

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| ☐ Land Use | ☐ Discharge |
| ☐ Fast Track Land Use* | ☐ Change of Consent Notice (s.221(3)) |
| ☐ Subdivision | ☐ Extension of time (s.125) |
| ☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| ☐ Other (please specify) _____ | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No If we qualify it will be great to have this.

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Angela Vujcich

Email:

[REDACTED]

Phone number:

Work

[REDACTED]

Home

Postal address:

(or alternative method of service under section 352 of the act)

Po Box 111, Kerikeri

Postcode

0230

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

CPPC Planning - Claire Phillips

Email:

[REDACTED]

Phone number:

Work

[REDACTED]

Home

Postal address:

(or alternative method of service under section 352 of the act)

PO Box 550, Warkworth

Postcode

0941

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Te Tii(Waitangi) B3 Trust

**Property Address/
Location:**

22 Te Kemara Ave, Waitangi

Postcode

0200

Location and/or property street address of the proposed activity:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

☐ Yes ☐ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- | | |
|---|---|
| ☐ Subdividing land | ☐ Disturbing, removing or sampling soil |
| ☐ Changing the use of a piece of land | ☐ Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No Unless agreed

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)	Advance Build Ltd	
Email:		
Phone number:	Work	Home
Postal address: (or alternative method of service under section 352 of the act)	PO Box 111, Kerikeri	
	Postcode	0230

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)	Angela Vujcich	
Signature: (signature of bill payer)		Date 11-Nov-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Angela Vujcich

Signature:



Date 11-Nov-2025

A signature is required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☒ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☒ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☒ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

RESOURCE CONSENT APPLICATION AT WAITANGI HOLIDAY PARK – 21 TAHUNA ROAD, PAIHIA

NOVEMBER 2025

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APPLICANT DETAILS

Applicant: Advance Build

Owners: Te Tii (Waitangi) B3 Trust

Site Address: 1, 1A, 3, 5, 7, 9, 11, 13, 15, 17 and 17A Tahuna Road, Paihia

Legal Description: Lots 1 and 3 to 8 DP 61631 – Maori Freehold Land

Site Area: 9412.8m² at the Waitangi Holiday Park

Type of Consent: Land Use consent

Consent Sought: Land use consent for the construction and use of two accommodation buildings and an ablution block associated with the existing Waitangi Holiday Park.

Operative District Plan:
Zone
Residential

Proposed District Plan:
Zone
Maori Purpose – Urban
Coastal Environment

Non-Statutory Overlays:
Coastal Erosion (Zone 2: 100 year scenario)
Coastal Erosion (Zone 3: 100 year scenario)
Coastal Flood (Zone 2: 100 year scenario)
Coastal Flood (Zone 3: 100 year scenario)
River Flood Hazard Zone (100 Year ARI Event)

Address for Service: CPPC Planning
PO Box 550, Warkworth, 0941, New Zealand
Mobile: 021302340
Email: claire.phillips1@xtra.co.nz

EXECUTIVE SUMMARY

The application relates to the construction and use of two accommodation buildings containing 20 one bedroom cabins and an ablution block associated with the existing Waitangi Holiday Park.

Overall, the activity status of the proposal will be a discretionary activity with the resulting effects considered to be less than minor.

The application is also considered to be consistent with objectives and policies of the Operative District Plan and the Proposed District Plan.

Furthermore, for reasons that will be fully outlined in this report, no persons are considered to be adversely affected by the proposal.

The application also meets the purpose of the RMA as set out in Part 2.

PROPOSAL DESCRIPTION

The applicant seeks land use consent for the construction and use of two accommodation buildings containing 20 one bedroom cabins and an ablution block associated with the existing Waitangi Holiday Park.

In particular, the proposal involves:

- The construction of a new purpose-built building for the Waitangi Holiday Park that will contain 20 cabins. Each cabin has a floor area of 28.63m² will contain a bedroom, and separate kitchen and living room with access onto the deck area. In the middle of the cabins is an ablution block, which contains facilities for showering and bathrooms separately (bathroom 1 to 6) and men's and women's bathroom and showering facilities along with storage and washing machines. The finished floor level for the building has been set at FFL: 4.60 metres.



Figure 1: Proposed 3D of Senior Block Additions

- Parking – Each cabin is to have a car parking space in front that is access over a metaled driveway area from the main access off Tahuna Road. Tahuna Road is formed to an urban sealed standard. The accessway to the holiday park is a concrete sealed crossing from the sealed road to the property boundary.
- Limited earthworks are proposed given the site is relatively flat and only shallow topsoil scraping is proposed with a total volume of 73m³ (100mm cut) and is for the driveway

only. The proposal involves utilizing silt fencing and a stabilized crossing to contain sediment laden water in accordance with Auckland Council's GD05.

- The proposal results in total impervious surfaces 2846m², with new impervious surfaces of 2461m², including a new driveway 1826m² and cabin ablution block of 635m². In accordance with GD01, stormwater treatment is being provided, proposed to consist of the following:
 - Stormwater runoff from roof areas and paving should be disposed of in a reasonable manner. It is proposed to create a new kerb connection along Tahuna Road, where stormwater then discharges to a road drain that outlets to the estuary.

SITE DESCRIPTION

The application sites are legally described as Lots 1 and 3 to 8 DP 61631 – Maori Freehold Land having an area of 9412.8m².

Waitangi Holiday Park, located at 21 Tahuna Road in Paihia, sits beside the Waitangi River in the Bay of Islands. The park provides for grassy camp sites with river or park views, suitable for tents, caravans, and campervans, along with standard cabins for families or small groups. The existing facilities include communal kitchens, dining areas, a TV lounge, laundry. The camp has been around since the early 1980's.



Photo 1: View of existing Waitangi Holiday Park



Photo 2: Aerial View of existing Waitangi Holiday Park

The surrounding area is characterized by small to moderate residential properties, containing a mixture of activities. Waitangi Treaty Grounds are located approximately 1.3 kilometers to the north of the holiday park.

OPERATIVE DISTRICT PLAN

The application sites are zoned Residential under the Operative District Plan as shown below:

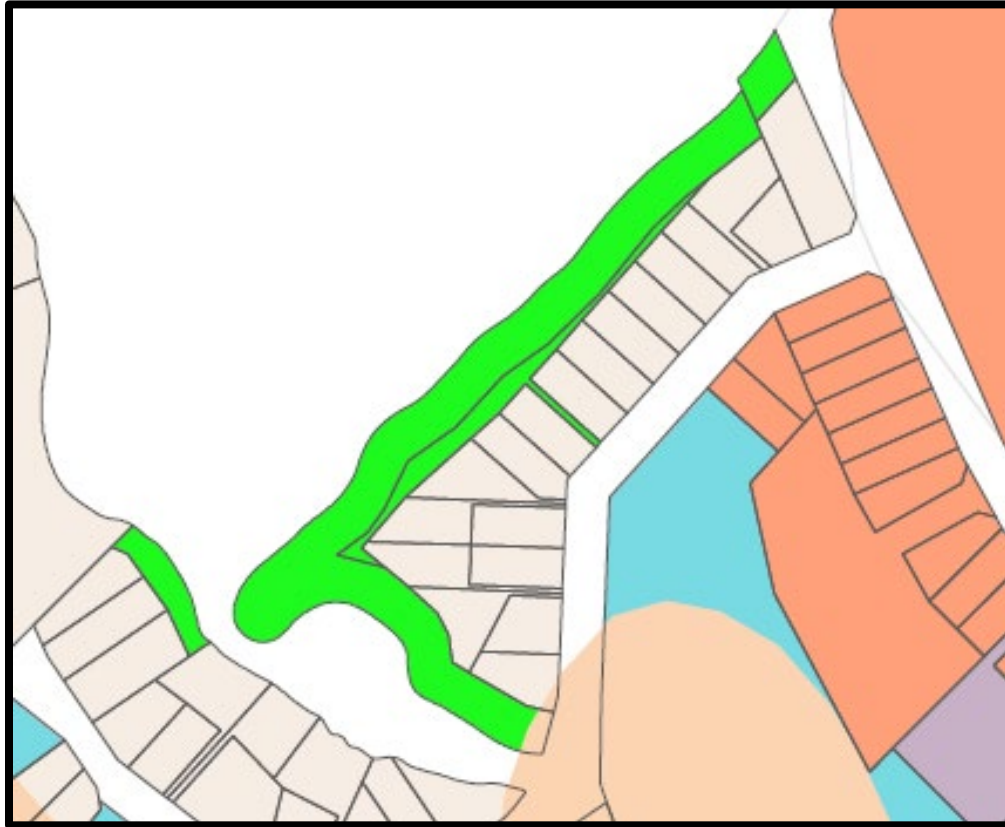


Figure 2: Zone Map – Source Far North Maps

Chapter 7 Residential

- Rule 7.6.5.1.3 Scale of Activities states that the total number of people engaged at any one period of time in activities on site is allowable at 2 people per 600m² (sewered). The cabins are proposed for a minimum of 2 people, thus increase the people associated with the cabins equates to 40 people, over an area of 9412m², which exceeds this standard. The proposal is considered to be a restricted discretionary activity under standard 7.6.5.3.2.
- Rule 7.6.5.1.12 Site Intensity states that the maximum net area of activities other than residential units shall be 1000m². As a result of the cabins and ablution block the

coverage of activities equates to 1020m². The proposal is considered to be a discretionary activity under standard 7.6.5.4.

Note for the purposes of this application the lots are treated as one site as opposed to individual titles and complies with yard setbacks being well in excess of 3.0 metres to the road boundary and 1.2 metres from the side boundaries, height in relation to boundary, building coverage and stormwater management.

Chapter 15 - Transportation

- Rule 7.6.5.1.11 directs the reader to Chapter 15. Appendix 3A states that the traffic intensity factor for camping grounds/motor camps is 3 per unit and/or 2 per camp site.
 - The new cabins equates to 60 traffic movements.
 - There are four existing cabins equates to 12 traffic movements
 - There will be 34 camp sites equates to 68 traffic movements
 -
- Total Traffic Intensity is 140.
- More than 40 vehicle movements per day is a discretionary activity under Rule 15.1.6A. It is noted that there are currently 11 records of title with the ability to have 40 movements per day.

PROPOSED DISTRICT PLAN

The Far North Proposed District Plan was notified on July 27, 2022. Only some parts of this plan have legal effects and only those rules where relevant are assessed below.

The application sites are zoned Maori Purpose – Urban under the Proposed District Plan as shown below:

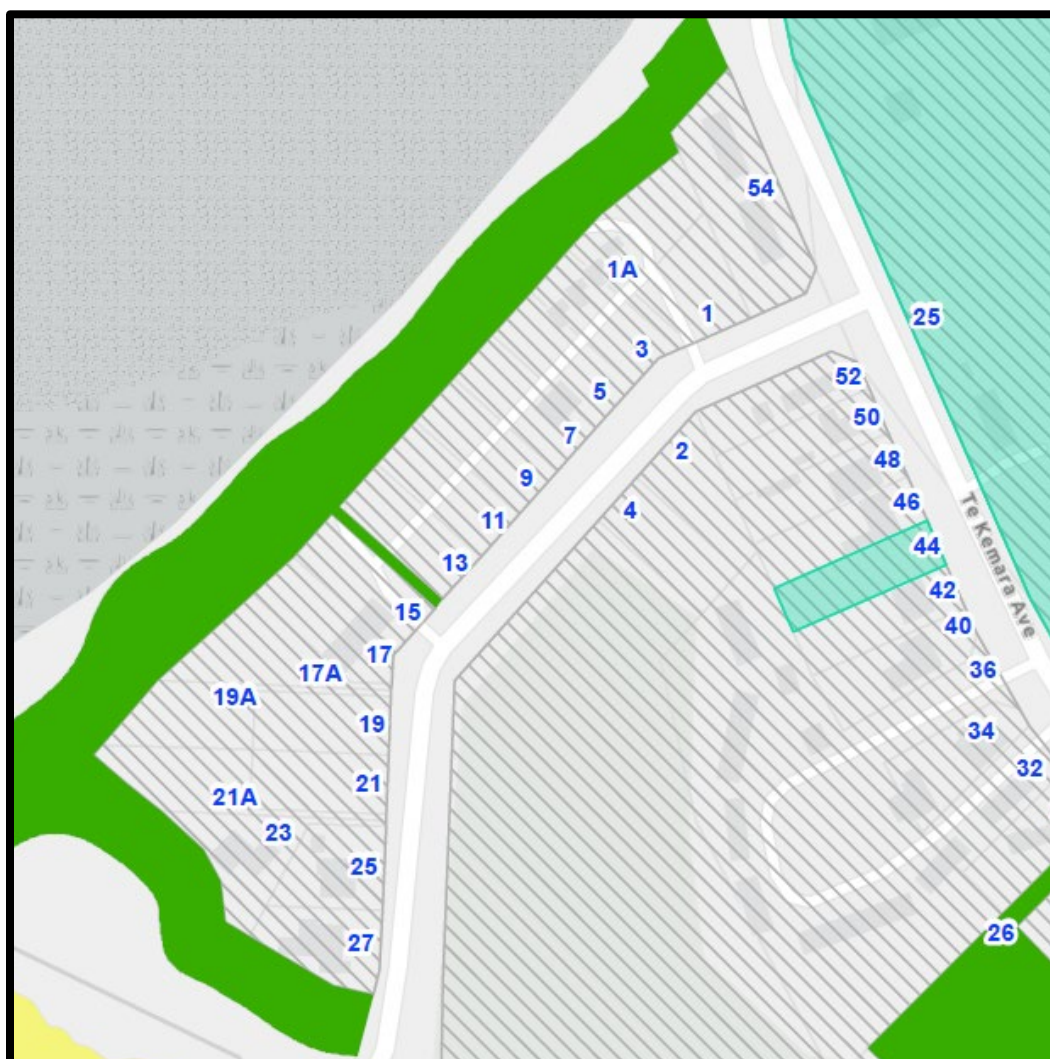


Figure 3: Zone Map – Source Far North Maps

Part 3 – Area Specific Matters / Special Purpose Zones / Maori Purpose

There are **no rules** that have immediate legal effect under this section, therefore the operative plan carries the most weight.

Note: The above only reflects those rules that have immediate legal effect. If Council considers that more rules require assessment, I am sure you will let us know.

SUMMARY OF ACTIVITY STATUS

Overall the proposal is deemed to be a **Discretionary Activity**.

We consider that all relevant consents have been applied for to enable the proposed boundary adjustment subdivision. However, please treat this as a full application to cover any other aspects of the proposal that Council considers require consent.

PUBLIC NOTIFICATION ASSESSMENT

ASSESSMENT OF STEPS 1 TO 4 (SECTION 95A)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

STEP 1: MANDATORY PUBLIC NOTIFICATION IN CERTAIN CIRCUMSTANCES

Step 1 states that no mandatory notification is required as:

- the applicant has not requested that the application is publicly notified (s95A(3)(a));
- there are no outstanding or refused requests for further information (s95C and s95A(3)(b)); and
- the application does not involve any exchange of recreation reserve land under s15AA of the Reserves Act 1977 (s95A(3)(c)).

In this case the applicant does not request notification.

STEP 2: IF NOT REQUIRED BY STEP 1, PUBLIC NOTIFICATION PRECLUDED IN CERTAIN CIRCUMSTANCES

The application is not precluded from public notification as:

- the activities are not subject to a rule or national environmental standard (NES) which precludes public notification (s95A(5)(a)); and
- the application does not involve one or more of the activities specified in s95A(5)(b).

STEP 3: IF NOT PRECLUDED BY STEP 2, PUBLIC NOTIFICATION REQUIRED IN CERTAIN CIRCUMSTANCES

The application is not required to be publicly notified as the activities are not subject to any rule or a NES that requires public notification (s95A(8)(a)).

The following assessment addresses the adverse effects of the activities on the environment, as public notification is required if the activities will have or are likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).

STEP 4: PUBLIC NOTIFICATION IN SPECIAL CIRCUMSTANCES

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).

Special circumstances are those that are:

- exceptional, abnormal or unusual, but something less than extraordinary or unique;
- outside of the common run of applications of this nature; or
- circumstances which make notification desirable.

In this instance I have turned my mind specifically to the existence of any special circumstances and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that public notification should occur.

ASSESSMENT OF ENVIRONMENTAL EFFECTS

EXISTING ENVIRONMENT AND PERMITTED BASELINE

ENVIRONMENT

The 'Environment' includes the 'Existing Environment' which includes all lawfully established activities that exist – and the 'Future Environment' which includes the effects of activities enabled by an unimplemented consent where the consent is 'live' that have not lapsed and there are no reasons why the consent is not likely to be implemented.

The existing environment includes those activities described in previous sections of this report and includes but not limited to the existing three records of title.

PERMITTED BASELINE

RMA states that for the purposes of formulating an opinion as to whether the adverse effects on the environment will be minor or more than minor a consent authority may disregard an adverse effect of an activity on the environment if the plan permits an activity with that effect.

In this case, the permitted baseline is the on-going use of the sites for those consented activities including the Waitangi Holiday Park and ancillary structures.

ASSESSMENT OF ACTUAL AND POTENTIAL EFFECTS

Having regard to the above and after an analysis of the application, including any proposed mitigation measures, the adverse effects of the activity on the environment are identified and discussed below.

CHARACTER AND AMENITY EFFECTS

The character of an area are those special qualities, in particular natural and physical characteristics that make an area pleasant, unique or different.

In this case, the site is within the Residential Zone, known for existing Waitangi Holiday Park and other residential activities in close proximity to Waitangi.

The construction and use of a new purpose-built building containing cabins and an ablution block will allow for the continued use of the site for camping purposes and will in this case be consistent with the existing character of the area, albeit providing additional formal accommodation in the form of cabins.

The building itself has been designed to be functional and attractive when viewed from outside the property. The site contains 4 stand alone cabins with the development to complement other camping facilities in a more formal manner. The exterior cladding consists of Weathertex Primelok Smooth 200mm - Accommodation Unit and Weathergroove Smooth 150 Vertical Groove - Ablution Block, Armorsteel 5-Rib roofing and aluminium joinery and double glazed windows. The building will be finished in a recessive colour pallet to ensure that it is integrated into this residential coastal environment.

In terms of amenity values, the use of the cabins and ablution block in conjunction with the existing camp facilities is appropriate. By housing patrons, reduces any noise with a normal tent site holiday park. It is envisage that noise associated with the holiday park will be well within the permitted residential levels with new insulated building ensuring compliance.

The development will not result in building that could be considered dominant or out of character, particularly when viewed in conjunction with other properties and built structures and are considered to be an improvement on the site. Further the site is well landscaped to provide shade for campers as well as visual integration from any public vantage points.

Overall, it is considered that the adverse effects of the proposal on rural character will be less than minor.

TRAFFIC EFFECTS

The site has existing access to Tahuna Road, which have been formed to a sealed standard which is appropriate for this location.

The proposal involves the provision of 20 car parking spaces and a formed driveway for access. The site plan shows compliance with internal maneuvering.

The existing holiday park has 42 camp sites and 4 cabins equating to 96 TIF. As a result of the proposal 8 camp sites are lots and replaced with 20 cabins, thus the overall TIF is 140. Whilst the figures increase in terms of traffic intensity, in reality, the vehicle movements to the site will be consistent or similar to the existing holiday park traffic.

Construction machinery will be delivered to the site for the earthworks and once the earthworks and associated impervious surfaces are completed the construction machinery will be removed. The traffic movements to and from the site will be minimal and not outside the level anticipated in a Residential zone.

It is considered that any adverse traffic or roading effects will be less than minor.

NATURAL HAZARDS

The site is subject to natural hazards such as flooding. RSEng in their report dated 3 November 2025 and referenced 19776 – Revision 2, state that *...Existing ground levels are typically a minimum of 3.8-4.0m NZVD. During this design storm event, flood depths are therefore less than 100mm, with velocities considered to be low (<0.1m/s). This is considered safe for people, vehicles and buildings, refer to Figure 3 below. Safe access and egress to the site is also available with the land connected to Tahuna Road outside the flood susceptible area.* RSENG also go onto state that *... The building works which the land is intimately connected to are well setback from the coastal erosion zones, the building works are considered to be at low risk of coastal erosion.*

Based on the above assessment of natural hazards, the holiday park development of 20 cabins and an ablution block will not exacerbated and appropriate use of the site.

The proposal results in total impervious surfaces 2846m², with new impervious surfaces of 2461m², including a new driveway 1826m² and cabin ablution block of 635m². In accordance with GD01, stormwater treatment is being provided, proposed to consist of the following:

- Stormwater runoff from roof areas and paving should be disposed of in a reasonable manner. It is proposed to create a new kerb connection along Tahuna Road, where stormwater then discharges to a road drain that outlets to the estuary.

The above stormwater mitigation is considered appropriate for the site.

SUMMARY

In summary it is concluded that the adverse effects of the development on the environment will be less than minor.

LIMITED NOTIFICATION ASSESSMENT

ASSESSMENT OF STEPS 1 TO 4 (SECTION 95B)

If the application is not publicly notified under s95A, the council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

STEP 1: CERTAIN AFFECTED PROTECTED CUSTOMARY RIGHTS GROUPS MUST BE NOTIFIED

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups or affected persons under a statutory acknowledgement affecting the land (ss95B(2) and 95B(3)).

The application site is not affected by customary rights.

STEP 2: IF NOT REQUIRED BY STEP 1, LIMITED NOTIFICATION PRECLUDED IN CERTAIN CIRCUMSTANCES

Step 2 describes that limited notification is precluded where all applicable rules and NES preclude public notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity (ss95B(5) and 95B(6)).

The proposal is a non-complying activity and there are no rules precluding notification.

STEP 3: IF NOT PRECLUDED BY STEP 2, CERTAIN OTHER AFFECTED PERSONS MUST BE NOTIFIED

Step 2 requires that where limited notification is not precluded under step 2 above, a determination must be made as to whether any of the following persons are affected persons:

- In the case of a boundary activity, an owner of an allotment with an infringed boundary;
- In the case of a prescribed activity under s360H(1(b)), a prescribed person; and
- In the case of any other activity, a person affected in accordance with s95E.

The application is not for a boundary or prescribed activity, and therefore an assessment in accordance with s95E is required. This assessment is set out below.

Overall, it is considered that any adverse effects in relation to adjacent properties will be less than minor, and accordingly that no persons are adversely affected.

STEP 4: FURTHER NOTIFICATION IN SPECIAL CIRCUMSTANCES

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

There are not considered to be any special circumstances that would warrant notification.

SECTION 95E STATUTORY MATTERS

As required by step 3 above, certain other affected persons must be notified, and the following assessment addresses whether there are any affected persons in accordance with s95E. A person is affected if the effects of the activity on that person are minor or more than minor (but not less than minor).

In deciding who is an affected person under section 95E:

- Adverse effects permitted by a rule in a plan or NES (the permitted baseline) may be disregarded.

It is considered that there is no useful baseline that can be applied as the land needs to be earth worked to provide building platforms and subdivision of the land would also require resource consent.

- The adverse effects on those persons who have provided their written approval must be disregarded.

Because of the minor scale of the proposal no written approvals have been sought for this proposal.

The sections below set out an assessment in accordance with section 95E, including identification of adjacent properties, and an assessment of adverse effects.

ADJACENT PROPERTIES

Any effects on these parties can be disregarded. The property owner of the holiday park is the owner of all the surrounding neighbouring land along Tahuna Road, Te Karuwha Prade and Te Kemara Avenue.

No properties are considered to be adversely affected by the proposal for the following reasons:

- The density and character resulting from the proposed shop and associated use is not contrary to the existing rural production character of the surrounding area.
- The proposal will maintain the existing well established character of the site. While the proposal results in an increase in building coverage, the proposal will not appear visually out of character given the design of the existing and proposed structures along with existing landscaping, ensuring that the proposed additions and alterations will not be visible outside the site.
- Noise associated with the use of the site for a shop will be well within the permitted rural levels, which with new insulated building will continue to be the case.
- The site has existing access to Tahuna Road, which have been formed to a sealed standard which is appropriate for this location. The new building will not increase the total traffic generation to the Holiday Park, rather just provide an alternative to tent of mobile home camping.
- All stormwater is appropriate addressed to ensure stormwater neutrality.

For these reasons, the proposal is not considered to generate any adverse effects on persons of the immediate environment.

Taking the above into account, it is considered that any adverse effects on persons will be less than minor. It is considered, therefore, that there are no adversely affected persons in relation to this proposal.

LIMITED NOTIFICATION CONCLUSION

Having undertaken the s95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory;
- Under step 2, limited notification is not precluded;
- Under step 3, limited notification is not required as it is considered that the activity will not result in any adversely affected persons; and
- Under step 4, there are no special circumstances.

Therefore, it is recommended that this application be processed without limited notification.

SECTION 104 MATTERS

The matters that require consideration in assessing this application are set out in section 104 of the Resource Management Act 1991. These matters include the actual and potential effects of the allowing the activity on the environment and the relevant rules and assessment criteria. Given that the proposal is deemed to be in keeping with the assessment criteria, a separate analysis of objectives and policies is considered to be unnecessary. The provisions of section 104 are subject to the matters set out in Part II of the Act.

In summary it is concluded that this proposal satisfies the relevant matters requiring consideration under section 104.

NATIONAL POLICY STATEMENTS

RESOURCE MANAGEMENT (NATIONAL ENVIRONMENTAL STANDARD FOR ASSESSING & MANAGING CONTAMINANTS IN SOIL TO PROTECT HUMAN HEALTH) REGULATIONS 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (NES Contaminated Soils) were gazetted on 13th October 2011 and took effect on 1st January 2012.

Council is required by law to implement this NES in accordance with the Resource Management Act 1991 (RMA). The standards are applicable if the land in question is, or has been, or is more likely than not to have been used for a hazardous activity or industry and the applicant proposes to subdivide or change the use of the land, or disturb the soil, or remove or replace a fuel storage system.

The applicant has confirmed, no activities outlined in the Hazardous Activities and Industries List (HAIL) have occurred on the subject site post the original subdivision. Noting that each of the titles at the time of subdivision had provided HAIL reporting.

As such, it is considered that the property does not constitute a 'piece of land' covered under Section 5(7) of the NES, and therefore, the NES is not considered applicable in this instance.

RESOURCE MANAGEMENT (NATIONAL ENVIRONMENTAL STANDARD FOR FRESHWATER) REGULATIONS 2020

The Resource Management (National Environmental Standard for Freshwater) Regulations 2020 (NES-FW) came into force on 3 September 2020, with changes to the legislation January 2023. The NES-FW set out requirements for carrying out certain activities which pose risks to freshwater and freshwater ecosystems.

In particular, the NES-FW has standards for activities near to or within a wetland. A natural wetland is defined in the National Policy Statement for Freshwater Management as "*a wetland (as defined in the Act) that is not:*

- (a) a wetland constructed by artificial means (unless it was constructed to offset impacts on, or restore, an existing or former natural wetland); or*
- (b) a geothermal wetland; or*
- (c) any area of improved pasture that, at the commencement date, is dominated by (that is more than 50% of) exotic pasture species and is subject to temporary rain derived water pooling".*

Accordingly, consideration of the subdivision application against the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 is not required.

OPERATIVE DISTRICT PLAN

ASSESSMENT CRITERIA

Whilst the application is overall a discretionary activity, the below assessment of the relevant assessment criteria provides a reliable basis for the proposal.

11.1	Scale of Activities		
	Requirement	Comment	Compliance
	<i>(a) The character and appearance of building(s) and the extent to which the effects they generate can be avoided, remedied or mitigated, consistent with the principal activity on the site and with other buildings in the surrounding area.</i>	In this case, the site is within the Residential Zone, known for existing Waitangi Holiday Park and other residential activities in close proximity to Waitangi. The construction and use of a new purpose-built building containing cabins and an ablution block will allow for the continued use of the site for camping purposes and will in this case be consistent with the existing character of the area, albeit providing additional formal accommodation in the form of cabins.	Compliant

		The building itself has been designed to be functional and attractive when viewed from outside the property. The site contains 4 stand alone cabins with the development to complement other camping facilities in a more formal manner. The exterior cladding consists of Weathertex Primelok Smooth 200mm - Accomodation Unit and Weathergroove Smooth 150 Vertical Groove - Ablution Block, Armorsteel 5-Rib roofing and aluminium joinery and double glazed windows. The building will be finished in a recessive colour pallet to ensure that it is integrated into this residential coastal environment. In terms of amenity values, the use of the cabins and ablution block in conjunction with the existing camp facilities is appropriate. The development will not result in building that could be considered dominant or out of character, particularly when viewed in conjunction with other properties and built structures and are considered to be an improvement on the site. Further the site is well landscaped to provide shade for campers as well as visual integration from any public vantage points.	
	<i>(b) The siting of the building(s), decks and outdoor areas relative to adjacent properties and the road frontage, in order to avoid visual domination and loss of privacy and sunlight.</i>	The cabins are located 5.839 metres at the closest point to the Tahuna Road boundary as noted above, the proposal involves existing landscaping and in particular hedging along this boundary to mitigate the effects of the low key cabin and ablution block development.	Compliant

	<i>(c) The size, location and design of open space and the extent to which trees and garden plantings are utilised for mitigating adverse effects.</i>	As above.	Compliant
	<i>(d) The ability of the immediate environment to cope with the effects of increased vehicular and pedestrian traffic.</i>	The existing holiday park has 42 camp sites and 4 cabins equating to 96 TIF. As a result of the proposal 8 camp sites are lots and replaced with 20 cabins, thus the overall TIF is 140. Whilst the figures increase in terms of traffic intensity, in reality, the vehicle movements to the site will be consistent or similar to the existing holiday park traffic.	Compliant
	<i>(e) The location and design of vehicular and pedestrian access, on site vehicle manoeuvring and parking areas and the ability of those to mitigate the adverse effects of additional traffic.</i>	The site has existing access to Tahuna Road, which have been formed to a sealed standard which is appropriate for this location. The proposal involves the provision of 20 car parking spaces and a formed driveway for access. The site plan shows compliance with internal manoeuvring.	Compliant
	<i>(f) Location in respect of the roading hierarchy – the activity should be assessed with regard to an appropriate balance between providing access and the function of the road.</i>	Tahuna Road is a local road and can accommodate the traffic.	Compliant
	<i>(g) The extent to which hours of operation are appropriate in terms of the surrounding environment.</i>	There are no planned changes to the holiday park hours of operation.	Compliant

	<i>(h) Noise generation and the extent to which reduction measures are used.</i>	By housing patrons, reduces any noise with a normal tent site holiday park. It is envisaged that noise associated with the holiday park will be well within the permitted residential levels with new insulated building ensuring compliance.	Compliant
	<i>(i) Any servicing requirements and/or constraints of the site – whether the site has adequate water supply and provision for disposal of waste products and stormwater.</i>	The site can be suitably serviced through public reticulation.	Compliant
	<i>(j) Whether the development is designed in a way that avoids, remedies or mitigates any adverse effects of stormwater discharge from the site into reticulated stormwater systems and/or natural water bodies.</i>	The site can be suitably serviced as mentioned above.	Compliant
	<i>(k) The ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s) permitted on the site.</i>	The proposal utilises existing landscape planting ensuring that the effects of the proposal are mitigation.	Compliant
	<i>(l) The degree to which mitigation measures are proposed for loss of open space and vegetation.</i>	NA	Compliant
	<i>(m) Any adverse effects on the life supporting capacity of soils.</i>	The proposal is an urban environment and not used for production. No loss is to result	Compliant

	<i>(n) The extent of visual and aural privacy between residential units on the site and their associated outdoor spaces.</i>	The proposal utilises existing landscape planting ensuring that the effects of the proposal are mitigation.	Compliant
	<i>(o) Visual effects of site layout on the natural character of the coastal environment.</i>	The site is within the coastal environment, however any natural character effects are managed through the building materials and existing landscaping.	Compliant
	<i>(p) The effect on indigenous vegetation and habitats of indigenous fauna.</i>	There is no indigenous vegetation or habitats within the site.	Compliant
	<i>(q) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.</i>	The site is subject to natural hazards such as flooding. RSEng in their report dated 3 November 2025 and referenced 19776 – Revision 2, state that ...<i>Existing ground levels are typically a minimum of 3.8-4.0m NZVD. During this design storm event, flood depths are therefore less than 100mm, with velocities considered to be low (<0.1m/s). This is considered safe for people, vehicles and buildings, refer to Figure 3 below. Safe access and egress to the site is also available with the land connected to Tahuna Road outside the flood susceptible area.</i>” RSENG also go onto state that ... <i>The building works which the land is intimately connected to are well setback from the coastal erosion zones, the building works are considered to be at low risk of coastal erosion.</i>” Based on the above assessment of natural hazards, the holiday park development of 20 cabins and an ablution block will not exacerbated and appropriate use of the site.	Compliant

		The proposal results in total impervious surfaces 2846m², with new impervious surfaces of 2461m², including a new driveway 1826m² and cabin ablution block of 635m². In accordance with GD01, stormwater treatment is being provided, proposed to consist of the following: Stormwater runoff from roof areas and paving should be disposed of in a reasonable manner. It is proposed to create a new kerb connection along Tahuna Road, where stormwater then discharges to a road drain that outlets to the estuary. The above stormwater mitigation is considered appropriate for the site.	
	<i>(r) Proximity to rural production activities and potential for incompatible and reverse sensitivity effects.</i>	NA	Compliant
	<i>(s) When establishing a minor residential unit</i> <i>(i) the extent of the separation between it and the principal dwelling;</i> <i>(ii) the degree to which the design is compatible with the principal dwelling;</i> <i>(iii) the extent that services can be shared;</i> <i>(iv) the extent that the floor plan is fit for purpose;</i>	NA – No minor dwelling is being proposed.	Compliant

	(v) the extent to which landscaping is utilised to mitigate adverse effects; (vi) the design of the building in regard to how easily it may be removed from a site should circumstances change.		
	(t) With respect to access to a State Highway (SH) that is a Limited Access Road, the effects on the safety and/or efficiency on any SH and its connections to the local roading network and the provision of written approval from the NZ Transport Agency.	NA – No access is proposed to the State Highway.	Compliant

It is demonstrated above that the proposal meets the relevant assessment criteria.

OBJECTIVES AND POLICIES

Chapter 7.6 Urban Environment – Section 6 Residential Zone

- Objectives 7.6.3.1 to 7.6.3.3
- Policies 7.6.4.1 to 7.6.4.11

7.6	Urban Environment – Section 6 Residential Zone		
	Objectives	Comment	Compliance
7.6.3.1	To achieve the development of new residential areas at similar densities to those prevailing at present.	In this case the proposal represents the continue sustainable management of the site and use as a urban holiday park.	Compliant

7.6.3.2	<i>To enable development of a wide range of activities within residential areas where the effects are compatible with the effects of residential activity.</i>	In this case the proposal provides a range of activities within the residential environment that is compatible.	Compliant
7.6.3.3	<i>To protect the special amenity values of residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those having frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive</i>		Compliant

	Policies	Comment	Compliance
7.6.4.1	<i>That the Residential Zone be applied to those parts of the District that are currently predominantly residential in form and character.</i>	In this case the proposal represents the continue sustainable management of the site and use as a urban holiday park.	Compliant
7.6.4.2	<i>That the Residential Zone be applied to areas which are currently residential but where there is scope for new residential development.</i>	There is scope within the site for further holiday park development.	Compliant
7.6.4.3	<i>That the Residential Zone be applied to areas where</i>	The proposal is a sustainable use of the site.	Compliant

	<i>expansion would be sustainable in terms of its effects on the environment.</i>		
7.6.4.4	<i>That the Residential Zone provide for a range of housing types and forms of accommodation. That non-residential activities only be allowed to establish within residential areas where they will not detract from the existing residential environment.</i>	The non-residential use of the site is appropriate and will not detract from the existing use or existing residential environment.	Compliant
7.6.4.5	<i>That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.</i>	The proposal is consistent with the existing amenity values and peaceful holiday park.	Compliant
7.6.4.6	<i>That the Residential Zone provide for a range of housing types and forms of accommodation. That non-residential activities only be allowed to establish within residential areas where they will not detract from the existing residential environment. That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those</i>	The holiday park is well established and will not detract from the residential environment.	Compliant

	<i>effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.</i>		
7.6.4.7	<i>That residential activities have sufficient land associated with each household unit to provide for outdoor space, planting, parking and manoeuvring.</i>	There is sufficient land for outdoor enjoyment along with parking and manoeuvring.	Compliant
7.6.4.8	<i>That the portion of a site or of a development that is covered in buildings and other impermeable surfaces be limited so as to provide open space around buildings to enable planting, and to reduce adverse hydrological, ecological and amenity effects.</i>	Impervious surfaces are caught and disposed of appropriately.	Compliant
7.6.4.9	<i>That sites have adequate access to sunlight and daylight.</i>	All units face north and have access to sunlight and daylight.	Compliant
7.6.4.10	<i>That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on a site.</i>	The holiday park has ample privacy commensurate with a camping activity.	Compliant
7.6.4.11	<i>That the built form of development allowed on residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP</i>	NA	Compliant

	<i>58333 (and any sites created as a result of a subdivision of these lots), and those with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive remains small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.</i>		
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The proposal takes into consideration the existing features of the property and is considered to adequately avoid, remedy and mitigate any potential effects through the design of the buildings.

The proposal is not inconsistent with the objectives and policies as demonstrated in the previous sections of this report.

PROPOSED DISTRICT PLAN

OBJECTIVES AND POLICIES

PART 3 – AREA-SPECIFIC MATTERS - SPECIAL PURPOSE ZONES – Maori Purpose

The objectives and policies outlined in HZ-O1 to O3 and HZ-P1 to HZ-P7 seek to ensure the Horticulture zone is managed to ensure its long-term availability for horticultural activities and its long-term protection for the benefit of current and future generations.

The proposal will not compromise the allotments' potential to function as rural productive properties as the site is already utilized for a gospel hall and adjacent to an existing school, with the store being an extension to existing school activities. The site is not used or proposed to be used for production given the fact that it is a well-established education facility necessary. The proposed additions and alterations are necessary for the supporting activities on the land and considered to be exempt under 3.9(2)(a) of the National Policy Statement for Highly Productive Land.

The soils within the property is class 1 being highly productive.

It is also worthy to note that the future zoning of the property is Horticulture, where the minimum area of land suitable for horticultural purposes is 4 hectares (as a discretionary activity) and 10 hectares (as a controlled activity). The site has a site area of well less than the above and thus will not be large enough to operate for horticulture in the future.

The proposal is not inconsistent with the objectives and policies as demonstrated in the previous sections of this report, the above objectives and policies have little weight as this document is still progressing through the decision and appeal process.

PART II OF THE RESOURCE MANAGEMENT ACT

Part II of the Act sets out the Purpose and Principles. This proposal is in keeping with Part II as the effects of the proposal on the environment will be minor and the proposal will not compromise the ability of this site to be used by existing and future generations, also the life supporting capacity of air, water, soil and ecosystems will not be compromised.

Section 5 of the Resource Management Act 1991 (the Act) describes the Purpose and Principles of the Act and provides a definition of 'sustainable management' which includes reference to managing the use and development of natural and physical resources at a rate that allows people and communities to provide for their wellbeing, whilst avoiding, remedying and mitigating any adverse effects of activities on the environment. This involves sustaining resource potential (excluding minerals), safeguarding the life supporting capacity of air, water, soil and ecosystems and avoiding, remedying or mitigating adverse effects. The effects of this proposal on the environment have been described above. The proposal is considered to be consistent with the Purposed and Principles outlined above as the effects on character and amenity will be no more than minor. Further any potential effects can be adequately avoided, remedied and mitigated.

Section 6 of the Act requires all persons exercising functions and powers under the Act to recognise and provide for matters of national importance in relation to the natural character of the coastal environment, wetlands, lakes and rivers and the protection of them from inappropriate subdivision use and development. Outstanding natural features and landscapes are also to be protected from inappropriate subdivision, use and development.

The proposal is considered to be consistent with section 6 of the Act as there are considered to be no matters of national importance on this site.

Section 7 relates to other matters that are to which regard must be had in achieving the sustainable management of natural and physical resources: The proposed land use and subdivision is considered to be consistent with the provisions of the section of the Act.

Section 8 requires that account shall be taken of the principles of the Treaty of Waitangi. The proposal is considered to be consistent with the matters outlined in Section 8.

Overall, it is considered that the proposal is in keeping with Part II of the Resource Management Act 1991.

CONCLUSION

It is concluded that the proposal will have less than minor adverse effects on the surrounding environment. Further the proposed activity is considered to be in keeping with the relevant objectives and policies set out in Far North District Plan (proposed and operative).

As a result of the above granting consent to this proposal will be in keeping with the provisions set out in Part II of the Resource Management Act 1991 and sections 104 and 104B.

Appendix 1 – Record of Title

Appendix 2 – Architectural Plans

Appendix 3 – Site Suitability Report



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/601**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 1 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

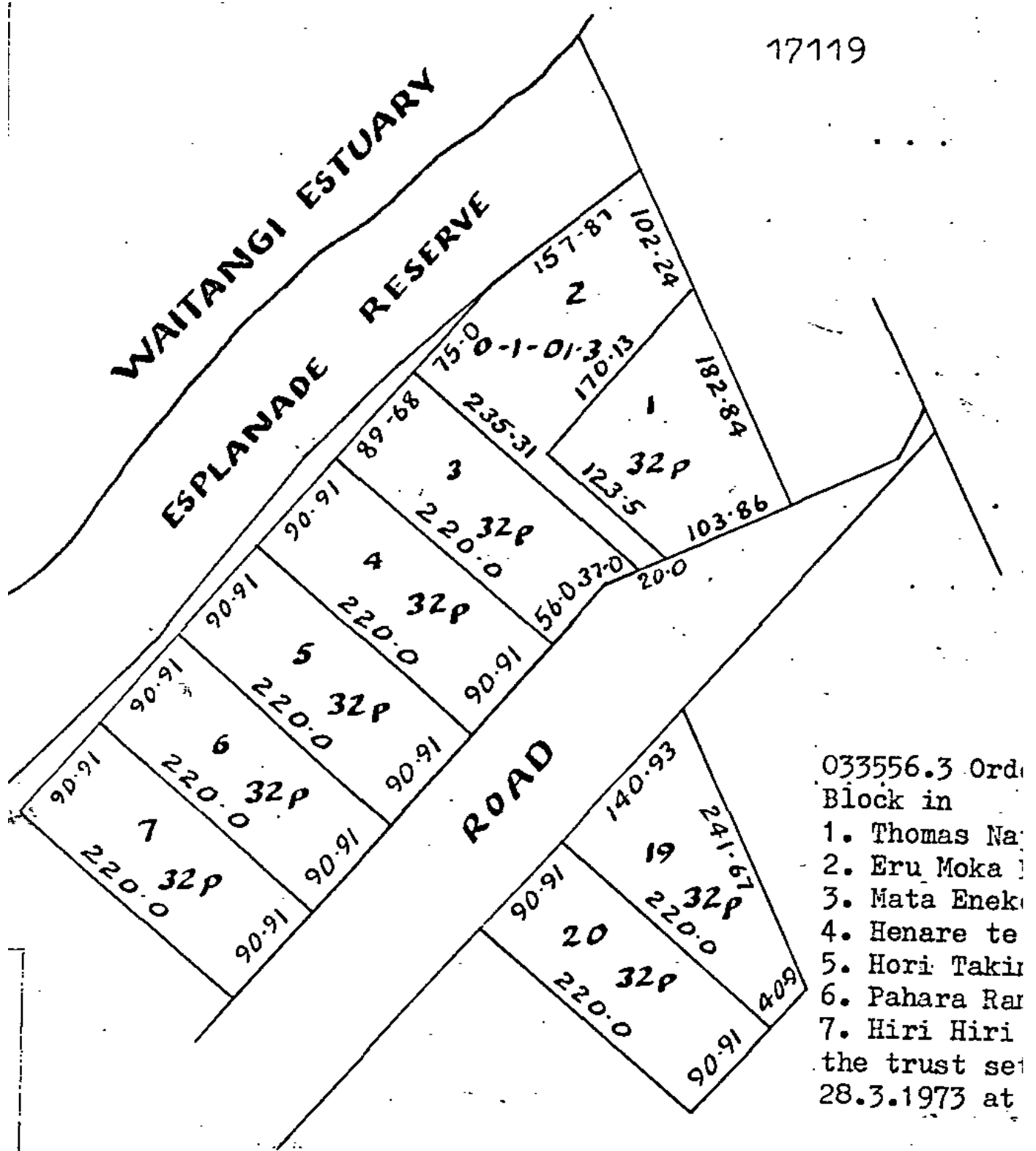
Interests

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DECLARING THAT THE STATUS OF THE WITHIN LAND SHALL CEASE TO BE GENERAL LAND AND SHALL BECOME MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/601

Identified as potentially Maori Freehold Land

***** End of Report *****



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

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Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/602**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 1045 square metres more or less
Legal Description Lot 2 Deposited Plan 61631

Registered Owners

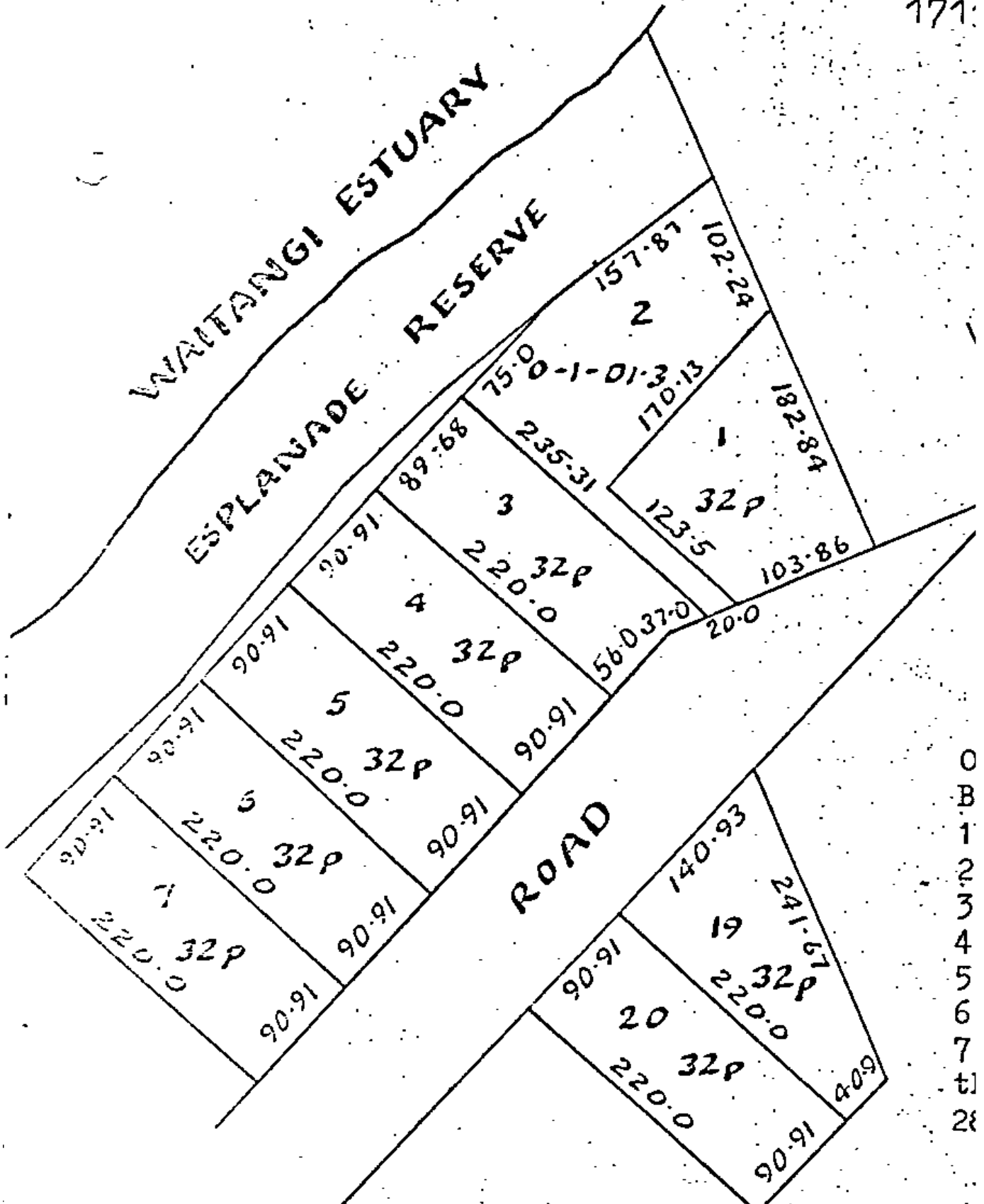
Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

Interests

C981361.1 Lease to Yvonne Puriri Term 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am
C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am
D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD
LAND - 14.5.1997 AT 9.30 AM
8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am

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Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/602

Identified as potentially Maori Freehold Land

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**RECORD OF TITLE
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Registrar-General
of Land

Identifier **NA18A/603**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

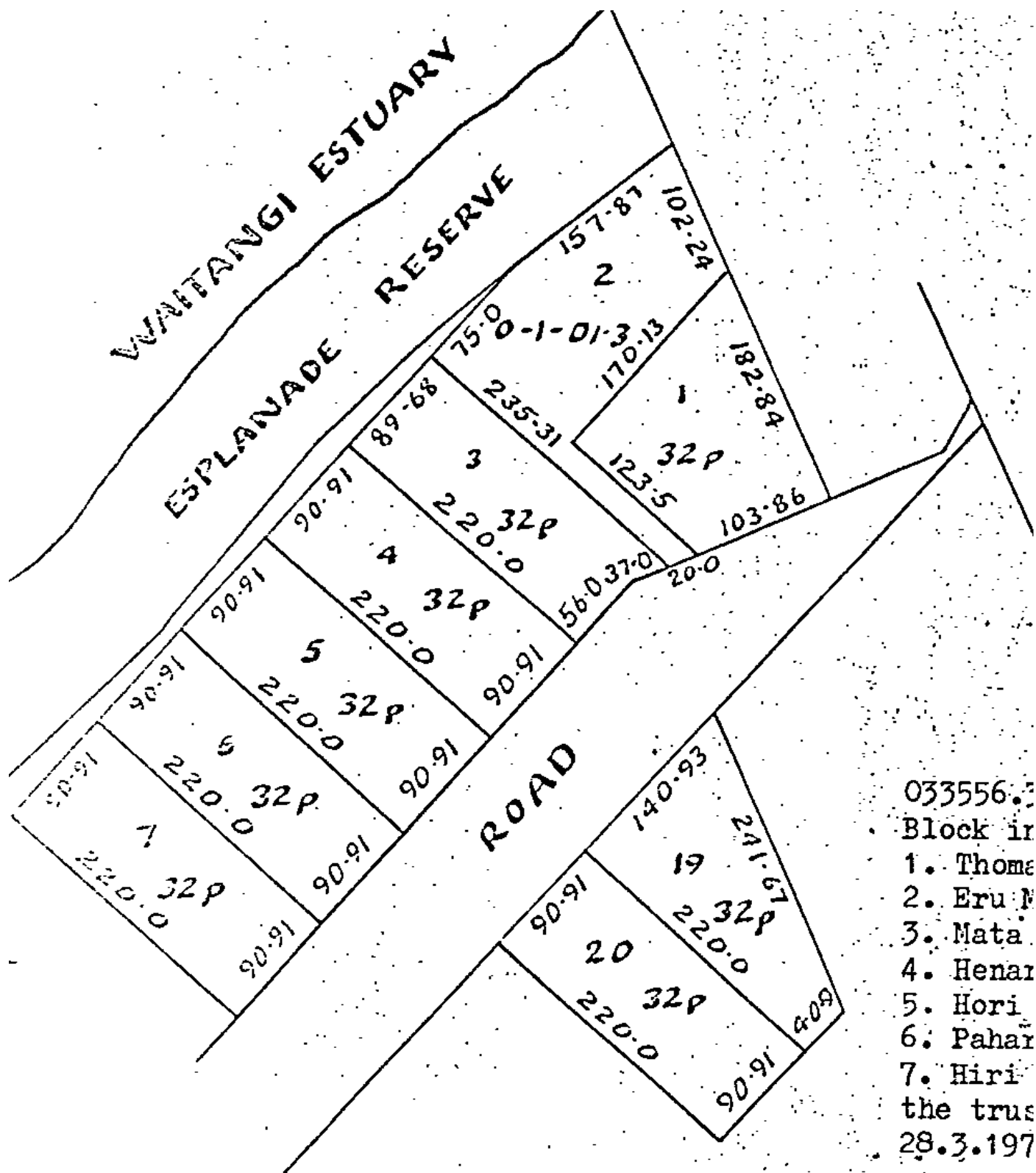
Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 3 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

Interests

C981361.1 Lease to Yvonne Puriri Term 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am
C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am
D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD
LAND - 14.5.1997 AT 9.30 AM
8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/603

Identified as potentially Maori Freehold Land

***** End of Report *****



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FREEHOLD**

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Registrar-General
of Land

Identifier **NA18A/604**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 4 Deposited Plan 61631

Registered Owners

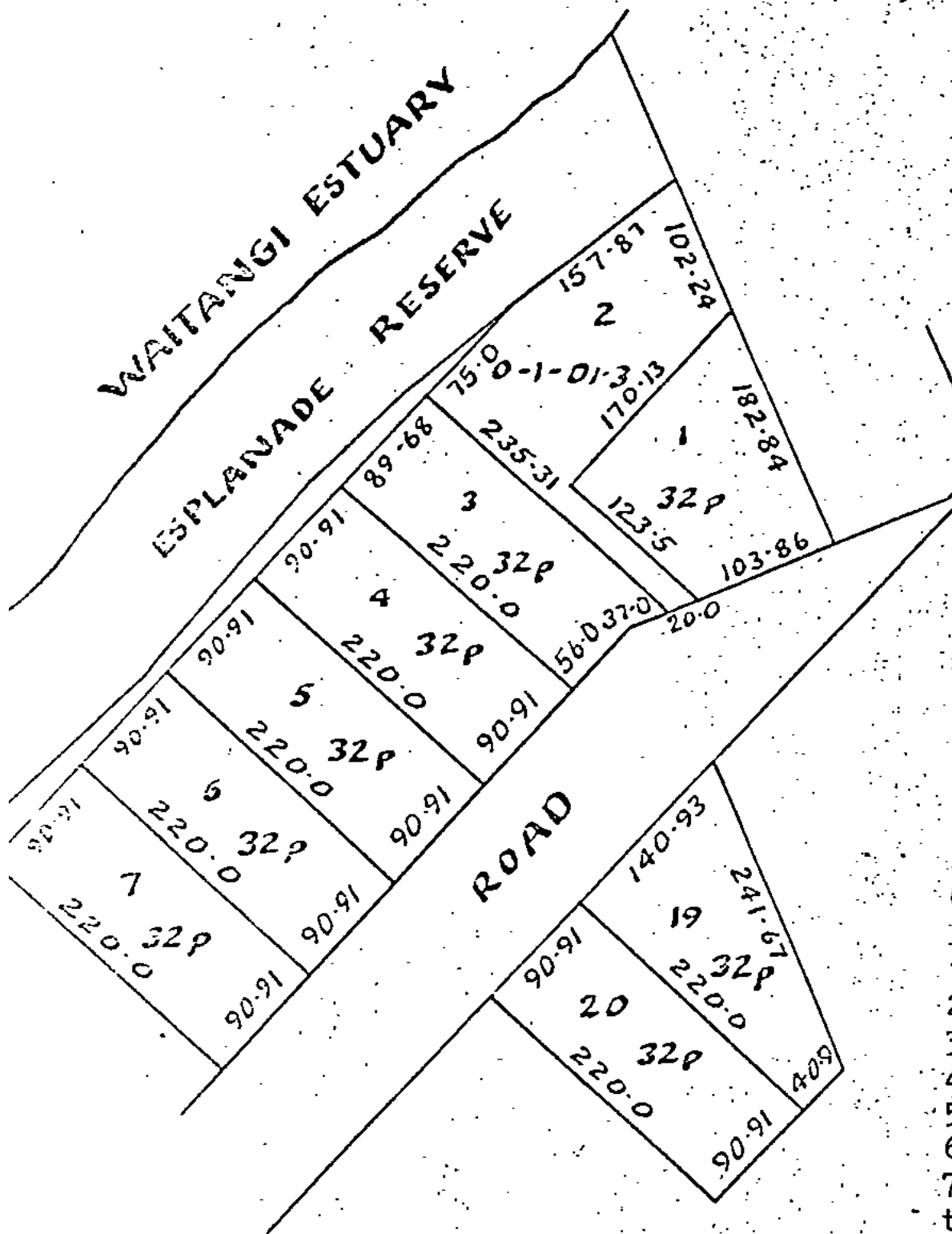
Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

Interests

C981361.1 Lease to Yvonne Puriri Term 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am
C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am
D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM
8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am

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Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/604

Identified as potentially Maori Freehold Land

***** End of Report *****



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Identifier **NA18A/605**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

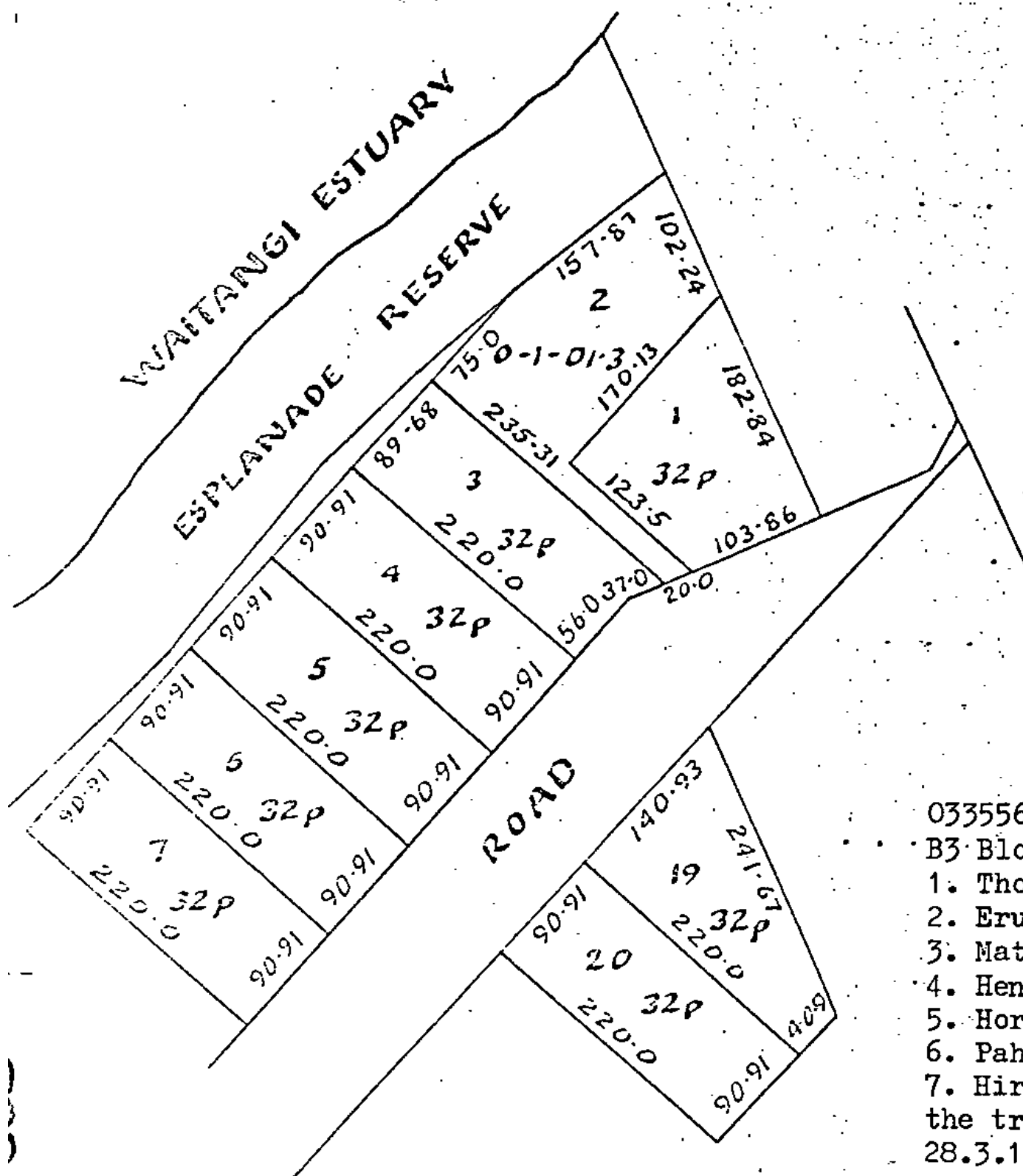
Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 5 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

Interests

C981361.1 Lease to Yvonne Puriri Term 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am
C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am
D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM
8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/605

Identified as potentially Maori Freehold Land

***** End of Report *****



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FREEHOLD**

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Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/606**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 6 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

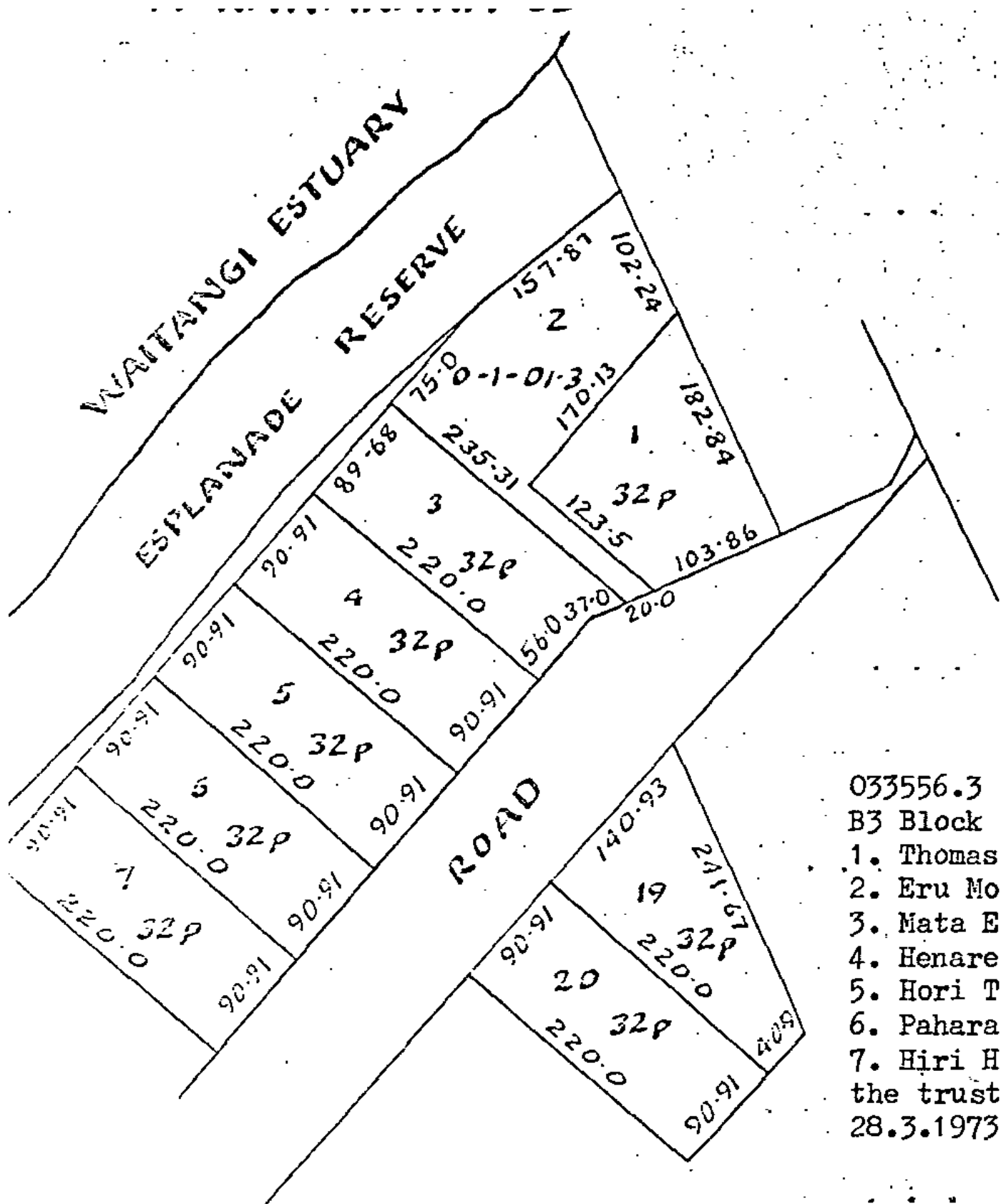
Interests

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am



Scale: 1 inch = 150 links



Report on Maori Land details for the following Record(s) of Title

Toitu te
Land whenua
Information
New Zealand



Record(s) of Title

NA18A/606

Identified as potentially Maori Freehold Land

***** End of Report *****



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

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Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/607**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 7 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

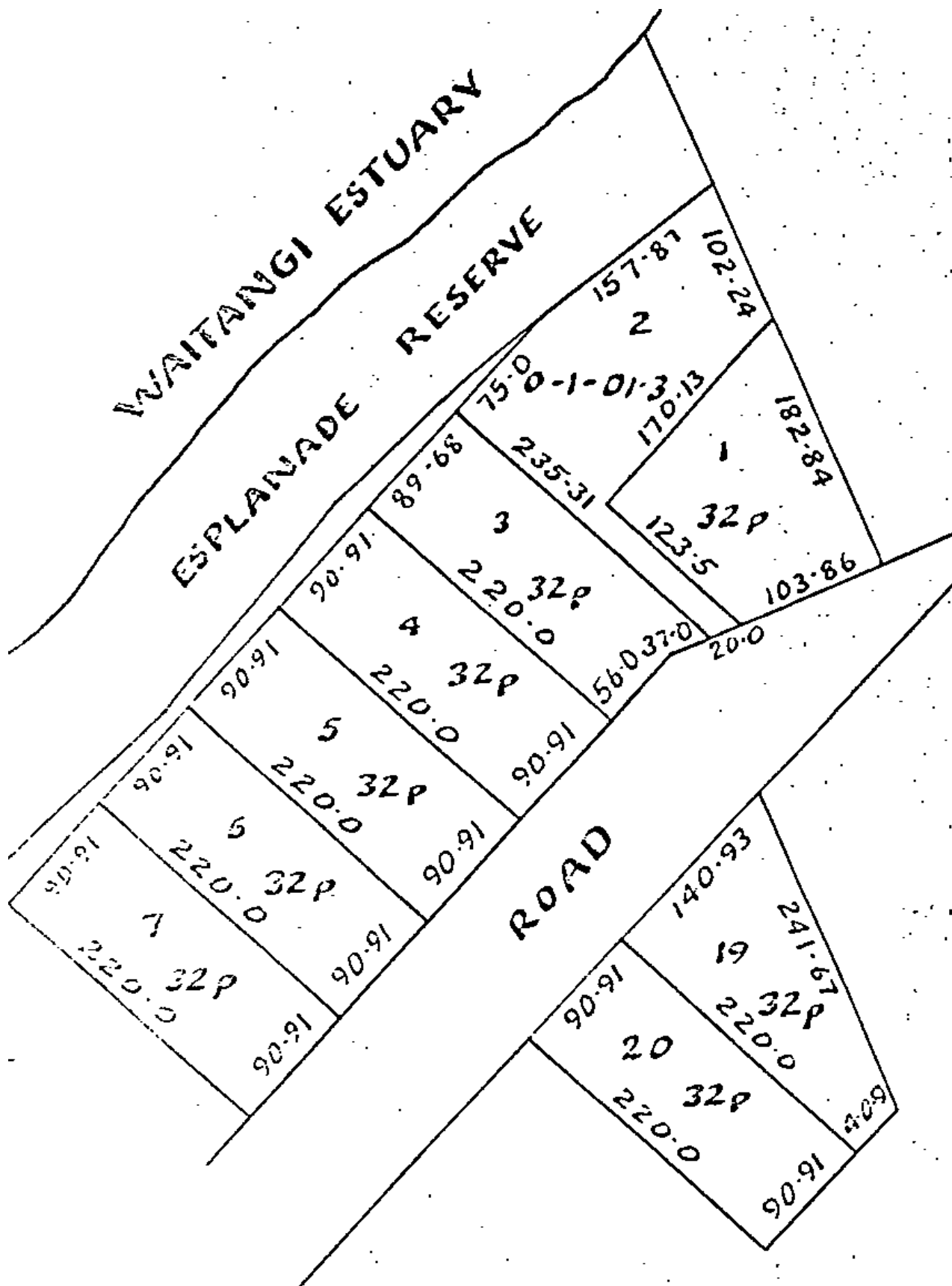
Interests

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/607

Identified as potentially Maori Freehold Land

***** End of Report *****



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/608**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 8 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

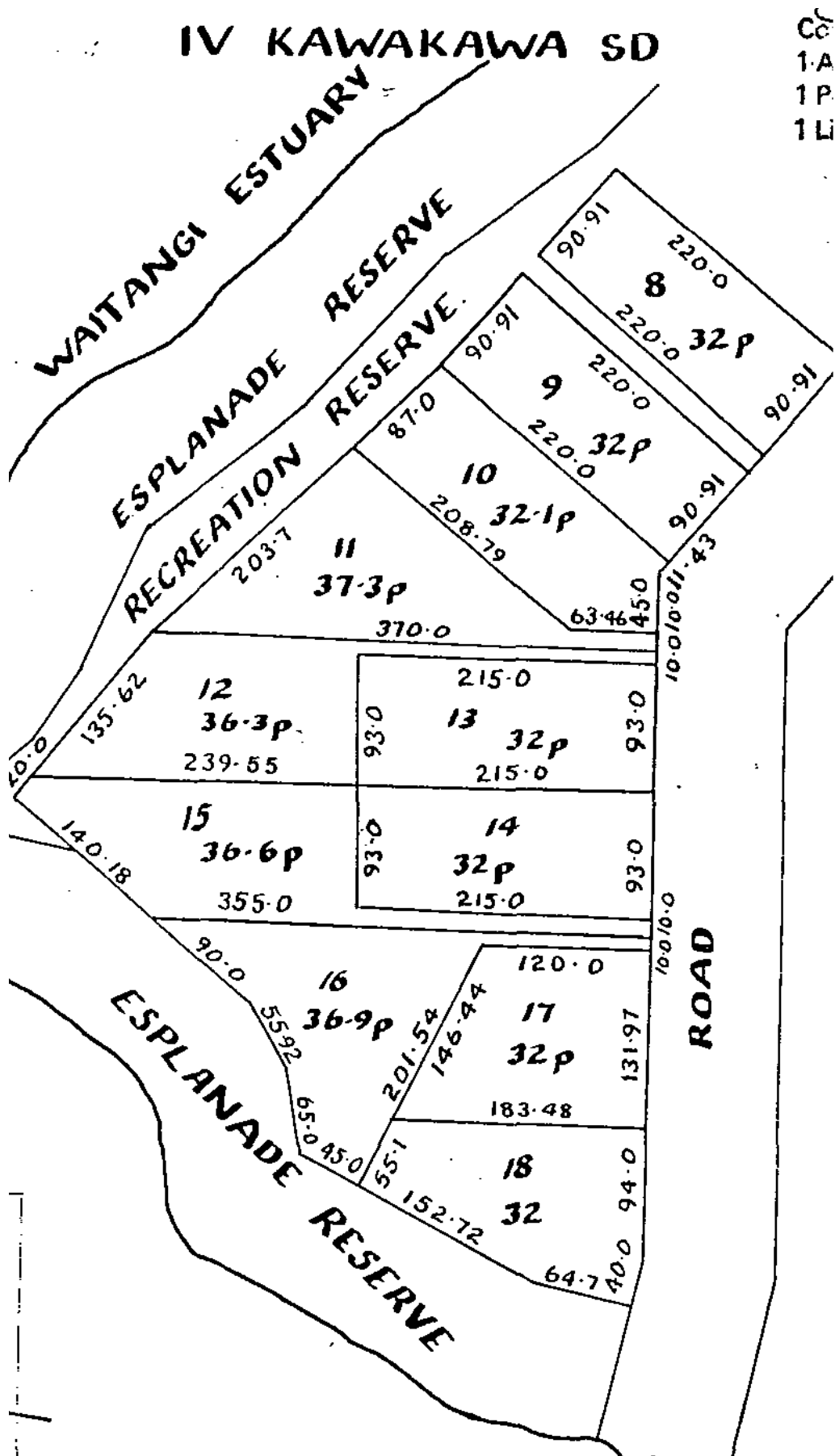
Interests

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

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Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/608

Identified as potentially Maori Freehold Land

***** End of Report *****



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/609**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 9 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

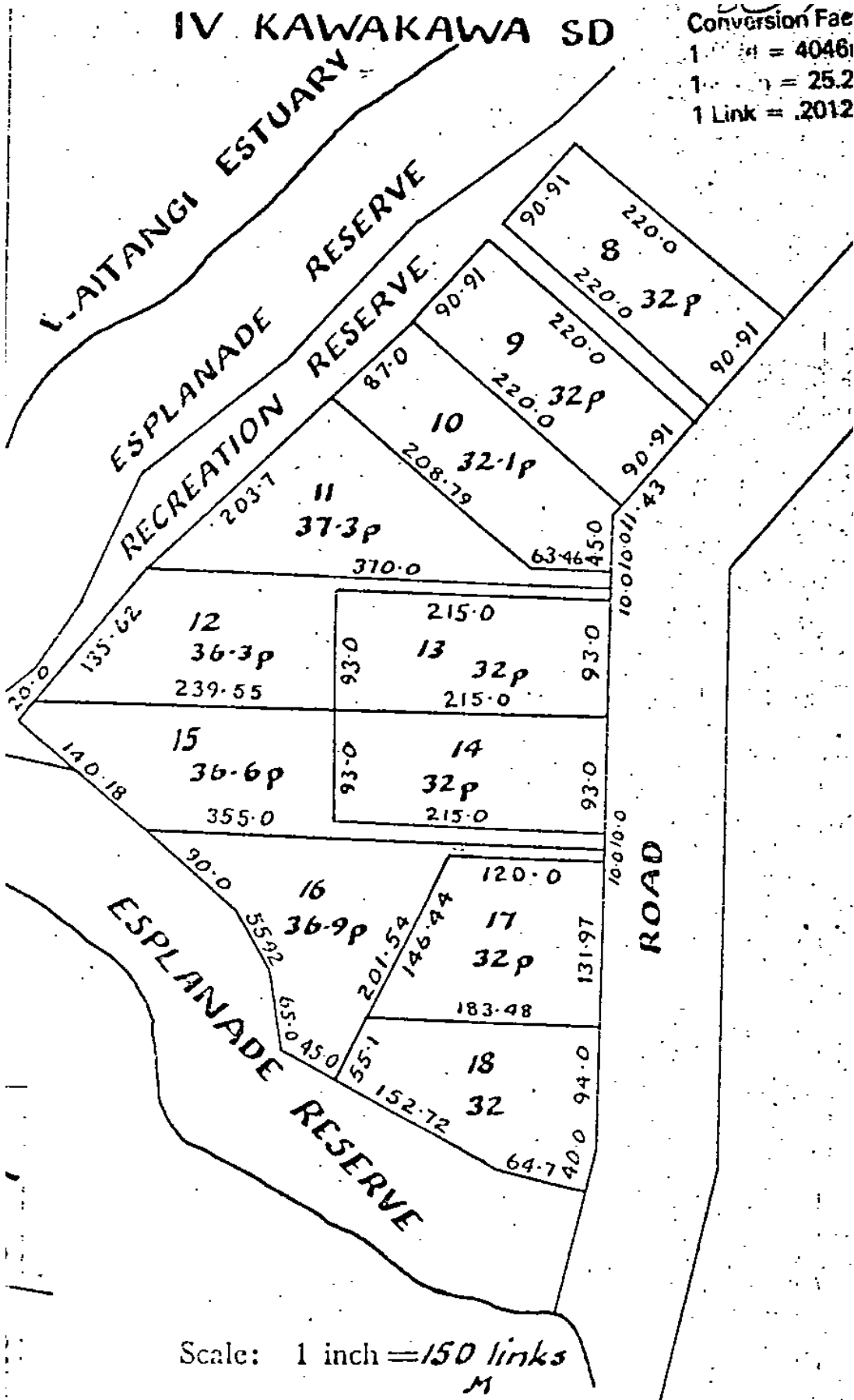
Interests

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/609

Identified as potentially Maori Freehold Land

***** End of Report *****



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/610**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 812 square metres more or less
Legal Description Lot 10 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

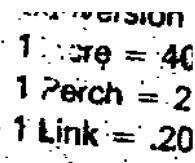
Interests

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/610

Identified as potentially Maori Freehold Land

***** End of Report *****



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA18A/611**
Land Registration District **North Auckland**
Date Issued 20 January 1970

Prior References
NA1515/37

Estate Fee Simple
Area 943 square metres more or less
Legal Description Lot 11 Deposited Plan 61631

Registered Owners

Dr. Maryanne Baker, George Frederick Riley, Whati Rameka, Melanie Jane Sweet, Emma Hepi, Marsha Elaine Davis and Wiremu Leslie Tane as responsible trustees jointly, no survivorship

Interests

Appurtenant hereto is a right of way specified in Easement Certificate 033556.8 - produced 28.3.1973 at 1.44 pm and entered 5.6.1974 at 10.26 am

Subject to a right of way over part coloured yellow specified in Easement Certificate 033556.8 - produced 28.3.1973 at 1.44 pm and entered 5.6.1974 at 10.26 am

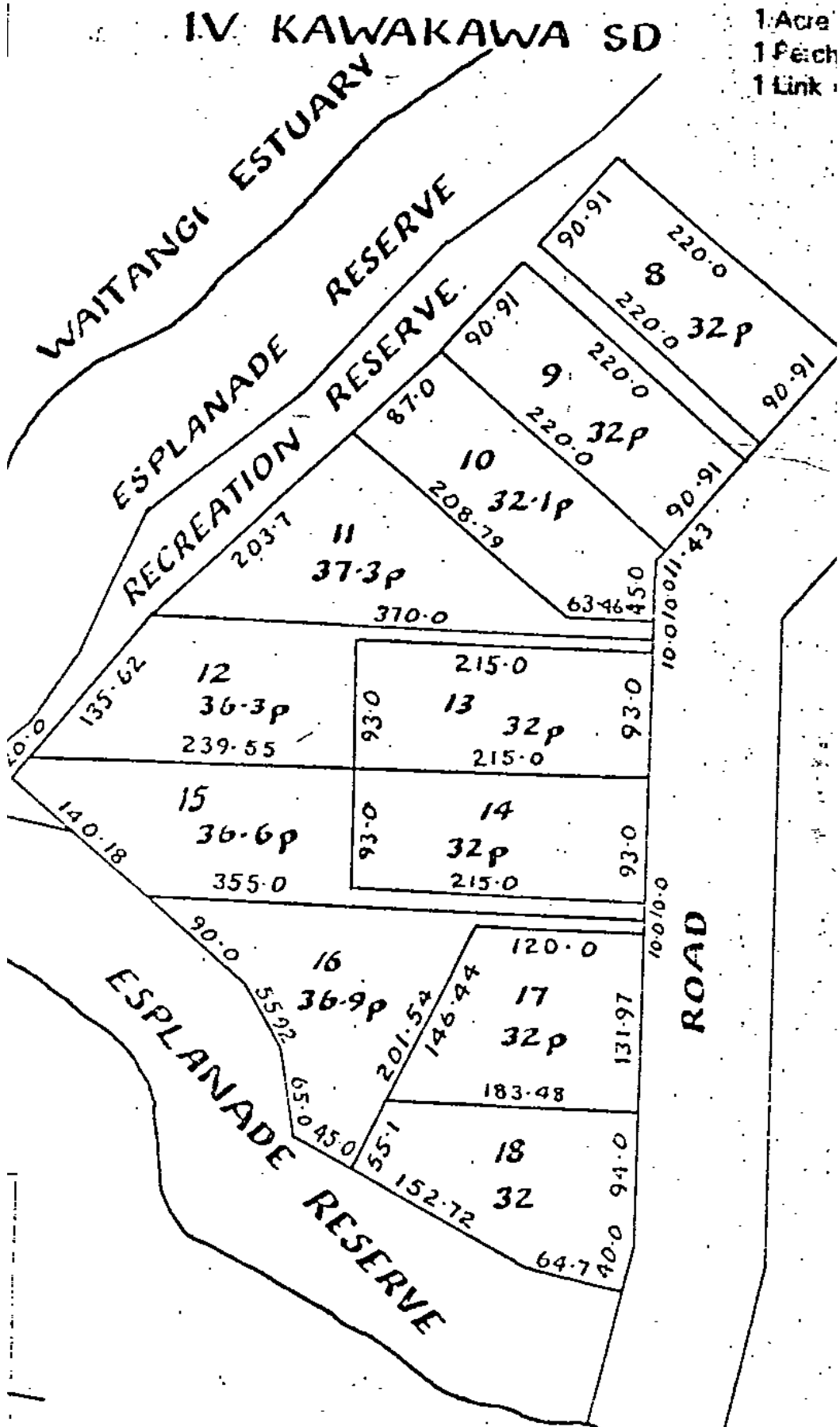
The easements specified in Easement Certificate 033556.8 are subject to Section 37 (1) (a) Counties Amendment Act 1961

C981361.1 Lease to Yvonne Puriri Term commencing on 3rd October 1995 and terminating on 2nd October 2014 - 18.4.1996 at 11.13 am

C981361.2 Mortgage of Lease C981361.1 to Maryanne Baker and Poihakena Syd Kira - 18.4.1996 at 11.13 am

D143534.1 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD LAND - 14.5.1997 AT 9.30 AM

8969757.2 Mortgage to Bank of New Zealand - 28.5.2012 at 11:36 am





Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

NA18A/611

Identified as potentially Maori Freehold Land

***** End of Report *****



Te Tii (Waitangi) B3 Trust

22 Te Kemara Avenue, Waitangi, 0200
PO BOX 273, Paihia, 0200
administrator@tetiwaitangi.co.nz

Te Tii (Waitangi) B3 Trust
Friday 10 October 2025

Confirmation of Appointment as Agent

Te Tii (Waitangi) B3 Trust

To Whom It May Concern,

This letter serves as formal confirmation of the appointment of Mrs. Pania Sigley, Company Secretary of Te Tii Limited Partnership (a subsidiary of Te Tii (Waitangi) B3 Trust), as an authorised agent acting on behalf of the Trust.

Mrs. Sigley is granted full authority to represent Te Tii (Waitangi) B3 Trust in all matters relating to land files associated with the Te Tii B3 Block, including relevant documentation held by the Far North District Council. This authority includes, but is not limited to, receiving and responding to correspondence and submitting documentation on behalf of the Trust.

Please direct all relevant communications, queries, and documentation requests to Mrs. Sigley in the first instance.

Should you require any further information or supporting documentation, you may contact Mrs. Sigley directly:

Email: secretary@tetiwaitangi.co.nz

Phone: 027 687 8548

Yours sincerely,

George Riley

Trust Chair— Te Tii (Waitangi) B3 Trust



SUITABILITY REPORT

1-21 Tahuna Road
Waitangi
(Lots 3-8 DP 61631)

SUITABILITY REPORT

1-21 Tahuna Road

Waitangi

(Lots 3-8 DP 61631)

Report prepared for: Advance Build

Report reference: 19776

Date: 10 November 2025

Revision: 3

Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
21/08/2025	1	Building Consent Issue	S Scott Compton	C Hay	M Jacobson
03/11/2025	2	Version 2	S Scott Compton	C Hay	M Jacobson
10/11/2025	3	Version 3	S Scott Compton	C Hay	M Jacobson



association of
consulting and
engineering

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Appendices

A	Drawings
B	Subsurface Investigations
C	Liquefaction Analysis

File: 19776
10 November 2025
Revision: 3

SUITABILITY REPORT

1-21 Tahuna Road, Waitangi

(Lots 3-8 DP 61631)

1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Advance Build to investigate the suitability of Lots 3-8 DP 61631 for the construction of proposed cabins and an ablution block. The purpose of this report is to assess the suitability of the building sites making foundation, earthworks stormwater disposal recommendations and assessing natural hazards.

The client proposes to construction twenty, single bedroom cabins and an ablution block, with timber floors on timber piled foundations.

2.0 Site Description

These 800m² approx. properties are located on the northwestern side of Tahuna Road, at the Waitangi Campground. The properties are made up of gentle slopes, with groundcover mainly being lawn, gravelled driveway, parking and an ablution block.



Figure 1: Lots 3-8 DP 61631

3.0 Desk Study

3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- GNS – Geology Of The Whangarei Area – Edbrooke & Brook – 2009.

3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map indicates that the property is located within an area that is underlain by Kariotahi Group, which has been described as follows: *“Weakly cemented sand in fixed transverse dune ridges.”*

4.0 Field Investigation

Technicians from this office visited the property on 31 July 2025 to undertake a walkover inspection, four Scala Penetrometer tests and eight hand augers. Two percolation tests were also completed. Geocivil Completed three Cone Penetration Tests (CPTs) on 7 August 2025.

The walkover inspection did not observe any signs of concern at the building site in relation to the proposal.

The hand augers were dug to a maximum depth of 3.0m below ground level (BGL). Shear Vane readings were taken at regular intervals throughout the hand augers. Soil and rock descriptions are in general accordance with the New Zealand Geotechnical Society guideline.

The Scala Penetrometer tests were performed next to the hand augers. The results ranged between 2 to 8 blows per 100mm.

The CPTs extended to depths of 5.5m, 7.6m and 11.8mBGL, terminating on exceeding cone tip resistance.

5.0 Subsoil Conditions

Interpretation of the subsurface conditions is based on the investigations shown on the drawings in Appendix A. The conditions are summarised below.

- Topsoil ranged between depths of 0.2m-0.5mBGL.
- Holocene dune sands of the Kariotahi Group consisted of fine to medium grained sands with minor gravels being loose to very dense and becoming slightly cemented with depth.
- The dune sands are inferred to extend to a depth of 5m-8m overlying inferred Waipapa Group.
- Groundwater was encountered between depths of 2m-2.6mBGL.

6.0 Geotechnical Assessment

6.1 Slope Stability

The building areas consists of gentle slopes, underlain with Kariotahi Group sands. Given the gentle slopes, lack of slope instability observed, and the underlying geology, the risk of slope instability to the building areas are considered to be low.

6.2 Liquefaction

Sand, sandy gravels and sandy silts are potentially at risk of liquefaction induced by earthquake ground shaking. Soils potentially prone to liquefaction are generally classified by a normalised soil behaviours index (I_c) less than 2.6, assessed using the CPT. The CPTs completed observed silty sands and sandy silts.

The proposed buildings are Importance Level 2 structures, as per AS1170. The following values of peak ground acceleration and magnitude are based on MBIE Geotechnical Engineering Module 1, November 2021.

In accordance with MBIE Geotechnical Engineering Module 3, using the software package, CLiq V.3 analysis was undertaken to assess the potential of earthquake induced liquefaction settlement using Boulanger and Idriss (2014). The results of the analysis are presented in Table 1 below.

Table 1: Liquefaction Analysis/Results.

Seismic Event	PGA	M_w	Liquefaction Potential (LPI)	Liquefaction Severity (LSN)	Free Field Settlement
ULS	0.19g	6.5	<5 Low risk	4-10 Little to no expression	3-5cm
SLS	0.03g	5.8	0 Low Risk	0 No expression	<1cm

Liquefaction triggering during an SLS event is unlikely. During a ULS seismic event, up to 50cm of vertical free field settlement has been assessed. Differential settlements of up to or less than 1:240 are expected, being within the limits of the Building Code.

6.3 Expansive Soils

The sandy soils onsite are considered as non-expansive. RS Eng considers the soils as being Class A (Non-Expansive) as per AS 2870.

7.0 Building Over or Near Public Pipelines

The Far North District Council (FNDC) Wastewater Drainage Bylaw 2018 for building, loading and excavation around public sewers states the following;

- *No building shall be constructed over a public sewer, whether on public or private land, without the prior written approval of Council and subject to any conditions of that approval.*
- *No building shall be constructed within the zone of influence without the prior written approval of Council and subject to any conditions of that approval.*
- *Subject to written approval, a building developer may divert the public sewer (including any manholes) in accordance with Council standards and shall meet the cost of doing so.*
- *Unless otherwise approved, no person shall:*
 - *Cause the crushing load imposed on a public sewer to exceed that which would arise from the soil overburden plus an HN-HO-72 wheel or axle load (as defined by New Zealand Transport Agency Bridge Manual 3rd edition 2013).*
 - *Place any additional material over or near a public sewer;*
 - *Change the elevation of the land above a public sewer ;*
 - *Cover service openings in any way. Removal of any covering material or adjustment of the opening shall be at the property owner's expense.*
- *No person shall excavate or carry out piling or similar work closer than:*
 - *5 metres from the centre line of any rising main or trunk sewer; or*
 - *2 metres from the centre line of any public sewer;**without approval and subject to any conditions associated with that approval.*

An existing sanitary sewer pipeline runs within the southern boundary, adjacent to the proposed buildings, inferred to range between 1.0m to 0.4mBGL. To comply with the FNDC bylaw, the foundations shall extend a minimum of 0.5m below the zone of influence of the sewer pipeline in order not to surcharge the sewer pipeline. Specific approval is required by the Far North District Council.

8.0 Coastal Flooding

The Northland Regional Council have designated the proposed buildings as being within a coastal flood susceptible zone. Refer to Figure 2 below.



Figure 2: NRC Coastal Flood Mapping

The Northland Regional Council engaged Tonkin and Taylor to undertake a detailed assessment of coastal flood risk which is presented in the report entitled *“Coastal Flood Hazard Zones for Selected Northland Sites, Final Report”* dated March 2021. Given the 1% AEP storm event and 100 years of sea level rise a flood level of 3.9m NZVD has been interpreted. Existing ground levels are typically a minimum of 3.8-4.0m NZVD. During this design storm event, flood depths are therefore less than 100mm, with velocities considered to be low (<0.1m/s). This is considered safe for people, vehicles and buildings, refer to Figure 3 below. Safe access and egress to the site is also available with the land connected to Tahuna Road outside the flood susceptible area.

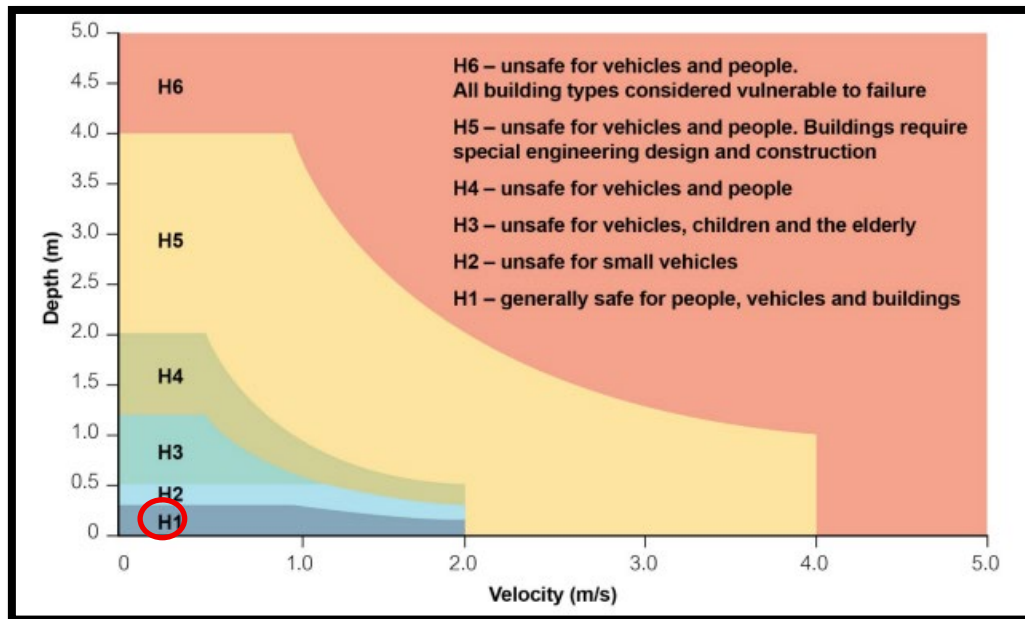


Figure 3: Flood Hazard Curve (Figure 6.7.9 Smith et al 2014)

Provided the below minimum levels in Table 2 are achieved, the risk of inundation to the land and building works is considered to be low.

Table 2: Minimum Levels

Minimum Ground Level	Minimum Finished Floor Level
3.9m NZVD	4.4m NZVD

9.0 Coastal Erosion

The Northland Regional Council coastal hazard zones are based on the Tonkin & Taylor October 2020 Report “*Coastal Erosion Hazard Zone Assessment for Selected Northland Sites*” where:

- CEHZ1 (orange) is a zone likely to be subject to coastal erosion within a 50 year period.
- CEHZ2 (yellow) is a zone potential to be subject to erosion within a 100 year period.
- CEHZ3 (green) is a zone potential to be subject to erosion within a 100 year period including rapid sea level rise scenario.

The building works which the land is intimately connected to are well setback from the coastal erosion zones, the building works are considered to be at low risk of coastal erosion.



Figure 4: Coastal Erosion Mapping NRC.

10.0 Stormwater Management

10.1 Stormwater Attenuation Assessment

The properties are proposed to be amalgamated, having a combined area of approximately 9412m². The properties are located within the Residential Zone. As per section 7.6.5.1.6 of the District Plan, *“The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%.”*

The total proposed impervious surfaces to be created is 3123m², being 835m² in new roofing form the proposal, 462m² of existing roofs of buildings and 1826m² in gravelled driveways and parking, respectively. Given that the proposed works do not exceed 50% of the amalgamated properties, the works are considered to be permitted.

10.2 Stormwater Disposal

Stormwater runoff from roof areas and paving should be disposed of in a reasonable manner. It is proposed to create a new kerb connection along Tahuna Road, where stormwater then discharges to a road drain that outlets to the estuary.

11.0 Engineering Recommendations

11.1 Site Subsoil Class

In accordance with NZS 1170.5:2004, Section 3.12.3 the site has been assessed for its Site Subsoil Class. Based on the observations listed above RS Eng considers the site soils lie within Site Class C *“Shallow Soil Site.”*

11.2 Minimum Levels

Minimum ground and floor levels shall be in accordance with Table 2 above.

11.3 Earthworks

To form access to and create a building platform for the proposed building(s) earthworks are proposed. To suitably develop the building area, RS Eng recommend as follows.

- Cuts and fills should be limited to minor levelling (<0.3m) only.
- Site works shall generally be completed in accordance with NZS 4431.
- The building sites and driveway should be shaped to assist in stormwater run-off and avoid ponding of surface water.

11.4 Foundations

It is proposed to construct cabins and an ablution block with a timber floor on timber piled foundations. To suitably found the proposal the following is recommended;

- All foundations shall be designed to account for the reduced bearing capacities set out below.
- The foundations shall be specifically designed to account for the following potential settlements during a ULS seismic event, of up to 50mm of vertical settlement, respectively.
- The foundations shall be checked for potential punching shear during the ULS seismic event. In this case, the liquefied sands can be considered to have a residual shear strength of 20kPa. A 2.0m depth of non-liquefiable crust is available.
- Piled foundations shall extend a minimum of 0.5m below original ground level.
- Foundations within the zone of influence of the sewer line shall extend a minimum of 0.5m below the depth of influence.

Notwithstanding the recommendations of this report, for the specific design of shallow foundations, RS Eng has assessed the following static conditions.

- 150kPa Ultimate Bearing Capacity (Geotechnical Ultimate).
- 100kPa Dependable Bearing Capacity (Ultimate Limit State).
- 50kPa Allowable Bearing Capacity (Serviceability Limit State).

12.0 Construction Monitoring and Producer Statements

RS Eng recommends a suitably experienced Chartered Professional Engineer monitor the construction of the following works to confirm if the geotechnical conditions are consistent with that outlined in this report.

- Foundation Excavations.

Any works not inspected will be excluded from future producer statements (PS4) to be issued by RS Eng. In any event, where doubt exists regarding inspections, this office should be contacted for advice and provided with reasonable notice of inspections.

13.0 Conclusions

It is the conclusion of RS Eng Ltd that the building area is suitable for the proposal provided the recommendations and limitations stated within this report are adhered to.

RS Eng Ltd also concludes that subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004;

(a) the building work to which an application for a building consent relates will not accelerate, worsen, or result in slippage, subsidence, inundation and coastal erosion on the land on which the building work is to be carried out or any other property; and

(b) the land is neither subject to nor likely to be subject to slippage, subsidence, inundation and coastal erosion.

14.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to determine the engineering suitability of the proposed buildings, in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed. If during the construction process, conditions are encountered that differ from the inferred conditions on which the report has been based, RS Eng should be contacted immediately.

Construction site safety is the responsibility of the builder/contractor. The recommendations included herein should not be construed as direction of the contractor's methods, construction sequencing or procedures. RS Eng can provide recommendations if specifically engaged to, upon request.

The minimum flood levels recommended herein are based on requirements of the NZ Building Code and Building Act, and may be subject to inundation in storm events greater than those designed for.

This report does not address matters relating to the National Environmental Standard for Contaminated Sites, and if applicable separate advice should be sought on this matter from a suitably qualified person.

Prepared by:



Sarah Scott Compton

Senior Technician
NZDE(Civil)

Reviewed by:



Codie Hay

Senior Technician
NZDE(Civil)

Approved by:



Matthew Jacobson

Director
NZDE(Civil), BE(Cons)(Civil), CPEng, CMEngNZ

RS Eng Ltd

Appendix A

Drawings



- NOTES:
- If any part of these documents are unclear, please contact RSEng Ltd.
 - This plan is copyright to RSEng Ltd and should not be reproduced without prior permission.



LEGEND

Proposed Buildings

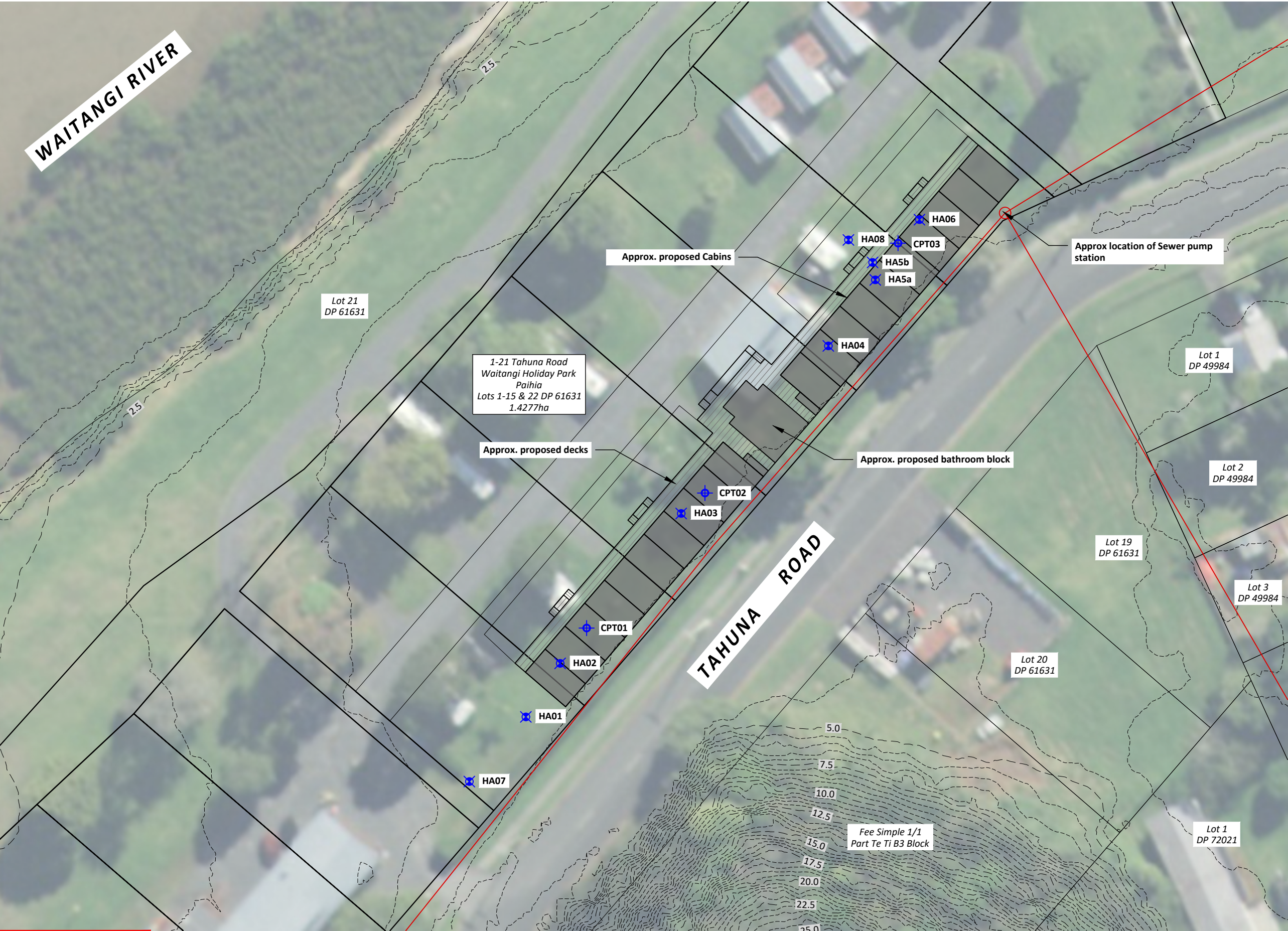
Proposed Decks

Contour Interval: 0.5m
Vertical Datum: NZVD2016
Survey Data Source: LiDAR (2018)

0 10 20
PLAN 1:1000

FOR CONSENT

	RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission. If any part of these documents are unclear, please contact RS Eng Ltd.	PROPOSED DWELLINGS SITE PLAN SITE INVESTIGATIONS	Client					Scale	Rev No.
				ADVANCE BUILD					1:1000	A
				Location					Original	Sheet No.
				1-21 TAHUNA ROAD PAIHIA		30/07/2025 A Original Issue			A3	C01
						Date Rev Notes				
Drawn by: LMC		Reviewed by: MJ		Approved by: MJ		Job No.				
						19776				



NOTES:

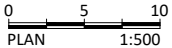
- If any part of these documents are unclear, please contact RSEng Ltd.
- This plan is copyright to RSEng Ltd and should not be reproduced without prior permission.



LEGEND

- Hand Auger Location
- Cone Penetration Test Location
- Proposed Buildings
- Proposed Decks
- Wastewater Pipe (based on gis)

Contour Interval: 0.5m
Vertical Datum: NZVD2016
Survey Data Source: LiDAR (2018)



FOR CONSENT

 RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission. If any part of these documents are unclear, please contact RS Eng Ltd.	PROPOSED DWELLINGS SITE PLAN SITE INVESTIGATIONS	Client						Scale	1:500	Rev No.	A	
			ADVANCE BUILD										
			Location						Original	A3	Sheet No.	C02	
			1-21 TAHUNA ROAD PAIHIA						30/07/2025	A	Original Issue		
									Date	Rev	Notes		Job No.
										19776			

Appendix B

Subsurface Investigations

HAND AUGER LOG

HOLE NO.:

HA01

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi

CO-ORDINATES: 1698027mE, 6095806mN

ELEVATION: 3.8m

START DATE: 31/07/2025

END DATE: 31/07/2025

LOGGED BY: MM

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 100mm)	VANE SHEAR STRENGTH (kPa) Vane: Values	WATER
TS	Sandy TOPSOIL.			TS	3		
			0.2	TS	4		
	Silty SAND, with trace gravel; light brown. Loose; moist; non-plastic.				6		
			0.4		6		
					4		
			0.6		4		
	Silty SAND, with minor clay, with trace gravel; light brown. Loose; moist; non-plastic.				2		
			0.8		2		
					2		
			1.0		2		
					3		
			1.2		3		
					3		
			1.4		3		
					2		
	Silty SAND, with some gravel, with trace rootlets; light brown, some orange. Loose to medium dense; moist; non-plastic.		1.6		2		
					2		
			1.8		2		
					2		
			2.0		2		
	Clayey silty SAND; yellowish light brown. Loose to medium dense; saturated; non-plastic.				2		
			2.2		2		
					2		
			2.4		2		
					2		
			2.6		2		
					2		
	EOB - Collapsing. End Of Hole: 2.70m		2.8				
			3.0				

PHOTO(S)



REMARKS

WATER

-  Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit

HAND AUGER LOG

HOLE NO.:

HA02

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi

CO-ORDINATES: 1698042mE, 6095823mN

ELEVATION: 4m

START DATE: 31/07/2025

END DATE: 31/07/2025

LOGGED BY: MM

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 100mm)	VANE SHEAR STRENGTH (kPa) Vane: Values	WATER
					2 4 6 8 10 12 14 16 18	50 100 150 200	
TS	Silty sandy TOPSOIL; dark brown / blkck. Stiff; moist; low plasticity.		0.0	TS	2		
			0.1	TS	2		
			0.2	TS	2		
			0.3	TS	4		
			0.4	TS	3		
	SAND, with minor silt; grey / orange / yellow / brown. Loose; moist; non-plastic; sand, fine to medium.		0.5		3		
			0.6		2		
	SAND, with minor silt; grey / orange / yellow / brown. Loose; moist to wet; non-plastic; sand, fine to medium.		0.7		2		
			0.8		3		
			0.9		4		
			1.0		4		
			1.1		3		
			1.2		3		
			1.3		4		
	SAND, with minor silt, with trace gravel; grey / orange / yellow / brown. Loose; moist to wet; non-plastic; sand, fine to coarse; gravel, fine, subangular.		1.4		5		
			1.5		5		
			1.6		5		
			1.7		7		
			1.8		6		
			1.9		6		
			2.0		6		
			2.1		6		
			2.2		5		
			2.3		5		
			2.4		6		
			2.5		6		
	Gravelly SAND; orange / grey / yellow. Loose; saturated; sand, fine to coarse; gravel, fine to coarse, subangular to angular.		2.6		7		
			2.7				
	EOB - No retrieval. End Of Hole: 2.90m		2.8				
			2.9				
			3.0				

PHOTO(S)



REMARKS

WATER

- Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit

HAND AUGER LOG

HOLE NO.:
HA03

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi

CO-ORDINATES: 1698055mE, 6095837mN

ELEVATION: 4m

START DATE: 31/07/2025

END DATE: 31/07/2025

LOGGED BY: MM

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)											VANE SHEAR STRENGTH (kPa) Vane:				WATER						
					2	4	6	8	10	12	14	16	18	50	100	150	200	Values								
TS	Sandy TOPSOIL.			TS TS TS TS TS TS																						
Kariolahi Gr	SAND, with minor silt and gravel; brown . Loose to medium dense; moist; non-plastic; sand, fine to coarse; gravel, fine, angular and subangular.		0.2																							
			0.4																							
			0.6																							
			0.8																							
			1.0																							
			1.2																							
			1.4																							
			1.6																							
			1.8																							
			2.0																							
			2.2																							
		2.4																								
	SAND, with minor shells and silt and gravel; brown . Loose to medium dense; saturated; non-plastic; sand, fine to coarse; gravel, fine, angular and subangular.	2.6																								
		2.8																								
	EOB - Saturated / collapsing. End Of Hole: 3.00m	3.0																								

4

PHOTO(S)



REMARKS

WATER

-  Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit



HOLE NO.:
HA04

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi

CO-ORDINATES: 1698070mE, 6095854mN

ELEVATION: 4m

START DATE: 31/07/2025

END DATE: 31/07/2025

LOGGED BY: MM

[illegible]

PHOTO(S)



REMARKS

WATER

-  Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit



HOLE NO.:
HA05a

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi
CO-ORDINATES: 1698080mE, 6095869mN

ELEVATION: 4m

START DATE: 31/07/2025
END DATE: 31/07/2025
LOGGED BY: MM

Groundwater Not Encountered

PHOTO(S)



REMARKS

WATER

-  Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit

 RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110		HAND AUGER LOG						HOLE NO.: HA05b			
		CLIENT: Waitangi Trust PROJECT: Geotechnical Investigations						JOB NO.: 19776			
SITE LOCATION: 1-21 Tahuna Road, Waitangi CO-ORDINATES: 1698082mE, 6095870mN		ELEVATION: 4m						START DATE: 31/07/2025 END DATE: 31/07/2025 LOGGED BY: MM			
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm) 2 4 6 8 10 12 14 16 18				VANE SHEAR STRENGTH (kPa) Vane: 50 100 150 200 Values		WATER
TS	TOPSOIL.			TS TS TS TS TS TS							groundwater Not Encountered
Karioitahi Gr	Gravelly SAND; brown . Medium dense; moist.		0.2								
	EOB - UTP gravel. End Of Hole: 0.50m		0.4								
			0.6								
			0.8								
			1.0								
			1.2								
			1.4								
			1.6								
			1.8								
			2.0								
			2.2								
			2.4								
			2.6								
			2.8								
			3.0								
PHOTO(S)					REMARKS						
					WATER ▼ Standing Water Level ▷ Out flow ↶ In flow INVESTIGATION TYPE ☒ Hand Auger ☐ Test Pit						



RS Eng Ltd
09 438 3273
office@RSEng.co.nz
2 Seaview Road,
Whangarei 0110

HAND AUGER LOG

HOLE NO.:
HA06

CLIENT: Waitangi Trust
PROJECT: Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi
CO-ORDINATES: 1698096mE, 6095879mN

ELEVATION: 4m

START DATE: 31/07/2025
END DATE: 31/07/2025
LOGGED BY: MM

UNIT	MATERIAL DESCRIPTION (See Classification & Symbolology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER	VANE SHEAR STRENGTH (kPa)				WATER								
					(Blows / 100mm)	Vane:												
						2	4	6	8		10	12	14	16	18	50	100	150
TS	TOPSOIL.			TS	2													
Kariotiaki Gr	SAND, with some gravel, with trace silt; brown / grey / some orange. Loose; moist; non-plastic; sand, fine to coarse; gravel, fine to coarse, subangular.		0.1		6													
			0.2		8													
			0.3		8													
			0.4		5													
			0.5		5													
			0.6		3													
			0.7		3													
			0.8		3													
			0.9		3													
			1.0		3													
	SAND, with minor gravel; orange / brown / grey. Loose; moist.		1.1		3													
			1.2		4													
			1.3		4													
			1.4		4													
			1.5		3													
			1.6		3													
			1.7		3													
			1.8		3													
			1.9		3													
			2.0		3													
	SAND, with minor gravel; orange / brown / grey. Loose; wet.		2.1		4													
			2.2		4													
EOB - Hole collapse. End Of Hole: 2.60m		2.3		4														
		2.4		4														
		2.5		5														
		2.6		5														
		2.7		5														
		2.8																
	2.9																	
	3.0																	

PHOTO(S)



REMARKS

WATER

- ▼ Standing Water Level
▷ Out flow
◁ In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit



HOLE NO.:
HA07

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi
CO-ORDINATES: 1698020mE, 6095799mN

ELEVATION: 4m

START DATE: 31/07/2025
END DATE: 31/07/2025
LOGGED BY: MM

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane:	Values	WATER
TS	Sandy TOPSOIL.			 TS 				Groundwater Not Encountered
			0.2	 TS 				
				 TS 				
			0.4	 TS 				
				 TS 				
			0.6	 TS 				
				 TS 				
			0.8	 TS 				
				 TS 				
			1.0	 TS 				
Kariotiah Gr	SAND, with minor clay.							Groundwater Not Encountered
	SAND.							
								
								
								
								
								
								
								
								
	End Of Hole: 1.00m							Groundwater Not Encountered
								
								
								
								
								
								
								
								
								

PHOTO(S)



REMARKS

WATER

- Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit



HOLE NO.:
HA08

CLIENT:	Waitangi Trust
PROJECT:	Geotechnical Investigations

JOB NO.:
19776

SITE LOCATION: 1-21 Tahuna Road, Waitangi
CO-ORDINATES: 1698078mE. 6095880mN

ELEVATION: 4m

START DATE: 31/07/2025
END DATE: 31/07/2025
LOGGED BY: MM

Groundwater Not Encountered

REMARKS



 Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

☒ Hand Auger
☐ Test Pit



← Depth in m to reference level (MHWS)

— Dynamic pore pressure (u2) in MPa —→

-0.1 0.0 0.1 0.2 0.3 0.4 0.5 0.6 0.7 0.8 0.9 1.0 1.1 1.2 1.3

G.L. : 0.00 m MHWS

1.49
r u2
225 cm²
15 cm²

0.0 0.2 0.4 0.6 0.8 1.0 1.2

— Equilibrium pore pressure (u0) in MPa —→

Anchor Failure

Water Table -2.72m



TEST RIGHT • BUILD RIGHT

NORTHLAND - WELLINGTON - CANTERBURY - OTAGO

Test performed in accordance with ASTM D5778-12

Project : **RS Eng**

Location: **Waitangi, Tahuna Rd**

Position: **174.077935, 35.275988 WGS84**

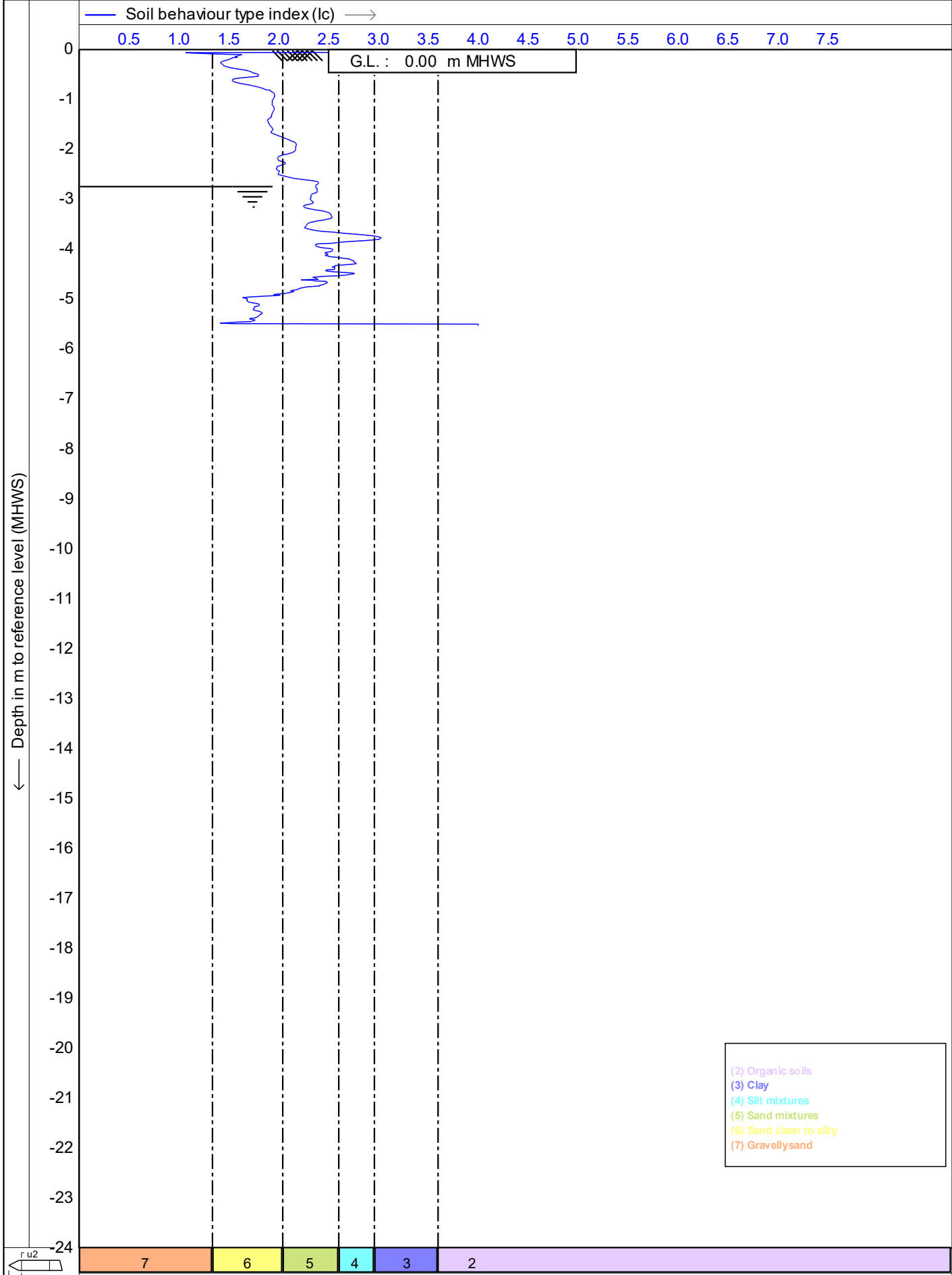
Date : **7/08/2025**

Cone no. : **C15CFIIP.C21199**

Project no. : **8155-290**

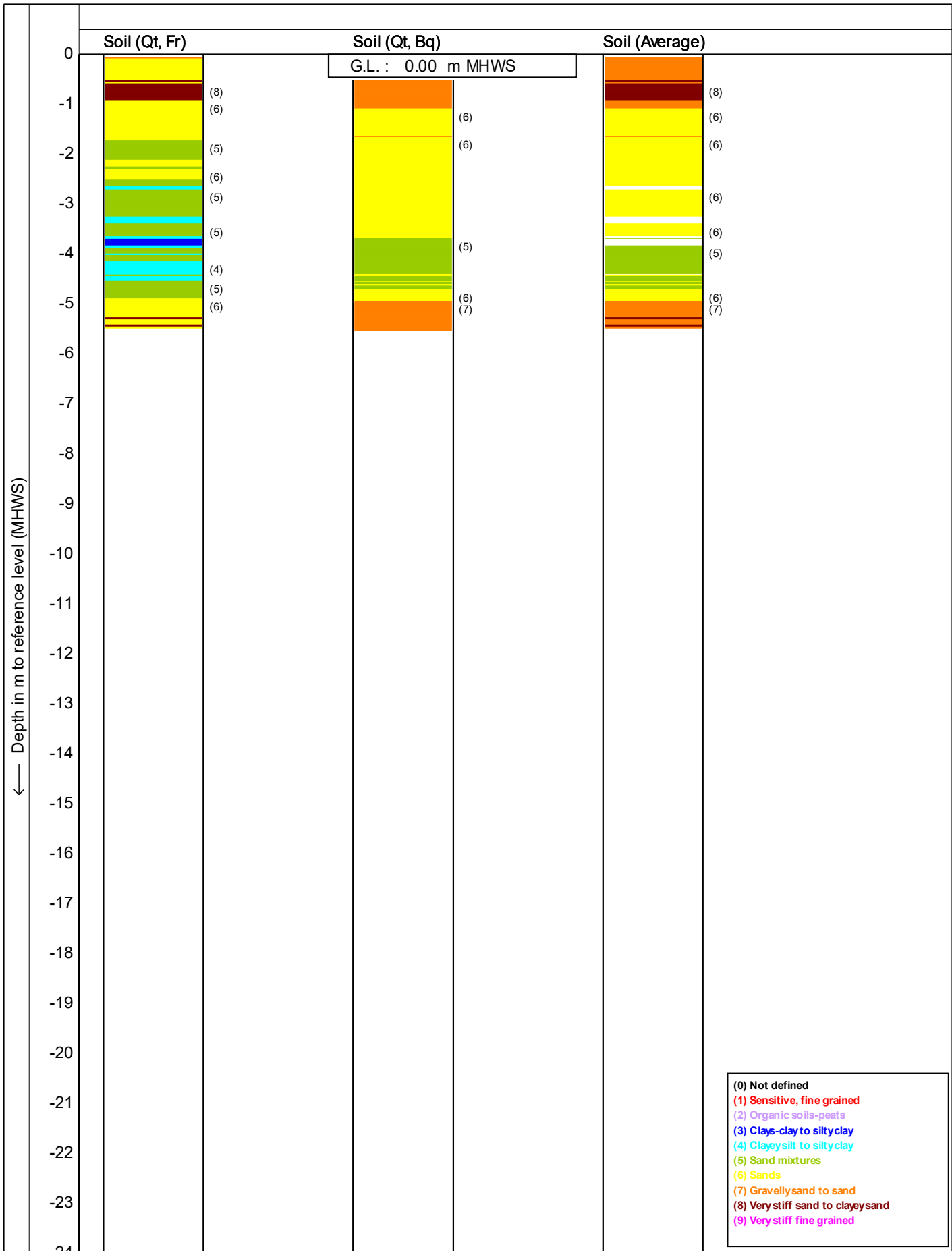
CPT no. : **CPT01**

2/4



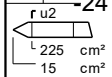
 TEST RIGHT • BUILD RIGHT NORTHLAND • WELLINGTON • CANTERBURY • OTAGO	Test performed in accordance with ASTM D5778-12		Date : 7/08/2025
	Project : RS Eng		Cone no. : C15CFIIP.C21199
	Location: Waitangi, Tahuna Rd		Project no. : 8155-290
	Position: 174.077935, 35.275988 WGS84		CPT no. : CPT01 3/4

← Depth in m to reference level (MHWS)

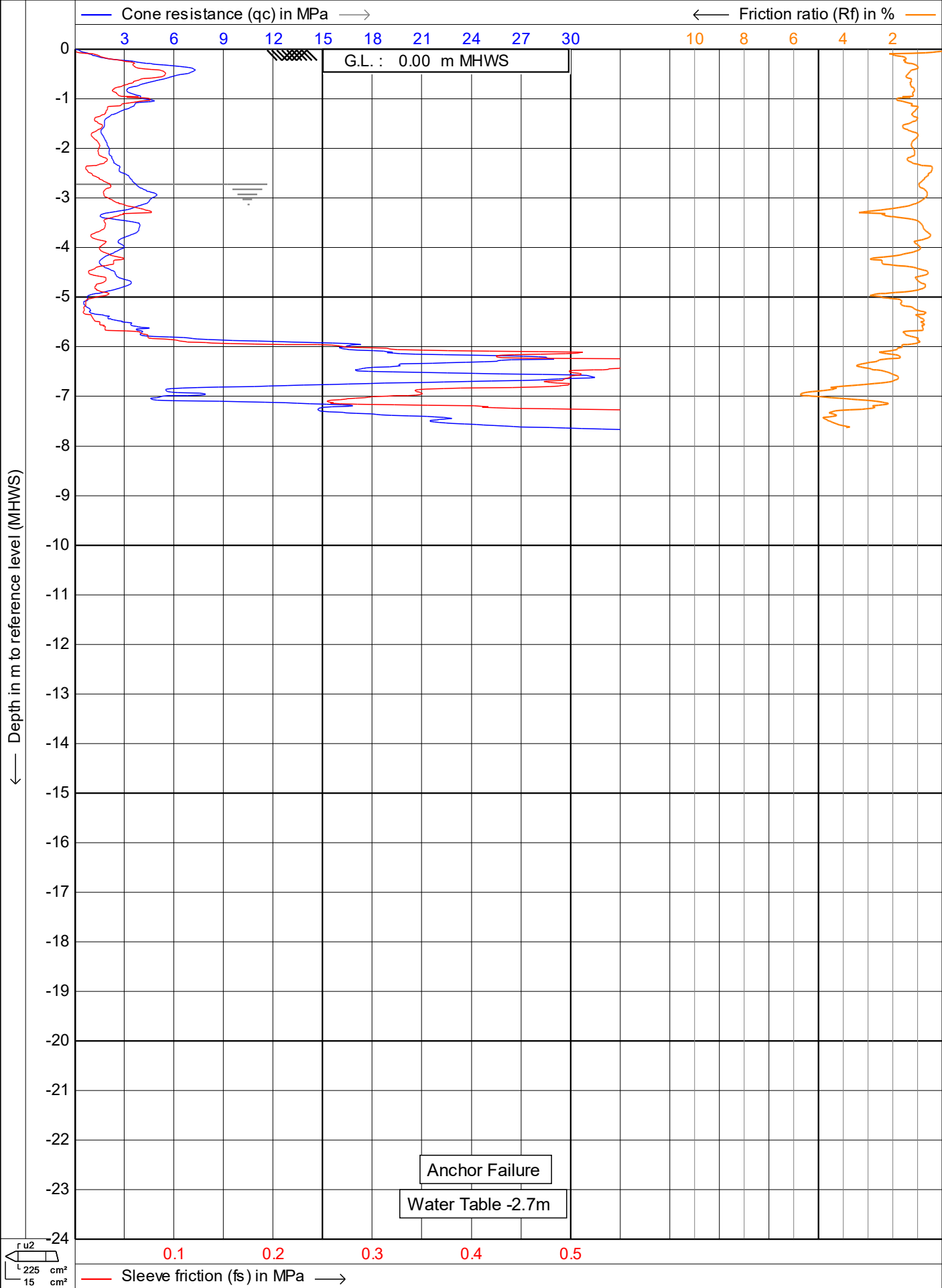


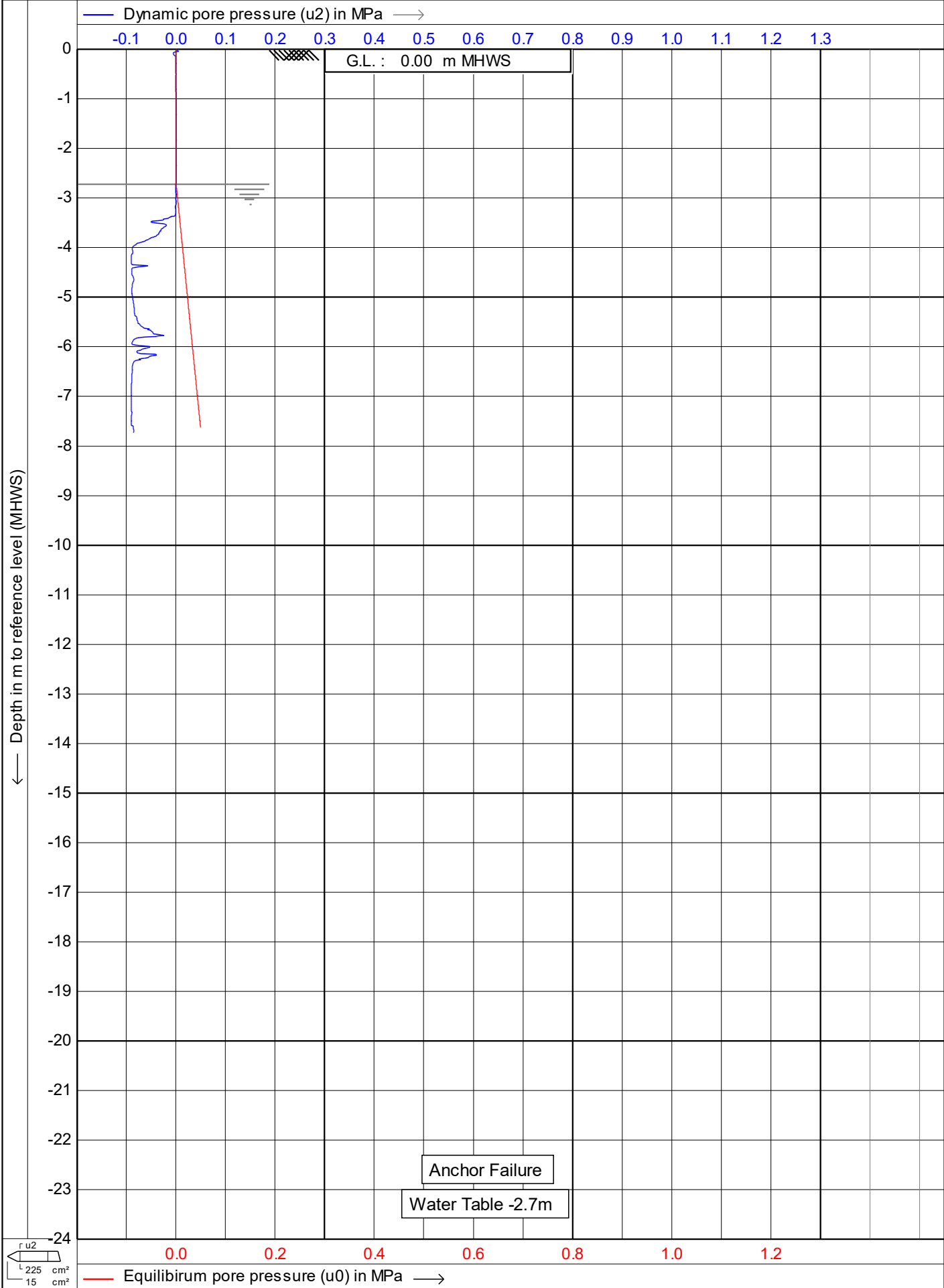
- (0) Not defined
(1) Sensitive, fine grained
(2) Organic soils-peats
(3) Clays-clay to siltyclay
(4) Clayesilt to siltyclay
(5) Sand mixtures
(6) Sands
(7) Gravelly sand to sand
(8) Very stiff sand to clayey sand
(9) Very stiff fine grained

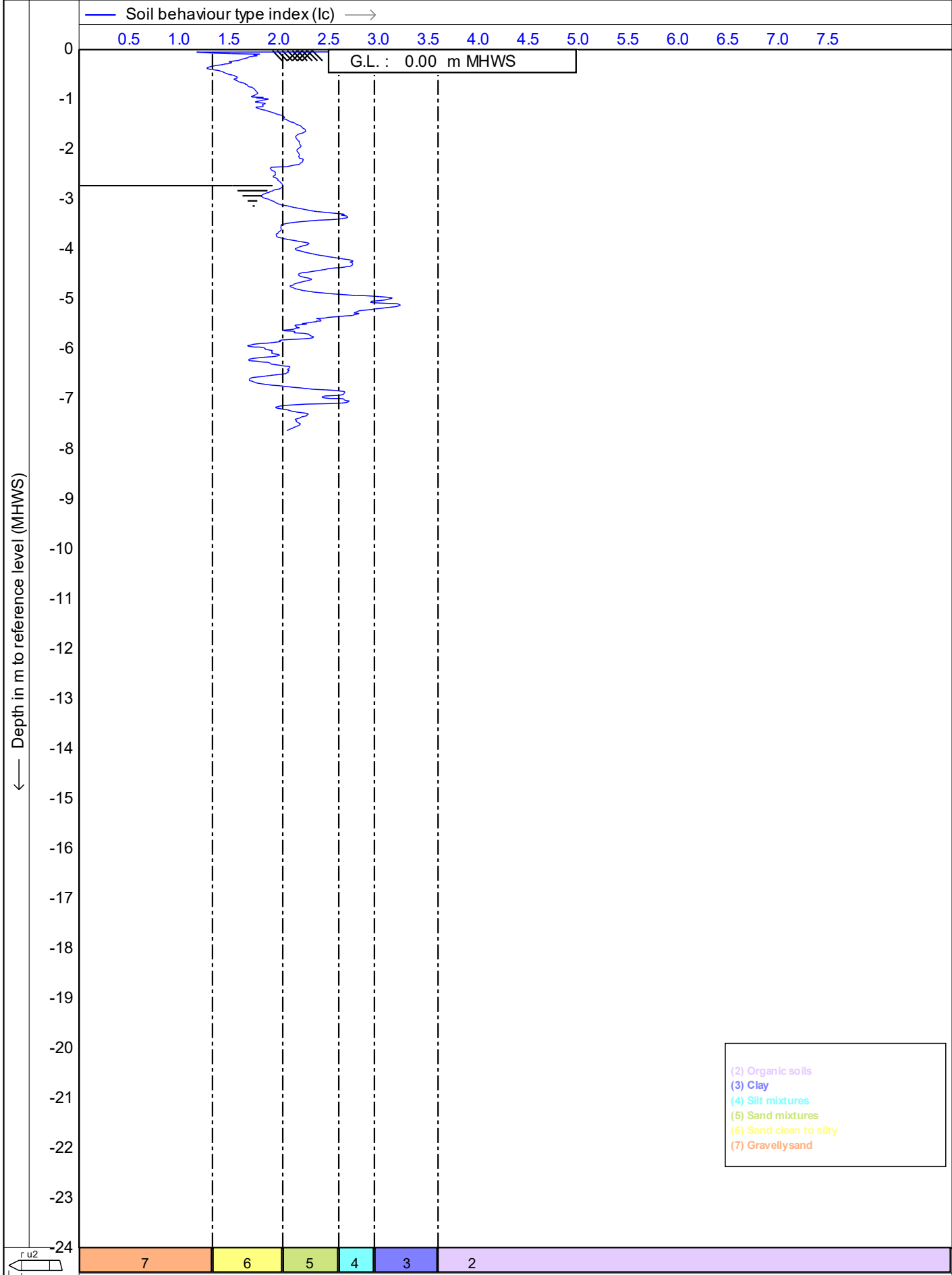
Soil behaviour type classification after Robertson 1990



GEO CIVIL TEST RIGHT • BUILD RIGHT NORTHLAND - WELLINGTON - CANTERBURY - OTAGO	Test performed in accordance with ASTMD5778-12		Date : 7/08/2025	
	Project : RS Eng		Cone no. : C15CFIIP.C21199	
	Location: Waitangi, Tahuna Rd		Project no.: 8155-290	
	Position: 174.077935, 35.275988 WGS84		CPT no. : CPT01	4/4







ru2
225 cm²
15 cm²



TEST RIGHT • BUILD RIGHT

NORTHLAND • WELLINGTON • CANTERBURY • OTAGO

Test performed in accordance with ASTM D5778-12

Project : RS Eng

Location: Waitangi, Tahuna Rd

Position: 174.078191, -35.275786 WGS84

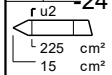
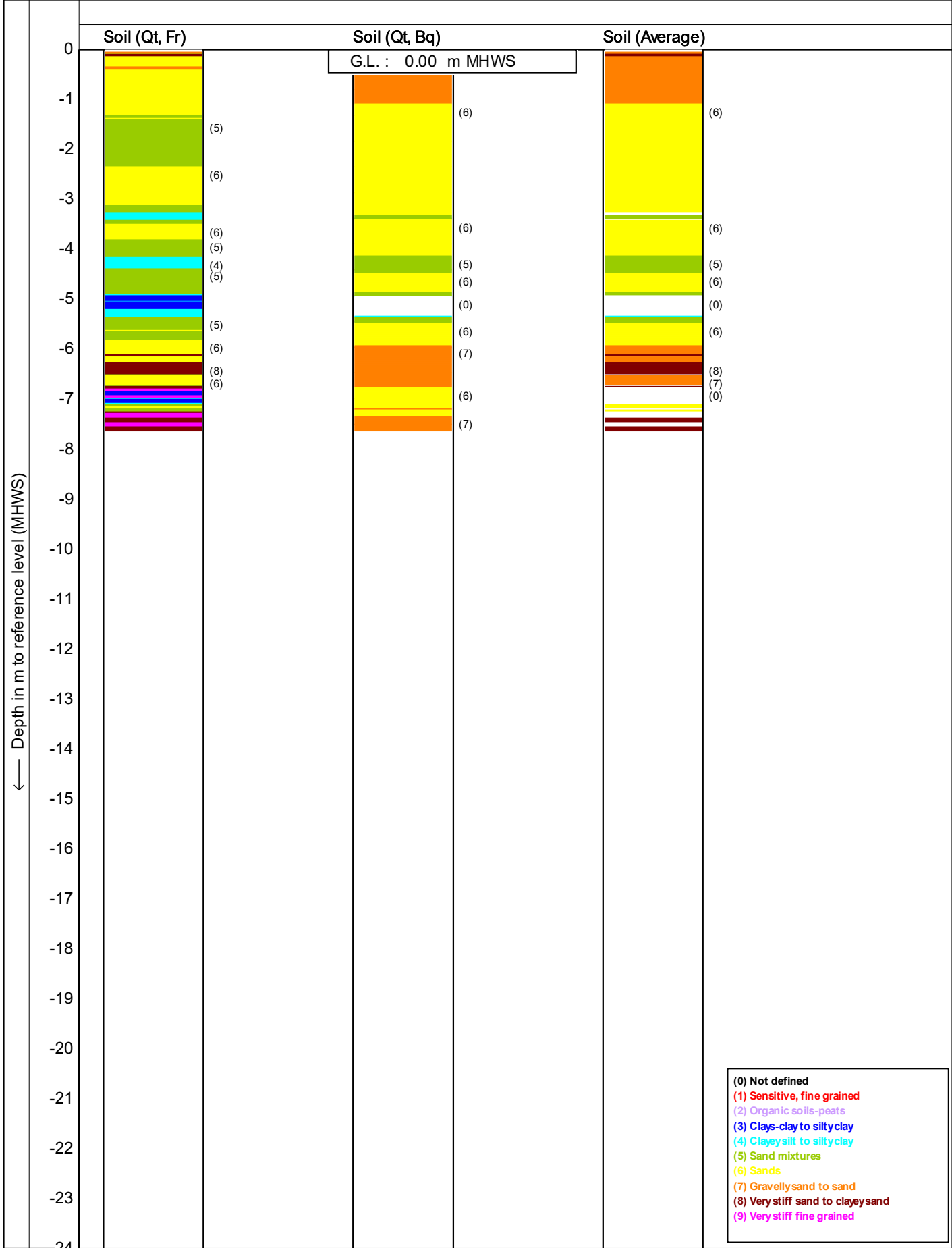
Date : 7/08/2025

Cone no. : C15CFIIP.C21199

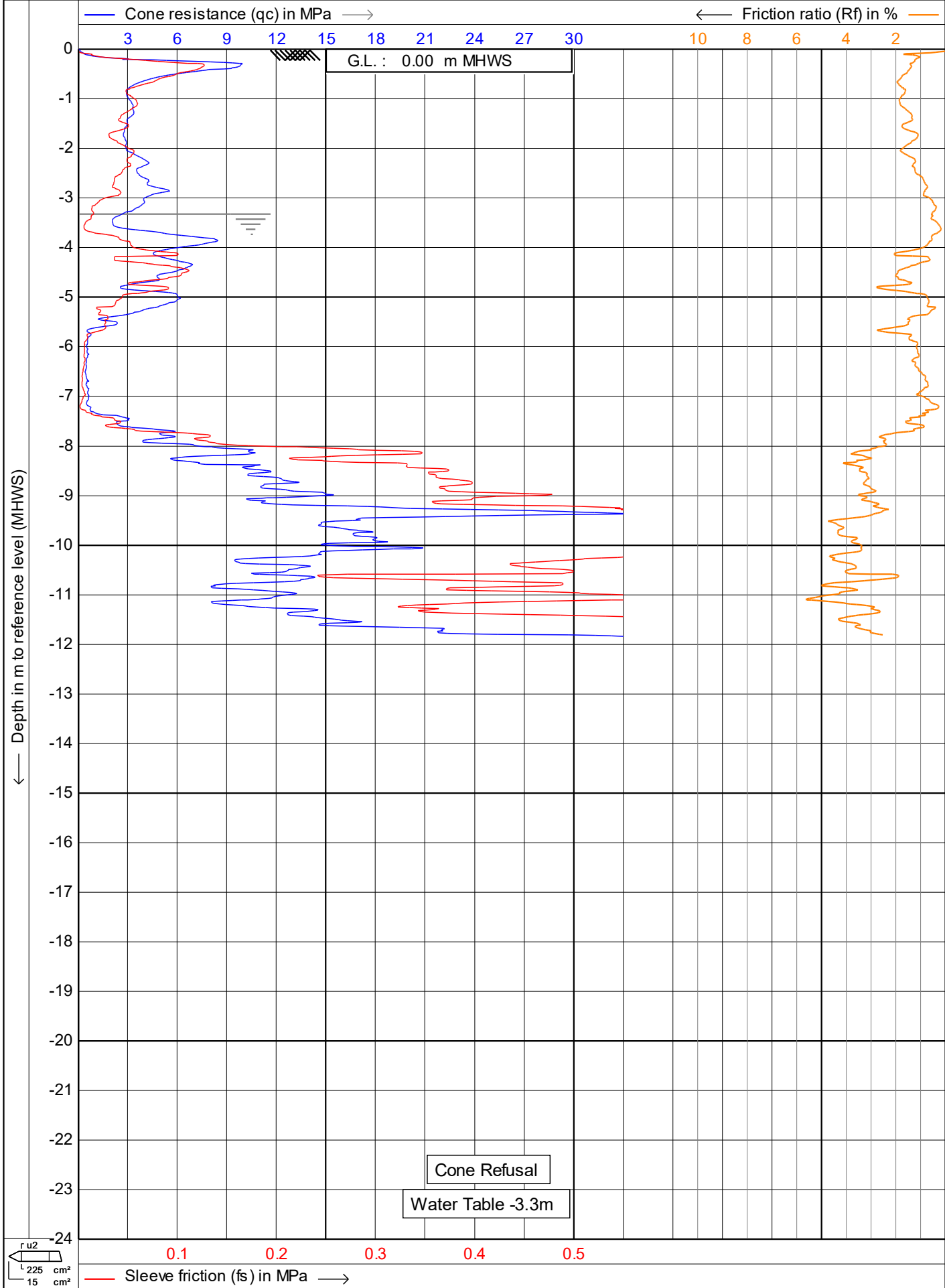
Project no. : 8155-290

CPT no. : CPT02 3/4

← Depth in m to reference level (MHWS)



 TEST RIGHT • BUILD RIGHT NORTHLAND - WELLINGTON - CANTERBURY - OTAGO	Test performed in accordance with ASTM D5778-12		Date : 7/08/2025	
	Project : RS Eng		Cone no. : C15CFIP.C21199	
	Location: Waitangi, Tahuna Rd		Project no. : 8155-290	
	Position: 174.078191, -35.275786 WGS84		CPT no. : CPT02	4/4



TEST RIGHT • BUILD RIGHT

NORTHLAND • WELLINGTON • CANTERBURY • OTAGO

Test performed in accordance with ASTM D5778-12

Project : RS Eng

Location: Waitangi, Tahuna Rd

Position: 174.078442, -35.275472 WGS84

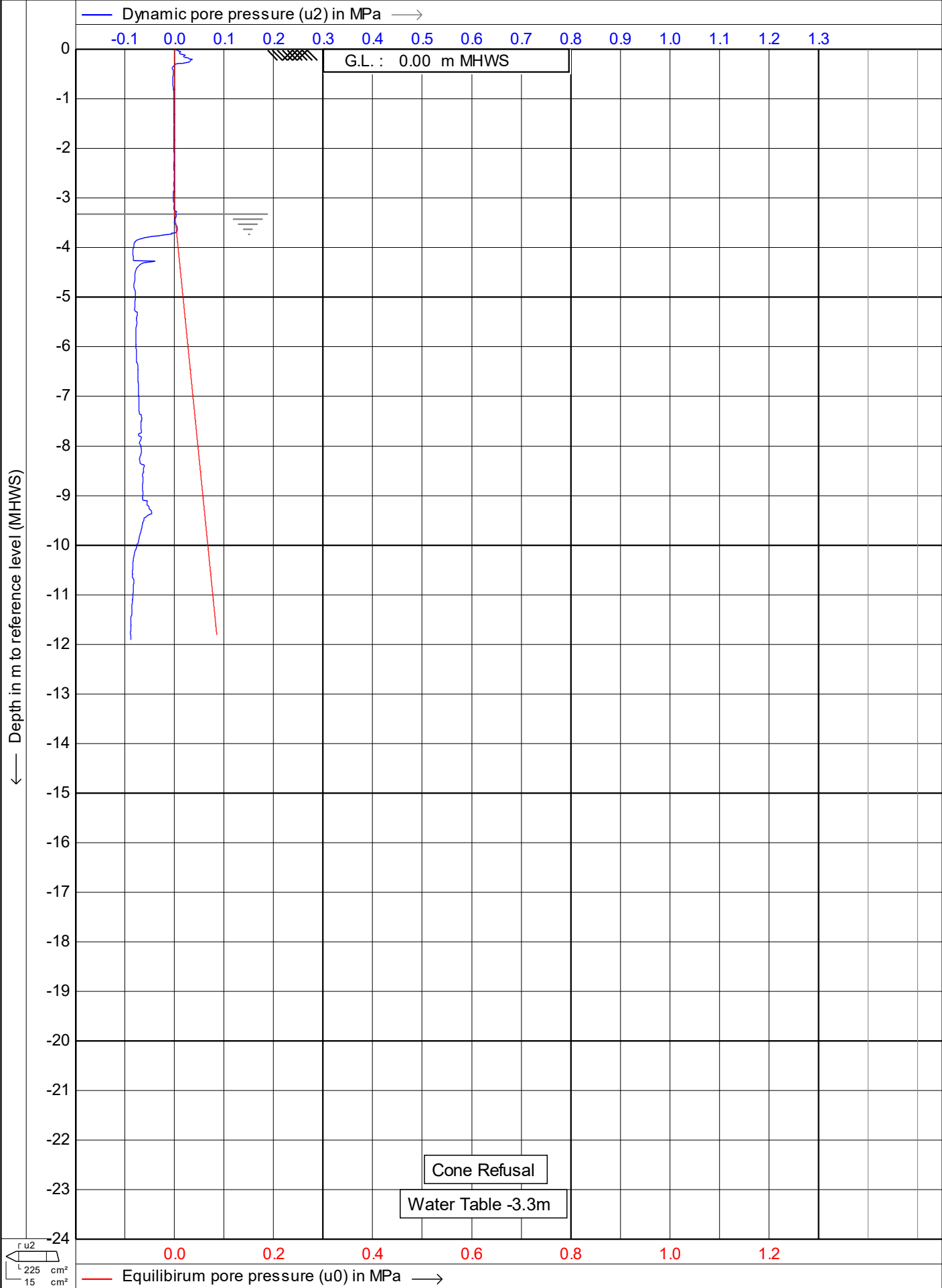
Date : 7/08/2025

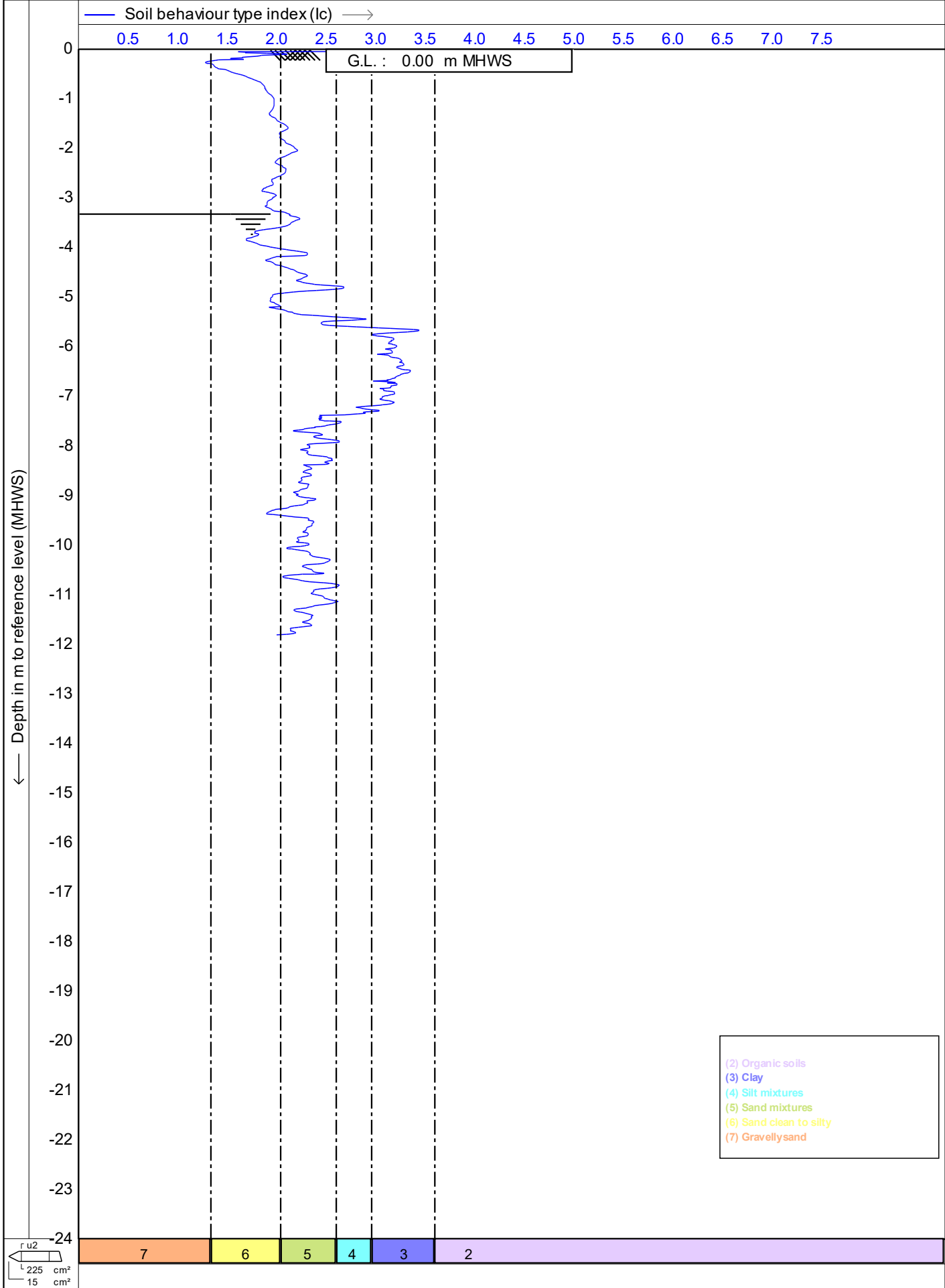
Cone no. : C15CFIP.C21199

Project no. : 8155-290

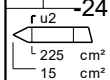
CPT no. : CPT03

1/4





 TEST RIGHT • BUILD RIGHT NORTHLAND • WELLINGTON • CANTERBURY • OTAGO	Test performed in accordance with ASTM D5778-12		Date : 7/08/2025
	Project : RS Eng		Cone no. : C15CFIIP.C21199
	Location: Waitangi, Tahuna Rd		Project no. : 8155-290
	Position: 174.078442, -35.275472 WGS84		CPT no. : CPT03 3/4



GEO CIVIL
TEST RIGHT • BUILD RIGHT
NORTHLAND - WELLINGTON - CANTERBURY - OTAGO

Date	7/08/2025	
Cone no.	C15CFIP.C21199	
Project no.:	8155-290	
CPT no.	CPT03	4/4

Appendix C

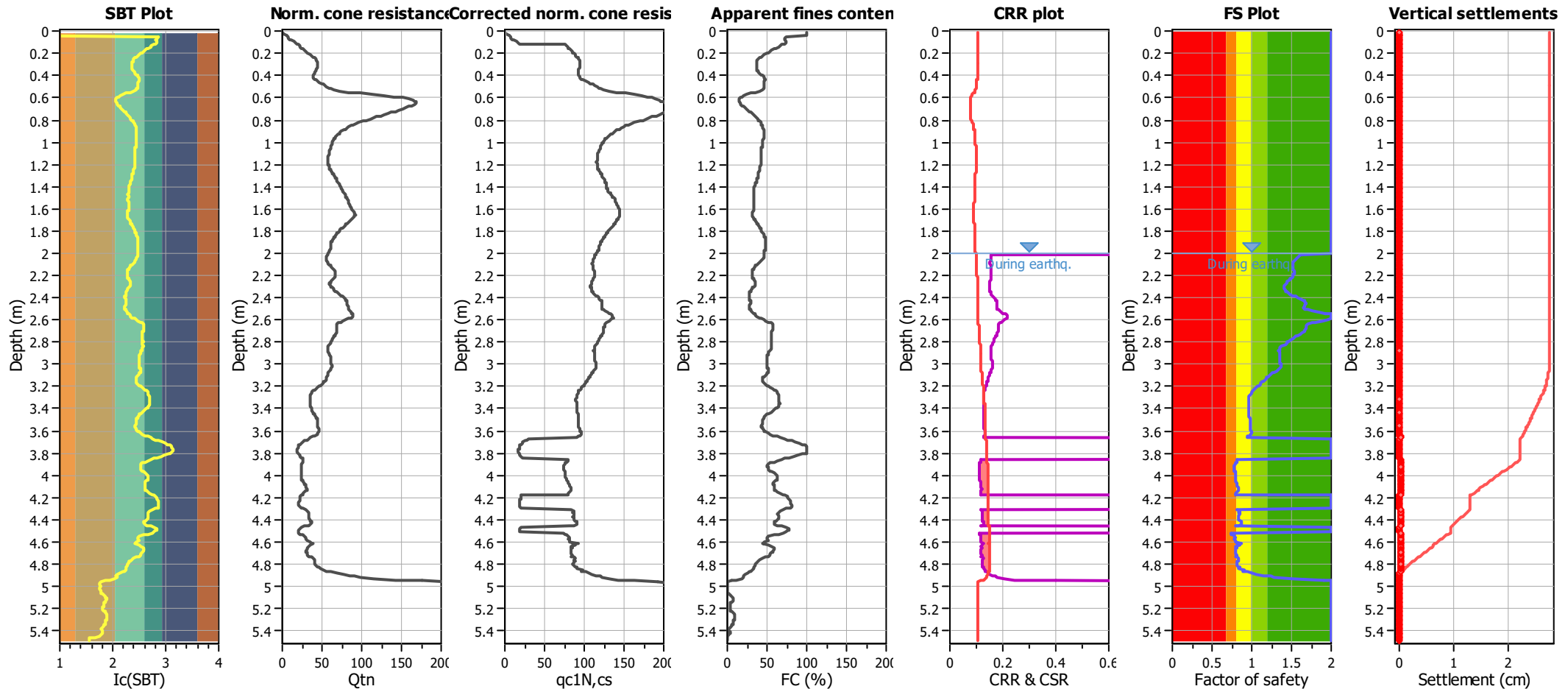
Liquefaction Analysis

Project: 19776

Location: 1-21 Tahuna Road, Waitangi

CPT: CPT01

Total depth: 5.49 m



Analysis method:	B&I (2014)	G.W.T. (in-situ):	2.00 m	Use fill:	No	Clay like behavior	
Fines correction method:	B&I (2014)	G.W.T. (earthq.):	2.00 m	Fill height:	N/A	applied:	.
Points to test:	Based on Ic value	Average results interval:	3	Fill weight:	N/A	Limit depth applied:	No
Earthquake magnitude M_w :	6.50	Ic cut-off value:	2.60	Trans. detect. applied:	No	Limit depth:	N/A
Peak ground acceleration:	0.19	Unit weight calculation:	Based on SBT	K_0 applied:	Yes	MSF method:	Method based



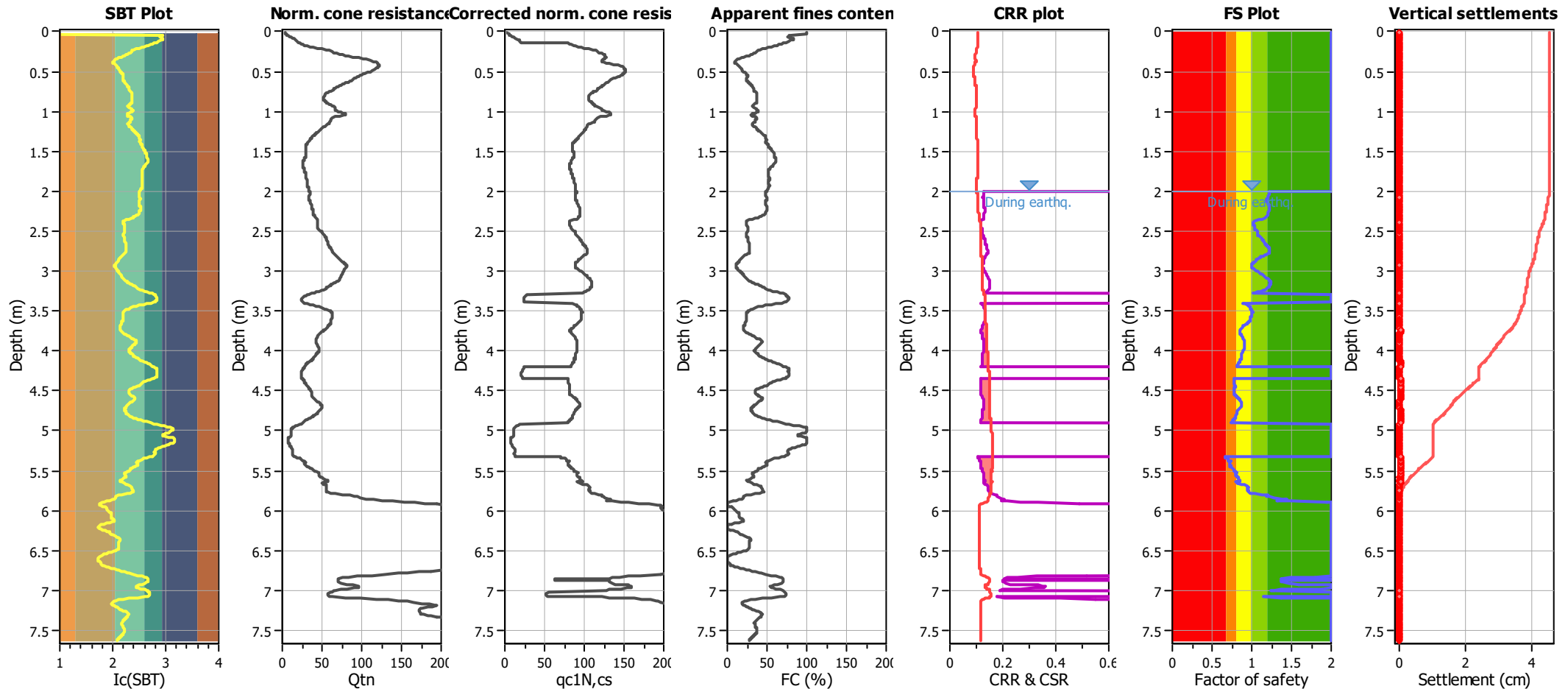
RS Eng Ltd
09 438 3273
office@RSEng.co.nz
2 Seaview Road,
Whangarei 0110

Project: 19776

Location: 1-21 Tahuna Road, Waitangi

CPT: CPT02

Total depth: 7.63 m



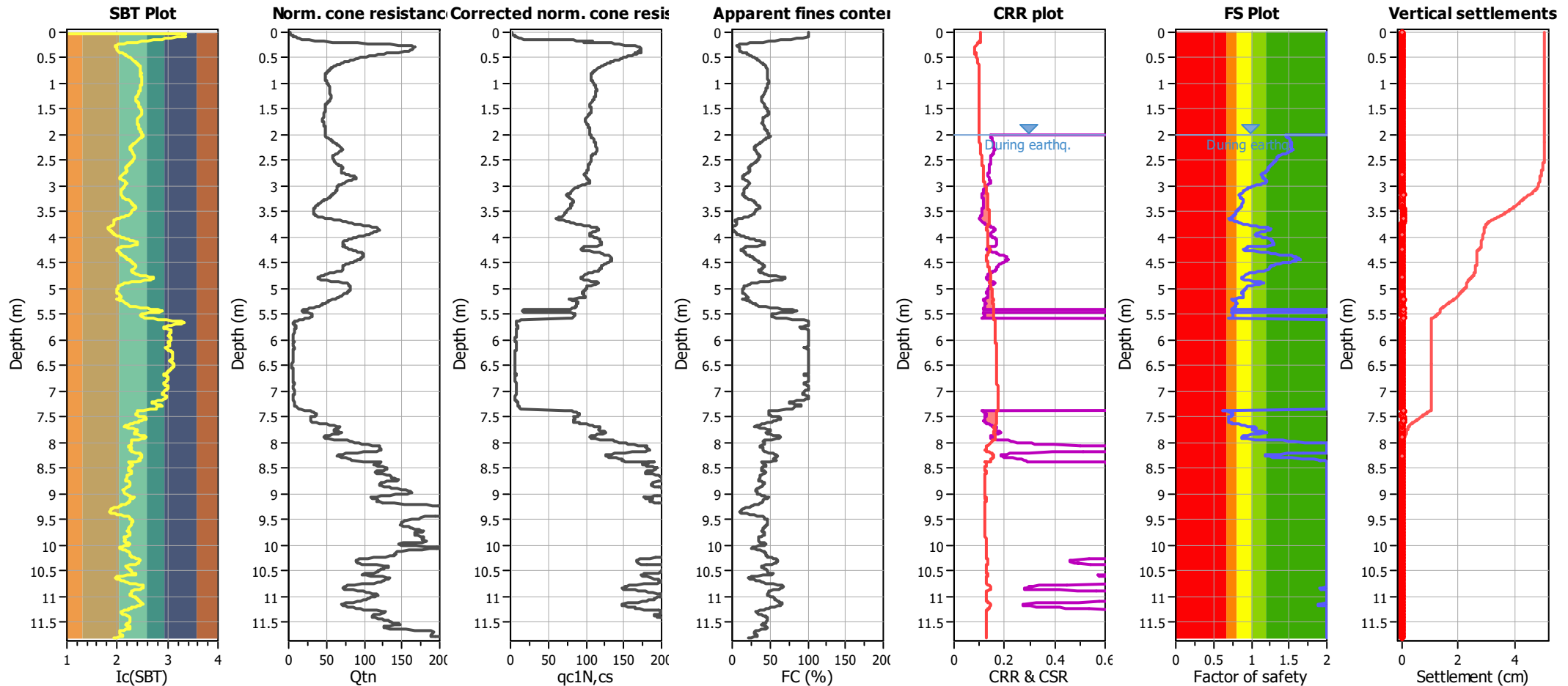
Analysis method:	B&I (2014)	G.W.T. (in-situ):	2.00 m	Use fill:	No	Clay like behavior	
Fines correction method:	B&I (2014)	G.W.T. (earthq.):	2.00 m	Fill height:	N/A	applied:	.
Points to test:	Based on Ic value	Average results interval:	3	Fill weight:	N/A	Limit depth applied:	No
Earthquake magnitude M_w :	6.50	Ic cut-off value:	2.60	Trans. detect. applied:	No	Limit depth:	N/A
Peak ground acceleration:	0.19	Unit weight calculation:	Based on SBT	K_σ applied:	Yes	MSF method:	Method based

Project: 19776

Location: 1-21 Tahuna Road, Waitangi

CPT: CPT03

Total depth: 11.81 m



Analysis method:	B&I (2014)	G.W.T. (in-situ):	2.00 m	Use fill:	No	Clay like behavior	
Fines correction method:	B&I (2014)	G.W.T. (earthq.):	2.00 m	Fill height:	N/A	applied:	.
Points to test:	Based on Ic value	Average results interval:	3	Fill weight:	N/A	Limit depth applied:	No
Earthquake magnitude M_w :	6.50	Ic cut-off value:	2.60	Trans. detect. applied:	No	Limit depth:	N/A
Peak ground acceleration:	0.19	Unit weight calculation:	Based on SBT	K_0 applied:	Yes	MSF method:	Method based

Proposed New Project

Tahuna Road, Waitangi
For: Waitangi Riverside Project

CONTENTS

P01	OVERALL SITE PLAN
P02	SITE PLAN(STAGE 1)
P03	SITE PLAN - NO SERVICES
P04	SITE PLAN - S/W & WATER
P05	SITE PLAN - SEWER & POWER

Concept Plans

Concept 1
October 2025

FINAL WORKING DRAWINGS TAKE PRECEDENCE OVER CONCEPT PLANS. ALL LANDSCAPING, PLANTING, LIGHTING & FENCING IS SHOWN FOR IMAGING PURPOSES ONLY

REVISION:	C01
PROJECT NO.	1286
DRAWN BY:	NMB
HC:	JCS

Site Information

Tahuna Road, Waitangi
High Wind Zone
Corrosion Zone D
Earthquake Zone 1
Zone: Residential

Campground Site(Grey Shading)
Area: 9412.8m²
Driveway, Parking & Paths
Total area: 1826m²
New buildings Roof Area: 835m²
Existing buildings Roof Area: 462m²
Total Building Roof Area: 1297m² = 13.78%
Total impermeable surfaces: 3123m² = 33.18%

Earthworks: Site Scrape only for driveway
Max cut depth: 100mm
Max fill depth: N/A
Total earthworks Volume: 73m³



REVISION:	BY:	DATE:
Drawn	NMB	May 09 2025
Rev	NMB	May 13 2025
Rev	NMB	May 26 2025
Rev	NMB	Jul 15 2025
Rev	NMB	Nov 10 2025

Verify all dimensions on site before commencing work.
Refer to figured dimensions. Refer any discrepancies to
Advance manufacturing Ltd.

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Proposed New Project for:
Waitangi Riverside Project
Tahuna Road
Waitangi

SHEET TITLE:
Site Plan - Overall Site Plan

SCALE: 1 : 1000 (A3 Original)

PROJECT #:	PAGE:	REVISION:
1286	01	C01

Site Information

Tahuna Road, Waitangi
High Wind Zone
Corrosion Zone D
Earthquake Zone 1
Zone: Residential

Campground Site(Grey Shading)
Area: 9412.8m²
Driveway, Parking & Paths
Total area: 1826m²
New buildings Roof Area: 835m²
Existing buildings Roof Area: 462m²
Total Building Roof Area: 1297m² = 13.78%
Total impermeable surfaces: 3123m² = 33.18%

Earthworks: Site Scrape only for driveway
Max cut depth: 100mm
Max fill depth: N/A
Total earthworks Volume: 73m³



REVISION:	BY:	DATE:
Drawn	NMB	May 09 2025
Rev	NMB	May 13 2025
Rev	NMB	May 26 2025
Rev	NMB	Jul 15 2025
Rev	NMB	Oct 23 2025
Rev	NMB	Nov 10 2025

Verify all dimensions on site before commencing work.
Refer to figured dimensions. Refer any discrepancies to
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Proposed New Project for:
Waitangi Riverside Project
Tahuna Road
Waitangi

SHEET TITLE:
Site Plan - Stage 1

SCALE: 1 : 1000 (A3 Original)

PROJECT #:	PAGE:	REVISION:
1286	02	C01

Site Information

Tahuna Road, Waitangi
High Wind Zone
Corrosion Zone D
Earthquake Zone 1
Zone: Residential

Campground Site(Grey Shading)
Area: 9412.8m²
Driveway, Parking & Paths
Total area: 1826m²
New buildings Roof Area: 835m²
Existing buildings Roof Area: 462m²
Total Building Roof Area: 1297m² = 13.78%
Total impermeable surfaces: 3123m² = 33.18%

Earthworks: Site Scrape only for driveway
Max cut depth: 100mm
Max fill depth: N/A
Total earthworks Volume: 73m³



REVISION:	BY:	DATE:
Drawn	NMB	Sep 15 2025

Verify all dimensions on site before commencing work.
Refer to figured dimensions. Refer any discrepancies to
Advance manufacturing Ltd.

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Proposed New Project for:
Waitangi Riverside Project
Tahuna Road
Waitangi

SHEET TITLE:
Site Plan - No Services

SCALE: 1 : 750 (A3 Original)

PROJECT #:	PAGE:	REVISION:
1286	03	C01

Site Information

Tahuna Road, Waitangi
High Wind Zone
Corrosion Zone D
Earthquake Zone 1
Zone: Residential

Campground Site(Grey Shading)

Area: 9412.8m²

Driveway, Parking & Paths

Total area: 1826m²

New buildings Roof Area: 835m²

Existing buildings Roof Area: 462m²

Total Building Roof Area: 1297m² = 13.78%

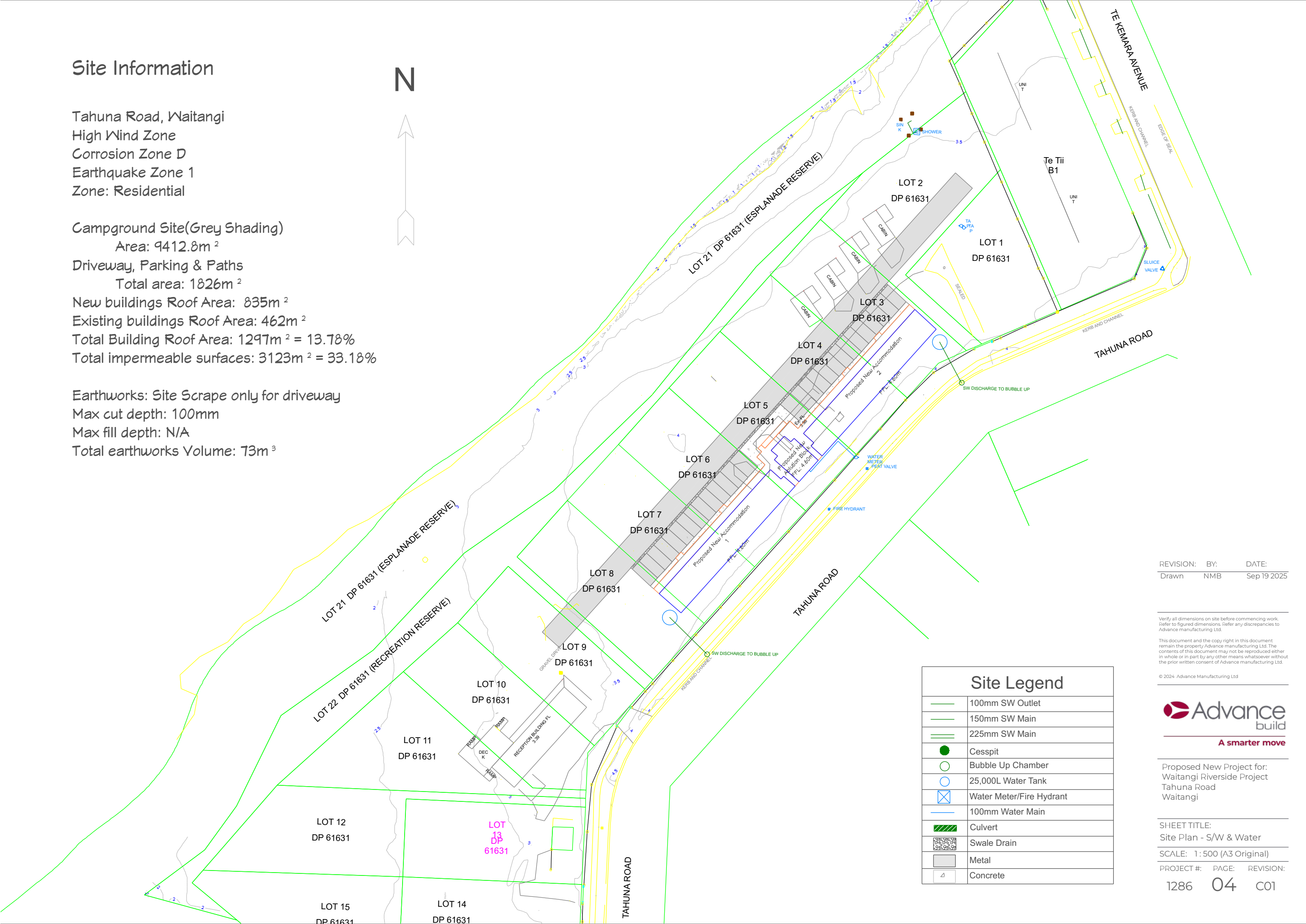
Total impermeable surfaces: 3123m² = 33.18%

Earthworks: Site Scrape only for driveway

Max cut depth: 100mm

Max fill depth: N/A

Total earthworks Volume: 73m³



REVISION: BY: DATE:
Drawn NMB Sep 19 2025

Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer any discrepancies to Advance manufacturing Ltd.

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Site Legend	
	100mm SW Outlet
	150mm SW Main
	225mm SW Main
	Cesspit
	Bubble Up Chamber
	25,000L Water Tank
	Water Meter/Fire Hydrant
	100mm Water Main
	Culvert
	Swale Drain
	Metal
	Concrete



Proposed New Project for:
Waitangi Riverside Project
Tahuna Road
Waitangi

SHEET TITLE:
Site Plan - S/W & Water

SCALE: 1 : 500 (A3 Original)

PROJECT #: PAGE: REVISION:

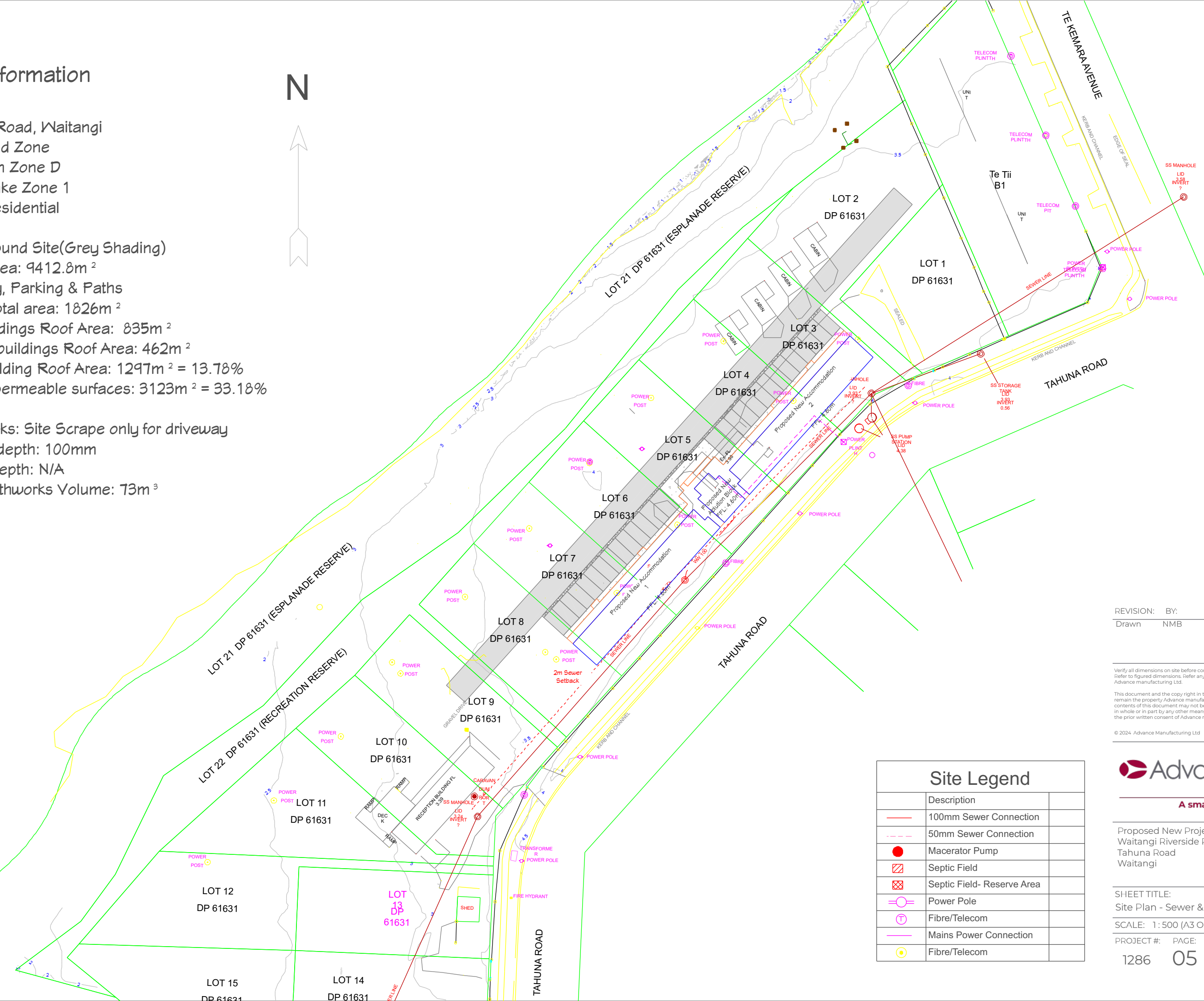
1286 04 C01

Site Information

Tahuna Road, Waitangi
High Wind Zone
Corrosion Zone D
Earthquake Zone 1
Zone: Residential

Campground Site(Grey Shading)
Area: 9412.8m²
Driveway, Parking & Paths
Total area: 1826m²
New buildings Roof Area: 835m²
Existing buildings Roof Area: 462m²
Total Building Roof Area: 1297m² = 13.78%
Total impermeable surfaces: 3123m² = 33.18%

Earthworks: Site Scrape only for driveway
Max cut depth: 100mm
Max fill depth: N/A
Total earthworks Volume: 73m³



REVISION: BY: DATE:
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Proposed New Project for:
Waitangi Riverside Project
Tahuna Road
Waitangi

SHEET TITLE:
Site Plan - Sewer & Power

SCALE: 1 : 500 (A3 Original)

PROJECT #: PAGE: REVISION:

1286 05 C01

Site Legend		
	Description	
—	100mm Sewer Connection	
---	50mm Sewer Connection	
●	Macerator Pump	
▨	Septic Field	
▩	Septic Field- Reserve Area	
○	Power Pole	
⦿	Fibre/Telecom	
—	Mains Power Connection	
●	Fibre/Telecom	