDING AND SYSTEMS DESIGNED TO 100 PEOPLE OCCUPANCY. SIGNAGE TO BE PROVIDED TO BUILDINGS (WHAREHUI AND WAHAREKA) LIMITING BUILDING TO MAXIMUM 100 PEOPLE OCCUPANCY.

CLIENT CONCEPT APPROVAL

CONCEPT PLAN APPROVED BY CLIENT TO PROCEED TO DETAILED DESIGN.

DATE: _____

SIGNED: _____

NOTE: CHANGES TO PLANS ONCE CONCEPT APPROVAL SIGNED ARE LIABLE TO INCUR ADDITIONAL CHARGES.

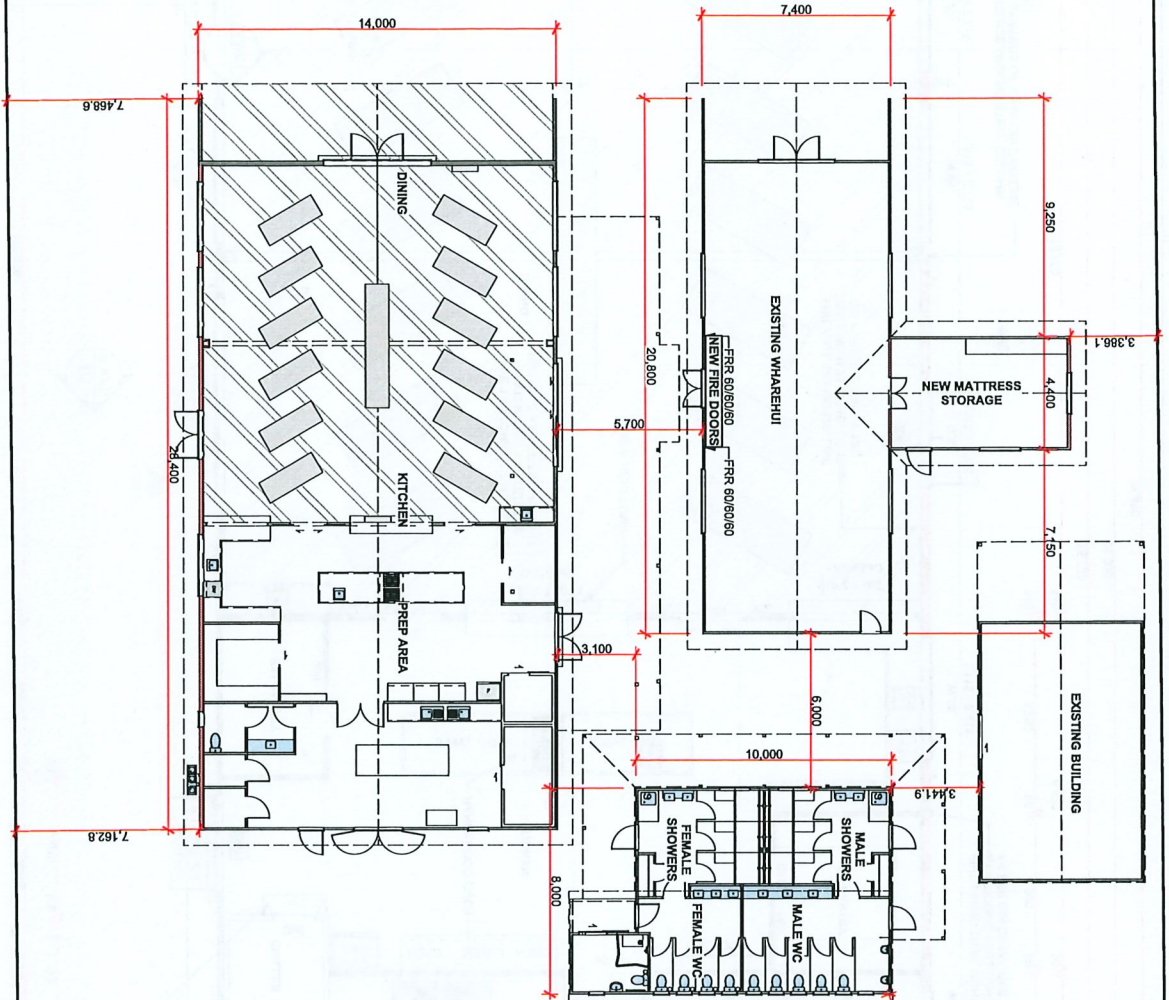
Floor Plan (Overall)

WAINUI MARAE
17 WAINUI ROAD, AHIPARA
KATAIA 0481

Rev No. Revision

Date

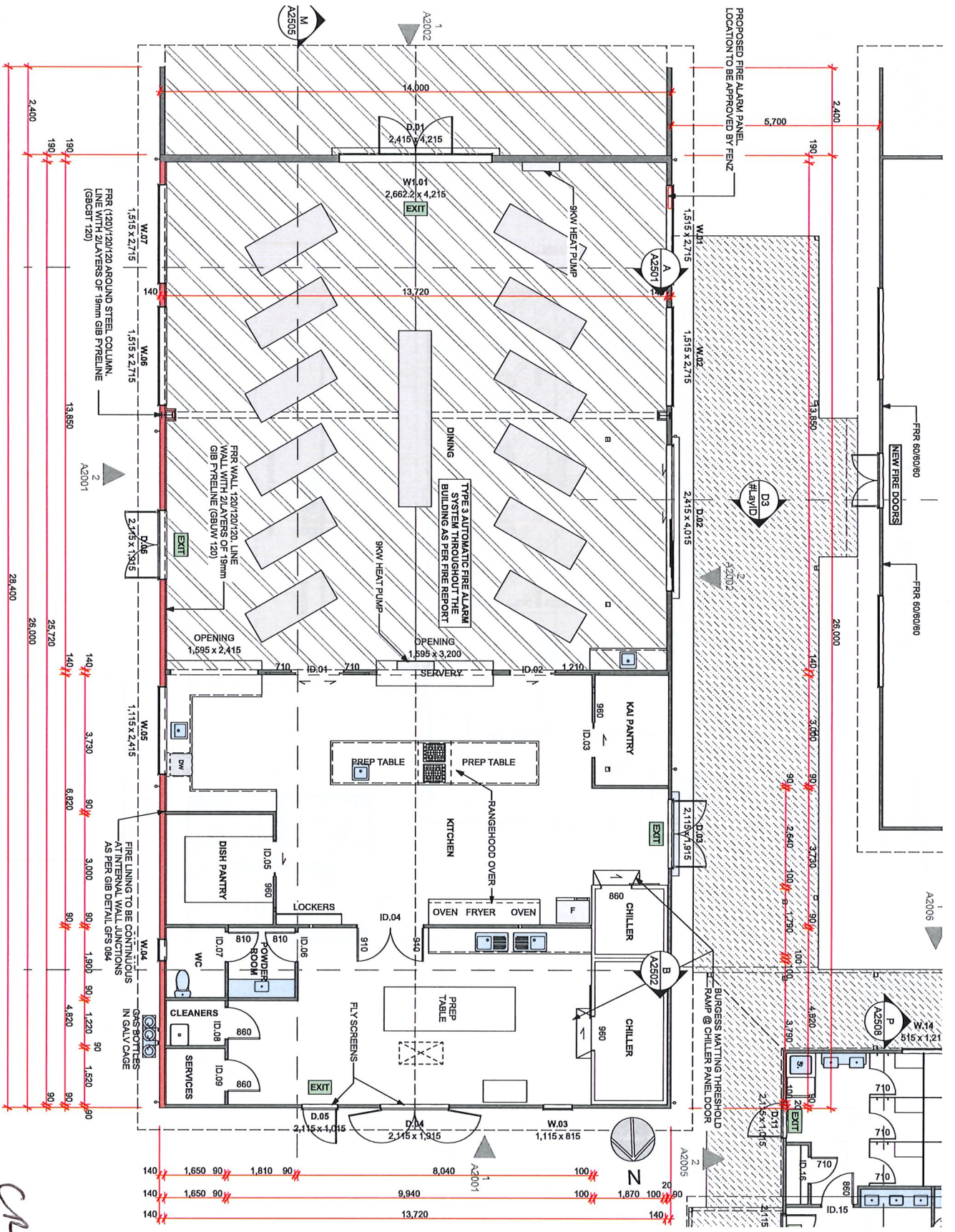
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FLOOR AREAS	Area
WAREHOUSE/DINING FLOOR AREA:	384.00m ²
WAREHOUSE/ABLUTION AREA:	86.21m ²
EXISTING WAREHOUSE	136.59m ²
PROPOSED MATTRESS STORAGE	30.66m ²
TOTAL FLOOR AREA:	617.46m²

INTERIOR FINISHES	Area
WALL LININGS	13mm G18 TOUGHLINE TO DINING, 6mm HARDOGLAZE OVER 12mm H3 PLYWOOD TO KITCHEN, PREP AREA, WCs & WET AREAS
FLOOR	150mm HIGH 6mm HARDOFLEX FOR COVING EPOXY FLOOR INTERNAL DOORS
INTERNAL DOORS	1,980mm TYPICAL INTERNAL DOOR HEIGHT.
TRIMS	135x18 F1 PINE SFLY SKIRTING, 65x18 F1 PINE ARCHITRAVE, 40x18 PINE SCOTIA. PRE-PAINT WHEN INSTALL AGAINST HARDOGLAZE
INSULATION	COMMUNAL NON-RESIDENTIAL ASSEMBLY SERVICE: R3.6 BATT'S ROOF INSULATION R2.4 BATT'S WALL INSULATION ACOUSTIC INSULATION TO ALL WC BATHROOM WALLS ROLLER GARAGE DOOR NOT TO BE INSULATED.
ACCESS	SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESS ROUTES AS BELOW OR BY OTHER MEANS IN LOCAL SUBSERVING TABLE 2 / SECTION 2 NZBC D1/AS1: CONCRETE DRIP - SMOOTH TROWEL FINISH CONCRETE WET - BROOMED OR WOOD FLOAT
WET AREAS	ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURER'S PRODUCT DETAILS. PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED, JOINTS BETWEEN FIXTURES & WALL LININGS; WHERE BATHS, BASINS, TUBS OR SINKS ABOUT IMPERVIOUS LININGS THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.
ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS	
ALL ACCESS ROUTES, BOTH EXTERNAL AND INTERNAL, PROVIDE ANTI-SLIP SURFACES COMPLYING WITH NZBC CLAUSE D1/AS1 (2.1 SLIP RESISTANCE)	
WATER HEATING	FLUED GAS CALFPOUT RINNALI IN CEILING SPACES AS SHOWN ON THE ELECTRICAL PLAN. 3x45KG BOTTLES AS SHOWN ON FLOOR PLAN, (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)
FINE ALARM SYSTEM TO BE INSTALLED THROUGHOUT BUILDINGS AS PER FIRE REPORT.	

KEY:	Description
	FLAT SOFFIT
	RANKING CEILING
	CEILING HATCH
	EXTERIOR POWER METER BOX
	POWER DISTRIBUTION BOARD
	MECHANICAL VENT DUCTED TO EXTERIOR
	EXTERIOR WATERTAP



AREA	DESCRIPTION	AREA (m²)
FLOOR AREAS	WHAREKAI DINING FLOOR AREA	394.00m²
	WHAREPAKU ABUTTION AREA:	86.21m²
	EXISTING WHAREHUI	136.59m²
	PROPOSED WAITRESS STORAGE	30.08m²
	TOTAL FLOOR AREA:	671.48m²

INTERIOR FINISHES	DESCRIPTION
WALL LININGS	GIB PLASTER TO DINING
	6mm ISOLATED GIB ON 100x49 PLYWOOD TO KITCHEN, PREP AREA, W.C. & WAIT AREAS
	150mm High term Hardiflex FOR COVING EPOXY FLOOR
INTERNAL DOORS	1.980mm TYPICAL INTERNAL DOOR HEIGHT:
	TRIMS F1 PINE SPLAY SKirting.
	60x60 F1 PINE SCOTCH PRESERVANT WHEN INSTALL AGAINST HARDIFLEX
INSULATION	COMMUNAL NON-RESIDENTIAL - ASSEMBLY SERVICE: R2.4 BATT'S ROOF INSULATION
	R2.4 BATT'S WALL INSULATION
	ACOUSITC INSULATION TO ALL WC BATHROOM WALLS
	ROLLER GARAGE DOOR NOT TO BE INSULATED.
ACCESS	SUP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESS ROUTES AS BELOW OR BY OTHER MEANS IN ACCORDANCE WITH TABLE 2 (SECTION 2 NZBC D1/AS1):
	LEVEL SURFACE FINISH
	CONCRETE DRY - SMOOTH TROWEL FINISH
	CONCRETE WET - BROOMED OR WOOD FLOAT
WET AREAS	ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURERS PRODUCT DETAILS. SHEDS AND IMPERVIOUS AND EASILY CLEANABLE SURFACES TO BE USED FOR ALL WET AREAS. JOINTS BETWEEN FIXTURES & WALL LININGS, WHERE BATHS, BASINS, TUBS OR SINKS ADJUT IMPERVIOUS LININGS THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.
SAFETY GLASS	ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS
ALL ACCESS ROUTES	BOTH EXTERNAL AND INTERNAL. ROOF AND SUP SURFACES COMPLYING WITH NZBC CLAUSE D1/AS1 (2.1 SLIP RESIS FANCS)
WATER HEATING	FUELED GAS CALLOUT RINKAL IN CEILING SPACES AS SHOWN ON THE GAS FITTING PLAN. (WITH 3WAYKING BOTTLES SHOWN ON THE GAS FITTING PLAN, WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CASE)
FIRE ALARM SYSTEM	TO BE INSTALLED THROUGHOUT BUILDINGS AS PER FIRE REPORT.

KEY:	DESCRIPTION
[Symbol]	FLAT SOFFIT
[Symbol]	RANKING CEILING
[Symbol]	CEILING HATCH
[Symbol]	EXTERIOR POWER METER BOX
[Symbol]	POWER DISTRIBUTION BOARD
[Symbol]	MECHANICAL VENT DUCTED TO EXTERIOR
[Symbol]	EXTERIOR WATER TAP

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Floor Plan (Wharekai/ Dining)

WAINUI MARAE
 17 WAINUI ROAD, AHIPARA
 KAITIAKI 0481

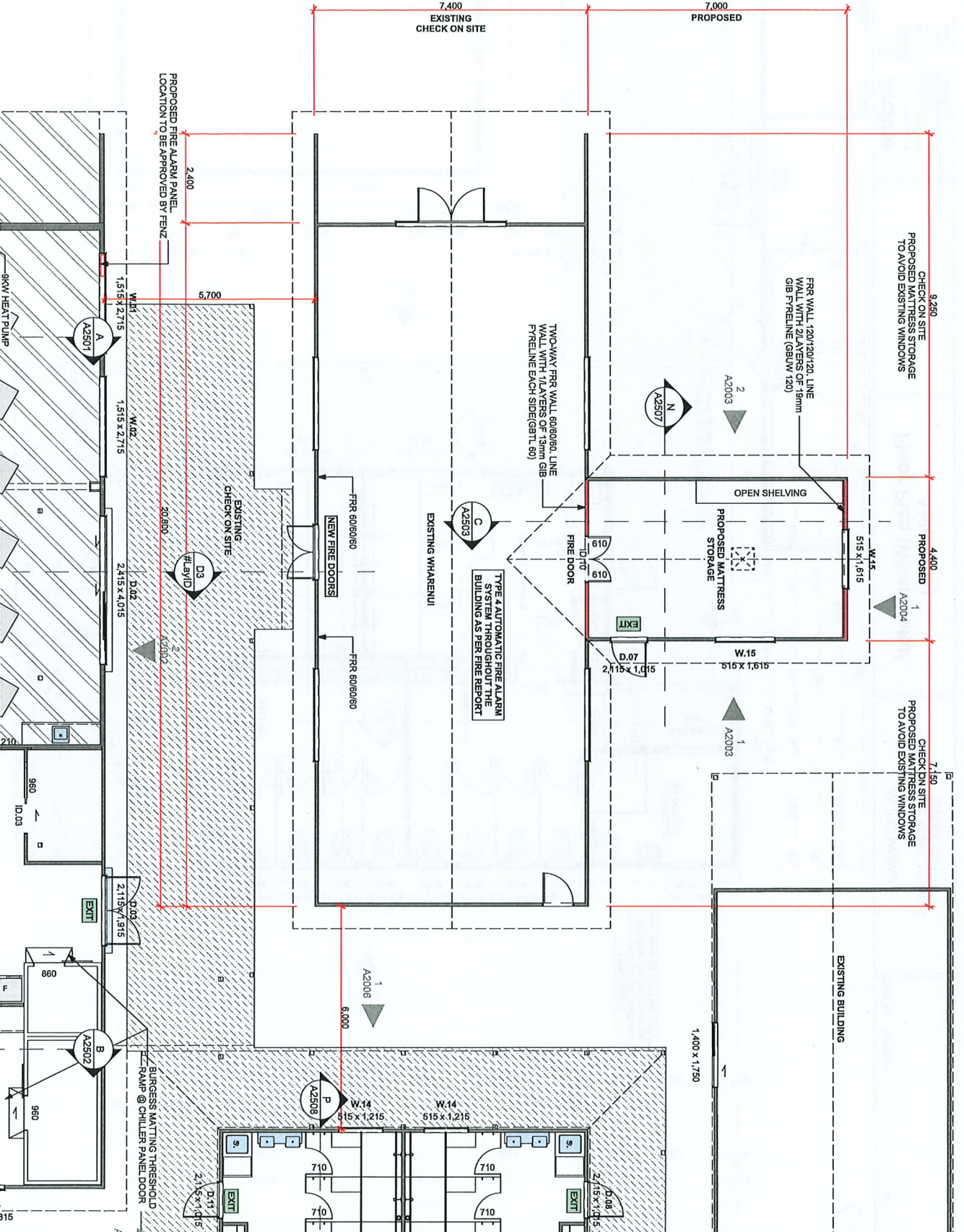
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Drawn By JA
 Issued: 27/09/2024
 3:39 pm

Sheet No: **A1502**
 DEVELOPED DESIGN



FLOOR AREAS	
WHAREKAU/DINING FLOOR AREA:	384.00m ²
WHAREKAU/ABUATION AREA:	86.21m ²
EXISTING WHAREHUI	136.59m ²
PROPOSED MATTRESS STORAGE	30.69m ²
TOTAL FLOOR AREA:	617.46m ²
INTERIOR FINISHES	
WALL LININGS	13mm GIB TOUGHLINE TO DINING, 6mm HARDIGLAZE OVER 12mm H3 PL WOOD TO KITCHEN, PREP AREA, WCs & WET AREAS
FLOOR	150mm HIGH 6mm HARDIFLEX FOR COVING EPOXY FLOOR
INTERNAL DOORS	1,900mm TYPICAL INTERNAL DOOR HEIGHT.
TRIMS	
135x18 FJ PINE SPRAY SKIRTING.	
65x18 FJ PINE ARCHITRAVE.	
40x18 FINE SCOTIA. PRE-PAINT WHEN INSTALL AGAINST HARDIGLAZE	
INSULATION	
COMMUNAL, NON-RESIDENTIAL ASSEMBLY SERVICE:	
R3 & BATT'S ROOF INSULATION	
R2.4 BATT'S WALL INSULATION	
ACOUSTIC INSULATION TO ALL WC/BATHROOM WALLS	
ROLLER GARAGE DOOR NOT TO BE INSULATED.	
ACCESS	
SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESS ROUTES AS BELOW OR BY OTHER MEANS IN ACCORDANCE WITH TABLE 2/ SECTION 2 NZBC D1/AS1:	
LEVEL SURFACE FINISH - TROWEL FINISH.	
CONCRETE WET - BROOMED OR WOOD FLOAT	
WET AREAS	
ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURERS PRODUCT DETAILS. PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED, JOINTS BETWEEN FIXTURES & WALL LININGS, WHERE BATHS, BASINS, TUBS OR SINKS ABUTT IMPERVIOUS LININGS THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.	
ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS	
ALL ACCESS ROUTES, BOTH EXTERNAL AND INTERNAL, PROVIDE ANTI-SLIP SURFACES COMPLYING WITH NZBC CLAUSE D1/AS1 (2.1 SLIP RESISTANCE)	
WATER HEATING	
FILLED GAS CALIFORNIA RUMKI IN CEILING SPACES AS SHOWN ON THE ELECTRICAL PLAN.	
3X46KG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)	
FIRE ALARM SYSTEM TO BE INSTALLED THROUGHOUT BUILDINGS AS PER FIRE REPORT.	
KEY:	
	FLAT SOFFIT
	PARKING CEILING
	CEILING HATCH
	EXTERIOR POWER METER BOX
	POWER DISTRIBUTION BOARD
	MECHANICAL VENT DUCTED TO EXTERIOR
	EXTERIOR WATER TAP

FLOOR AREAS	Area
WHAREPAKU DINING FLOOR AREA	364.00m ²
WHAREPAKU ABLUTION AREA	86.21m ²
EXISTING WHAREHUI	136.59m ²
EXISTING STORAGE	30.86m ²
TOTAL FLOOR AREA	617.66m ²

15mm GIB TOLUHLINE TO DINING
6mm HARDISLAZE OVER 12mm H3 PLYWOOD TO KITCHEN, PREP AREA, WCs & WET AREAS
150mm HIGH 6mm HARDIFLEX FOR COVING EPOXY FLOOR INTERNAL DOORS
1.980m TYPICAL INTERNAL DOOR HEIGHT.

TRIMS
150x6 F.I. PINE SPLAY SKirting.
65x18 F.I. PINE ARCHITRAVE
40x18 PINE SCOTIA. PRE-PAINT WHEN INSTALL AGAINST HARDISLAZE

INSULATION
COMMUNAL NON-RESIDENTIAL: ASSEMBLY SERVICE:
R2.5 BATTS ROOF INSULATION
R2.4 BATTS WALL INSULATION
ACOUSTIC INSULATION TO ALL WC/BATHROOM WALLS
ROLLER GARAGE DOOR NOT TO BE INSULATED.

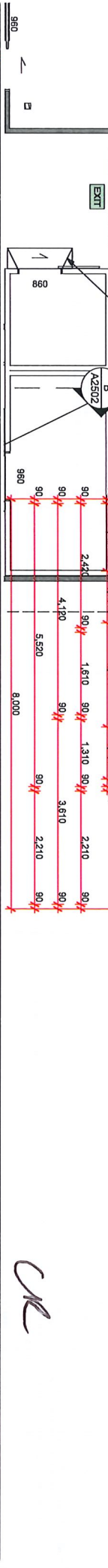
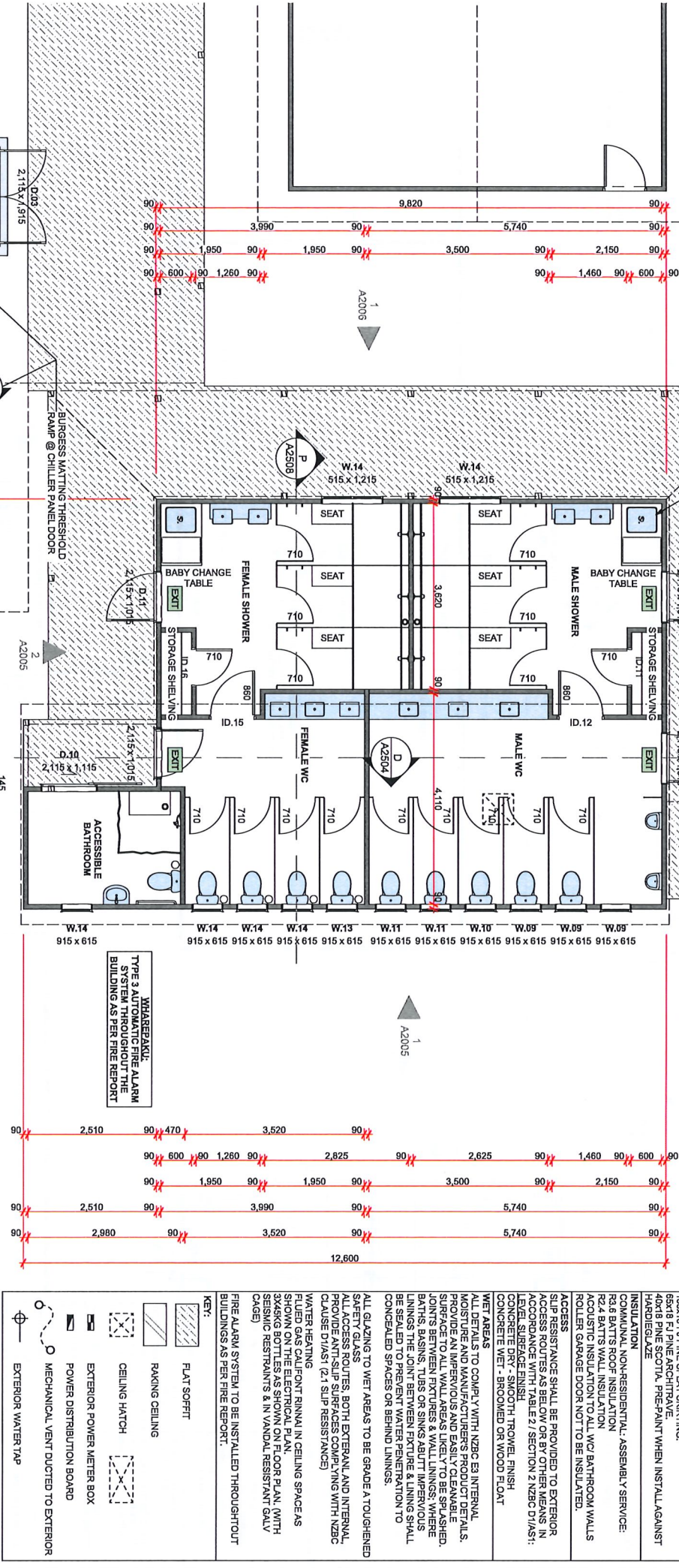
ACCESS
SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESS ROUTES AS BELOW OR BY OTHER MEANS IN ACCORDANCE WITH TABLE 2 / SECTION 2 NZBC D1/AS1: LEVEL SURFACE FINISH
CONCRETE DECK - SMOOTH TROWEL FINISH
CONCRETE WET - BROUDED OR WOOD FLOAT

WET AREAS
ALL DETAILS TO COMPLY WITH NZBC E3 INTERNAL. INSIDE AND OUTSIDE DRAINAGE PRODUCTS DETAILS, PROVIDED IN THE DETAILS. ALL DETAILS TO BE SPLASHED. JOINTS BETWEEN FIXTURES & WALL LININGS, WHERE BATHS, BASINS, TUBS OR SINKS ADJUT IMPERVIOUS LININGS THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.

ALL GLAZING TO WET AREAS TO BE GRADE 4 TOUGHENED SAFETY GLASS. GLAZES, BOTH EXTERNAL AND INTERNAL, PROVIDE ANTI-SLIP SURFACES COMPLYING WITH NZBC CLAUSE D1/AS1 (2.1 SLIP RESISTANCE)

WATER HEATING
FI, SHOW ON THE ELECTRICAL PLAN.
3X4KG BOTTLES AS SHOWN ON FLOOR PLAN, WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV (CAGE)

FIRE ALARM SYSTEM TO BE INSTALLED THROUGHOUT BUILDINGS AS PER FIRE REPORT.



Arcline Architecture
 Office: Kaitiaki | Kaitiaki | Whangarei
 (Email): info@arcline.co.nz
 (Web): www.arcline.co.nz

Floor Plan (Wharepaku/ Ablutions)

WAINUI MARAE
 17 WAINUI ROAD, AHIPARA
 KAITIAKI 0481

Rev No. Revision

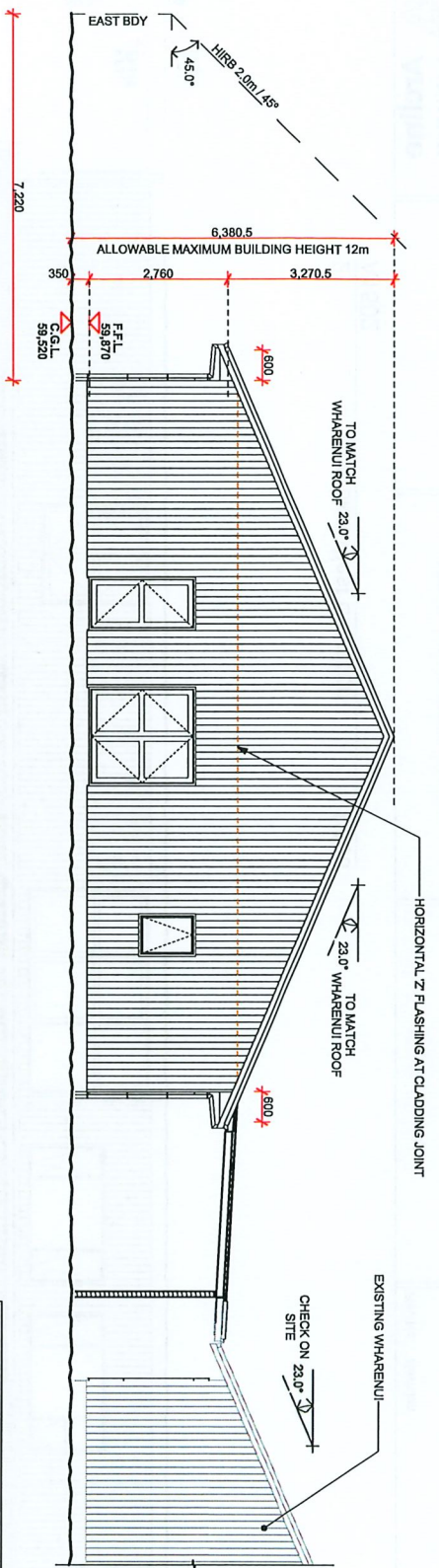
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 Issued: 27/09/2024 3:39 pm

A1504

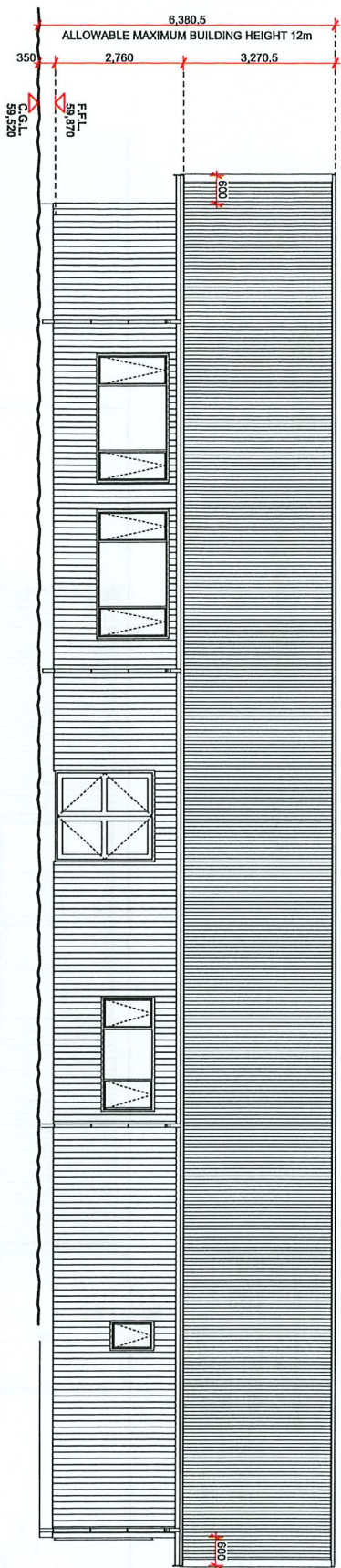
DEVELOPED DESIGN

Sheet No:



1
A1502 Wharekai North Elevation 1:100

BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall Intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		3



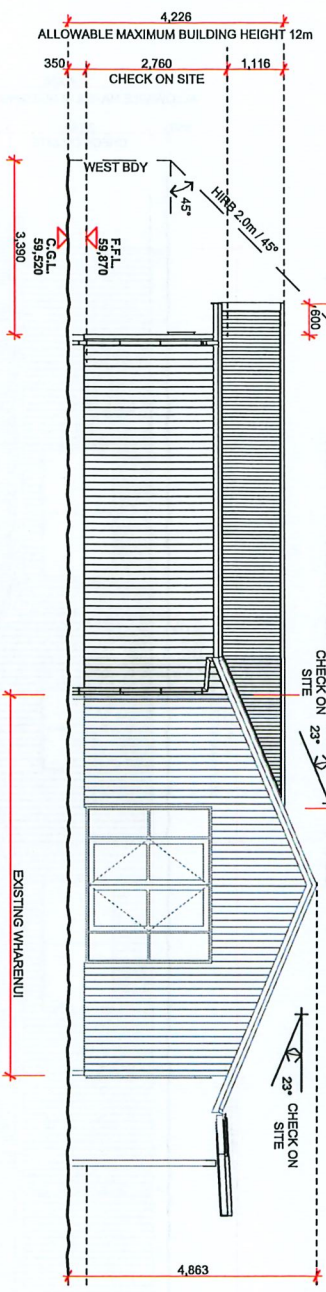
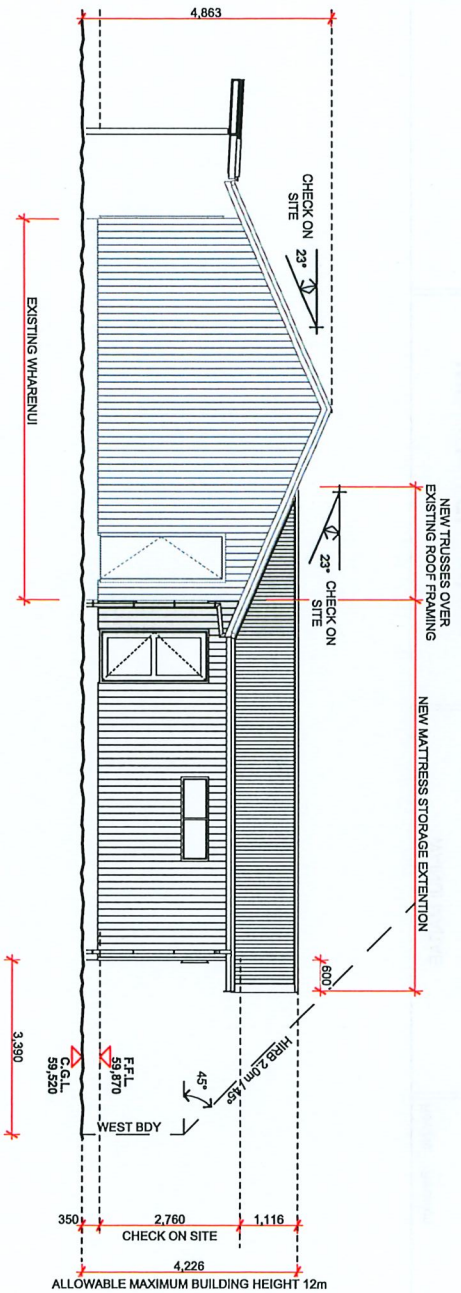
2
A1502 Wharekai East Elevation 1:100

ELEVATION NOTES

- ROOFS
- ENDURA
- 0.40G CORRUGATE TO MATCH EXISTING WHARENU ROOF
- SCREW FIXED WITH EDGE FLASHINGS TO MATCH,
- ENDURA
- 0.40G TRIMLINE TO VERANDAH ROOFS
- SCREW FIXED WITH EDGE FLASHINGS TO MATCH,
- BAYONET BAYONRAP SS ROOF UNDERLAY, LAY HORIZONTALLY OVER GALV MESH TO 3RD ROOF ONLY,
- WHAREKAI & NEW MATRESS EAVE-500mm
- BARGE-600mm
- WHAREPAKU EAVE-500mm
- BARGE-600mm
- UPVC SPOUTING TO MATCH EXISTING (MARLEY CLASSIC OR SIM)
- 80Ø UPVC DOWNPIPES
- INTERNAL BRACKETS AT 400mmCRS WITH SS SCREWS
- INSTALL TO MANUFACTURERS' RECOMMENDATIONS
- LEAF SLIDERS
- 200 X 40 H3.1 PRE-PRIMED FASCIA BOARD
- JH 4.5mm HARDFLEX SOFFIT LINING, INSTALL TO MANUFACTURERS' RECOMMENDATIONS.(PVC JOINTERS).
- WALLS
- JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS ON 20mm CAVITY TO WHAREPAKU ONLY, BAYONET BAYONRAP WALL UNDERLAY.
- FLOORS
- RAFT SLABS PER ENGINEERS DESIGN AND DETAILS.
- GLAZING JOINERY
- DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORUM COMMERCIAL GRADE ALUMINIUM JOINERY,
- ROLLER GARAGE DOOR NOT TO BE INSULATED.
- PLUMBING
- FLUED GAS CALPONT RINNALI IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN,
- 3X45KG BOTTLES AS SHOWN ON FLOOR PLAN, (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

 <p>Arcline Architecture</p> <p>Office: Kaitiaki Kaitiaki Whangarei (Ph): 06 408 2233 (Email): info@arcline.co.nz (Web): www.arcline.co.nz</p>	<p>Wharekai Elevations</p>	<p>WANUI MARAE 17 WANUI ROAD, AHIKARA KAITIAKI 0481</p>
<p>Rev No. Revision Date</p>		
<p>Scale @ A3: 1:100</p> <p>Drawn By: JA Issued: 27/09/2024 3:39 pm</p>	<p>Sheet No.:</p> <p>A2001</p> <p>DEVELOPED DESIGN</p>	

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BUILDING ENVELOPE RISK MATRIX		
Typical Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very/high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low	0
Total Risk Score:		4

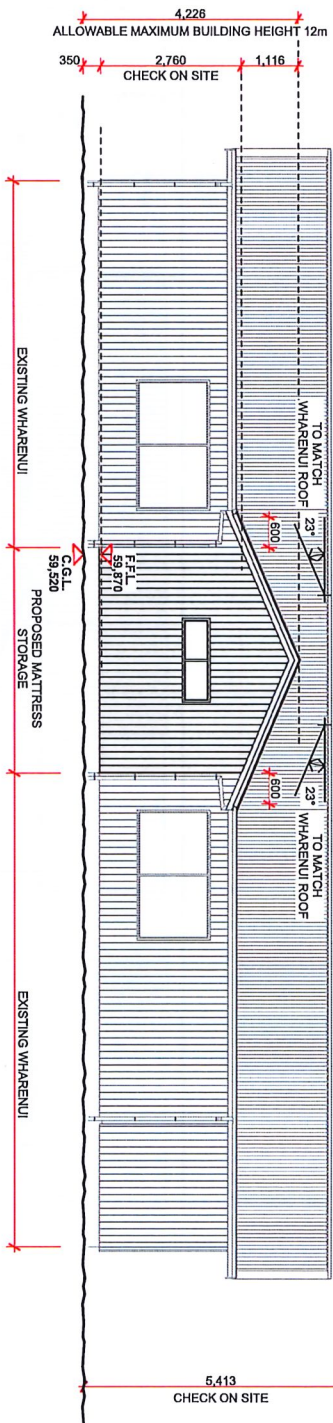
ELEVATION NOTES

- ROOFS
- ENDURA
- 0.40G CORRUGATE TO MATCH EXISTING WHAREHUI ROOF
- SCREW FIXED WITH EDGE FLASHINGS TO MATCH
- ENDURA
- 0.40G TRIMLINE TO VERANDAH ROOFS
- SCREW FIXED WITH EDGE FLASHINGS TO MATCH
- BAYONET BAYOWRAP SS ROOF UNDERLAY
- LAD HORIZONTALLY OVER GALV MESH TO 9° ROOF ONLY
- WHAREKAI & NEW MATTRESS
- EAVE-600mm
- BARGE-600mm
- WHAREPAKU
- EAVE-600mm
- BARGE-600mm
- UPVC SPOUTING TO MATCH EXISTING (MARKLEY CLASSIC OR SIM)
- 80Ø UPVC DOWNPIPES
- INTERNAL BRACKETS AT 400mm CRS WITH SS SCREWS
- INSTALL TO MANUFACTURERS' RECOMMENDATIONS
- LEAF SLIDERS
- 200 X 40 H3.1 PRE-PRIMED FASCIA BOARD
- JH 4.5mm HARDFLEX SOFFIT LINING
- INSTALL TO MANUFACTURERS' RECOMMENDATIONS (PVC JOINTERS)
- WALLS
- JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS
- ON 20mm CAVITY TO WHAREPAKU ONLY
- BAYONET BAYOWRAP WALL UNDERLAY
- FLOORS
- RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS
- GLAZING / JOINERY
- DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORM COMMERCIAL GRADE ALUMINIUM JOINERY
- ROLLER GARAGE DOOR NOT TO BE INSULATED
- PLUMBING
- FLUED GAS CALIFORNIA RAINWATER IN CEILING SPACES AS SHOWN ON THE ELECTRICAL PLAN
- 3X3KG BOTTLES AS SHOWN ON FLOOR PLAN (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

1
A1503
Wharehui North Elevation
1:100

2
A1503
Wharehui South Elevation
1:100

CR

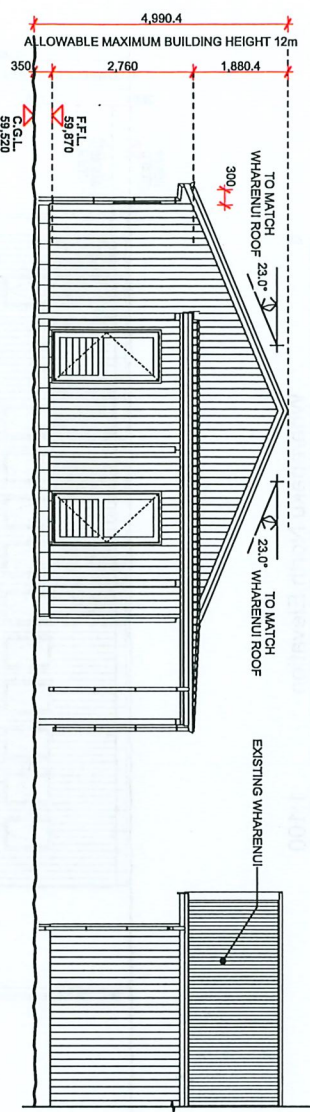
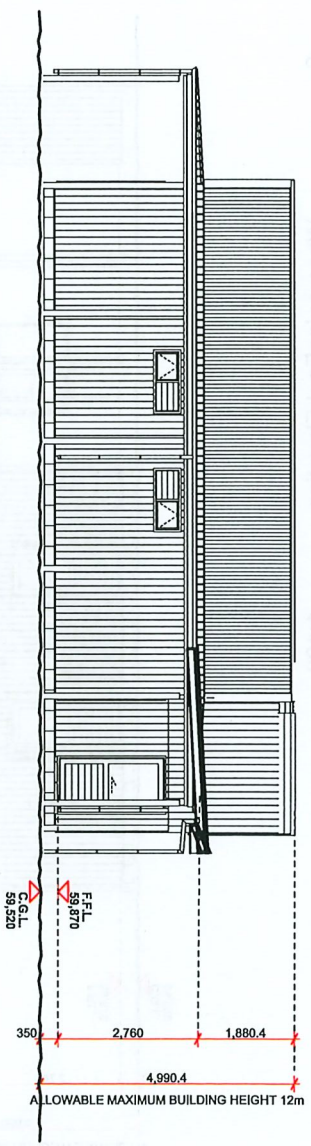


1
A1503
Wharehui West Elevation
1:100

BUILDING ENVELOPE RISK MATRIX			
Typical Elevation			
Risk Factor	Risk Severity	Risk Score	
Wind zone (per NZS 3604)	Very high risk	2	
Number of storeys	Low risk	0	
Roofwall Intersection design	Low	0	
Eaves width	Medium risk	1	
Envelope complexity	Medium risk	1	
Deck design	Low	0	
Total Risk Score:		4	

- ELEVATION NOTES**
- ROOFS
 - ENDURA
 - 0.40G CORRUGATE TO MATCH EXISTING WHAREHUI ROOF.
 - SCREW FIXED WITH EDGE FLASHINGS TO MATCH.
 - ENDURA
 - 0.40G TRIMLINE TO VERANDAH ROOFS
 - SCREW FIXED WITH EDGE FLASHINGS TO MATCH.
 - BAYONET BAYOWRAP SS ROOF UNDERLAY, LAD HORIZONTALLY OVER GALV MESH TO 3rd ROOF ONLY.
 - WHAREKAI & NEW MATTRESS
 - EAVE-500mm
 - BARGE-500mm
 - WHAREKAI
 - EAVE-500mm
 - BARGE-500mm
 - UPVC SPOLTING TO MATCH EXISTING (MARLEY CLASSIC OR SIM)
 - 80/2 UPVC DOWNPIPES
 - INTERNAL BRACKETS AT 400mmCRS WITH SS SCREWS
 - INSTALL TO MANUFACTURERS' RECOMMENDATIONS
 - LEAF SLIDERS
 - 200 x 40 H3.1 PRE-PRIMED FASCIA BOARD
 - JH 4.5mm HARDIPIEK SOFFIT LINING, INSTALL TO MANUFACTURERS RECOMMENDATIONS.(PVC JOINTERS).
 - WALLS
 - JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS ON 20mm CAVITY TO WHAREKAI ONLY.
 - BAYONET BAYOWRAP WALL UNDERLAY.
 - FLOORS
 - RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS.
 - GLAZING / JOINERY
 - DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORM COMMERCIAL GRADE ALUMINIUM JOINERY.
 - ROLLER GARAGE DOOR NOT TO BE INSULATED.
 - PLUMBING
 - FLUED GAS CALLFONT RINNAIL IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN.
 - 3X45KG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

CR



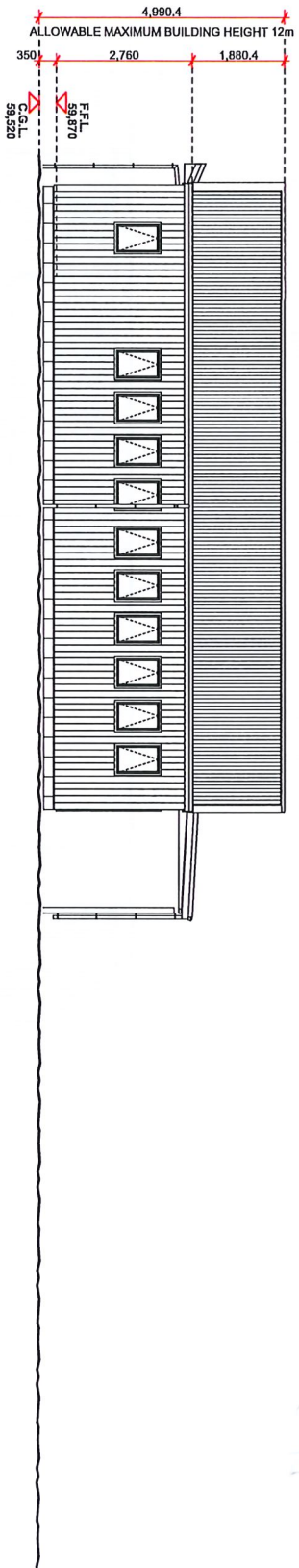
BUILDING ENVELOPE RISK MATRIX			
Typical Elevation			
Risk Factor	Risk Severity	Risk Score	
Wind zone (per NZS 3604)	Very high risk	2	
Number of storeys	Low risk	0	
Roof/wall intersection design	Very high risk	5	
Eaves width	High risk	2	
Envelope complexity	Low risk	0	
Deck design	Low	0	
Total Risk Score:		9	

ELEVATION NOTES

- FLOORS
- ENDURA
- 0.40G CORRUGATE TO MATCH EXISTING WHAREHENU ROOF.
- SCREW FIXED WITH EDGE FLASHINGS TO MATCH.
- ENDURA
- 0.40G TRIMLINE TO VERANDAH ROOFS
- SCREW FIXED WITH EDGE FLASHINGS TO MATCH.
- BAYONET BAYONWRAP SS ROOF UNDERLAY, LAID HORIZONTALLY OVER GALV MESH TO 3RD ROOF ONLY.
- WHAREKAI & NEW MATTRESS EAVE-600mm
- BARGE-600mm
- WHAREPAKU EAVE-600mm
- BARGE-600mm
- UPVC SPOULTING TO MATCH EXISTING (MARLEY CLASSIC OR SIM)
- 800 UPVC DOWNPIPES
- INTERNAL BRACKET'S AT 400mmCRS WITH SS SCREWS
- INSTALL TO MANUFACTURERS' RECOMMENDATIONS
- LEAF SLIDERS
- 200 x 40 H4.1 PRE-PRIMED FASCIA BOARD
- JH 4.5mm HARDIE EX SOFFIT LINING, INSTALL TO MANUFACTURERS RECOMMENDATIONS.(PVC JOINTERS).
- WALLS
- JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS ON 20mm CAVITY TO WHAREPAKU ONLY.
- BAYONET BAYONWRAP WALL UNDERLAY.
- FLOORS
- RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS.
- GLAZING / JOINERY
- DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORM COMMERCIAL GRADE ALUMINIUM JOINERY.
- ROLLER GARAGE DOOR NOT TO BE INSULATED.
- PLUMBING
- FLUED GAS CALIFONT RINNAL IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN.
- 3X4SKG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

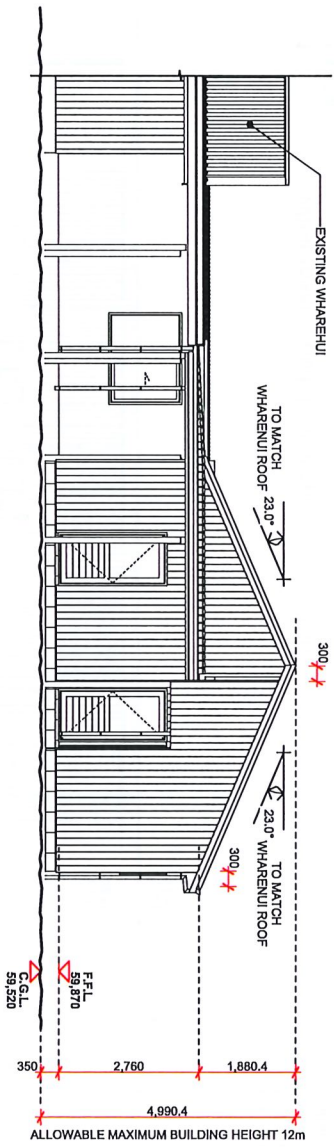
2 Wharepaku West Elevation 1:100

JA



BUILDING ENVELOPE RISK MATRIX		
Risk Factor	Typical Elevation	Risk Severity Risk Score
Wind zone (per NZS 3804)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		9

1
A1504
Wharepaku North Elevation 1:100




2
A1504
Wharepaku East Elevation 1:100

CR

ELEVATION NOTES

- ROOFS
- ENDURA
- 040G CORRUGATE TO MATCH EXISTING WHAREHU ROOF
- SCREEN FIXED WITH EDGE FLASHINGS TO MATCH;
- ENDURA
- 040G TRIMLINE TO VERANDAH ROOFS
- SCREEN FIXED WITH EDGE FLASHINGS TO MATCH;
- BAYONET BAYONRAE SS ROOF UNDERLAY, LARD HORIZONTALLY OVER GALV MESH TO 3rd ROOF ONLY;
- WHAREKAI & NEW MATTRESS
- EAVE-600mm
- BARGE-600mm
- WHAREPAKU
- EAVE-600mm
- BARGE-600mm
- UPVC SPOUTING TO MATCH EXISTING (MARLEY CLASSIC OR SIM)
- 800 UPVC DOWNPIPES
- INTERNAL
- BRACKETS AT 400mm CRS WITH SS SCREWS
- INSTALL TO MANUFACTURERS' RECOMMENDATIONS
- LEAF SLIDERS
- 200 x 40 H3.1 PRE-PRIMED FASCIA BOARD
- JH 4.5mm HARDFLEX SOBERT LINING, INSTALL TO MANUFACTURERS' RECOMMENDATIONS (PVC JOINTERS).
- WALLS
- JH AXON 133mm GRAINED DIRECT FIXED WITH EXTERIOR BOXED CORNERS ON 20mm CAVITY TO WHAREPaku ONLY, BAYONET BAYONRAE WALL UNDERLAY.
- FLOORS
- RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS.
- GLAZING / JOINERY
- DOUBLE GLAZED POWDER COATED MIN 40mm PLATFORM COMMERCIAL GRADE ALUMINIUM JOINERY.
- ROLLER GARAGE DOOR NOT TO BE INSULATED.
- PLUMBING
- FLUED GAS CALIFONT RINNA IN CEILING SPACE AS SHOWN ON THE ELECTRICAL PLAN.
- 3X45KG BOTTLES AS SHOWN ON FLOOR PLAN, (WITH SEISMIC RESTRAINTS & IN VANDAL RESISTANT GALV CAGE)

 <p>Arcline Architecture</p> <p>Offices: Kaibahi Kaitiaki Whangarei (E: info@arcline.co.nz) (P: 09 438 2222) (Web: www.arcline.co.nz)</p>	<p>Wharepaku Elevations</p>	<p>WANUI MARAE 17 WAINUI ROAD, AHIPARA KAITIAKI 0481</p>	<p>Rev No. Revision Date</p>
<p>Scale @ A3: 1:100</p> <p>Drawn By: JA Issued: 27/09/2024 3:39 pm</p>		<p>Sheet No.: A2005</p> <p>DEVELOPED DESIGN</p>	



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Wainui Marae
Address of proposed activity:	17 Wainui Road, Ahipara
Legal description:	Ahipara 44A Block
Description of the proposal (including why you need resource consent):	Proposal to construct a new wharekai, wharepaku, and mattress storage area. New carparking spaces will be provided as well as access layout as per the attached plans. Resource consent is required for breaches of the permitted rules for stormwater management, setback from boundaries, building coverage and car parking space standards within the Rural Production zone under the Operative District Plan. Written approval is also required for access to and from the site over Ahipara A21A as per the site plan attached.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. Plan Set - including floor plan, site plan and elevations. 2. _____ 3. _____ 4. _____ 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Awhina Freda Andrews and Takutai Moana Komene
A.F. Andrews Allen

Address of affected property including legal description

Wainui Road, Ahipara / Ahipara No 45 Block

Contact Phone Number/s and email address

Daytime: *021 296 3760* email: *freda.allen@232idcloud.com*

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

Date

Signature

Date

Signature

Date

Signature

Date

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

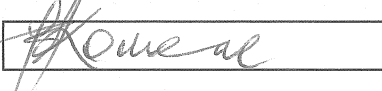
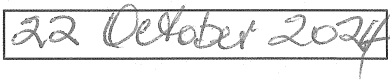
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Full name/s of party giving approval:	Awhina Freda Andrews and Takutai Moana Komene
Address of affected property including legal description	Wainui Road, Ahipara / Ahipara No 45 Block
Contact Phone Number/s and email address	Daytime: _____ email: _____

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Signature		Date	
Signature	<input style="width: 100%;" type="text"/>	Date	<input style="width: 100%;" type="text"/>
Signature	<input style="width: 100%;" type="text"/>	Date	<input style="width: 100%;" type="text"/>
Signature	<input style="width: 100%;" type="text"/>	Date	<input style="width: 100%;" type="text"/>



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:

Wainui Marae

Address of proposed activity:

17 Wainui Road, Ahipara

Legal description:

Ahipara 44A Block

Description of the proposal (including why you need resource consent):

Proposal to construct a new wharekai, wharepaku, and mattress storage area. New carparking spaces and access layout will be provided as per the attached plans. Resource consent is required for breaches of the permitted rules for stormwater management, setback from boundaries, building coverage and car parking space standards within the Rural Production zone under the Operative District Plan. Written approval is also required for access to and from the site over Ahipara A21A as per the site plan attached.

Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):

1. Plan Set - including floor plan, site plan and elevations.
2. _____
3. _____
4. _____
5. _____
6. _____

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PART B – To be completed by Parties giving approval

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Full name/s of party giving approval:

Address of affected property including legal description:

Contact Phone Number/s and email address: Daytime: email:

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

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4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature	<input type="text" value="Mangakahia Hoete m Ronald"/>	Date	<input type="text" value="11-10-2024"/>
Signature	<input type="text"/>	Date	<input type="text"/>
Signature	<input type="text"/>	Date	<input type="text"/>
Signature	<input type="text"/>	Date	<input type="text"/>