

Application for change or cancellation of resource consent condition (S.127)

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with? _____

2. Type of Consent being applied for

Change of conditions (s.127)

3. Consultation:

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

4. Applicant Details:

Name/s:

Far North Holdings Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Office Use Only
Application Number:

5. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Bay of Islands Planning [2022] Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Far North Holdings Limited

Property Address/
Location:

2 Baffin Street, Opuia

Postcode

0200

7. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Site Address/
Location:

2 Baffin Street, Opuia

Postcode

0200

Legal Description:

Lot 1 DP 540333

Val Number:

Certificate of title:

906411

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

7. Application Site Details (continued)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details.

This is important to avoid a wasted trip and having to re-arrange a second visit.

8. Detailed description of the proposal:

This application relates to the following resource consent:

Specific conditions to which this application relates:

Describe the proposed changes:

9. Would you like to request Public Notification?

Yes No

10. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard consent

Other (please specify)

11. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties (including consultation from iwi/hapū).

Your AEE is attached to this application Yes

12. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

<hr/>
<hr/>
<hr/>
Postcode

Fees Information:

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees:

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Signature: (signature of bill payer)

Date

MANDATORY

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive

information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Signature:

Date

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- Details of your consultation with Iwi and hapū
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to chapter 4 (Standard Provisions) of the Operative District Plan for details of the information that must be provided with an application. This contains more helpful hints as to what information needs to be shown on plans.

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Signature:

(signature of bill payer)

Date

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fnrc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Bay of Islands Planning Ltd

Kerikeri House
Suite 3, 88 Kerikeri Road
Kerikeri

Email – office@bayplan.co.nz Website - www.bayplan.co.nz

24 February 2025

Far North District Council
John Butler Centre
Kerikeri

Application for consent condition variation s127 – Proposal to amend conditions of existing consent –
1 Baffin Street, Opuia

Please find attached a s127 application in relation to a proposed variation of consent conditions associated with RC2140222-RMAVAR/D. RC2140222-RMAVAR/D sought changes as per the approved building plans prepared by Mealings Architecture. These plans are no longer being pursued, and a new plan set is proposed. This change necessitates this variation application.

The conditions to be varied are sought under s127 of the Resource Management Act 1991 (**RMA**), which is a **Discretionary Activity**.

Yours sincerely,



Andrew McPhee
Consultant Planner



Assessment of Environmental Effects (**AEE**)

Application for Resource Consent:

Change of consent conditions under s127 of the RMA.

Prepared for: Far North Holdings Limited

Prepared by: Andrew McPhee | Consultant Planner

APPLICANT & PROPERTY DETAILS

Applicant	Far North Holdings Limited
Address for Service	Bay of Islands Planning [2022] Limited Kerikeri House Suite 3 88 Kerikeri Road Kerikeri C/O – Andrew McPhee andrew@bayplan.co.nz 021-784-331
Legal Description	Lot 1 DP 540333
Certificate Of Title	906411
Physical Address	2 Baffin Street, Opuia
Site Area	1,922m ²
Owner of the Site	Far North Holdings Limited
Operative District Plan Zone / Features	Industrial Zone [ODP] Maritime Exemption Area
Proposed District Plan	Light Industrial Zone [PDP] Coastal Overlay Kiwirail Designation Coastal Flood Hazard River Flood Hazard
Archaeology	Nil
NRC Overlays	Nil
Soils	Nil
Protected Natural Area	Nil
HAIL	Nil

Schedule 1

SUMMARY OF PROPOSAL

Proposal	A variation to consent condition 1 of RC2140222-RMAVAR/D to change the approved plan set.
Reason for Application	RC2140222-RMAVAR/D sought changes as per the approved building plans prepared by Mealings Architecture. These plans are no longer being pursued, and a new plan set is proposed. An application under s127 of the RMA is needed.
Appendices	Appendix A – Record of Title & instruments Appendix B – Architectural Drawings Appendix C – FNDC Project Information Memorandum Appendix D – Copy of 2140222-RMAVAR/D Decision
Consultation	Not applicable
Pre Application Consultation	Not applicable

Introduction & Proposal

This report has been prepared for Far North Holdings Limited in support of a s127 application in relation to the proposed variation of consent condition 1 associated with RC2140222-RMAVAR/D.

This application involves minor changes to existing buildings at 2 Baffin Street Opeua, consent for which was first granted as part of the Opeua Marina Stage 2 extension under RC 2140222. Since that was approved, four variations have been granted for a variety of reasons, but mostly related to minor design matters following completion of the building itself.

This variation is no longer required so the applicant seeks a variation to change Condition 1 of the existing decision. This is required to complete building works associated with building consent EBC-2016-1221/0/B in accordance with the plans found in Appendix B and Appendix C.

This is considered to be minor and falling within the scope of the original approval. This variation is therefore concerned with ‘updating’ the plan references within the conditions.

Decision documents associated with the application 2140222-RMAVAR/D can be found in Appendix D.

Section 127 allows the holder of a resource consent to apply to the consent authority for a change or cancellation of a condition of the consent.

Sections 88 to 121 apply, with all necessary modifications, as if—

- a) the application were an application for a resource consent for a discretionary activity; and
- b) the references to a resource consent and to the activity were references only to the change or cancellation of a condition and the effects of the change or cancellation respectively.

Section 127(4) also applies including:

-
- (4) For the purposes of determining who is adversely affected by the change or cancellation, the consent authority must consider, in particular, every person who—
 - (a) made a submission on the original application; and
 - (b) may be affected by the change or cancellation.

The condition that is sought to be changed with the proposed wording is outlined below.

- Condition 1 – in relation to referring to previously approved plans.

The proposed variation to read as follows (refer underlined for additions and ~~striketrough for deletions~~):

That the application proceeds in accordance with plans and information provided within the application and the updated building location plans and landscaping plan received on 8th July 2014, as modified by the Landscape Design Concept plans dated 30th August 2014 attached to the supplementary evidence of Simon Cocker dated 2nd September 2014, and attached to this consent with the Council's "Approved Stamp" affixed to them.

The approved plans are amended to the extent shown on the following plans:

HB Architecture, Opuia Marina 2 Alterations

SHEET INDEX

<u>SHEET</u>	<u>REVISION</u>	<u>SHEET NAME</u>
<u>0</u>	<u>2</u>	<u>COVER SHEET</u>
<u>1000</u>	<u>3</u>	<u>LOCALITY PLAN</u>
<u>1001</u>	<u>4</u>	<u>PROPOSED SITE PLAN</u>
<u>1100</u>	<u>3</u>	<u>EXISTING AND DEMOLITION PLANS</u>
<u>1120</u>	<u>3</u>	<u>EXISTING ELEVATIONS</u>
<u>1200</u>	<u>4</u>	<u>REFERENCE PLANS</u>
<u>1300</u>	<u>4</u>	<u>PROPOSED GROUND FLOOR PLAN</u>
<u>1301</u>	<u>5</u>	<u>PROPOSED FIRST FLOOR PLAN</u>
<u>1302</u>	<u>3</u>	<u>ROOF PLAN</u>
<u>1310</u>	<u>3</u>	<u>FLOOR FRAMING PLAN</u>
<u>1400</u>	<u>4</u>	<u>FLOOR FINISHES PLAN</u>
<u>1401</u>	<u>5</u>	<u>REFLECTED CEILING PLAN</u>
<u>1500</u>	<u>5</u>	<u>FIRE SAFETY PLAN</u>
<u>1510</u>	<u>4</u>	<u>ACCESSIBILITY PLAN</u>
<u>2000</u>	<u>4</u>	<u>ELEVATIONS</u>
<u>2100</u>	<u>3</u>	<u>SECTIONS</u>
<u>2101</u>	<u>3</u>	<u>SECTIONS</u>
<u>2102</u>	<u>3</u>	<u>SECTIONS</u>
<u>2103</u>	<u>4</u>	<u>SECTIONS</u>
<u>3000</u>	<u>2</u>	<u>APARTMENT LAYOUTS</u>
<u>3300</u>	<u>3</u>	<u>ACC.WC</u>

3310	6	FEMALE ABLUTIONS
3311	6	FEMALE SHOWER
3312	6	FEMALE WC
3320	6	MALE ABLUTIONS
3321	6	MALE SHOWER
3322	6	MALE WC
3400	2	GAS BOTTLE ENCLOSURE
3500	3	DECK PLAN
3501	2	DECK SECTIONS
3502	3	DECK SECTIONS
3550	2	DECK DETAILS
4100	2	SECTION DETAILS
4101	3	SECTION DETAILS
4102	2	DECK FIRE WALL DETAILS
4300	3	TYPICAL DETAILS - BOARD AND BATTEN
4301	3	TYPICAL DETAILS - HORIZONTAL PROFILED METAL
4302	3	TYPICAL DETAILS - VERTICAL PROFILED METAL
4500	2	TYPICAL ROOF PENETRATION DETAILS
4600	3	TYPICAL INTERIOR DETAILS
4700	2	NZS 3604 NAILING SCHEDULES
4701	2	TYPICAL NZS 3604 DETAILS
4702	3	TYPICAL PARAPET WALL DETAILS
4800	3	FIRE PROTECTION AND BRACING WALL SYSTEMS
5000	3	INTERIOR JOINERY SCHEDULE
5100	3	EXTERIOR JOINERY SCHEDULE
5200	3	ABLUTIONS FINISHES & COLOUR SCHEDULE
5201	2	APARTMENTS FINISHES SCHEDULE
5202	2	APARTMENTS FINISHES SCHEDULE
6100	4	LIGHTING PLAN
6101	3	ELECTRICAL PLAN
6200	3	MECHANICAL SERVICES

Eclipse Architecture, Opua Marina – Building N2

- Site Plan, DWG. No. A000 Rev P dated 5/04/2017
- Site Plan Detail DWG. No. A100 Rev C dated 5/04/2017
- Ground Floor Plan DWG. No. A 200 Rev C dated 5/04/2017

Mealings Architecture, Opua Marina – Building N2

- First Floor Plan, Sheet A3-2.0, dated 16/04/17

- ~~Balcony Joist Layout, Sheet A3-3.0, dated 16/04/17~~
- ~~Cross Section A-A, Sheet A3-7.0, dated 16/04/17~~
- ~~Architectural Details, Sheet A3-8.1, dated 16/04/17~~

Haigh Workman- Opuia Marina Proposed Building NZ

- Utilities Plan Project No. 16 127 DWG No. P1 dated 02/02/2017

Note: All of the HB Architecture Plans have been added for fullness as the PIM for the BC seeks matching across these two processes. However, the consent planner may be less inclined to include all matters as these may not be relevant to the Resource Consent i.e approve the site plan, elevations and floor plans only.

Should there be any other changes (consequential or otherwise) that arise during the process, we retain the right to make further alternations and also provide FNDC staff with discretion to make changes that assist in workability and better implementation of consent conditions.

Section 127

The RMA establishes that a request under s127 is deemed to be discretionary activity and Section 88 to 121 apply with the necessary modifications. Additionally, in considering the request to change the condition Council is limited to only considering what is being sought within the condition change and any associated effects.

Application Process

The Council retains the discretion to determining whether a discretionary activity should be notified. In determining this factor, it is the change in the effects of the consent conditions which are assessed against any possible adverse effects upon any person.

The RMA also requires Council to consider the effect of the change on those persons who lodged a submission to the original application. In this case the original consent was a publicly notified process with submissions both in support and opposition. Appeals were lodged by the applicant on certain conditions of consent and by submitters against the overall approval. All appeals were subsequently resolved by Consent Order.

It is considered that this variation will not adversely affect any persons or submitters on the original application given the minor nature of the change. Similarly, within a wider context of assessing the effects of the changes upon any other person, it is considered the removal of the balcony would not have an adverse effect upon other persons.

It is considered that the change of condition 1 would not create any adverse effects that are more than minor. It is also considered that the change does not create effects of a nature that would necessitate involving any third party.

Overall, it is considered that the application to change the condition can be processed without notification.

Effects

The following assessment addresses the matters listed in the Fourth Schedule to the RMA. Given the minor nature of the change, the following table provides a short commentary of the items in clauses 6 and 7.

Forth schedule	Items	Comments
Clause 6 Information Required in Assessment of Environmental Effects	a) alternative locations or methods	This is not necessary, the proposal only involves a minor alteration to the building.
	b) assessment of actual or potential effects	There are not considered to be any adverse effects resulting from the application as there is a decrease in floorspace, and subsequently visual appearance in this coastal location.
	c) risks to environment from use of hazardous substances	Not applicable.
	d) discharge of contaminants	No effects outside the scope of the original approvals.
	e) mitigation measures	No additional mitigation measures are necessary.
	f) persons affected	As above, the minor changes are not considered to incur any adverse effects.
	g) monitoring requirements	No additional monitoring requirements are necessary.
	h) customary rights	Not applicable.
Clause 7 Matters that must be Addressed	a) effects on neighbourhood and community	There will be no effect on the neighbourhood or the wider community as the removal of the balcony approved through Variation D does not limit peoples' ability to use and enjoy the waterfront spaces.

	b) physical effects including landscape and visual	These are minor in nature and do not impinge on the landscape and visual contexts of the surrounds.
	c) ecosystems	Not affected by this proposal.
	d) effects on resources with special values	This has already been addressed in the original application and further consideration is not warranted in this context
	e) discharge of contaminants	This has already been addressed in the original application and further consideration is not warranted in this context
	f) risks from natural hazards or hazardous substances	This has already been addressed in the original application and further consideration is not warranted in this context

Summary

For this application, the potential adverse effects to be assessed are those arising from aspects of the proposal that differ from the Variation D. The changes to the buildings are shown in the attached drawings and these are minimal in nature when considered against the recent approval. These changes are outlined in red on the attached plans and appear to only include the removal of the balcony, apartment layouts [not an activity undertaken], and other various minor design changes [i.e windows, doors changes etc].

Statutory context

Objectives, Policies and Rules

The variation is to be assessed as a Discretionary Activity as if it was a resource consent. Section 104B requires the consideration of any relevant objectives and policies in addition to the effects of the activity.

The documents relevant to consideration of a discretionary application in this location are the:

- New Zealand Coastal Policy Statement 2010;
- The Regional Policy Statement for Northland;
- The operative Far North District Plan [**ODP**]; and to a lesser degree
- The proposed Far North District Plan [**PDP**]

Taking into account the nature and scale of the changes proposed to the conditions of consent it is considered that the assessment of the provisions of the first three documents within the

original application will not be affected by the very minor change proposed and that the conclusions of the original application in respect of these matters still relevant.

The PDP was notified in 2022, as such an assessment against the provision is provided below.

PDP Rules

Matter	Rule/Std Ref	Compliance	Evidence
Hazardous Substances Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any development within an SNA – which is not mapped	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource HS-R5, HS-R6, HS-R9	Yes	Not relevant as no such substances proposed.
Heritage Area Overlays (Property specific) This chapter applies only to properties within identified heritage area overlays (e.g. in the operative plan they are called precincts for example)	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	Yes	Not indicated on Far North Proposed District Plan
Historic Heritage (Property specific and applies to adjoining sites (if the boundary is within 20m of an identified heritage item)). Rule HH-R5 Earthworks within 20m of a scheduled heritage resource. Heritage resources are shown as a historic item on the maps) This chapter applies to scheduled heritage resources – which are	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	Yes	Not indicated on Far North Proposed District Plan

called heritage items in the map legend			
Notable Trees (Property specific) Applied when a property is showing a scheduled notable tree in the map	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	Yes	Not indicated on Far North Proposed District Plan
Sites and Areas of Significance to Māori (Property specific) Applied when a property is showing a site / area of significance to Māori in the map or within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	Yes	Not indicated on Far North Proposed District Plan
Ecosystems and Indigenous Biodiversity SNA are not mapped – will need to determine if indigenous vegetation on the site for example	All rules have immediate legal effect (IB-R1 to IB-R5)	Yes	No vegetation clearance proposed.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Yes	Not indicated on Far North Proposed District Plan
Earthworks all earthworks (refer to new definition) need to comply with this	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Yes	No earthworks proposed.
Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage item), or within the Kororareka	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled	Yes	Not indicated on the Far North Proposed District Plan.

Russell or Kerikeri Heritage Areas	heritage resource or heritage area		
Orongo Bay Zone (Property specific as rule relates to a zone only)	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Yes	Not indicated on Far North Proposed District Plan

PDP Light Industrial Zone

Objective
LIZ- O1 The Light Industrial zone is utilised for the efficient operation of light industrial activities and is managed to ensure its long-term protection, including from: <ul style="list-style-type: none"> a. land fragmentation; b. land sterilisation; and c. reverse sensitivity effects.
LIZ- O2 The Light Industrial zone accommodates a range of light industrial activities that: <ul style="list-style-type: none"> a. efficiently use the physical resources of the zone; b. are characterised largely by light manufacturing, contractor depots, automotive and marine repair and service industries; c. are not unreasonably constrained by surrounding activities, and d. avoid compromising the operation of future light industrial activities within the zone.
LIZ-O3 Enable land use and subdivision in the Light Industrial zone where there is adequacy and capacity of available or programmed development infrastructure to support it.
LIZ-O4 The adverse environmental effects generated by light industrial activities are managed, in particular at zone boundaries.
LIZ – O5 The Light Industrial zone accommodates a limited range of commercial activities which either support light industrial activities or are not anticipated in the Mixed Use zone.
Policy
LIZ-P1 Enable development and operation of light industrial activities in the Light Industrial zone.
LIZ-P2 Require all subdivision in the Light Industrial zone to provide the following reticulated services to the boundary of each lot: <ul style="list-style-type: none"> a. telecommunications: <ul style="list-style-type: none"> i. fibre where it is available; ii. copper where fibre is not available; iii. copper where the area is identified for future fibre deployment. b. local electricity distribution network; and c. wastewater, potable water supply and stormwater where they are available.
LIZ-P3 Avoid the establishment of activities that do not support the function of the Light Industrial zone, including: <ul style="list-style-type: none"> a. Heavy industrial activities; b. residential activities; c. community facilities; d. retirement villages; e. education facilities; and f. sport and recreation facilities.
LIZ-P4 Allow commercial activities in the Light Industrial zone that: <ul style="list-style-type: none"> a. are complementary to and support light industrial activities; or b. require larger sites and may not accommodate amenity values anticipated in the Mixed Use zone.
LIZ-P5 Ensure that built form is of a scale and design that is: <ul style="list-style-type: none"> a. consistent with the amenity of the Light Industrial zone; and b. complementary to the character and amenity of adjoining zones.

<p>LIZ-P6 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. consistency with the scale, density, design and character of the light industrial environment and purpose of the zone; b. the location, scale and design of buildings or structures, outdoor storage areas, parking and internal roading; c. for non-industrial activities: <ul style="list-style-type: none"> i. scale and compatibility with industrial activities; ii. potential reverse sensitivity effects on industrial activities. d. at zone interfaces: <ul style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts; ii. any adverse effects on the character and amenity of adjacent zones. e. the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; including: <ul style="list-style-type: none"> i. opportunities for low impact design principles; ii. management of three waters infrastructure and trade waste such as industrial by-products. f. Managing natural hazards; g. the adequacy of roading infrastructure to service the proposed activity; h. any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; and i. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.

The change in condition makes no change to the consented use of the building, it simply involves minor changes to the buildings which already exist. These changes are consistent with the underlying zone.

PDP Coastal Environment

Objectives
CE-O1 - The natural character of the coastal environment is identified and managed to ensure its long-term preservation and protection for current and future generations.
CE-O2 - Land use and subdivision in the coastal environment: <ul style="list-style-type: none"> a. preserves the characteristics and qualities of the natural character of the coastal environment; b. is consistent with the surrounding land use; c. does not result in urban sprawl occurring outside of urban zones; d. promotes restoration and enhancement of the natural character of the coastal environment; and e. recognizes tangata whenua needs for ancestral use of whenua Māori.
CE-O3 - Land use and subdivision in the coastal environment within urban zones is of a scale that is consistent with existing built development.
Policies

CE-P1 - Identify the extent of the coastal environment as well as areas of high and outstanding natural character using the assessment criteria in APP1- Mapping methods and criteria.
CE-P2 - Avoid adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment identified as: <ul style="list-style-type: none"> a. outstanding natural character; b. ONL; c. ONF.
CE-P3 - Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as: <ul style="list-style-type: none"> a. outstanding natural character; b. ONL; c. ONF.
CE-P4 - Preserve the visual qualities, character and integrity of the coastal environment by: <ul style="list-style-type: none"> a. consolidating land use and subdivision around existing urban centres and rural settlements; and b. avoiding sprawl or sporadic patterns of development.
CE-P5 - Enable land use and subdivision in urban zones within the coastal environment where: <ul style="list-style-type: none"> a. there is adequacy and capacity of available or programmed development infrastructure; and b. the use is consistent with, and does not compromise the characteristics and qualities.
CE-P6 – Enable farming activities within the coastal environment where: <ul style="list-style-type: none"> a. the use forms part of the values that established natural character of the coastal environment; or b. the use is consistent with, and does not compromise the characteristics and qualities.
CE-P7 - Provide for the use of Māori Purpose zoned land and Treaty Settlement land in the coastal environment where: <ul style="list-style-type: none"> a. the use is consistent with the ancestral use of that land; and b. the use does not compromise any identified characteristics and qualities.
CE-P8 - Encourage the restoration and enhancement of the natural character of the coastal environment.
CE-P9 - Prohibit land use and subdivision that would result in any loss and/or destruction of the characteristics and qualities in outstanding natural character areas.
CE-P10 - Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application: <ul style="list-style-type: none"> a. the presence or absence of buildings, structures or infrastructure; b. the temporary or permanent nature of any adverse effects; c. the location, scale and design of any proposed development; d. any means of integrating the building, structure or activity; e. the ability of the environment to absorb change; f. the need for and location of earthworks or vegetation clearance; g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location; h. any viable alternative locations for the activity or development; i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6; j. the likelihood of the activity exacerbating natural hazards; k. the opportunity to enhance public access and recreation; l. the ability to improve the overall quality of coastal waters; and m. any positive contribution the development has on the characteristics and qualities.

The change in condition makes no change to the consented use of the building, it simply involves minor changes to the buildings which already exist. These changes are consistent with the coastal environment within and underlying urban zone.

Proposed Far North District Plan Objectives & Policies & Weighting

Section 88A(2) provides that “any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b).” This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan move through the notification and hearing process. In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and
- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

In my view the PDP has not gone through sufficient process to allow a considered view of the objectives and policies for the Light Industrial Zone and Coastal Environment Overlay however this has still been provided. The change in the conditions is not deemed to offend the relevant objectives and policies in the context of the change being proposed.

Overall, and considering the above, the proposal is considered to be consistent with the objectives and policies of all relevant statutory documents. In the context of the PDP, the appropriate weighting to give those objectives and policies are nil as they have yet to go through sufficient public scrutiny to determine the application at hand.

Part 2 Assessment

In the same way that the proposed change is considered to remain within the scope of the original conclusions reached as to how the consent meets the objectives, policies and rules of the relevant statutory planning documents, the performance of the overall proposal in relation to the purpose and principles set out in Part 2 of the RMA also remains unaffected by the minor change proposed.

Conclusions

This application to amend the conditions of the consent arises in respect of a minor modification to the building plans. The proposed changes are not considered to result in any adverse effects, and public enjoyment of the waterfront space is not compromised.

The potential effects of the change on the environment and on parties who were involved in the original application are considered to be negligible, nor are they considered likely to attract the interest of any other party or person not previously involved in the original consent process.

This minor amendment is considered to fall within the scope of the original application and the matters addressed therein, including the overall policy context and the provisions of Part 2 of the RMA.

Overall, the change to the condition is not considered to create effects beyond the consent area nor upon any other person and can be processed without any prescribed third party process.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.

Yours sincerely,



Andrew McPhee
Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier 906411
Land Registration District North Auckland
Date Issued 26 November 2019

Prior References

762290 799388

Estate Fee Simple
Area 1922 square metres more or less
Legal Description Lot 1 Deposited Plan 540333
Registered Owners
Far North Holdings Limited

Interests

Subject to Section 8 Coal Mines Amendment Act 1950 (affects part formerly Lot 1 DP 513060)

Subject to Section 11 Crown Minerals Act 1991 (affects part formerly Lot 2 DP 196730)

Subject to Part IV A Conservation Act 1987 (affects part formerly Lot 2 DP 196730)

7958488.2 Esplanade Strip Instrument pursuant to Section 232 Resource Management Act 1991 - 7.10.2008 at 9:00 am

Subject to Section 11 Crown Minerals Act 1991 (affects part formerly Lot 1 DP 367224)

THE WITHIN LAND IS RECLAIMED LAND SUBJECT TO SUBPART 3 OF PART 2 OF THE MARINE AND COASTAL AREA (TAKUTAI MOANA) ACT 2011 AND THE DISPOSITION OF THE FREEHOLD INTEREST IN THE WITHIN LAND IS RESTRICTED BY THAT SUBPART (affects part formerly Lot 1 DP 367224)

Appurtenant to part formerly Lot 1 DP 513060 and Lot 2 DP 196730 is a right to convey water, telecommunications and computer media created by Easement Instrument 11262658.2 - 25.10.2018 at 2:52 pm

The easements created by Easement Instrument 11262658.2 are subject to Section 243 (a) Resource Management Act 1991 Land Covenant in Easement Instrument 11262658.5 - 25.10.2018 at 2:52 pm (affects parts formerly Lot 1 DP 513060 and Lot 2 DP 196730)

Subject to a right (in gross) to drain sewage over part marked AA on DP 540333 in favour of Far North District Council created by Easement Instrument 11608704.3 - 26.11.2019 at 11:16 am

The easements created by Easement Instrument 11608704.3 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right of way over part marked F and G on DP 540333 and right to drain storm water and right to convey water, electricity, telecommunications and computer media over part marked F, G, P, U, X, Y and Z on DP 540333 created by Easement Instrument 11608704.5 - 26.11.2019 at 11:16 am

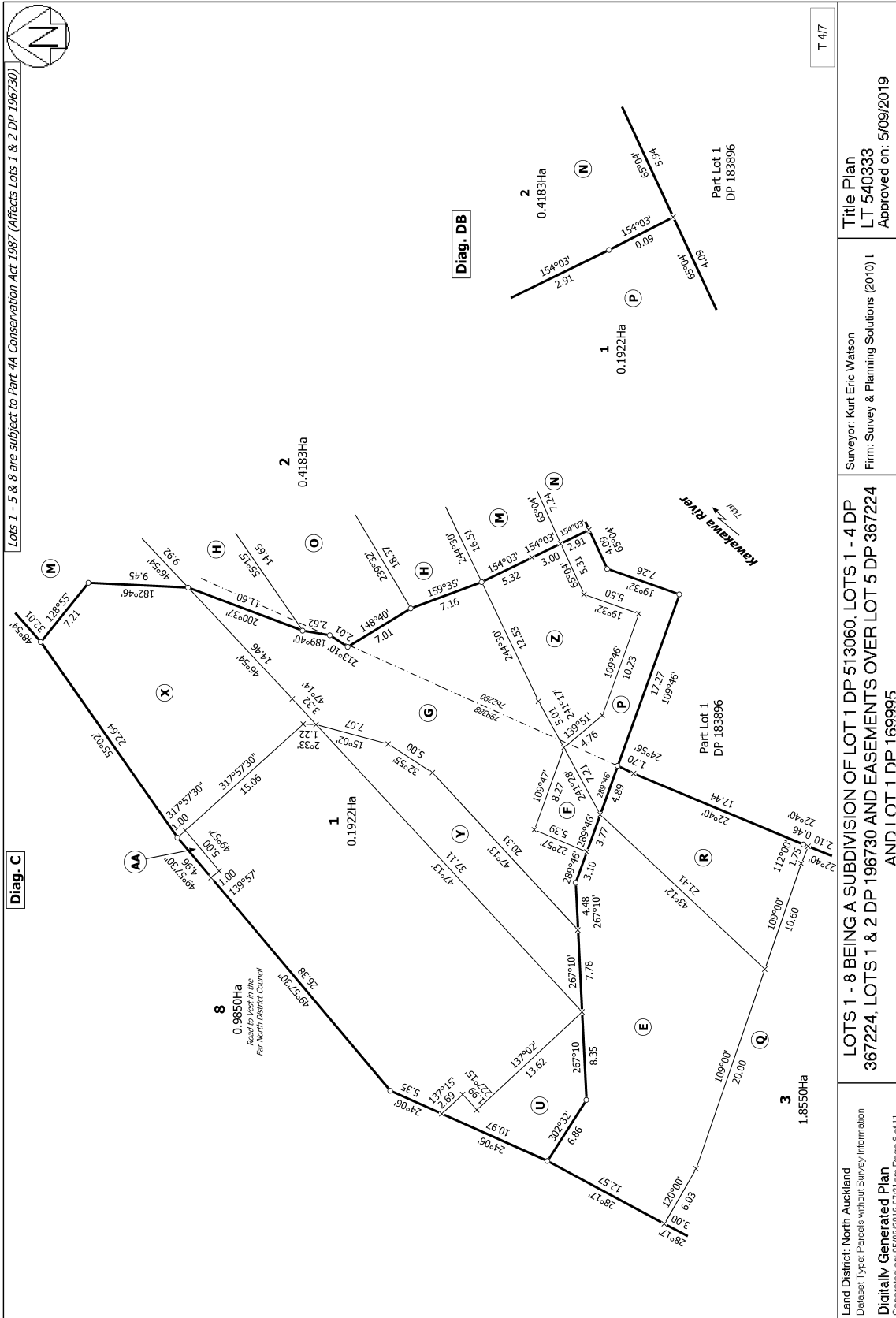
Appurtenant hereto is a right of way, right to drain storm water and right to convey water, electricity, telecommunications and computer media over part marked created by Easement Instrument 11608704.5 - 26.11.2019 at 11:16 am

The easements created by Easement Instrument 11608704.5 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right to convey water, electricity, telecommunications and computer media over part marked U, F and P on DP 540333 created by Easement Instrument 11608704.7 - 26.11.2019 at 11:16 am

Appurtenant hereto is a right to convey electricity and telecommunications created by Easement Instrument 12855836.2 - 25.3.2024 at 4:08 pm

The easements created by Easement Instrument 12855836.2 are subject to Section 243 (a) Resource Management Act 1991





View Instrument Details

Instrument No 11262658.5
Status Registered
Date & Time Lodged 25 October 2018 14:52
Lodged By McAuley, Beth
Instrument Type Easement Instrument



Affected Computer Registers	Land District
799388	North Auckland
799389	North Auckland

Annexure Schedule: Contains 3 Pages.

Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period
- I certify that the Mortgagee under Mortgage D573534.3 has consented to this transaction and I hold that consent
- I certify that the Mortgagee under Mortgage D646127.6 has consented to this transaction and I hold that consent

Signature

Signed by Beth McAuley as Grantor Representative on 25/10/2018 02:49 PM

Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Beth McAuley as Grantee Representative on 25/10/2018 02:49 PM

*** End of Report ***

Form B

Easement instrument to grant easement or *profit à prendre*, or create land covenant

(Sections 90A and 90F Land Transfer Act 1952)

Grantor

Far North Holdings Limited

Grantee

Far North Holdings Limited

Grant of Easement or *Profit à prendre* or Creation of Covenant

The Grantor being the registered proprietor of the servient tenement(s) set out in Schedule A grants to the Grantee (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s)

Schedule A

Continue in additional Annexure Schedule, if required

Purpose (Nature and extent) of easement; <i>profit</i> or covenant	Shown (plan reference)	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register) or in gross
Land covenant	Lot 2 DP 513060	799389	799388

Form B - continued

Easements or profits à prendre rights and powers (including terms, covenants and conditions)

Delete phrases in [] and insert memorandum number as required; continue in additional Annexure Schedule, if required

Unless otherwise provided below, the rights and powers implied in specified classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or Schedule Five of the Property Law Act 2007

The implied rights and powers are hereby [varied] [negatived] [added to] or [substituted] by:

[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952]

[the provisions set out in Annexure Schedule _____]

Covenant provisions

Delete phrases in [] and insert Memorandum number as require; continue in additional Annexure Schedule, if required

The provisions applying to the specified covenants are those set out in:

[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952]

Annexure Schedule 1

Form L

Annexure Schedule

Page 1 of 1 Pages

Insert instrument type

Land covenant

Continue in additional Annexure Schedule, if required

A land covenant for the benefit of the Grantee shall apply over the whole of the servient tenement (Covenant Area).

Covenants

The land covenant shall include the following covenants by the Grantor:

- 1 The Grantor shall only use the Covenant Area for boatbuilding, boat repairs and maintenance, cabinet making and boat painting and to accommodate independent contractors who provide supporting services to these activities.
- 2 The Grantor shall not undertake any below waterline trade or business including without limitation any wash-down, antifoul or propspeed work, which shall remain exclusive to the Grantee and any permitted operator or purchaser of such component of the Grantee's business operating from the dominant tenement, provided that this covenant shall not apply in the event that the Grantor purchases such component of the Grantee's business from the Grantee.
- 3 The Grantor shall not allow any boat or other thing to overhang or project over the boundary of the servient land.
- 4 The Grantor shall obtain and shall keep current a separate discharge to water consent for any discharges originating from the servient tenement.



EXISTING BUILDING

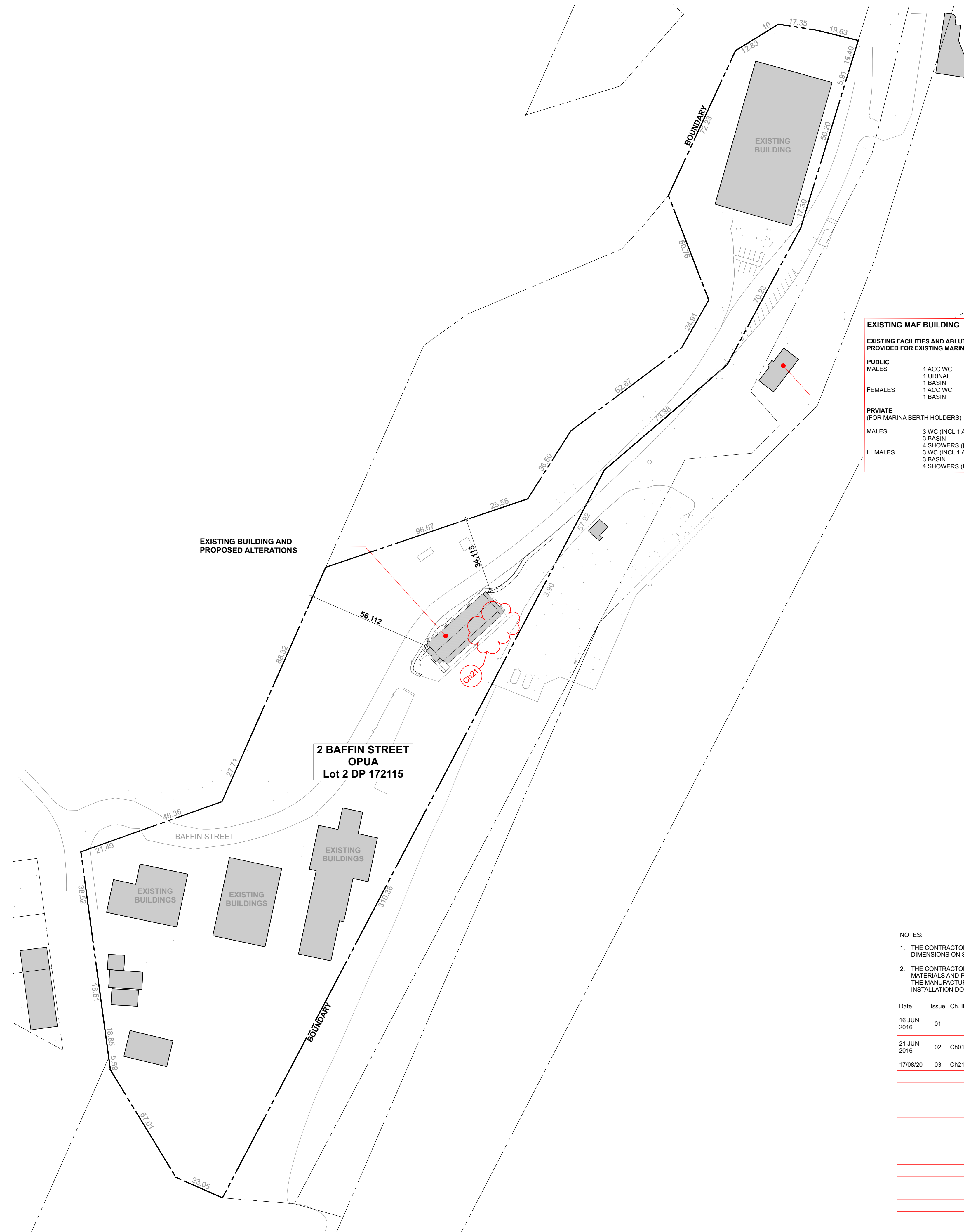
2 BAFFIN STREET,
OPUA,
NORTHLAND

LOT 2
DP 172115
AREA: 38304 SQ.M. (0.038304ha)

SHEET INDEX	REVISION	SHEET NAME
0000	02	COVER SHEET
1000	03	LOCALITY PLAN
1001	04	PROPOSED SITE PLAN
1100	03	EXISTING AND DEMOLITION PLANS
1120	03	EXISTING ELEVATIONS
1200	04	REFERENCE PLANS
1300	04	PROPOSED GROUND FLOOR PLAN
1301	05	PROPOSED FIRST FLOOR PLAN
1302	03	ROOF PLAN
1310	03	FLOOR FRAMING PLAN
1400	04	FLOOR FINISHES PLAN
1401	05	REFLECTED CEILING PLAN
1500	05	FIRE SAFETY PLAN
1510	04	ACCESSIBILITY PLAN
2000	04	ELEVATIONS
2100	03	SECTIONS
2101	03	SECTIONS
2102	03	SECTIONS
2103	04	SECTIONS
3000	02	APARTMENT LAYOUTS
3300	03	ACC.WC
3310	06	FEMALE ABLUTIONS
3311	06	FEMALE SHOWER
3312	06	FEMALE WC
3320	06	MALE ABLUTIONS
3321	06	MALE SHOWER
3322	06	MALE WC
3400	02	GAS BOTTLE ENCLOSURE
3500	03	DECK PLAN
3501	02	DECK SECTIONS
3502	03	DECK SECTIONS
3550	02	DECK DETAILS
4100	02	SECTION DETAILS
4101	03	SECTION DETAILS
4102	02	DECK FIRE WALL DETAILS
4300	03	TYPICAL DETAILS - BOARD AND BATTEN
4301	03	TYPICAL DETAILS - HORIZONTAL PROFILED METAL
4302	03	TYPICAL DETAILS - VERTICAL PROFILED METAL
4500	02	TYPICAL ROOF PENETRATION DETAILS
4600	03	TYPICAL INTERIOR DETAILS
4700	02	NZS 3604 NAILING SCHEDULES
4701	02	TYPICAL NZS 3604 DETAILS
4702	03	TYPICAL PARAPET WALL DETAILS
4800	03	FIRE PROTECTION AND BRACING WALL SYSTEMS
5000	03	INTERIOR JOINERY SCHEDULE
5100	03	EXTERIOR JOINERY SCHEDULE
5200	03	ABLUTIONS FINISHES & COLOUR SCHEDULE
5201	02	APARTMENTS FINISHES SCHEDULE
5202	02	APARTMENTS FINISHES SCHEDULE
6100	04	LIGHTING PLAN
6101	03	ELECTRICAL PLAN
6200	03	MECHANICAL SERVICES

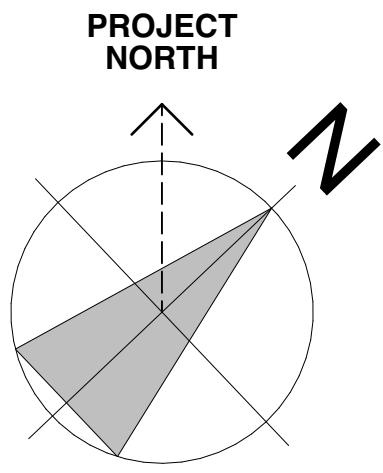


BUILDING LOCATION
2 Baffin St, Opua 0200



EXISTING BUILDING AND
PROPOSED ALTERATIONS

**2 BAFFIN STREET
OPUA**
Lot 2 DP 172115



**2 BAFFIN STREET,
OPUA,
NORTHLAND**

LOT 2
DP 172115
AREA: 38304 SQ.M. (0.038304ha)

DISTRICT PLAN ENVIRONMENT: COMMERCIAL
(MARITIME EXEMPTION AREA)

NET SITE AREA = 38304 sq.m.
MAXIMUM HEIGHT = 12.0

EXISTING BUILDING FOOTPRINT:
EXISTING (INCL. PATIO) = 544 sq.m.

FLOOR PLAN AREAS:
EXISTING GROUND FLOOR = 397.64 sq.m.
EXISTING FIRST FLOOR = 396.15 sq.m.
TOTAL = 793.79 sq.m.

AREA AFFECTED BY BUILDING WORK
= APPROX 455sq.m.

WIND ZONE = VERY HIGH
(AS PER ENGINEER CALS)

EXPOSURE ZONE (AS PER NZS3604) = D

EARTHQUAKE ZONE (AS PER NZS3604) = 1

CAR PARKING
EXISTING CARPARKING SPACES ON SITE

EXISTING MAF BUILDING

EXISTING FACILITIES AND ABLUTIONS
PROVIDED FOR EXISTING MARINA BERTHS

PUBLIC	
MALES	1 ACC WC 1 URINAL 1 BASIN
FEMALES	1 ACC WC 1 BASIN
PRIVATE (FOR MARINA BERTH HOLDERS)	
MALES	3 WC (INCL 1 ACC.) 3 BASIN
FEMALES	4 SHOWERS (INCL 1 ACC.) 3 WC (INCL 1 ACC.) 3 BASIN 4 SHOWERS (INCL 1 ACC.)

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
17/08/20	03	Ch21	DECK REMOVED



158 BANK STREET,
WHANGAREI
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz



ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

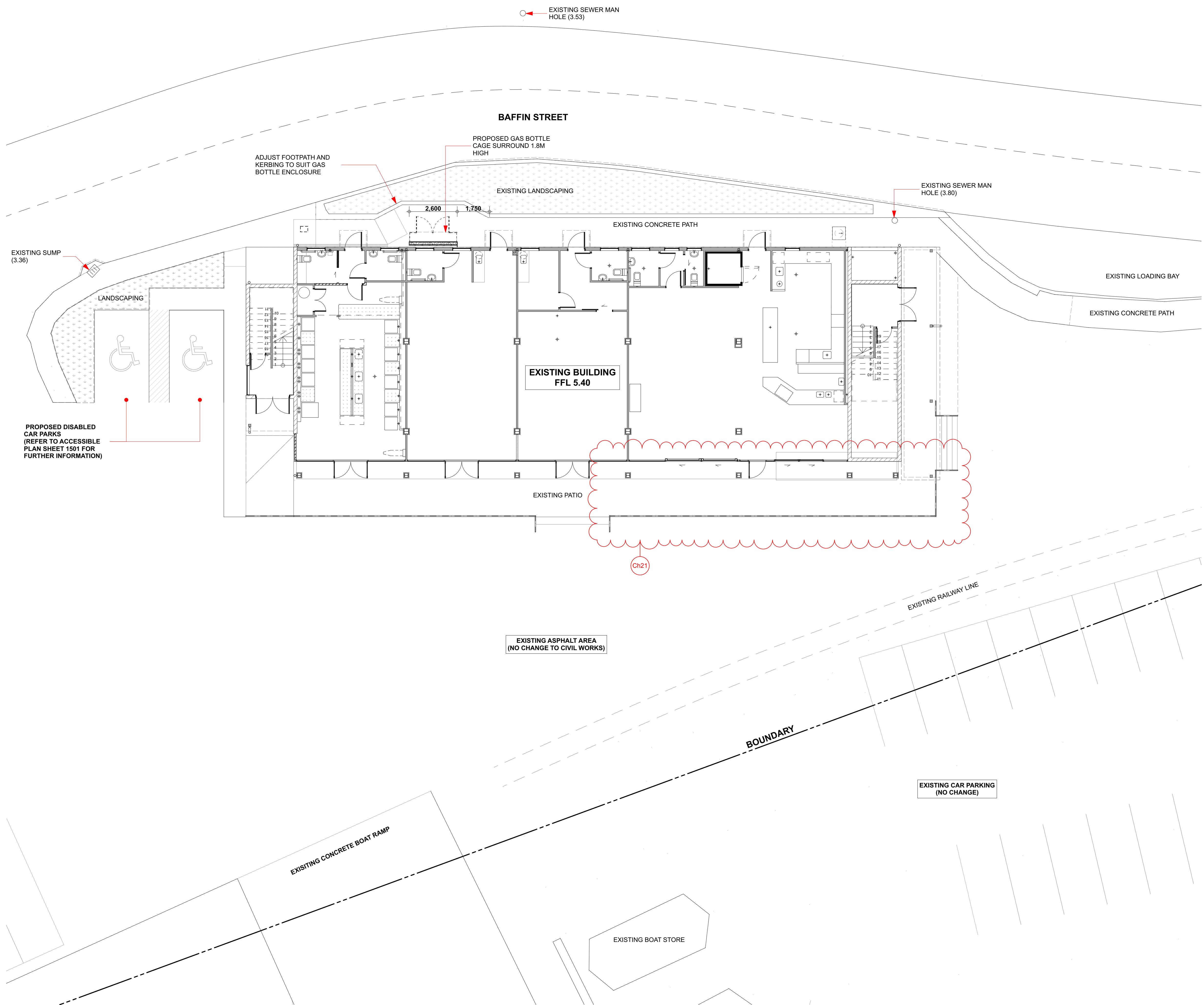
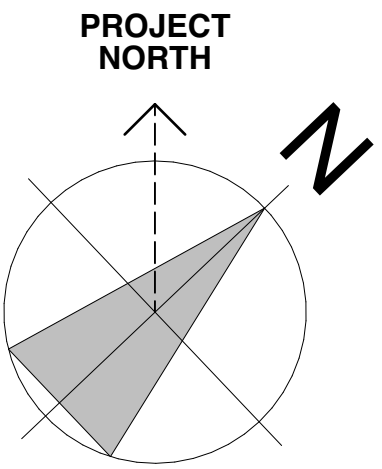
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

LOCALITY PLAN

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET: SHEET ISSUE / REV:
5285 1000 03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



PROPOSED SITE PLAN

SCALE: 1:100
2 BAFFIN STREET, OPUA, NORTHLAND
 LOT 2
 DP 172115
 AREA: 38304 SQ.M. (0.038304ha)

DISTRICT PLAN ENVIRONMENT: COMMERCIAL (MARITIME EXEMPTION AREA)
 NET SITE AREA = 38304 sq.m.
 MAXIMUM HEIGHT = 12.0
 EXISTING BUILDING FOOTPRINT: EXISTING (INCL. PATIO) = 544 sq.m.
 FLOOR PLAN AREAS:
 EXISTING GROUND FLOOR = 397.64 sq.m.
 EXISTING FIRST FLOOR = 396.15 sq.m.
 TOTAL = 793.79 sq.m.
 AREA AFFECTED BY BUILDING WORK = APPROX 455sq.m.
 WIND ZONE = VERY HIGH (AS PER ENGINEER CALCS)
 EXPOSURE ZONE (AS PER NZS3604) = D
 EARTHQUAKE ZONE (AS PER NZS3604) = 1
 CAR PARKING
 EXISTING CARPARKING SPACES ON SITE

NOTES

- CHECK ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCING WORK.
- REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR INFORMATION ON WATER, SEWER AND GAS SERVICES.

- PUBLIC SAFETY DURING CONSTRUCTION**
- HOARDINGS:**
 DURING CONSTRUCTION PROVIDE A 2M HIGH GLAV CHAINLINK HOARDING TO COMPLY WITH F5/AS1 AROUND THE BUILDING SITE AND STORAGE AREAS.
- SIGNAGE:**
 PROVIDE SITE SIGNAGE AND HAZARD SIGNS TO COMPLY WITH F8/AS1
- SEDIMENT CONTROL:**
 CONTRACTOR TO ENSURE SEDIMENT CONTROL SYSTEMS IN PLACE BEFORE COMMENCING CONSTRUCTION.
- TRAFFIC MANAGEMENT PLAN:**
 CONTRACTOR TO PROVIDE TRAFFIC MANAGEMENT PLAN, DELIVERY ACCESS PLAN, INDICATE STORAGE AREA LOCATIONS, DUST AND NOISE CONTROL SYSTEMS, PRIOR TO COMMENCING CONSTRUCTION.

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.



198 BANK STREET, WHANGAREI
 P.O. BOX 677, WHANGAREI, 0140
 PH: (09) 438 9545
 FAX: (09) 438 7411
 www.farncortholdings.co.nz



ISSUED FOR:
AS-BUILTS DRAWINGS
 17/08/20

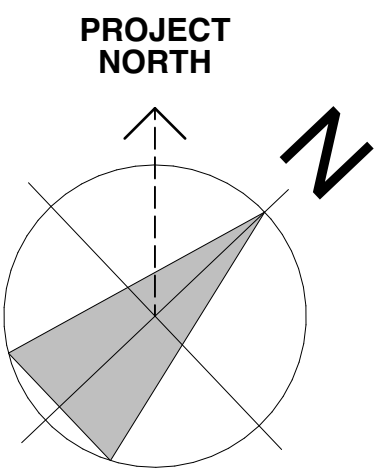
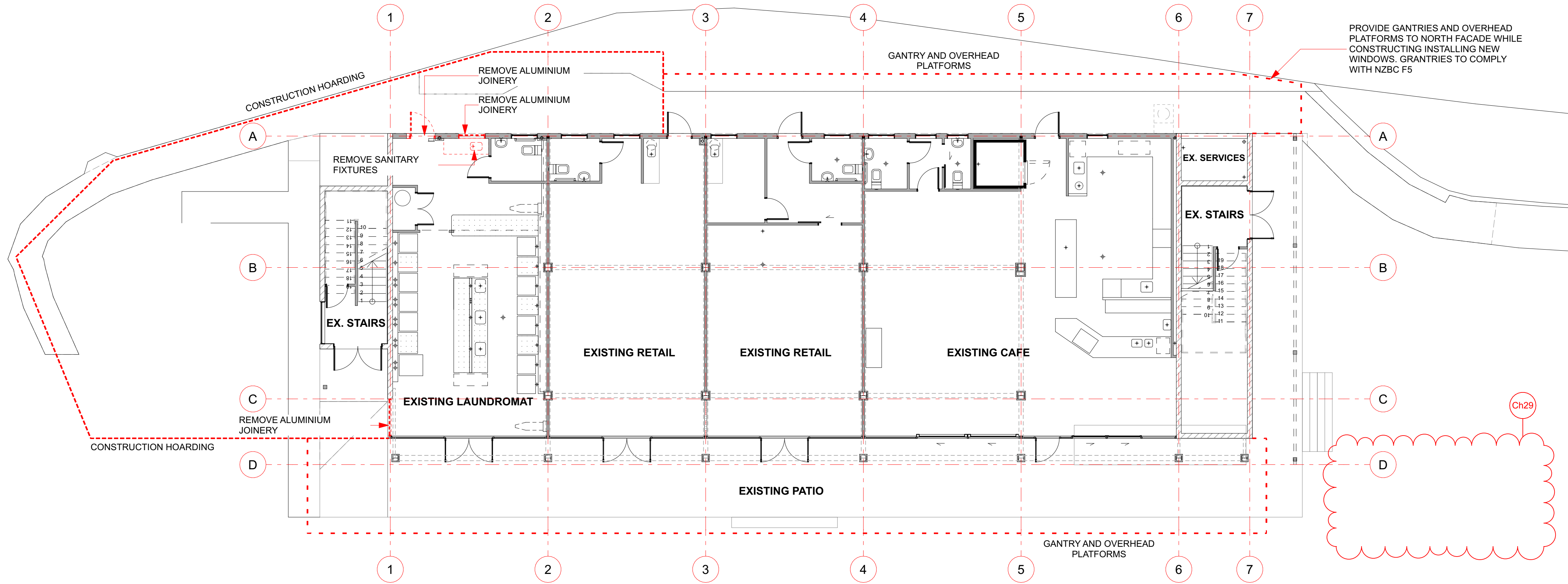
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

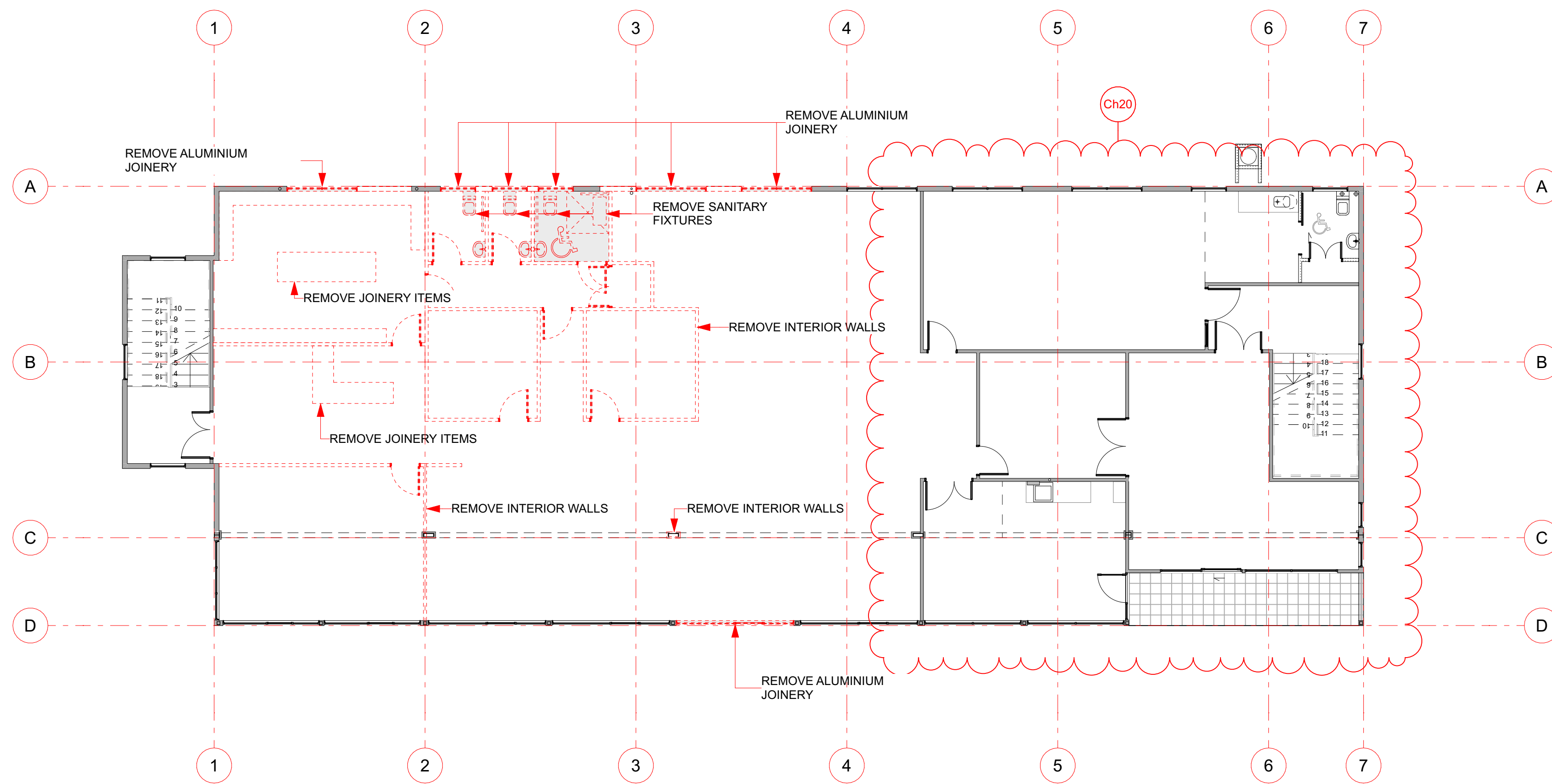
PROPOSED SITE PLAN

11/11/2024 9:42 AM	ORIGINAL SCALE SHOWN @ A1
PROJECT No:	SHEET
5285	1001
REVISION/ISSUED:	SHEET ISSUE / REV:
17/08/20	04



EXISTING GROUND FLOOR - DEMOLITION PLAN

SCALE: 1:100



LEGEND

- WALLS TO BE REMOVED**
(DASHED LINES IN RED)
- DOOR / WINDOW TO BE REMOVED**
(DASHED LINES IN RED)
- REMOVE SANITARY FIXTURES AND FITTINGS**
(DASHED LINES IN RED)

NOTES

1. PLANS TO BE READ IN COLOUR
2. CONTRACTOR TO TAKE CARE REMOVING EXISTING WINDOWS, DOORS, CEILING TILES, CARPET TILES, FIXTURES, FITTINGS, HVAC UNITS/SYSTEMS, FOR REUSE ELSEWHERE.
3. CLIENT TO NOMINATE A LOCATION FOR THE STORAGE OF ALL REUSED ITEMS.
4. MAKE GOOD ANY WALLS, CLADDINGS, LINING, FINISHES, SERVICES, PAINTING ETC, AFTER DEMOLITION.
5. DURING DEMOLITION AND CONSTRUCTION PROVIDE A 2M HIGH GLAV CHAINLINK HOARDING TO COMPLY WITH F5/AS1 AROUND THE BUILDING SITE AND STORAGE AREAS.
6. SAFETY SIGNAGE TO COMPLY WITH NZBC F8/AS1

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.



198 BANK STREET,
WHANGAREI, 0140
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnharchitecture.co.nz
www.fnharchitecture.co.nz



ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

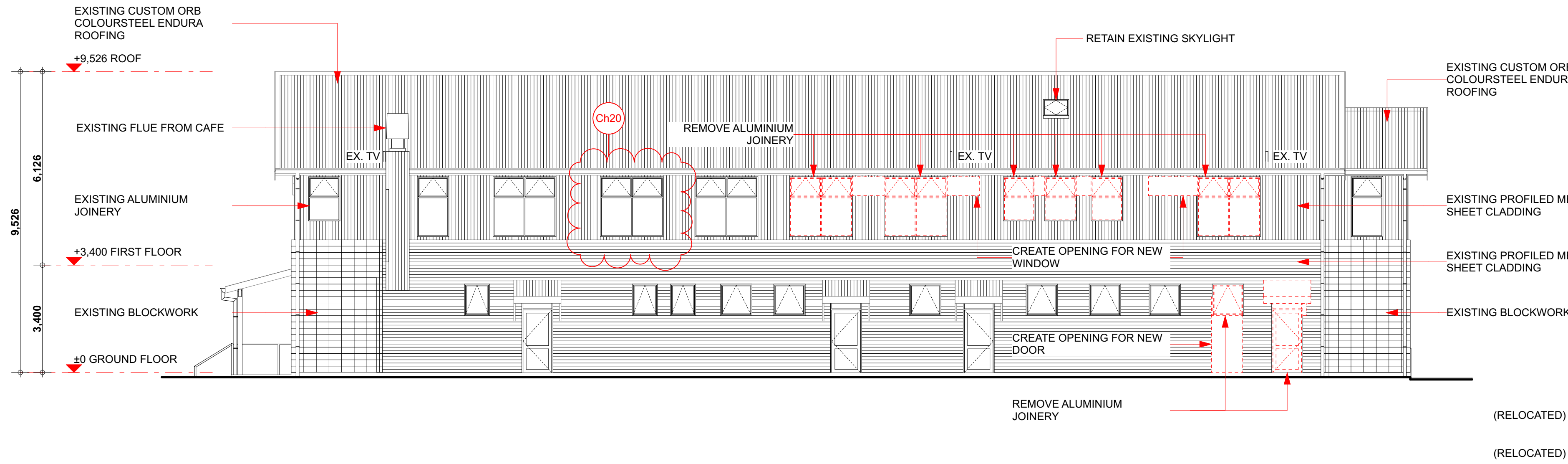
EXISTING AND DEMOLITION PLANS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 1100 03

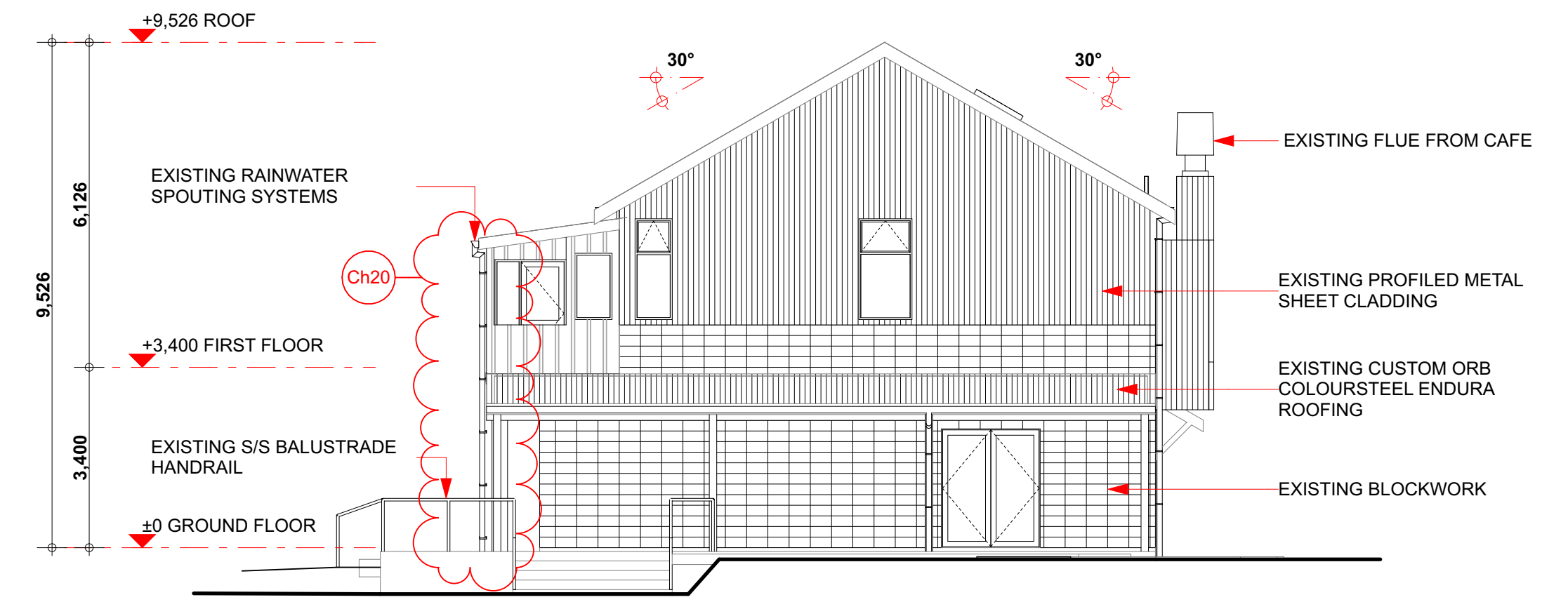
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln

EXISTING FIRST FLOOR - DEMOLITION PLAN

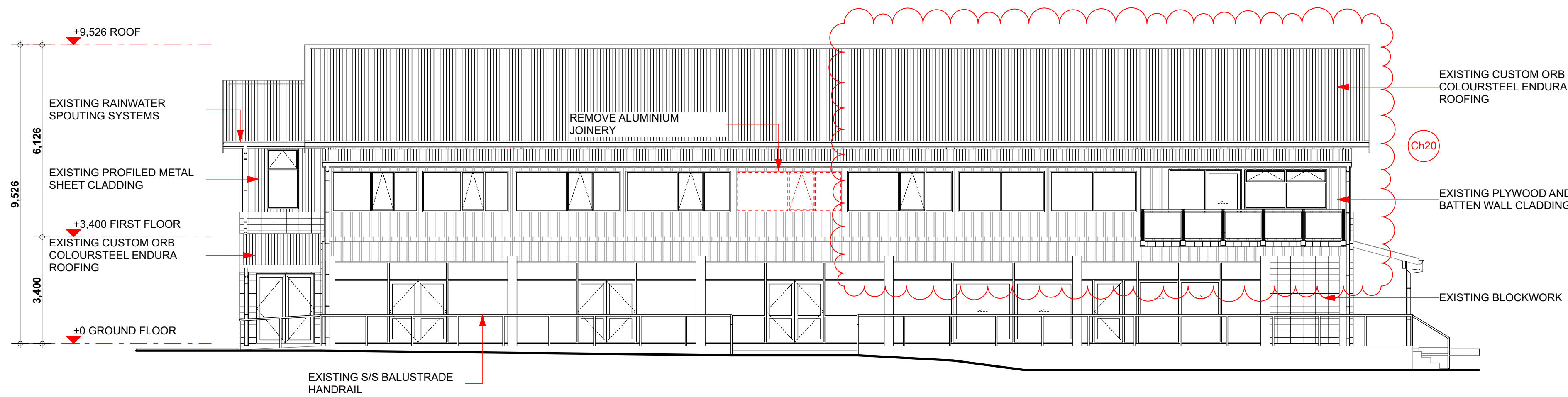
SCALE: 1:100



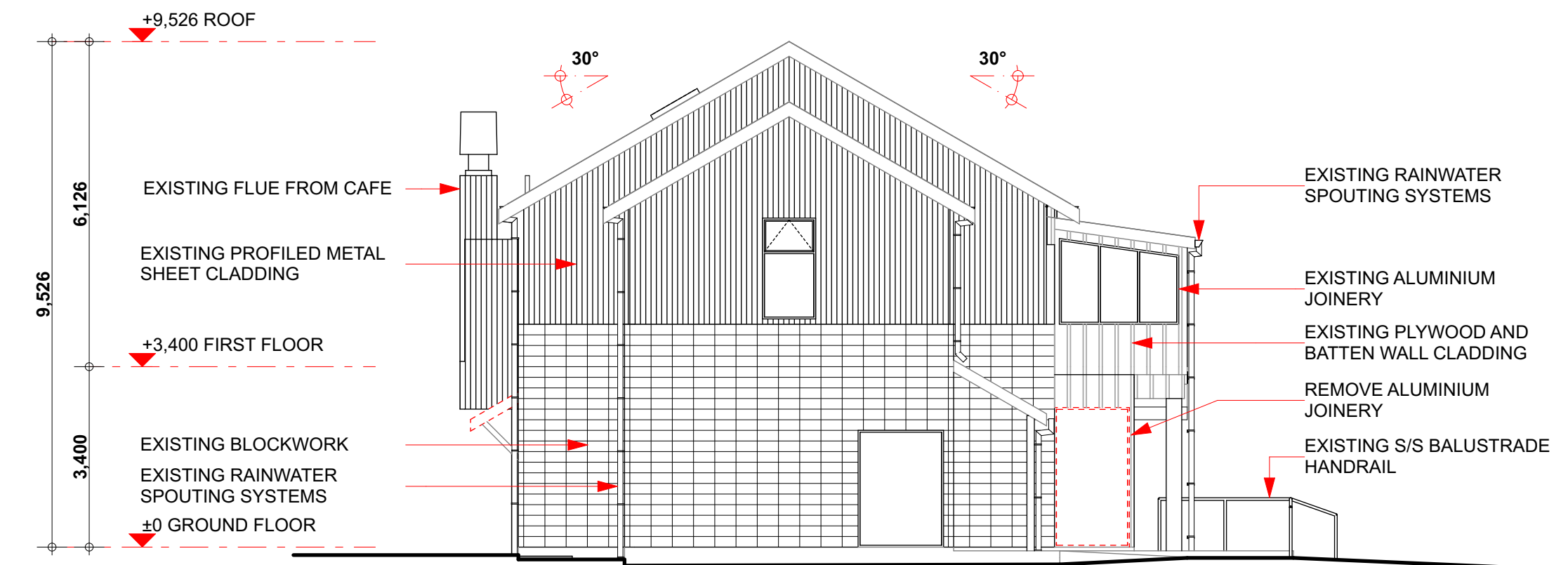
EXISTING NORTH ELEVATION
SCALE: 1:100



EXISTING EAST ELEVATION
SCALE: 1:100



EXISTING SOUTH ELEVATION
SCALE: 1:100



EXISTING WEST ELEVATION
SCALE: 1:100

NOTES

1. PLANS TO BE READ IN COLOUR
2. CONTRACTOR TO TAKE CARE REMOVING EXISTING WINDOWS, DOORS, CEILING TILES, CARPET TILES, FIXTURES, FITTINGS, HVAC UNITS/SYSTEMS, FOR REUSE ELSEWHERE.
3. CLIENT TO NOMINATE A LOCATION FOR THE STORAGE OF ALL REUSED ITEMS.
4. MAKE GOOD ANY WALLS, CLADDINGS, LINING, FINISHES, SERVICES, PAINTING ETC, AFTER DEMOLITION.
5. DURING DEMOLITION AND CONSTRUCTION PROVIDE A 2M HIGH GLAY CHAINLINK HOARDING TO COMPLY WITH F8/AS1 AROUND THE BUILDING SITE AND STORAGE AREAS.
6. SAFETY SIGNAGE TO COMPLY WITH NZBC F8/AS1

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch12	Revised Windows
17/08/20	03	Ch20	EXISTING TO REMAIN

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnharchitecture.co.nz
www.fnharchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

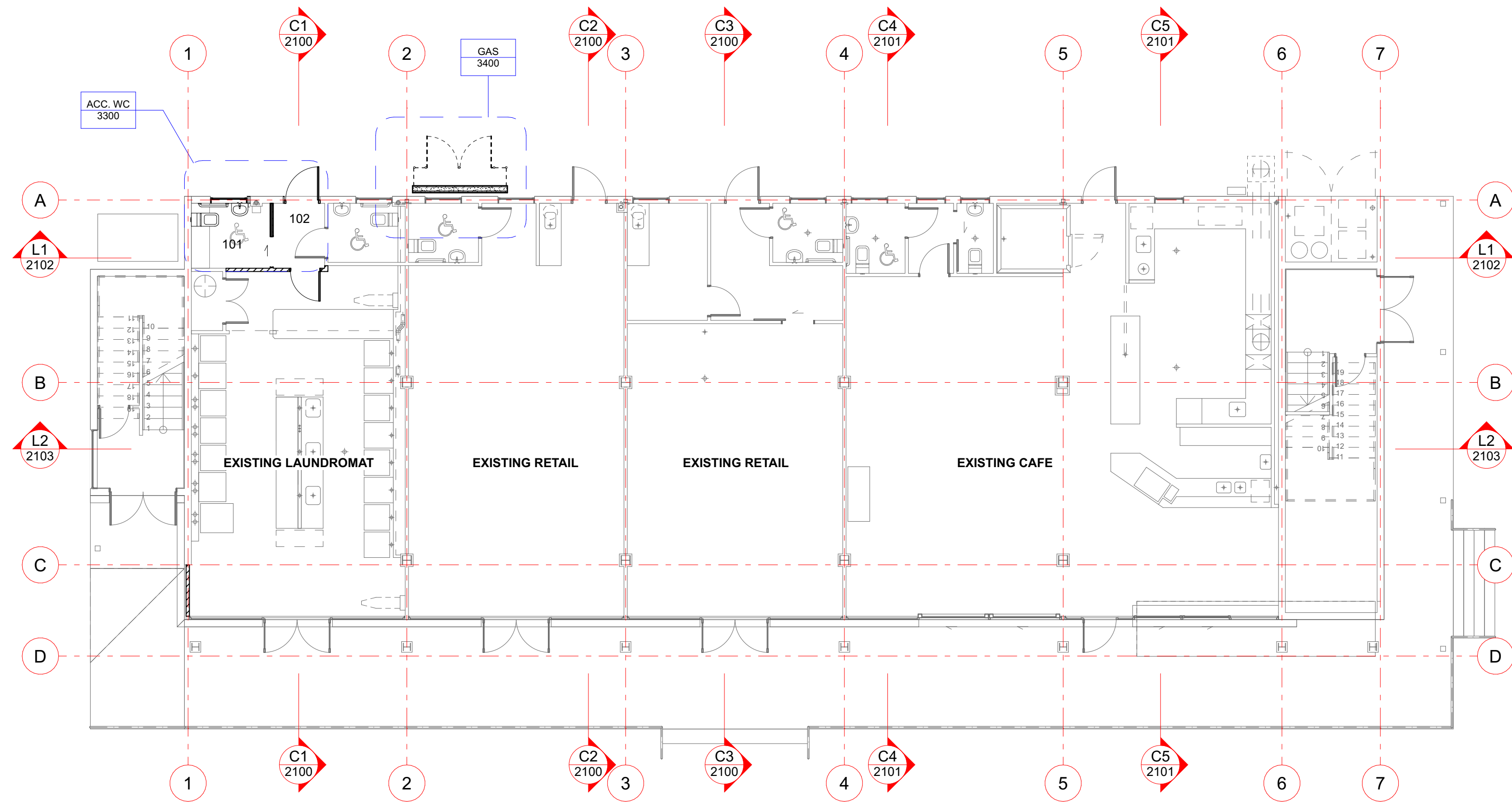
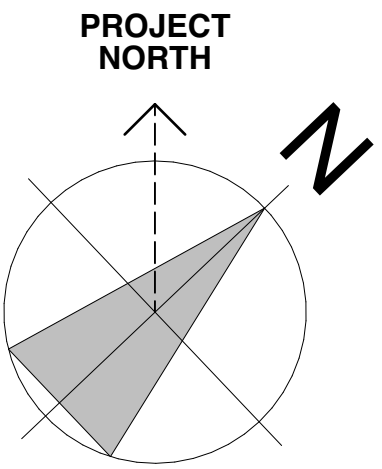
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

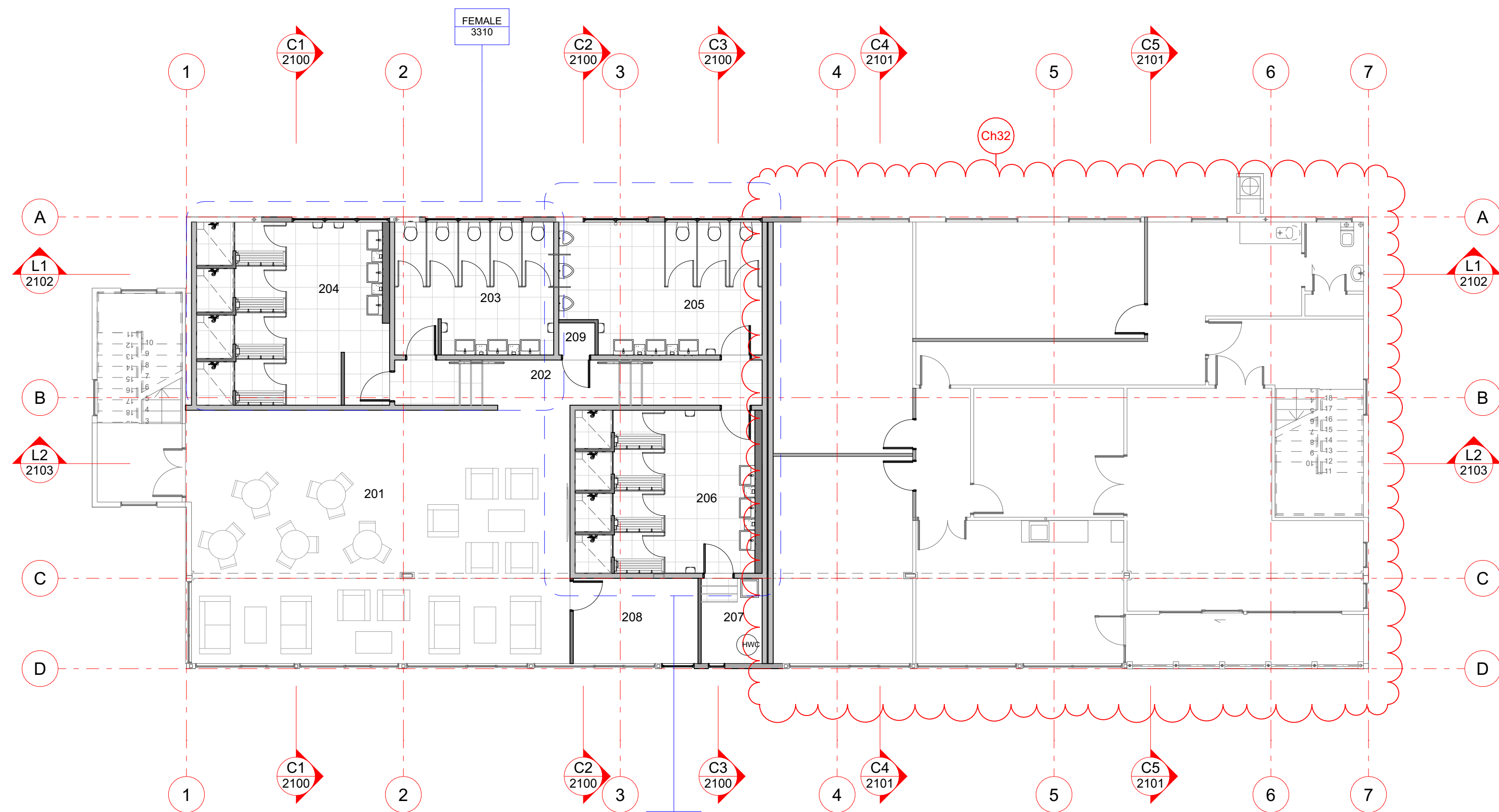
EXISTING ELEVATIONS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 1120 03
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



REFERENCE PLAN - PROPOSED GROUND FLOOR

SCALE: 1:100



REFERENCE PLAN - PROPOSED FIRST FLOOR

SCALE: 1:100

NO.	ZONE	AREA
101	ACC. WC	3.97
102	LOBBY	2.61
201	LOUNGE	74.19
202	LOBBY	13.03
203	FEMALE WC	16.22
204	FEMALE SHOWER	27.69
205	MALE WC	16.31
206	MALE SHOWER	24.20
207	CLEANERS	4.49
208	MEDIA ROOM	8.26
209	STORE	0.89

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch07	New Door
		Ch12	Revised Windows
17/08/20	03	Ch20	EXISTING TO REMAIN
		Ch21	DECK REMOVED
22/10/24	04	Ch32	AS-BUILT LAYOUT

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545 FAX: (09) 438 7411
info@fnhl.co.nz www.fnhl.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS
22/10/24
FNHL

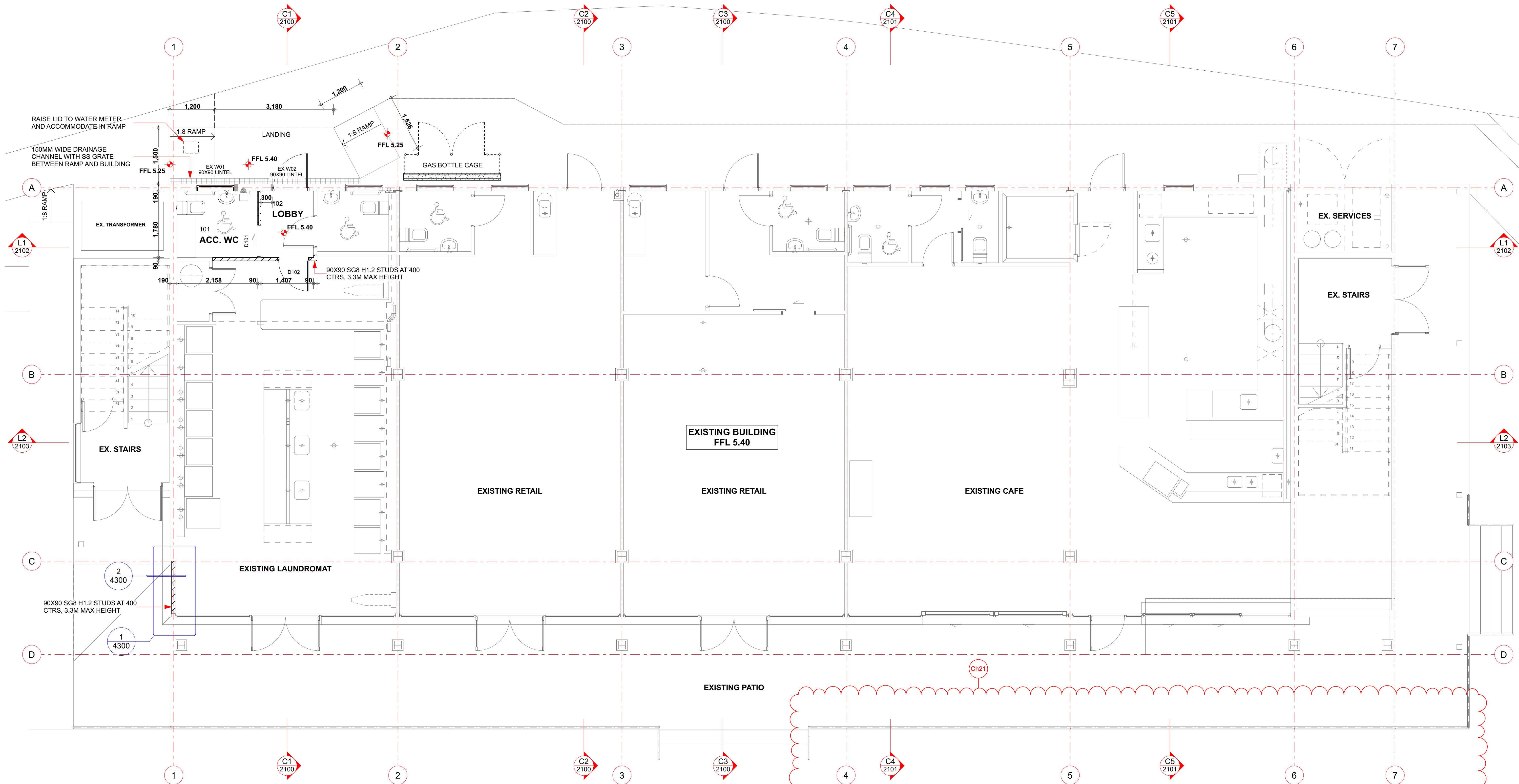
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

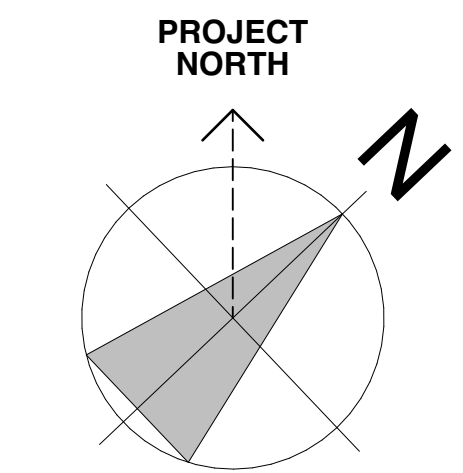
REFERENCE PLANS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV.
5285 1200 04

REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln



PROPOSED GROUND FLOOR PLAN
SCALE: 1:50



LEGEND

- EXISTING WALLS
- 90X90 SG8 H1.2 STUDS AT 400 CTRS, 3.3M MAX HEIGHT
- 90X90 SG8 H1.2 STUDS AT 400 CTRS, 3.3M MAX HEIGHT
- 140X45 SG8 H1.2 STUDS AT 600 CTRS, 3.3M MAX HEIGHT
- BRACING - PROPOSED BRACING
- BRACING - EXISTING BRACING

NOTES

1. ENSURE ALL HOT WATER CYLINDERS OVER 90L HAVE SEISMIC RESTRAINTS REFER TO DETAIL FIG 14 SHEET 4300
2. READ PLAN IN CONJUNCTION WITH FIRE SAFETY PLAN
3. REFER TO SHEET 4800 FOR INFORMATION ON BRACING SYSTEMS

FIXINGS

1. ALL FIXINGS TO NZS3604:2011 UNLESS STATED OTHERWISE REFER TO NAILING SCHEDULES ON SHEET 4704
2. ALL EXTERNAL EXPOSED FIXINGS AND BRACKETS TO BE 316 STAINLESS STEEL
3. BOTTOM PLATE FIXINGS - ANCHORS SHALL BE M12 BOLTS SET WITHIN 150MM OF EACH END OF THE PLATE, SPACED AT A MAXIMUM OF 900MM CENTRES.
 - A) FOR INTERNAL AND EXTERNAL WALLS, WHERE THE SLAB EDGE IS FORMED WITH IN-SITU CONCRETE, ANCHORS SHALL BE SET NOT LESS THAN 90MM INTO THE CONCRETE, MAINTAINING A MINIMUM EDGE DISTANCE OF 50MM.
 - B) FOR EXTERNAL WALLS WHERE THE SLAB EDGE IS FORMED WITH MASONRY HEADER BLOCKS, ANCHORS SHALL BE SET NOT LESS THAN 120MM INTO THE CONCRETE, MAINTAINING A MINIMUM EDGE DISTANCE OF 50MM TO THE OUTSIDE FACE OF THE BLOCKS.

FLOOR AREAS

NO.	ZONE	AREA
101	ACC. WC	3.97
102	LOBBY	2.61
201	LOUNGE	74.19
202	LOBBY	13.03
203	FEMALE WC	16.22
204	FEMALE SHOWER	27.69
205	MALE WC	16.31
206	MALE SHOWER	24.20
207	CLEANERS	4.49
208	MEDIA ROOM	8.26
209	STORE	0.89

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
08.09.16	03	Ch07	New Door
17/08/20	04	Ch21	DECK REMOVED

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

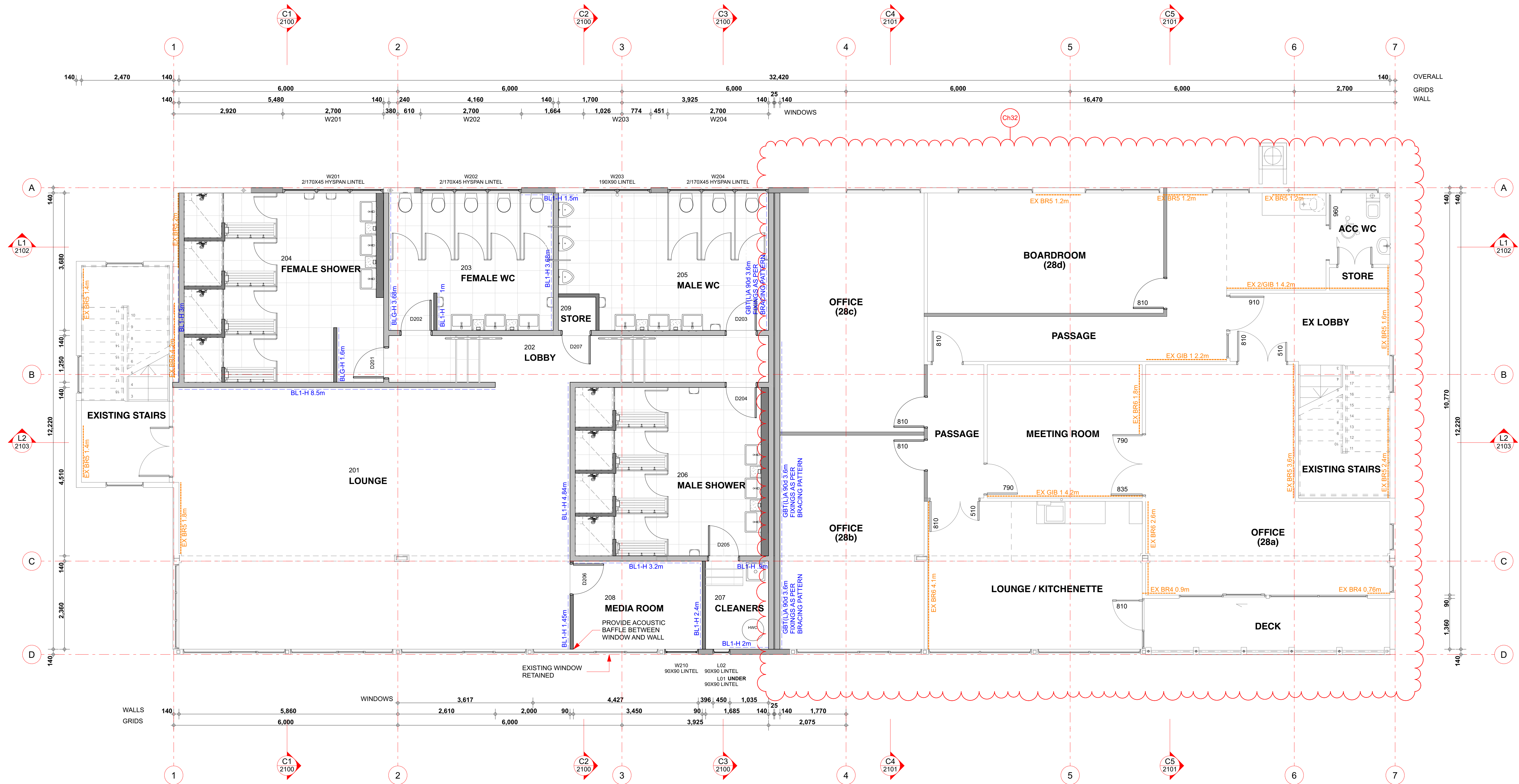
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

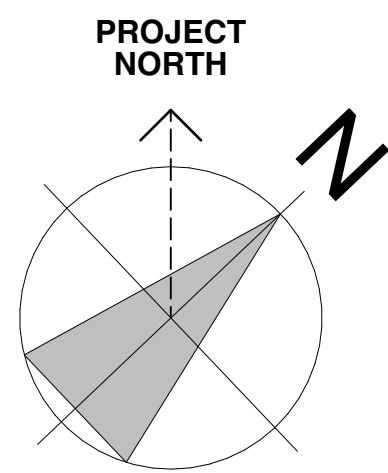
PROPOSED GROUND FLOOR PLAN

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV.
5285 1300 04

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



PROPOSED FIRST FLOOR PLAN
SCALE: 1:50



LEGEND

- EXISTING WALLS
- 90X90 SG8 H1.2 STUDS AT 400 CTRS, 3.3M MAX HEIGHT
- 90X90 SG8 H1.2 STUDS AT 400 CTRS, 3.3M MAX HEIGHT
- 140X45 SG8 H1.2 STUDS AT 600 CTRS, 3.3M MAX HEIGHT
- BRACING - PROPOSED BRACING
- BRACING - EXISTING BRACING

NOTES

1. ENSURE ALL HOT WATER CYLINDERS OVER 90L HAVE SEISMIC RESTRAINTS REFER TO DETAIL FIG 14 SHEET 4300
2. READ PLAN IN CONJUNCTION WITH FIRE SAFETY PLAN
3. REFER TO SHEET 4800 FOR INFORMATION ON BRACING SYSTEMS

FIXINGS

1. ALL FIXINGS TO NZS3604:2011 UNLESS STATED OTHERWISE REFER TO NAILING SCHEDULES ON SHEET 4704
2. ALL EXTERNAL EXPOSED FIXINGS AND BRACKETS TO BE 316 STAINLESS STEEL
3. BOTTOM PLATE FIXINGS - ANCHORS SHALL BE M12 BOLTS SET WITHIN 150MM OF EACH END OF THE PLATE, SPACED AT A MAXIMUM OF 900MM CENTRES.
 - A) FOR INTERNAL AND EXTERNAL WALLS, WHERE THE SLAB EDGE IS FORMED WITH IN-SITU CONCRETE, ANCHORS SHALL BE SET NOT LESS THAN 90MM INTO THE CONCRETE, MAINTAINING A MINIMUM EDGE DISTANCE OF 50MM.
 - B) FOR EXTERNAL WALLS WHERE THE SLAB EDGE IS FORMED WITH MASONRY HEADER BLOCKS, ANCHORS SHALL BE SET NOT LESS THAN 120MM INTO THE CONCRETE, MAINTAINING A MINIMUM EDGE DISTANCE OF 50MM TO THE OUTSIDE FACE OF THE BLOCKS.

FLOOR AREAS

NO.	ZONE	AREA
101	ACC. WC	3.97
102	LOBBY	2.61
201	LOUNGE	74.19
202	LOBBY	13.03
203	FEMALE WC	16.22
204	FEMALE SHOWER	27.69
205	MALE WC	16.31
206	MALE SHOWER	24.20
207	CLEANERS	4.49
208	MEDIA ROOM	8.26
209	STORE	0.89

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
08.09.16	03	Ch12	Revised Windows
17/08/20	04	Ch20	EXISTING TO REMAIN
22/10/24	05	Ch32	AS-BUILT LAYOUT

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

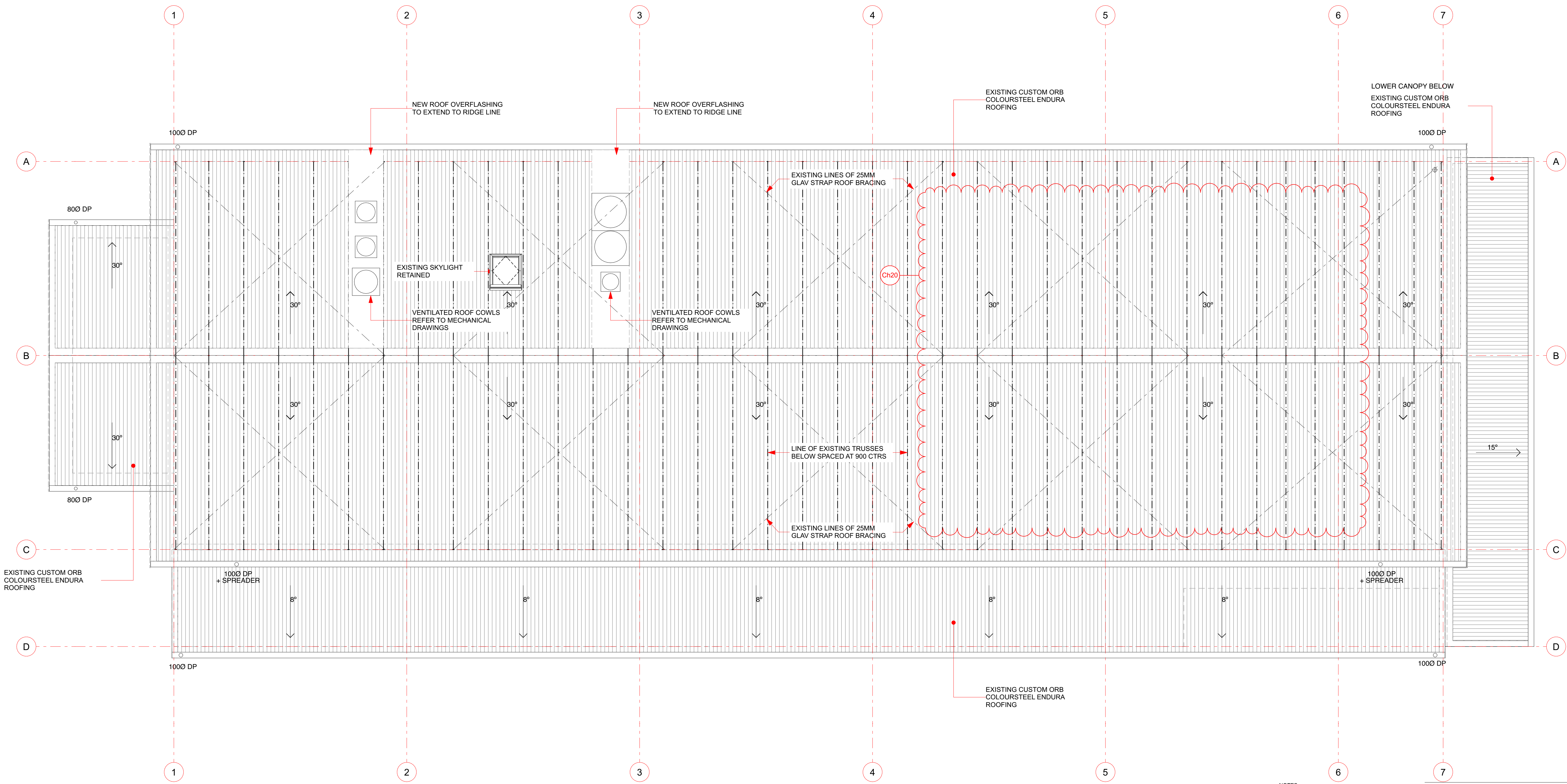
ISSUED FOR:
AS-BUILTS
22/10/24

OPUA MARINA 2 ALTERATIONS

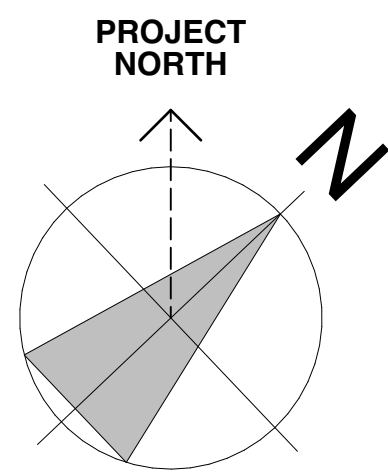
DESIGN PHASE:
AS-BUILTS

PROPOSED FIRST FLOOR PLAN

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET: SHEET ISSUE / REV:
5285 1301 05
REVISION ISSUED: 22/10/24
5285_20241021 FPHL Marina 2 Alterations_As Built.pln



ROOF PLAN
SCALE: 1:50



NOTES

1. NO CHANGE TO ROOF AREAS.
2. EXISTING SPOUTING AND DOWNPIPES TO REMAIN
3. REFER TO MECHANICAL DRAWINGS FOR INFORMATION ON ROOF VENTS

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08/09/16	02	Ch04	Removed Skylights
17/08/20	03	Ch20	EXISTING TO REMAIN

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
www.fnaarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

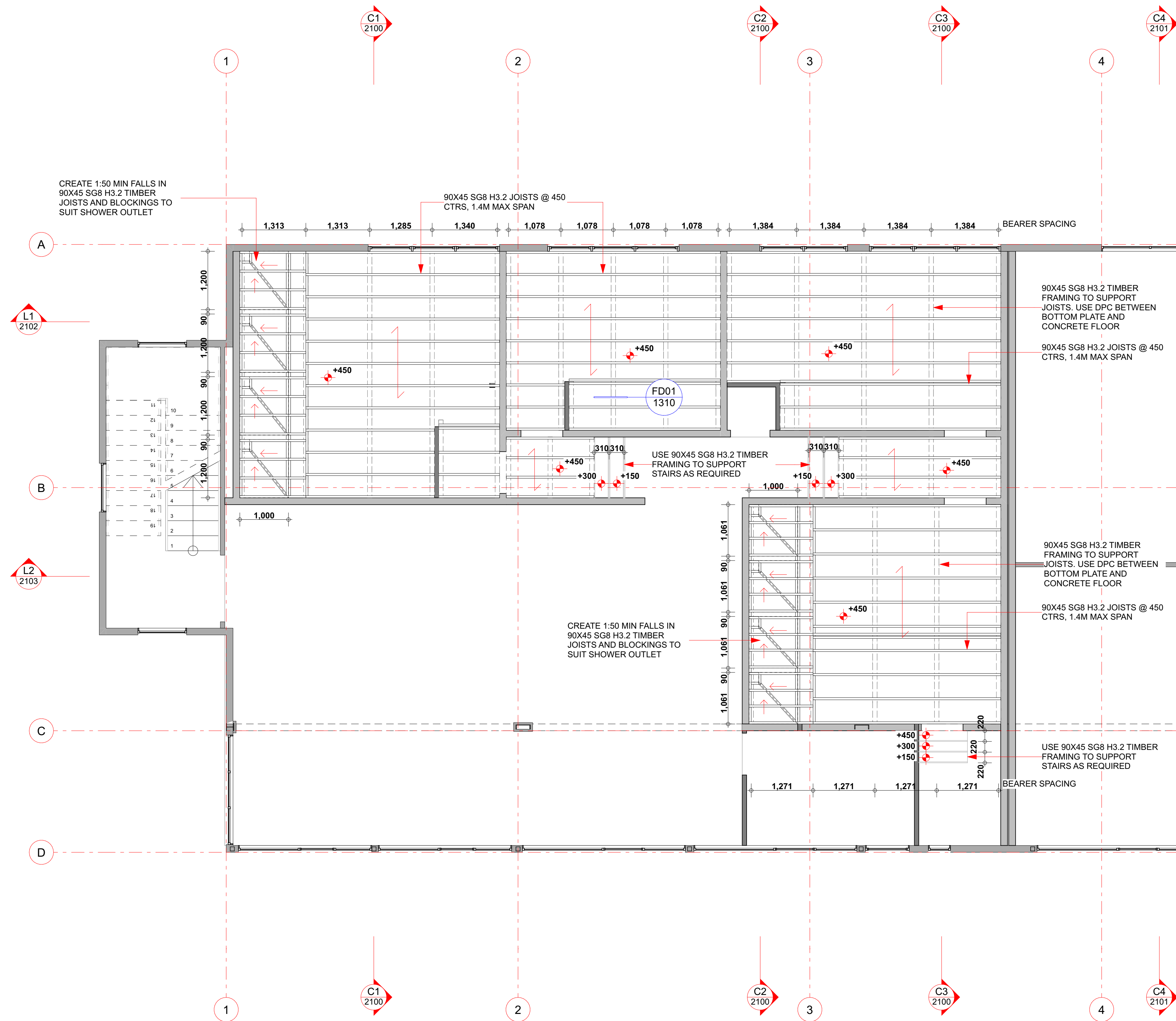
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

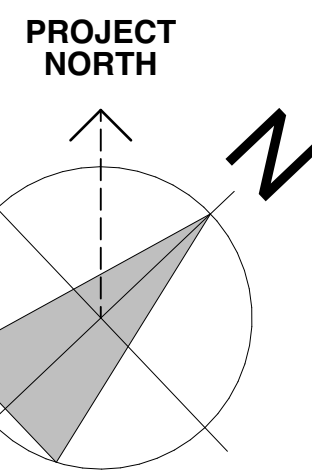
ROOF PLAN

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET: SHEET ISSUE / REV:
5285 1302 03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



FIRST FLOOR - FRAMING PLAN
SCALE: 1:50



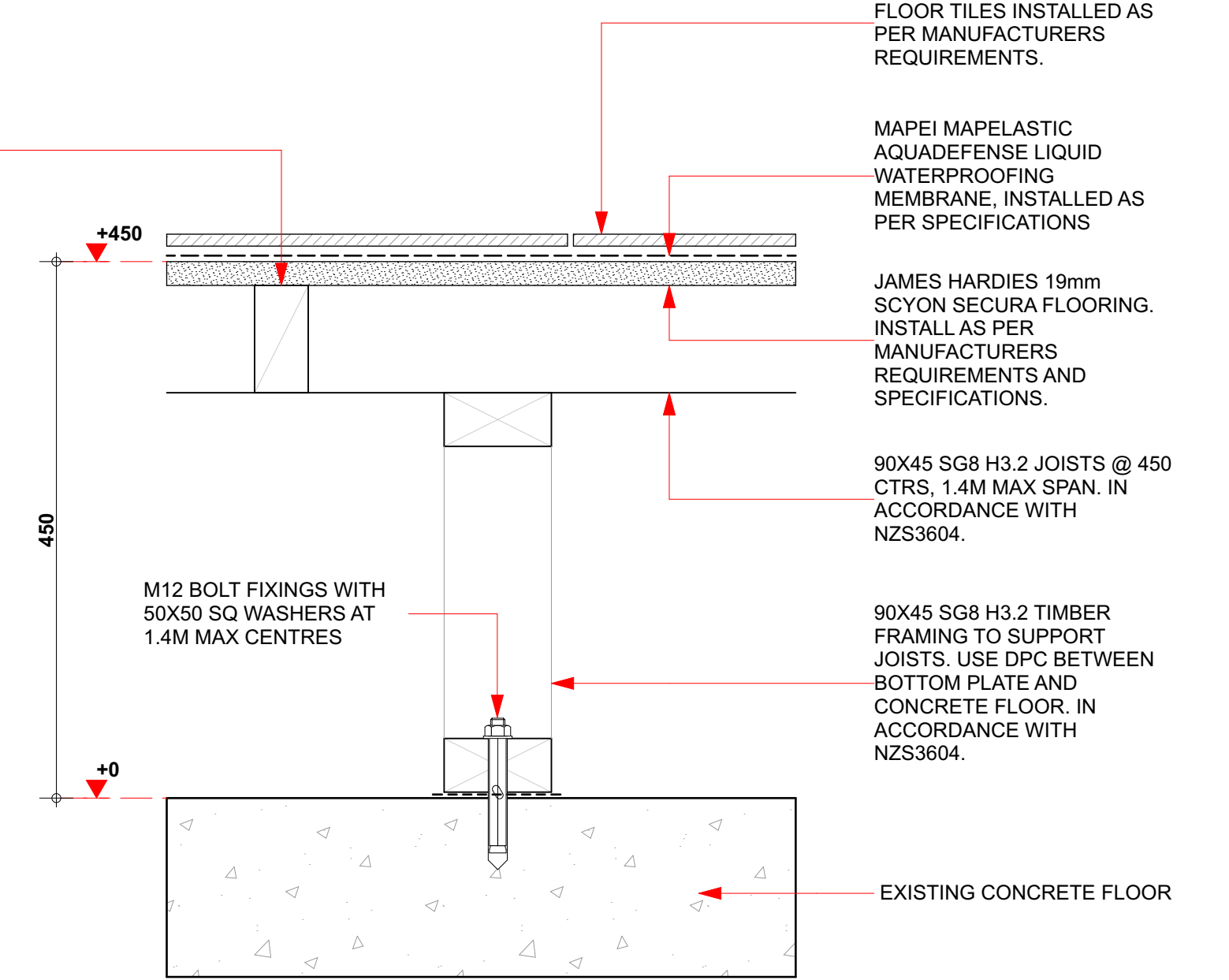
LEGEND

- 90X45 SG8 H3.2 TIMBER FRAMING TO SUPPORT JOISTS. USE DPC BETWEEN BOTTOM PLATE AND CONCRETE FLOOR
- 90X45 SG8 H3.2 JOISTS @ 450 CTRS, 1.4M MAX SPAN
- DIRECTION OF FLOORING JAMES HARDIES 19mm SCYON SECURA FLOORING.
- SHOWER FRAMING: CREATE 1:50 MIN FALLS IN 90X45 SG8 H3.2 TIMBER JOISTS AND BLOCKINGS TO SUIT SHOWER OUTLET
- +450 HEIGHT OF FLOORING SET ABOVE FFL

NOTES

1. ALL FIXINGS TO NZS3604:2011 UNLESS STATED OTHERWISE REFER TO NAILING SCHEDULES ON SHEET 4700
2. REFER TO MANUFACTURES SPECIFICATIONS AND DETAILS FOR FIXING INFORMATION OF SECURA FLOORING
3. APPLY MAPELASTIC AQUADEFENSE LIQUID MEMBRANE OVER SECURA FLOORING AND VILLBOARD WALL LININGS AS PER MAPEI SPECIFICATION
4. REFER TO INTELLEX'S DRAWINGS AND SPECIFICATIONS FOR HYDRAULIC INFORMATION
5. REFER TO FLOOR PLAN FOR WALL TYPES

90X45 SG8 H3.2 TIMBER BLOCKING AT 1.8M INTERVALS AND AS WHERE REQUIRED BY NZS3604



FD01 1310 TYPICAL RAISED FLOOR MAKEUP
SCALE: 1:5

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08 09 16	02	Ch05	Revised Framing
17/08/20	03		



198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz



ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

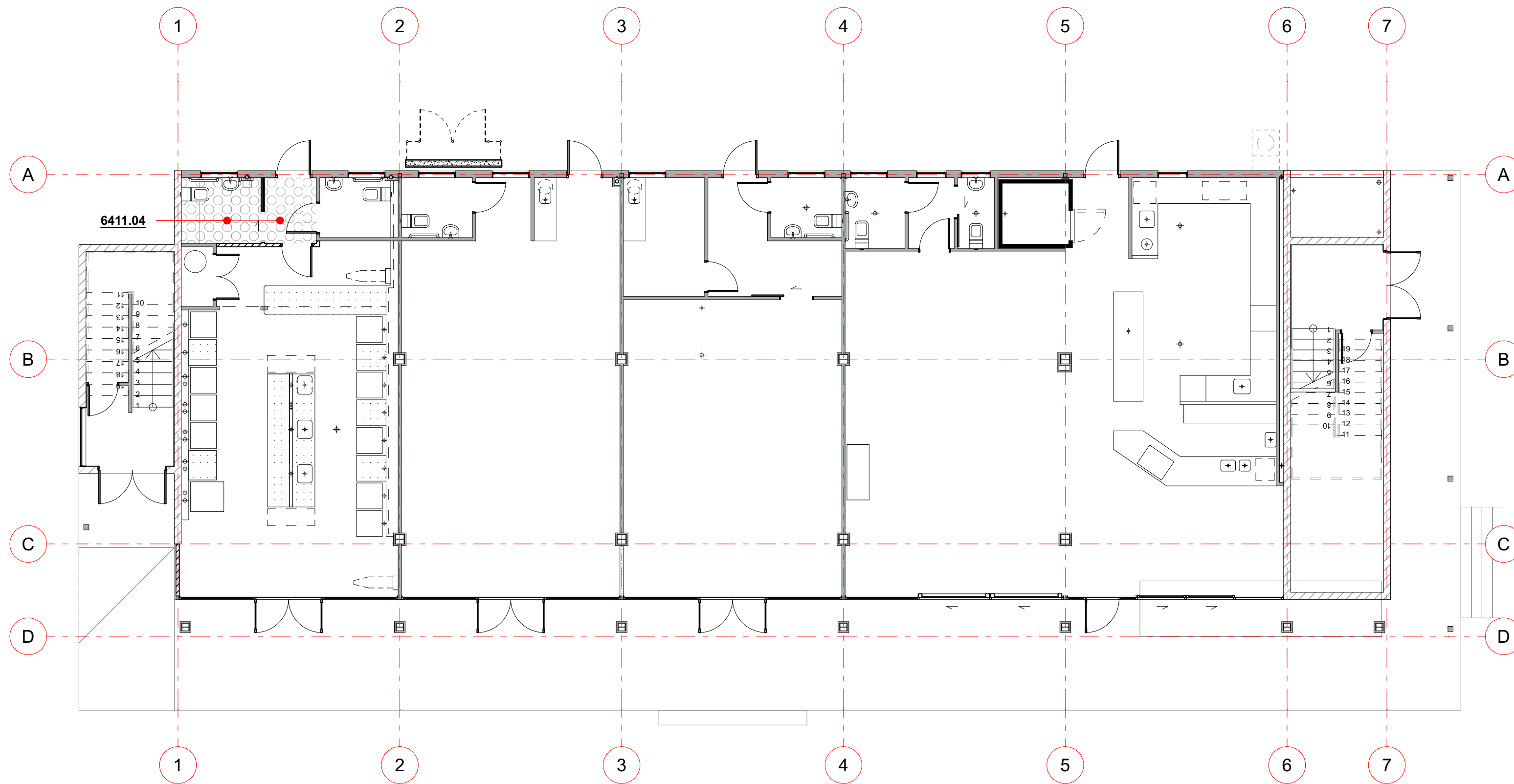
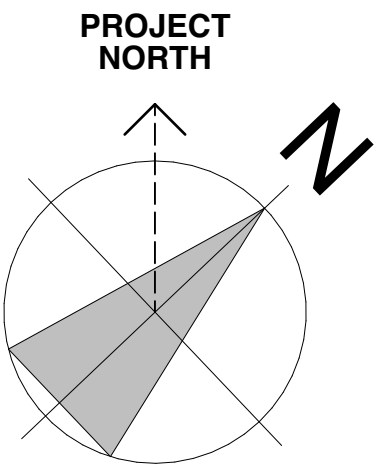
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

FLOOR FRAMING PLAN

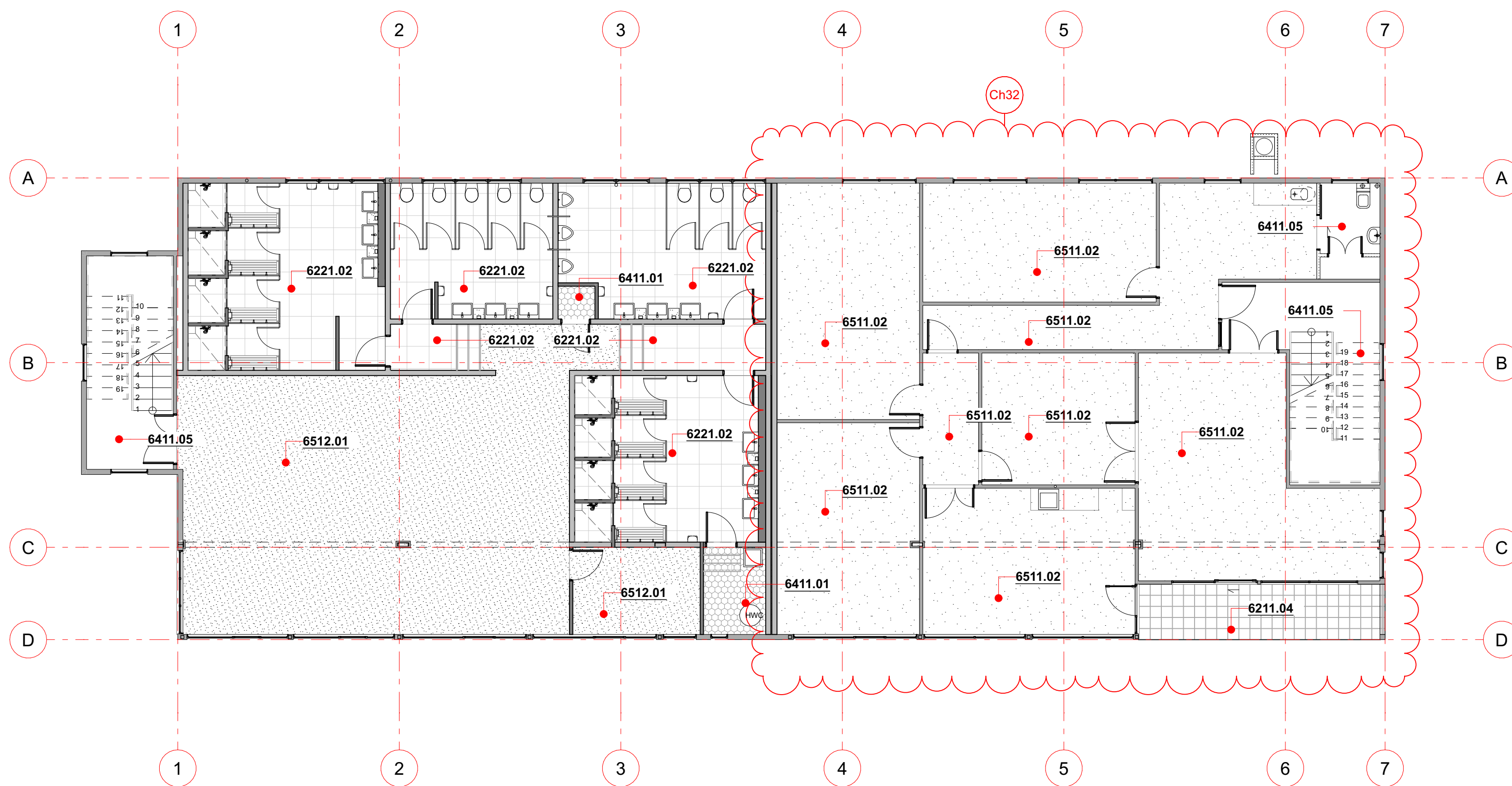
PROJECT No.	SHEET	SHEET ISSUE / REV.
5285	1310	03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



GROUND LEVEL - FLOOR FINISHES PLAN

SCALE: 1:100



LEVEL 1 - FLOOR FINISHES PLAN

SCALE: 1:100

LEGEND

-  **6221.02** SELECTED NON SLIP CERAMIC FLOOR TILES. 600x600mm
-  **6221.10** SELECTED FLOOR TILES TO APRATMENTS
-  **6411.01** SELECTED VINYL FLOORING
-  **6411.04** EXISTING VINYL FLOORING
-  **6511.01** SELECTED BROADLOOM CARPET
-  **6512.01** REUSED EXISTING CARPET TILES.
-  **6222.01** SELECTED PAVING TILES ON PROPRIETARY SUPPORT CHAIRS
-  **6511.02** EXISTING BROADLOOM CARPET
-  **6211.04** EXISTING FLOOR TILES
-  **6411.04** EXISTING VINYL FLOORING


NOTES

1. ENSURE ALL FINISHES COMPLY WITH INTERIOR SURFACE FINISHES OUTLINED IN THE FIRE REPORT
2. REFER TO SPECIFICATION AND ADDENDA FOR CERTIFIED INFORMATION ON FLOORING PRODUCTS.

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	CH07	New Door
17/08/20	03	CH20	EXISTING TO REMAIN
		CH21	DECK REMOVED
22/10/24	04	Ch32	AS-BUILT LAYOUT



158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:

AS-BUILTS
22/10/24

FNHL

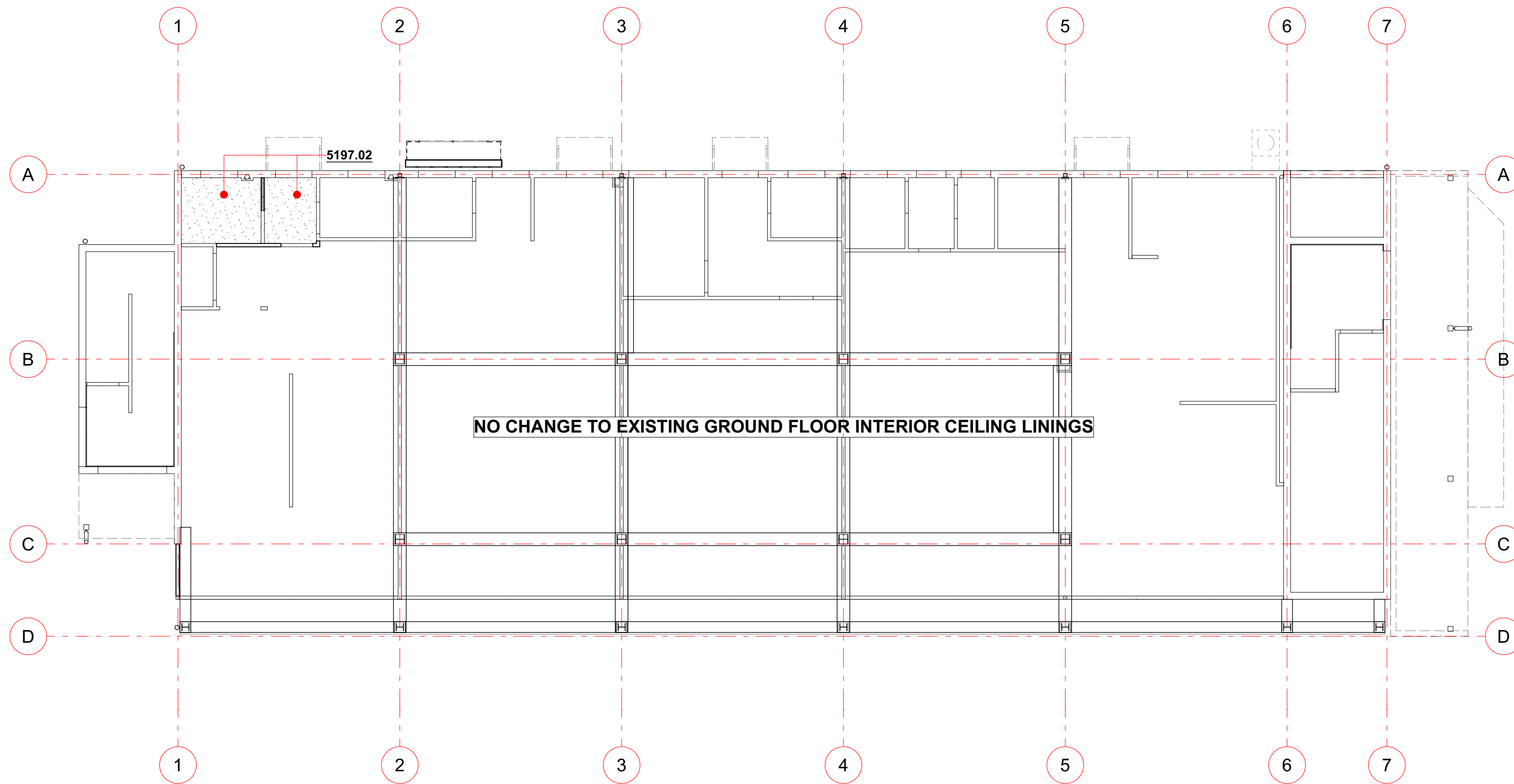
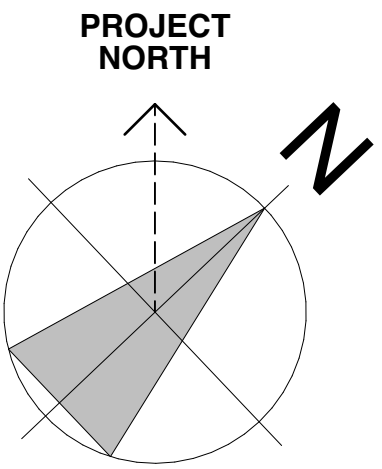
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:

AS-BUILTS

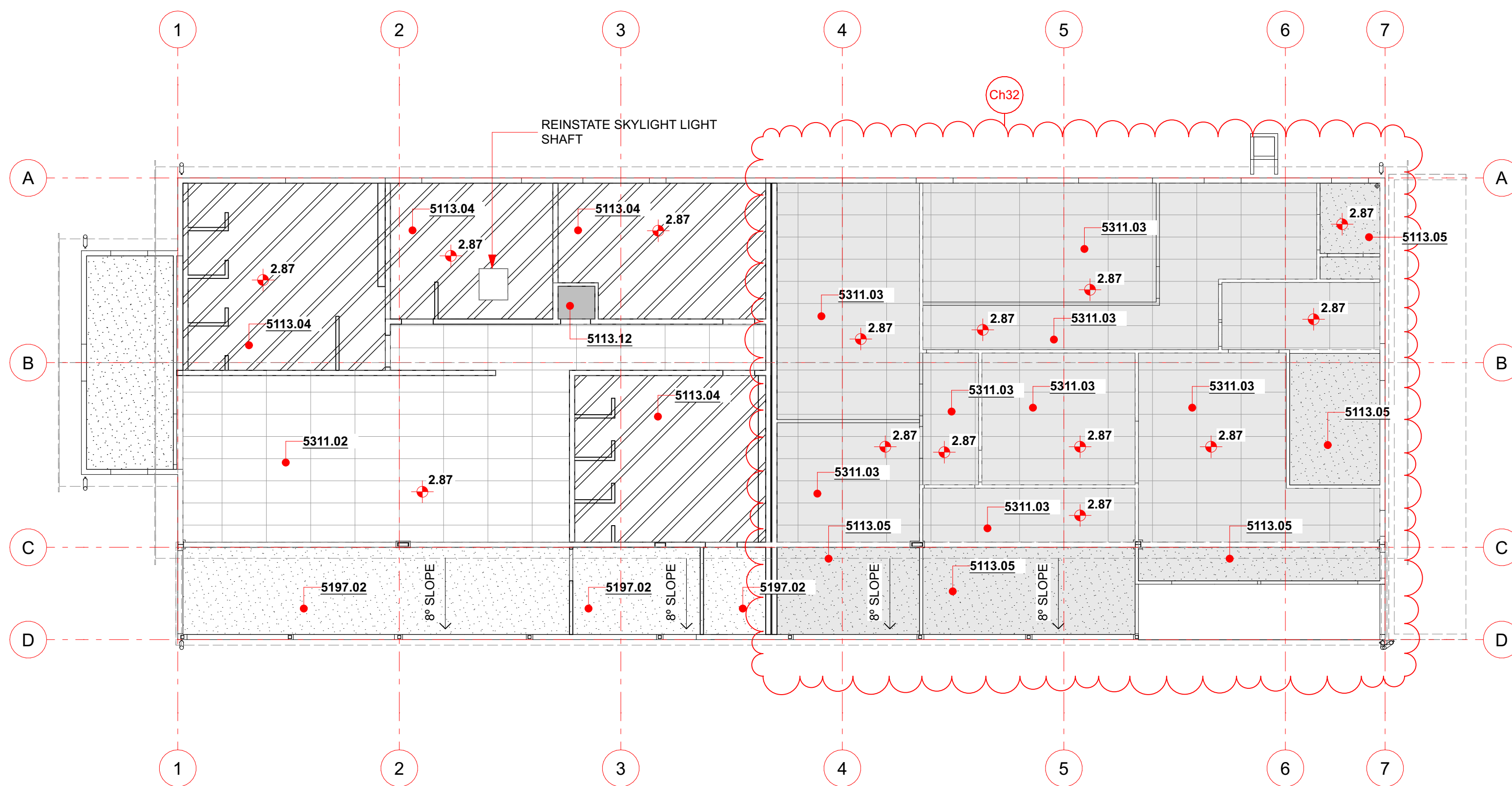
FLOOR FINISHES PLAN

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 1400 04
REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



GROUND LEVEL - REFLECTED CEILING PLAN

SCALE: 1:100



LEVEL 1 - REFLECTED CEILING PLAN

SCALE: 1:100

LEGEND

- 5197.02** EXISTING CEILING LININGS REPAINTED
- 5113.04** 13MM GIB. AQUALINE INTERIOR CEILING LINING ON RONDO KEYLOCK SYSTEM DIRECT FIXED TO U/S OF TRUSSES
- 5113.12** 13MM GIB. STANDARD INTERIOR CEILING LINING ON RONDO KEYLOCK SYSTEM DIRECT FIXED TO U/S OF TRUSSES
- 5311.02** REUSE EXISTING SUSPENDED TILE CEILING AND PROPRIETARY SUSPENSION SYSTEM
- 4231.02** 6MM ETERPAN FIBRE CEMENT SHEET SOFFIT. INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
- 5311.03** EXISTING SUSPENDED TILE CEILING ON A PROPRIETARY SUSPENSION SYSTEM
- 5113.05** EXISTING PLASTERBOARD CEILING
- 2.4** FINISHED CEILING LEVEL ABOVE FLOOR LEVEL.

NOTES

1. REFER TO SPECIFICATION AND ADDENDA FOR INFORMATION ON CEILING SYSTEMS AND FINISHES.
2. READ PLANS IN CONJUNCTION WITH FIRE SAFETY PLANS

FOR SUSPENDED CEILING SYSTEM USE DUO-5 WALL ANGLE EDGE FIXINGS AS PER RONDO SEISMIC CALCULATIONS AND INSTALL AS PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
08.09.16	03	Ch04	Removed Skylights
		Ch20	EXISTING TO REMAIN
		Ch21	DECK REMOVED
17/08/20	04	Ch23	ADDITIONAL NOTES
22/10/24	05	Ch32	AS-BUILT LAYOUT

Far North Holdings Limited

158 BANK STREET, WHANGAREI
 P.O. BOX 677, WHANGAREI, 0140
 PH: (09) 438 9545
 FAX: (09) 438 7411
 info@fnarchitecture.co.nz
 www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR: **AS-BUILTS**
22/10/24

FNHL

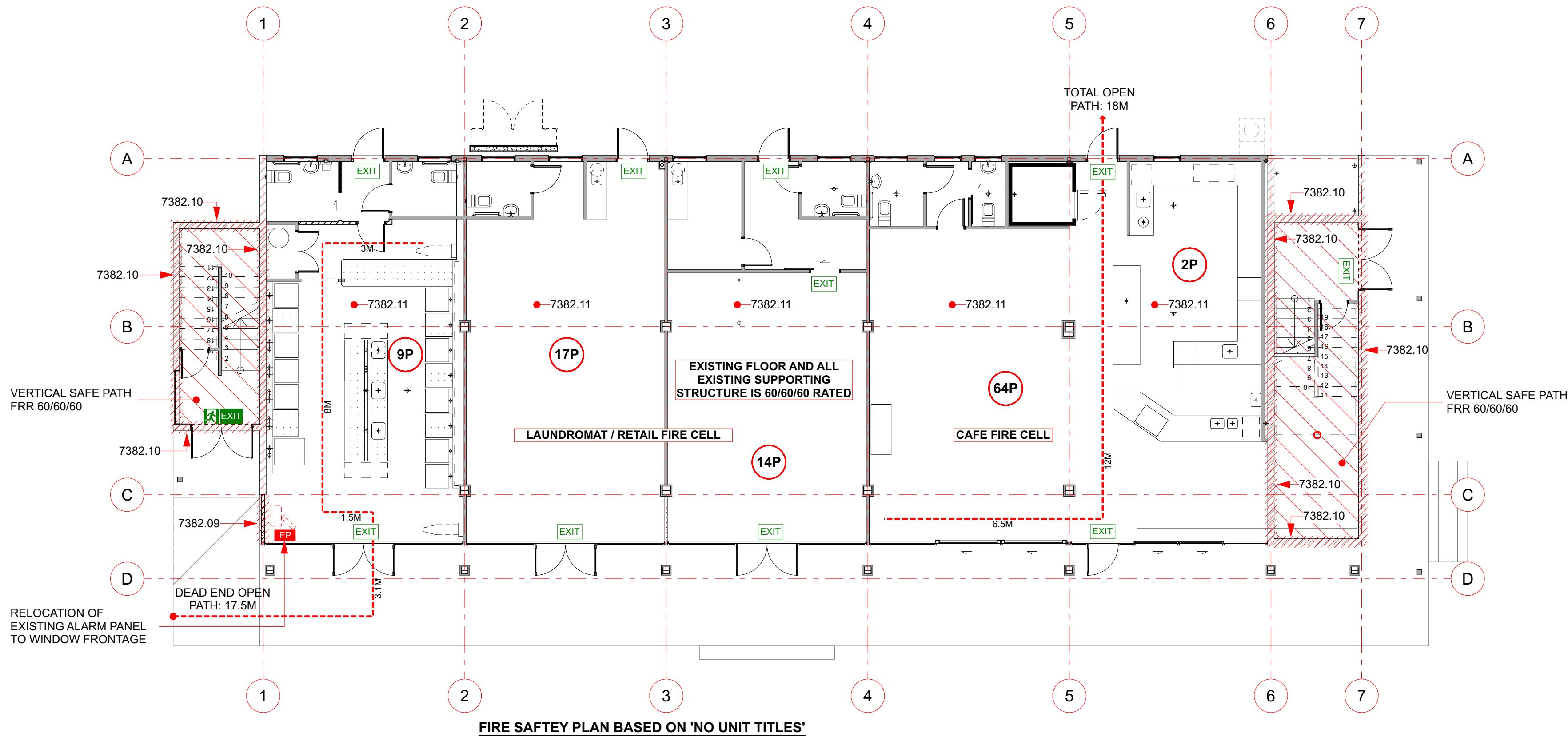
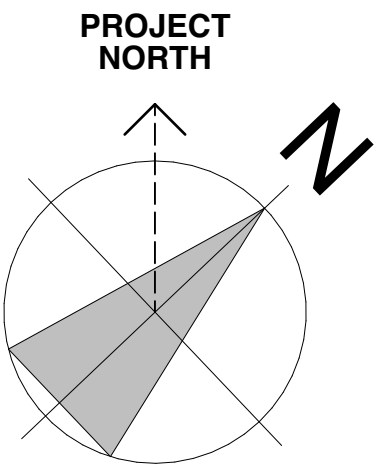
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE: **AS-BUILTS**

REFLECTED CEILING PLAN

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
 PROJECT No. SHEET SHEET ISSUE / REV:
5285 1401 05

REVISION ISSUED: 22/10/24
 5285_20241021 FNHL Marina 2 Alterations_As Built.pln



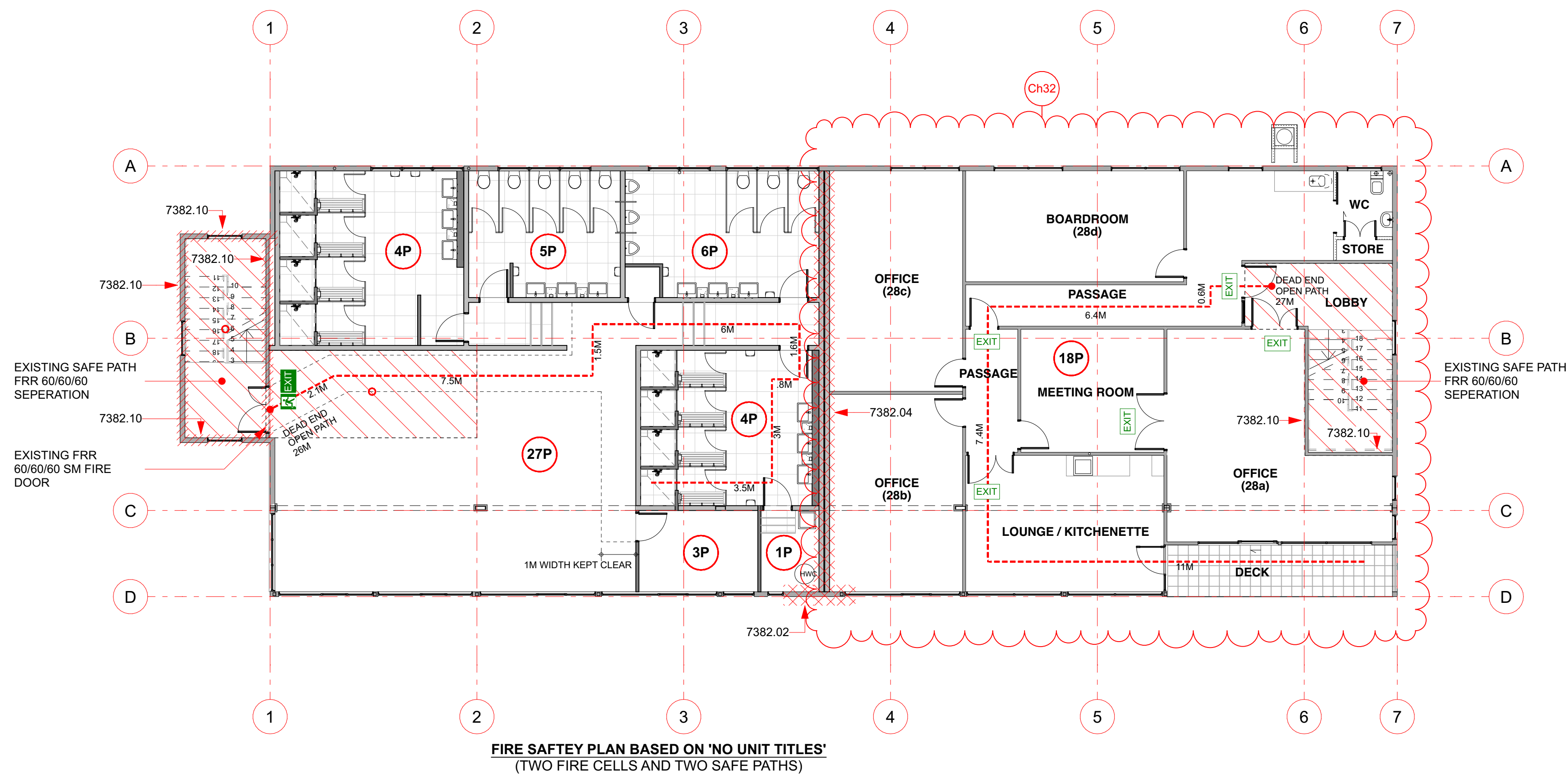
FIRE SAFETY PLAN - GROUND FLOOR
SCALE: 1:100

LEGEND

- ILLUMINATED EXIT SIGNS COMPLYING WITH F8/AS1 (LEGRAND LED SLIDE CONNECT G2 EXIT SIGN)
- PHOTOLUMINESCENT EXIT SIGNS COMPLYING WITH NZBC F8/AS1
- FRR 60/120/120 (MINIMUM REQUIREMENT)
- FRR 60/60/60 (MINIMUM REQUIREMENT)
- 1200mm WIDE FIRE ESCAPE ROUTE WITH LENGTH
- DEAD END OPEN PATH ESCAPE
- TOTAL OPEN PATH ESCAPE
- SAFE PATH REQUIRING VISIBILITY AND EMERGENCY LIGHTING ON ESCAPE ROUTES AS PER NZBC F6/AS1
- CEILING MOUNTED EMERGENCY LIGHT FITTING (LEGRAND LED 3 WATT)

NOTES

1. READ PLANS IN CONJUNCTION WITH FIRE REPORT PRODUCED BY RICHARDSON AND STEVENS.
 2. THE CURRENT BUILDING HAS AN EXISTING TYPE 2 FIRE ALARM SYSTEM (INSTALLED TO NZS 4512) WHICH WILL BE UPGRADED TO AN INTEGRATED **TYPE 4** AUTOMATIC FIRE ALARM SYSTEM WITH SMOKE DETECTORS (WITH HUSH OPTIONS) AND MANUAL CALL POINTS AS REQUIRED TO BE INSTALLED FOR THE ENTIRE BUILDING IN ACCORDANCE WITH NZS 4512.
 3. READ PLANS IN CONJUNCTION WITH LIGHTING AND ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING.
 4. ANY GAPS OR PENETRATIONS THROUGH FIRE RATED WALLS / STRUCTURE MUST BE FITTED WITH FIRE RATED COLLARS OR DAMPERS.
 5. SIGNS SHALL BE IN ACCORDANCE WITH NZBC F8/AS1
 6. ANY VENTILATION OR AIR CONDITIONING SYSTEMS SHOULD BE CONFIGURED SO AS TO PREVENT THE SPREAD OF SMOKE.
 7. A FPIS CERTIFICATE IS TO BE PROVIDED TO FNDC UPON COMPLETION OF THE FIRE ALARM INSTALLATION WORK.
 8. REFER TO MANUFACTURERS MANUALS FOR THE CORRECT INSTALLATION OF EACH SYSTEM.
 - GIB FIRE RATED SYSTEMS (OCT 2012)
 - GIB NOISE CONTROL SYSTEMS (MARCH 20106)
 - GIB EZYBRACE SYSTEMS (JUNE 2011)
 - PBS VENTCLAD EXPRESSED JOINT SYSTEM
 - PBS 12MM ETERPAN LOAD BEARING WALL SYSTEM
 - PROMAT PROMATECT 50
- #P DESIGN OCCUPANCY



FIRE SAFETY PLAN - FIRST FLOOR
SCALE: 1:100

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.



198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545 FAX: (09) 438 7411
info@fnararchitecture.co.nz
www.fnararchitecture.co.nz



Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
		Ch02	Added Details
08.09.16	03	Ch07	New Door
17/08/20	04	Ch24	REVISED FIRE SAFETY
22/10/24	05	Ch32	AS-BUILT LAYOUT

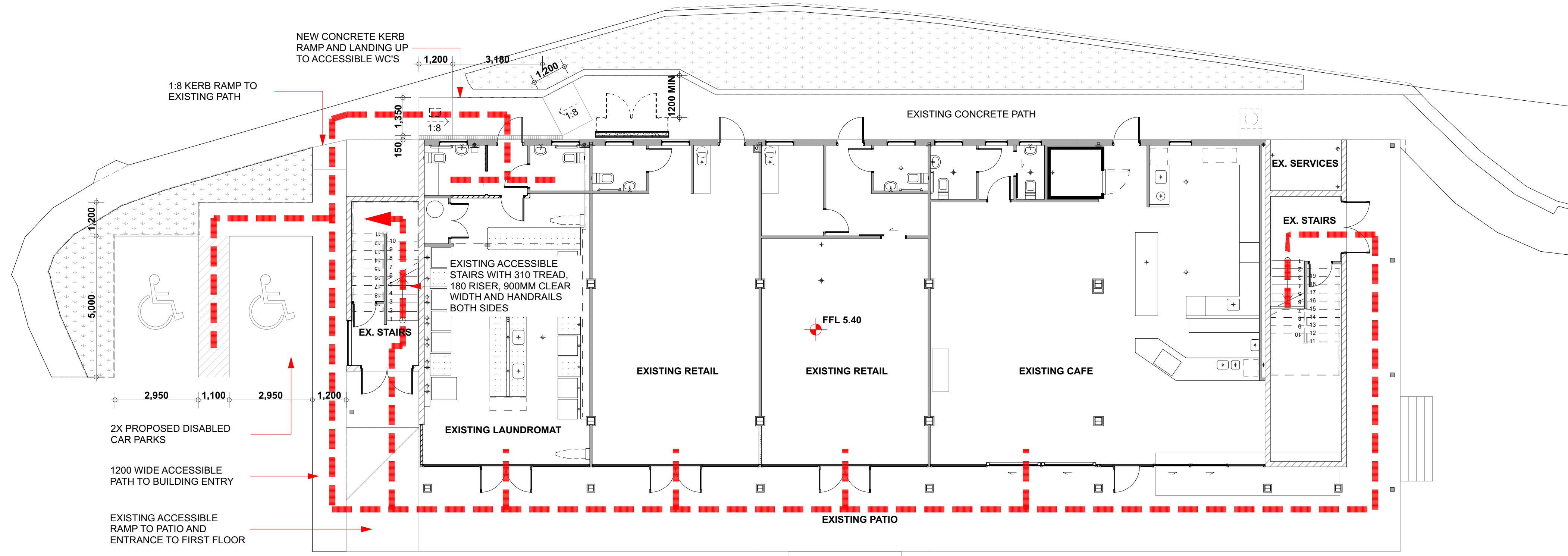
ISSUED FOR:
AS-BUILTS
22/10/24
FNHL

OPUA MARINA 2 ALTERATIONS

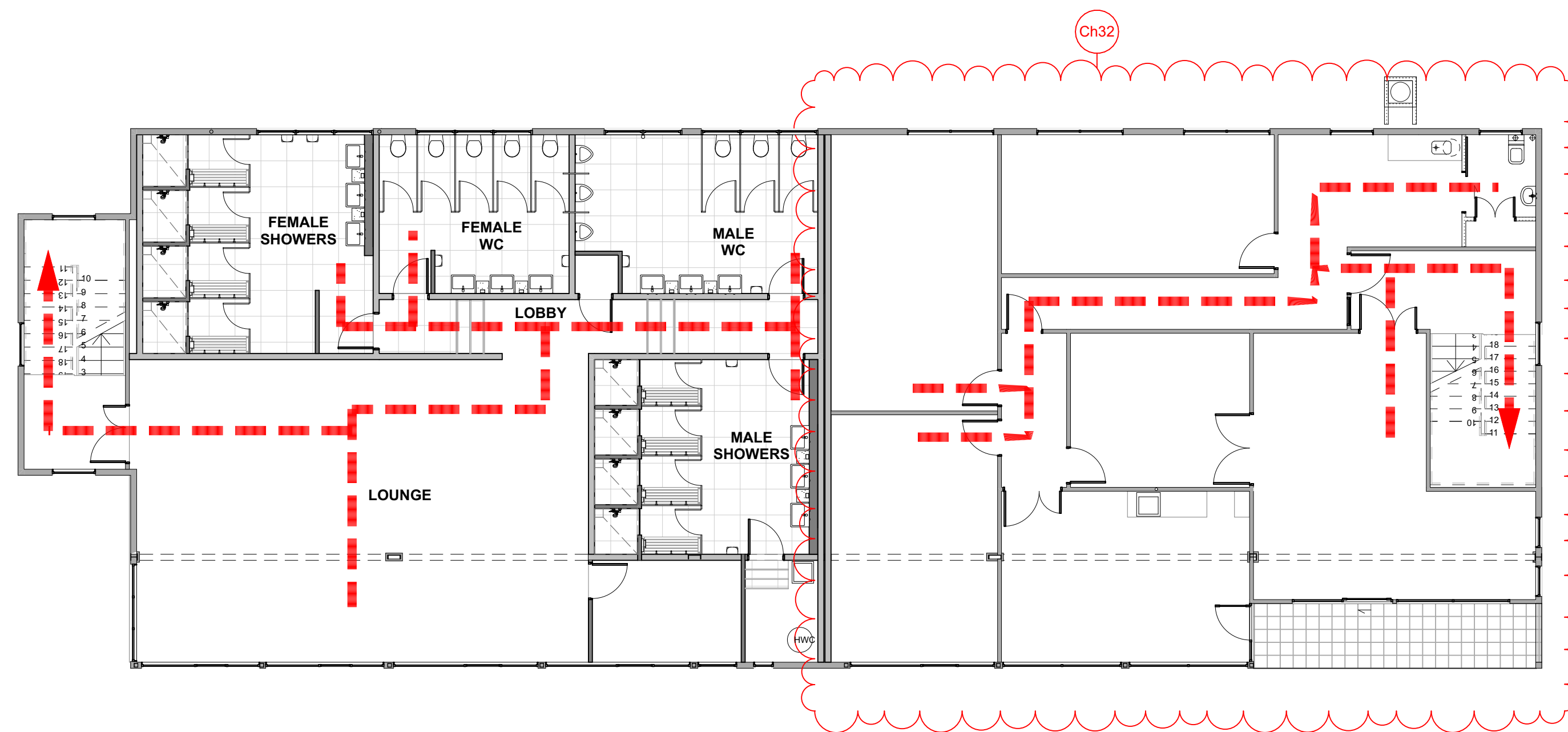
DESIGN PHASE:
AS-BUILTS

FIRE SAFETY PLAN

11/11/2024 9:42 AM	ORIGINAL SCALE SHOWN @ A1
PROJECT No:	SHEET
5285	1500
REVISION ISSUED:	22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln	



GROUND LEVEL - ACCESSIBILITY PLAN
SCALE: 1:100



LEVEL 1 - ACCESSIBILITY PLAN
SCALE: 1:100

LEGEND

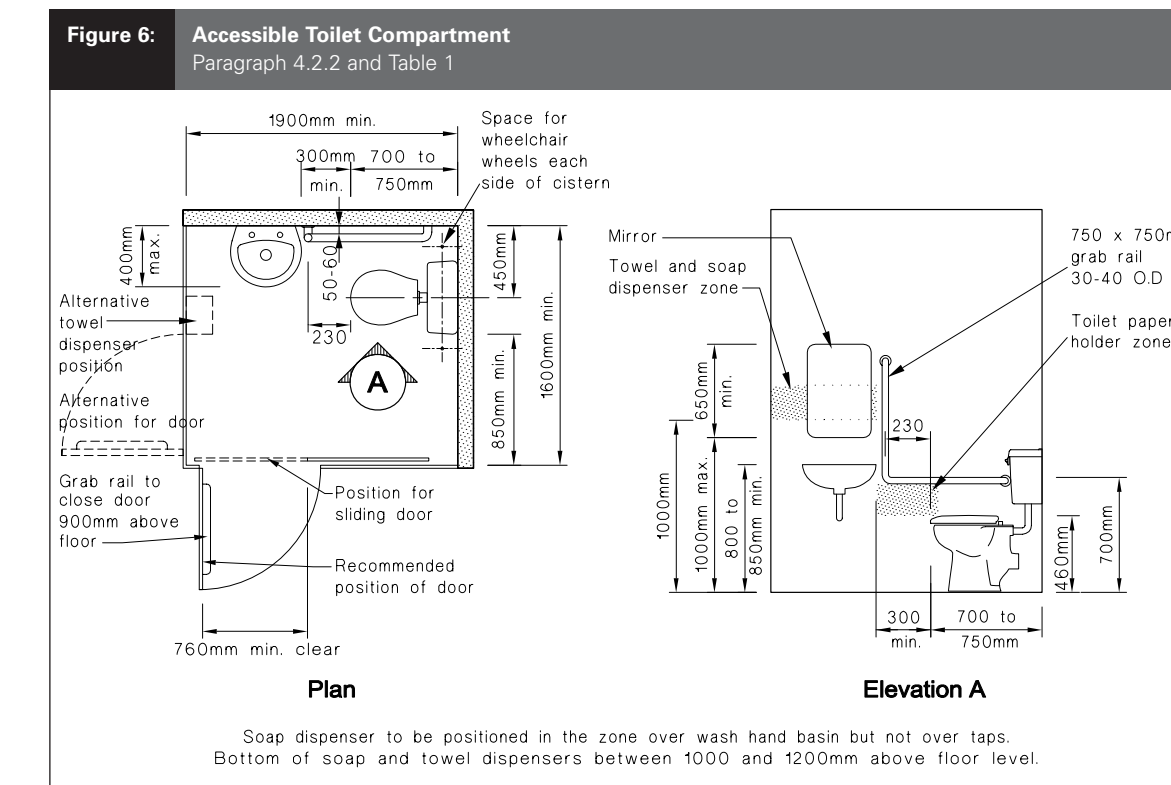
— ACCESSIBLE PATH

NOTES

REFER TO:
NZBC 2004 CLAUSE D1 - ACCESS ROUTES
NZS 4121:2001
ACCESSIBLE ROUTES SHALL COMPLY WITH THE FOLLOWING:

1. ACCESSIBLE ROUTES TO BE A MINIMUM 1200MM WIDE.
2. DOORS WITHIN ACCESSIBLE ROUTES TO HAVE A MINIMUM 760MM CLEAR OPENING. DOORS NEED TO BE OFFSET FROM THE WALL A MINIMUM 300MM.
3. ACCESSIBLE STAIRS PITCH, RISERS, TREADS, LANDINGS AND HANDRAILS TO COMPLY WITH NZBC D1.
4. NO CHANGE IN FLOOR LEVELS GREATER THAN 20MM UNLESS A RAMPED THRESHOLD IS PROVIDED REFER TO NZBC D1.
5. FLOORING ON ACCESSIBLE ROUTES TO COMPLY WITH THE SPECIFIED SLIP RESISTANCE IN NZBC D1.
6. SIGNAGE TO COMPLY WITH NZBC F8
7. ANY PUBLIC COUNTERS TO COMPLY WITH NZS 4121:2001

REFER TO ACCESSIBILITY COMPLIANCE REPORT PROVIDED.



6.0 Access and facilities for people with disabilities

6.1 Signs shall be provided to identify facilities provided specifically for people with disabilities. Such facilities are:

- a) Accessible car parks
- b) Accessible entrances
- c) Accessible routes through the building
- d) Accessible services available in the building.

6.2 All signs, except as required by Paragraph 6.3, shall:

- a) Display the International Symbol of Access, include the direction of travel (if appropriate) and name of, or symbol for, the facility as shown in Figure 8
- b) Use lettering and symbols in a colour that contrasts clearly with the sign background
- c) Use the proportional layout of the International Symbol of Access as shown in Figure 9
- d) Be positioned consistently throughout the building between 1400 mm and 1700 mm above floor level
- e) For car parks, be ground marked with the International Symbol of Access and may have additional signage positioned as in d) above.

Figure 9 International Symbol of Access
Paragraph 6.2 c)

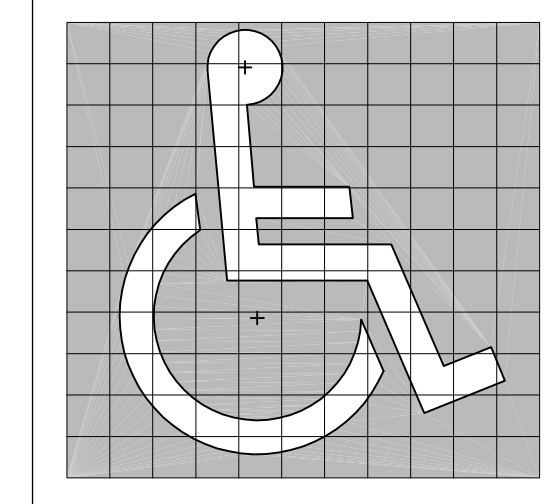
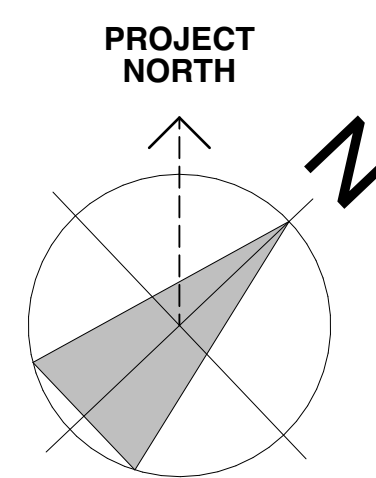
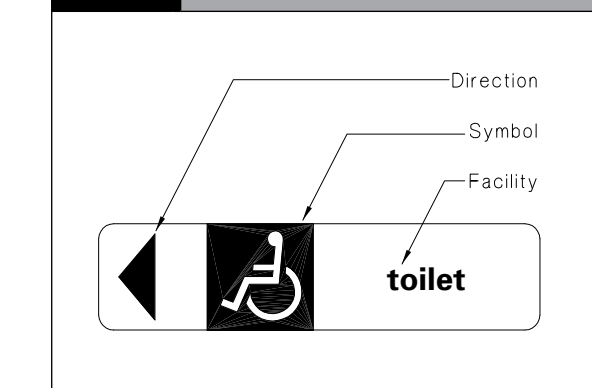


Figure 8 Example of sign indicating facilities and direction
Paragraph 6.2 a)



NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	CH07	New Door
		CH23	ADDITIONAL NOTES
17/08/20	03	CH25	REMOVED APARTMENT LAYOUTS
22/10/24	04	CH32	AS-BUILT LAYOUT

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
www.farncnorth.com

HB ARCHITECTURE

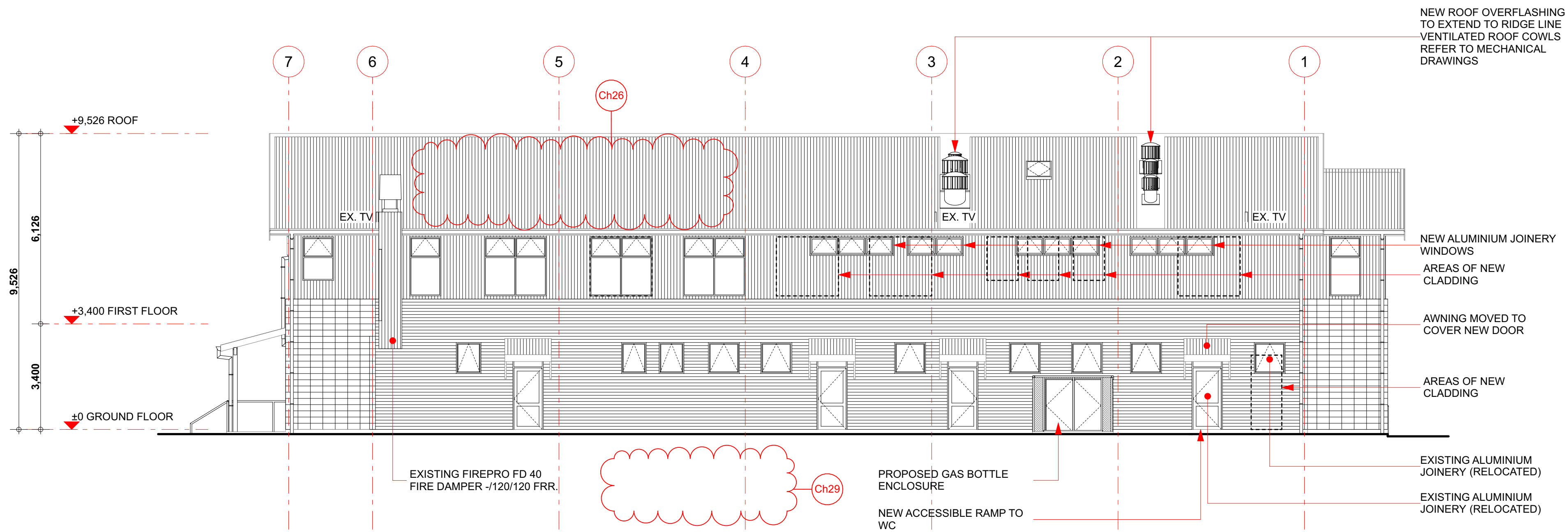
ISSUED FOR:
AS-BUILTS
22/10/24
FNHL

OPUA MARINA 2 ALTERATIONS

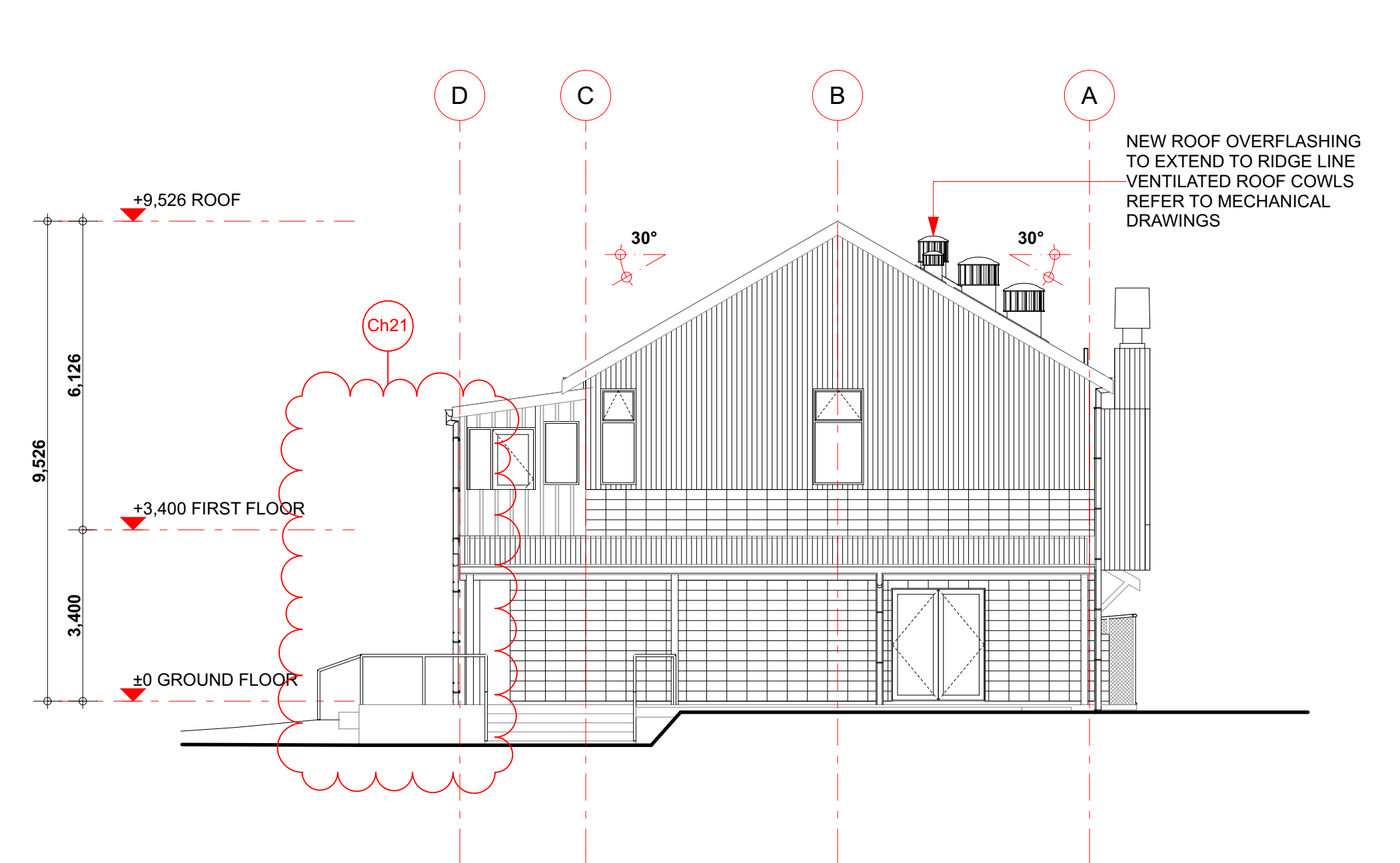
DESIGN PHASE:
AS-BUILTS

ACCESSIBILITY PLAN

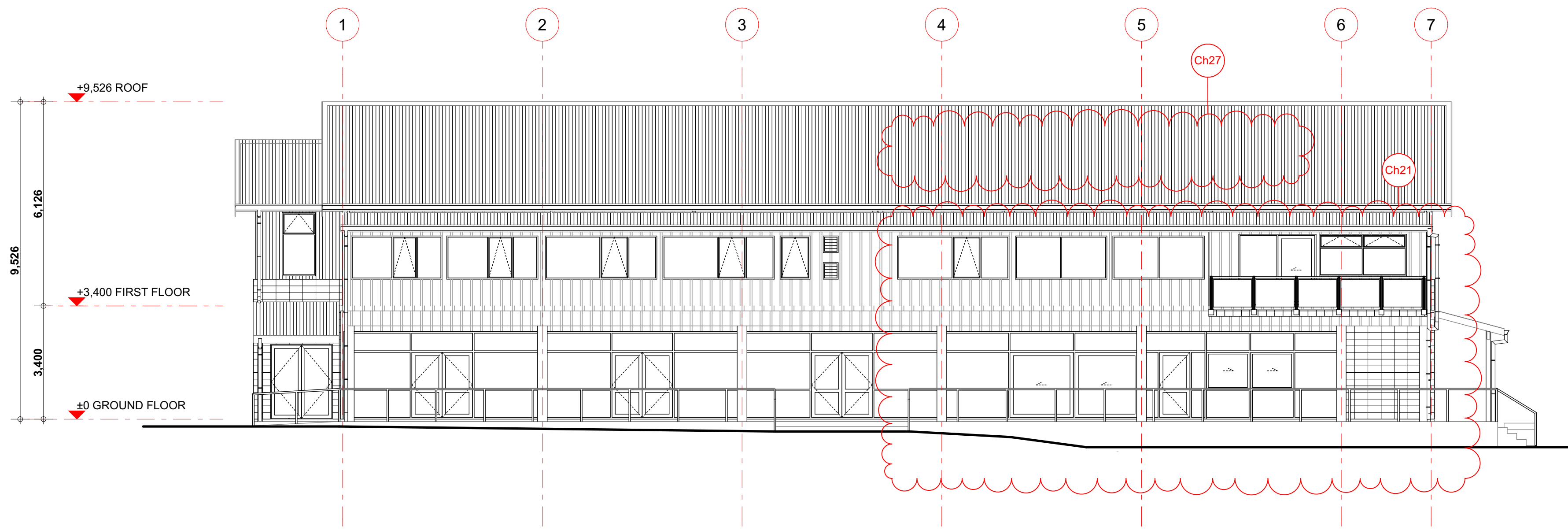
11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: 1510 SHEET: 04
REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln



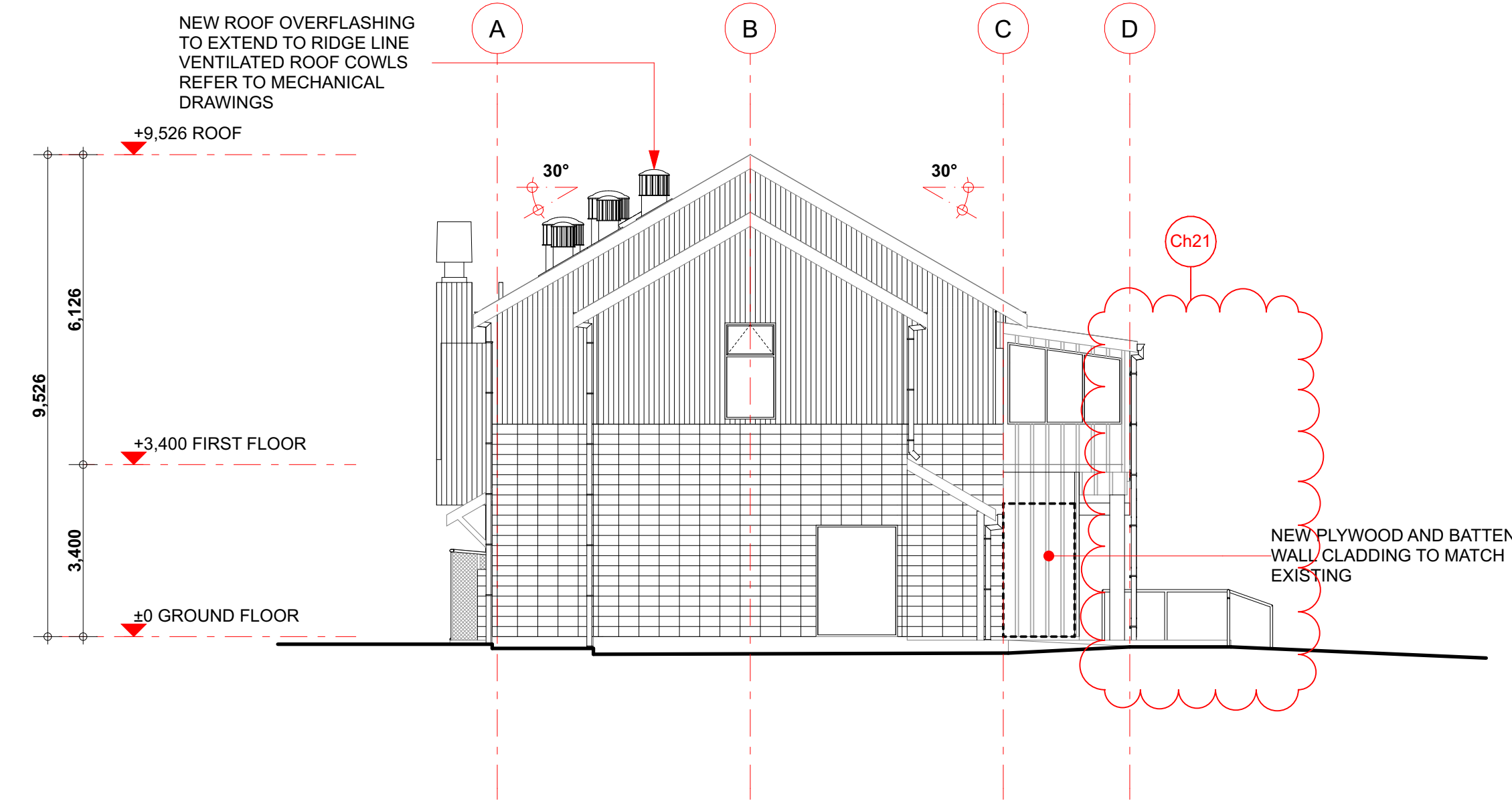
NORTH ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100



SOUTH ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		16

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		16

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		13

- NOTES:
- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
 - THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

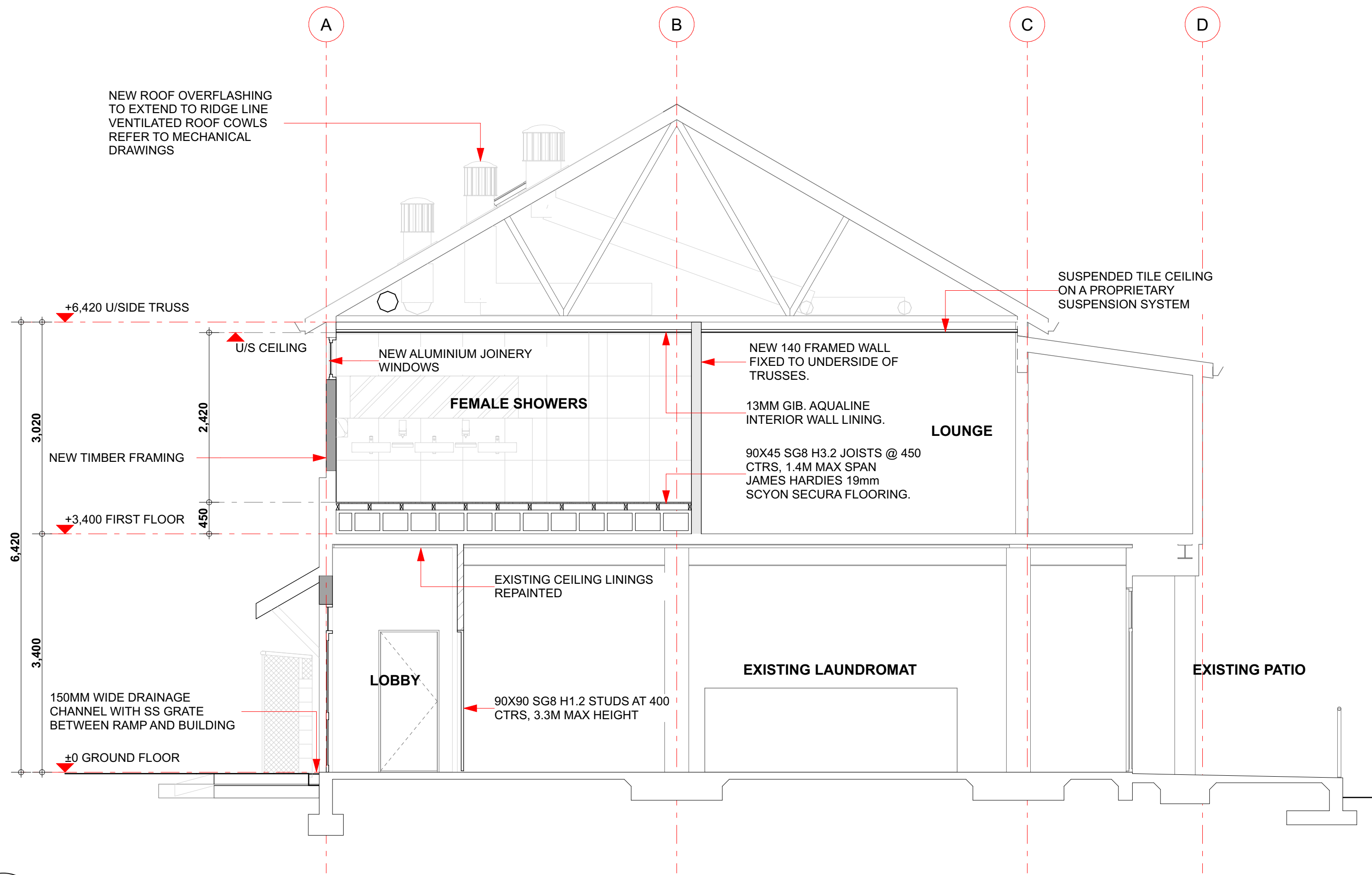
Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
08.09.16	03	Ch04	Removed Skylights
		Ch12	Revised Windows
		Ch21	DECK REMOVED
		Ch26	REMOVED ROOF COWLS
17/08/20	04	Ch27	REMOVED SKYLIGHTS
		Ch29	REMOVED NOTES

Far North Holdings Limited
158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
www.fnararchitecture.co.nz

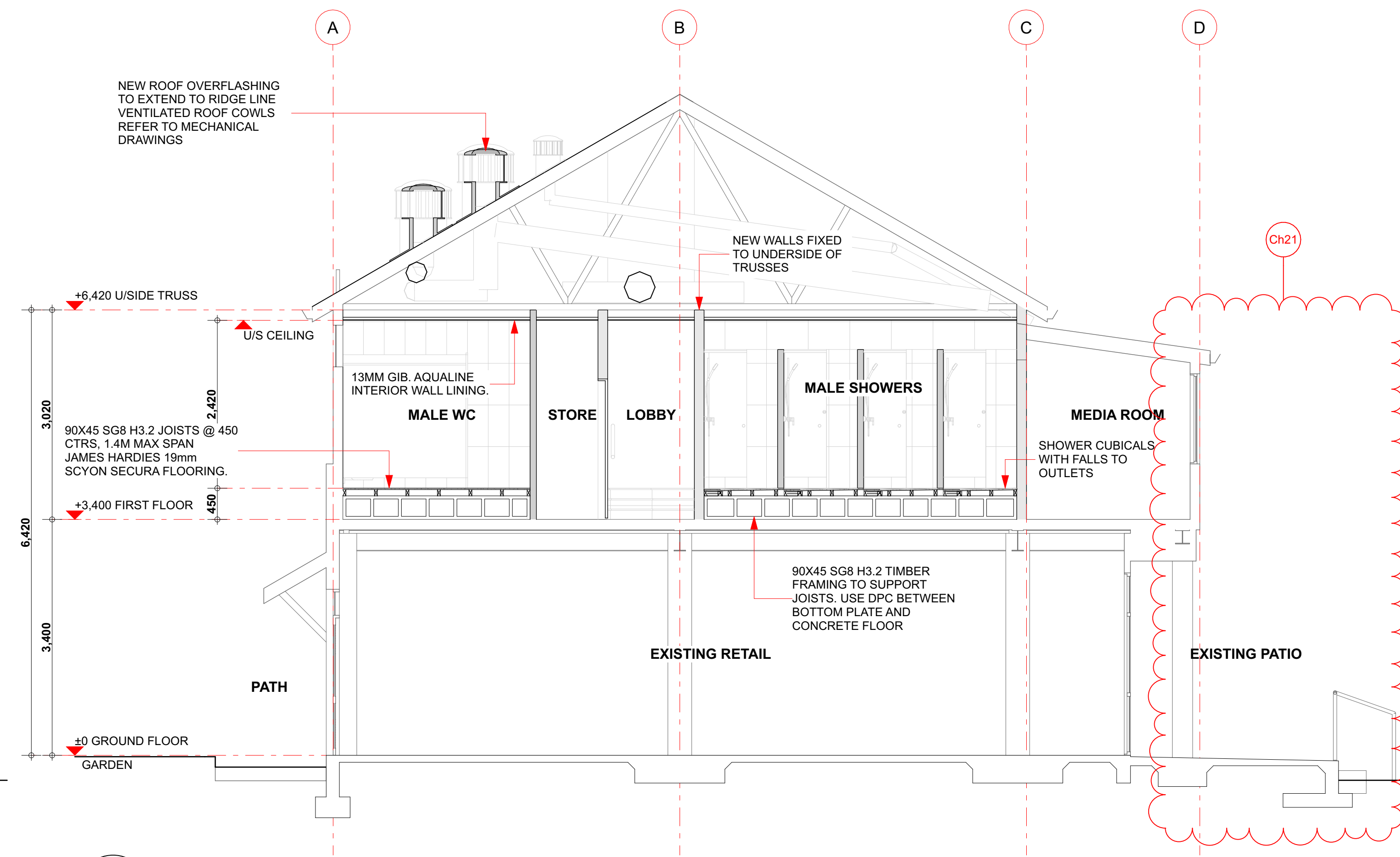
HB ARCHITECTURE
ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20
FNHL
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS
ELEVATIONS

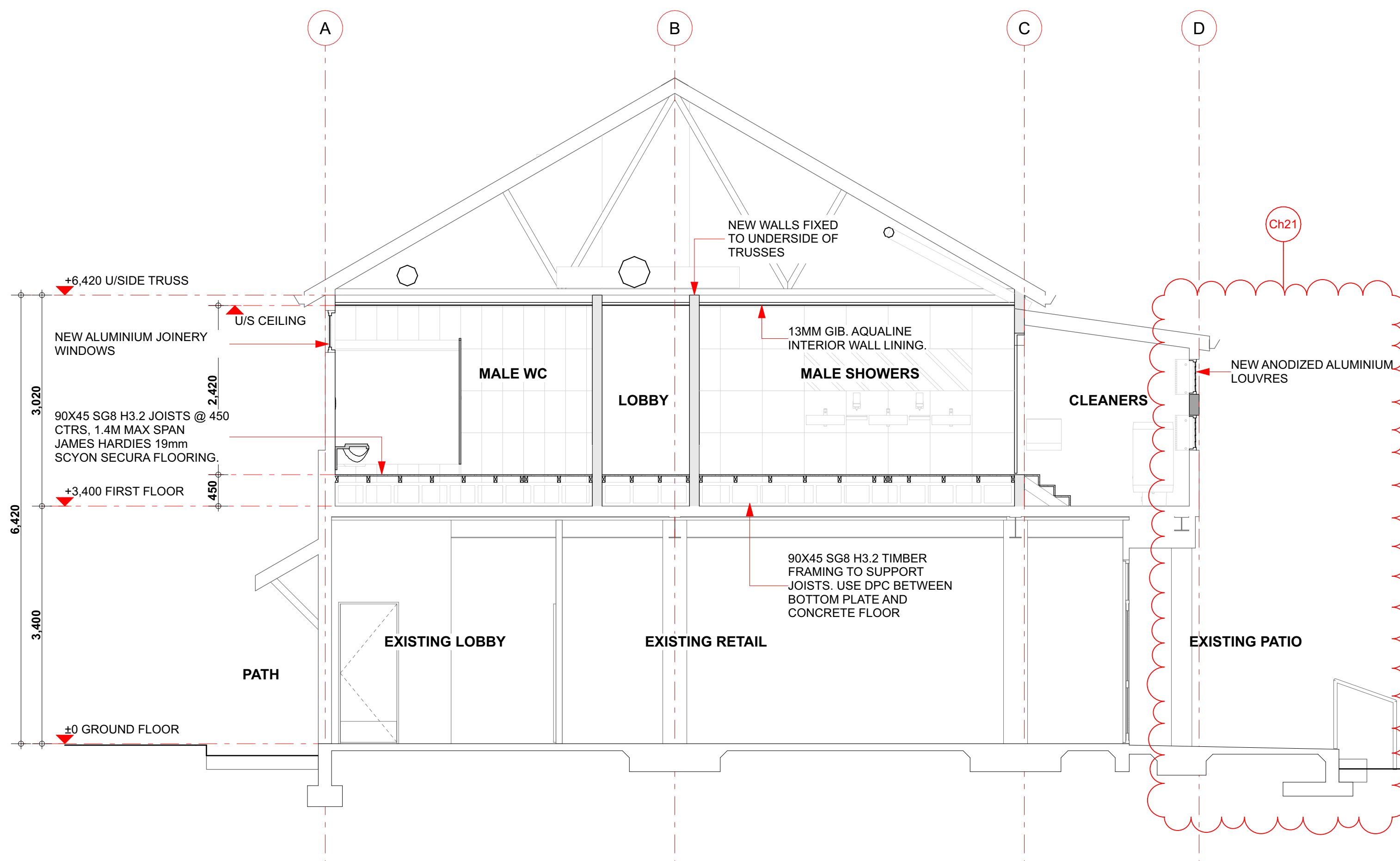
11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET
5285 2000 04
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



C1
1300
CROSS SECTION
SCALE: 1:50



C2
1300
CROSS SECTION
SCALE: 1:50



C3
1300
CROSS SECTION
SCALE: 1:50

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
	03	Ch05	Revised Framing
17/08/20	03	Ch21	DECK REMOVED

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

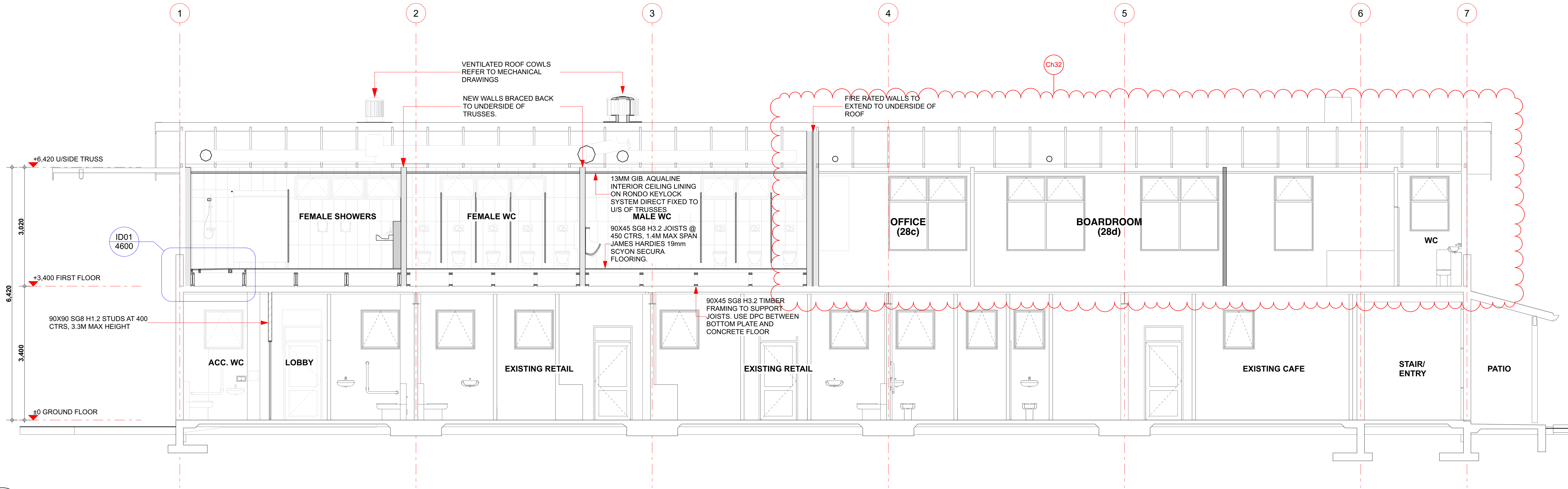
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

SECTIONS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET: SHEET ISSUE / REV:
5285 2100 03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



L1
1300
LONGITUDINAL SECTION
SCALE: 1:50

- NOTES:
1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
 2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02	Ch25	REMOVED APARTMENT LAYOUTS
22/10/24	03	Ch32	AS-BUILT LAYOUT

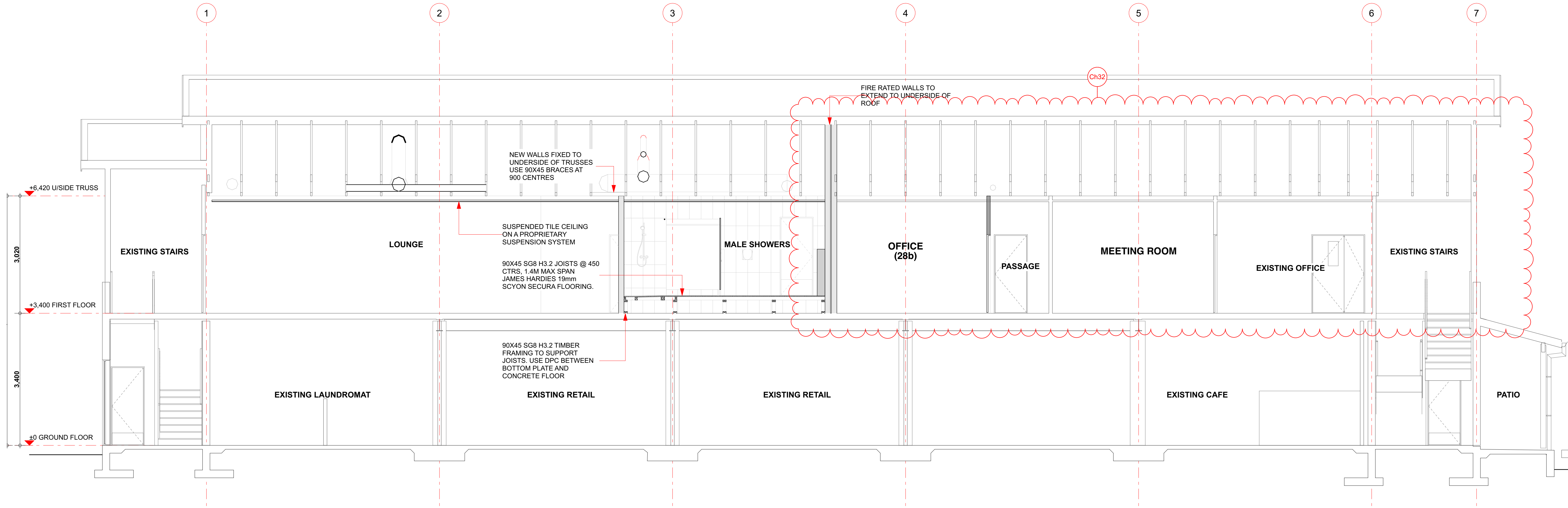
Far North Holdings Limited
198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE
ISSUED FOR:
AS-BUILTS
22/10/24
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS
SECTIONS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV.
5285 2102 03
REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln



L2
1300
LONGITUDINAL SECTION
SCALE: 1:50

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch08	Removed Shower Box
17/08/20	03	Ch25	REMOVED APARTMENT LAYOUTS
22/10/24	04	Ch32	AS-BUILT LAYOUT

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnhl.co.nz
www.fnhl.co.nz

HB ARCHITECTURE

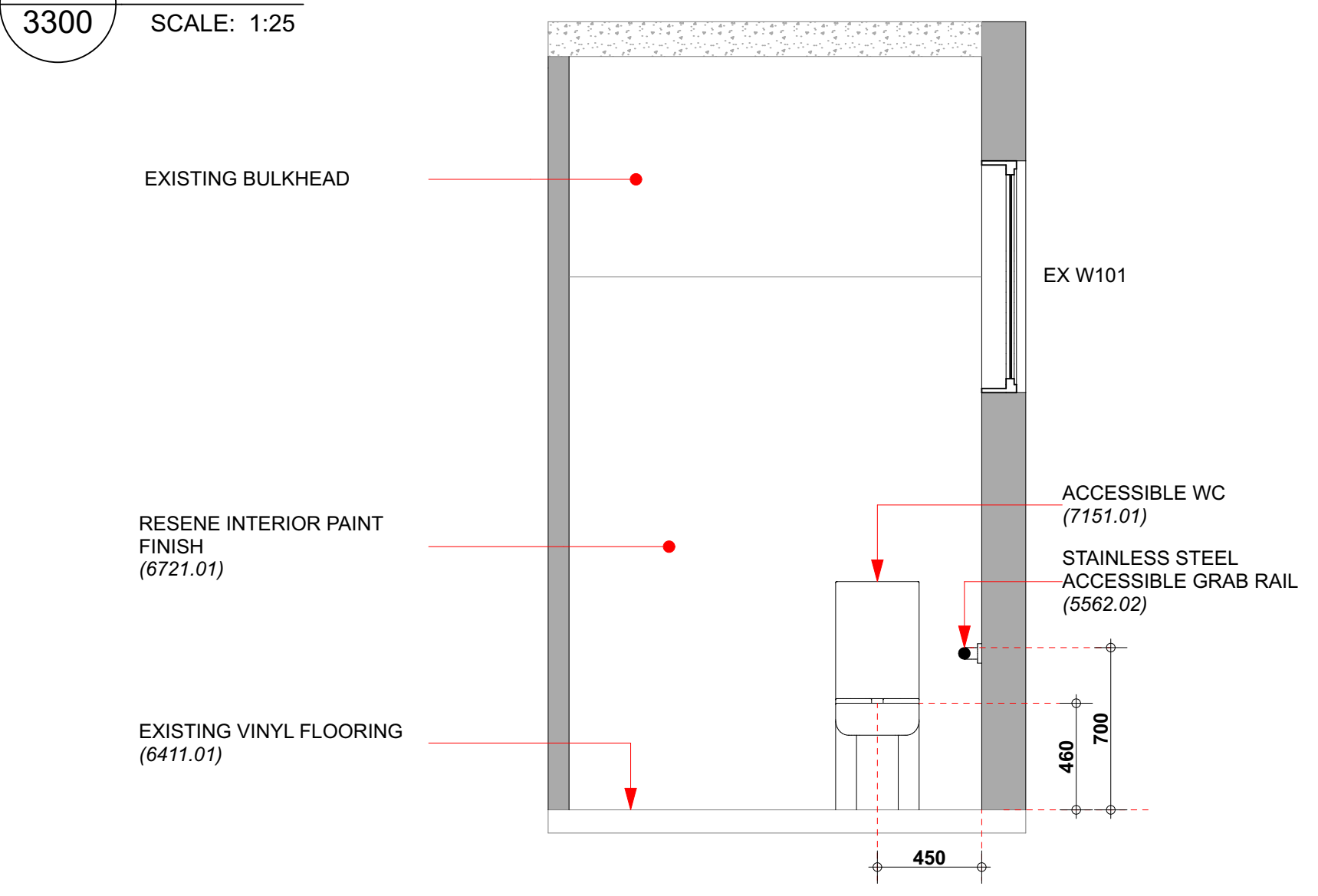
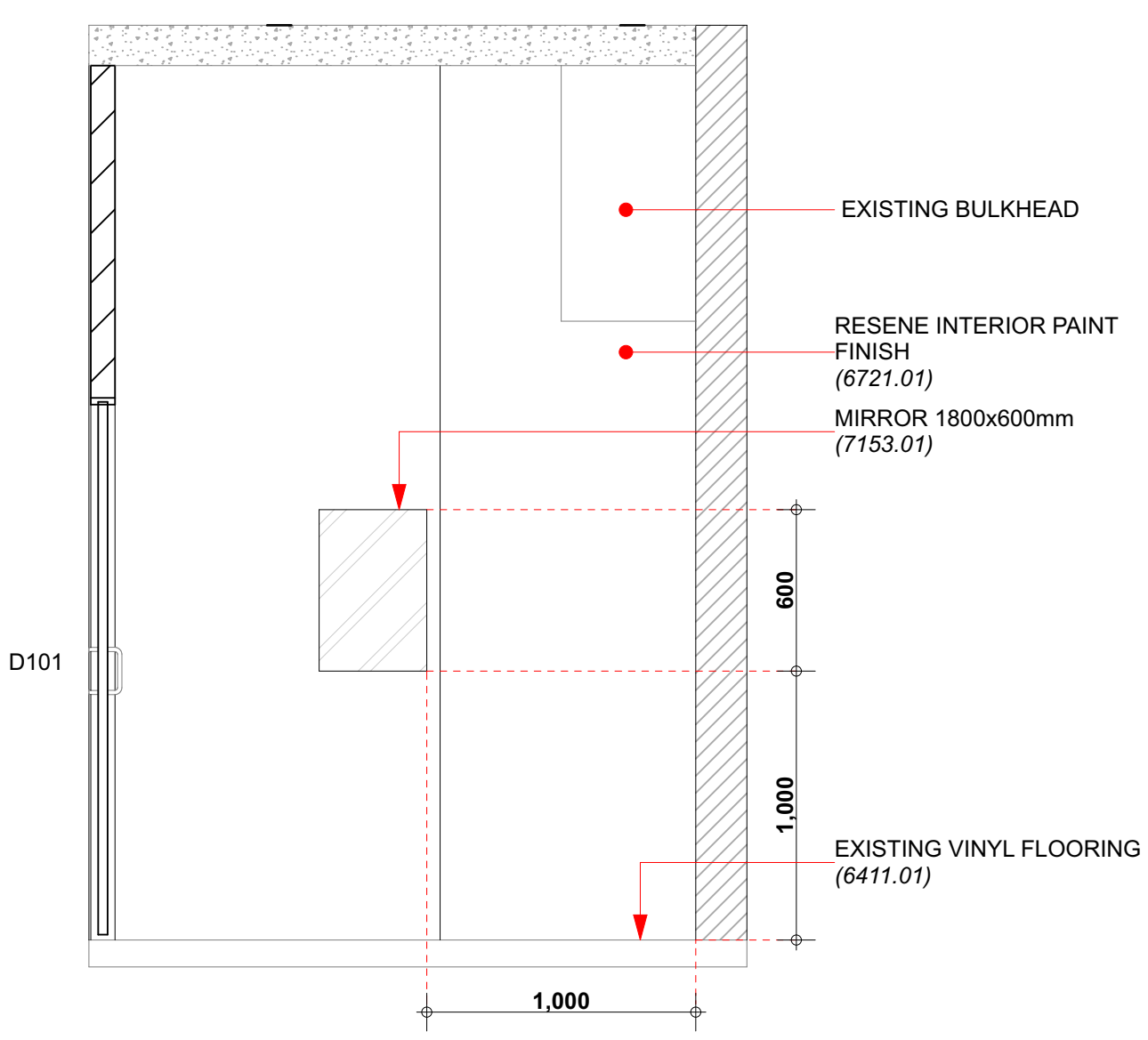
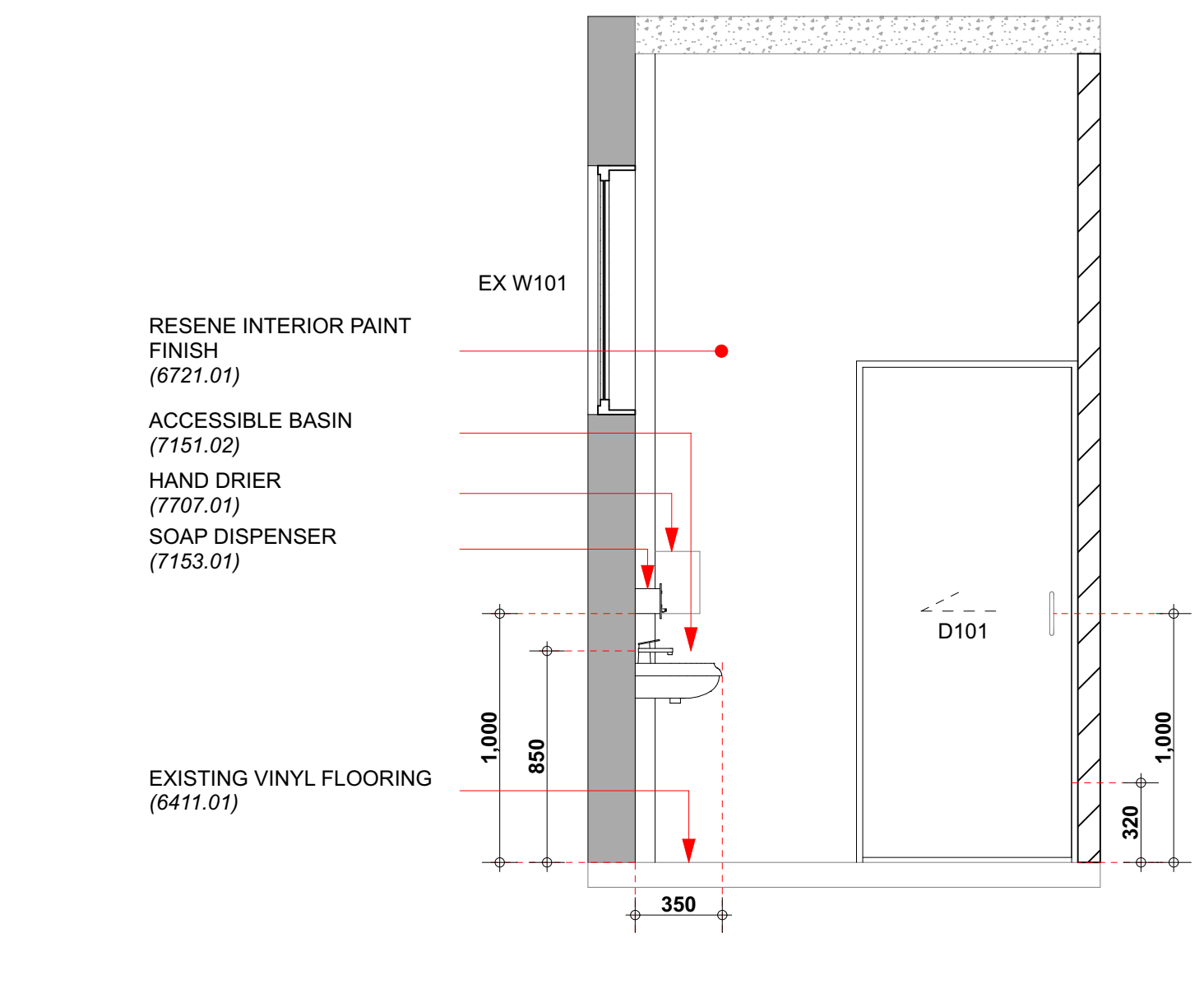
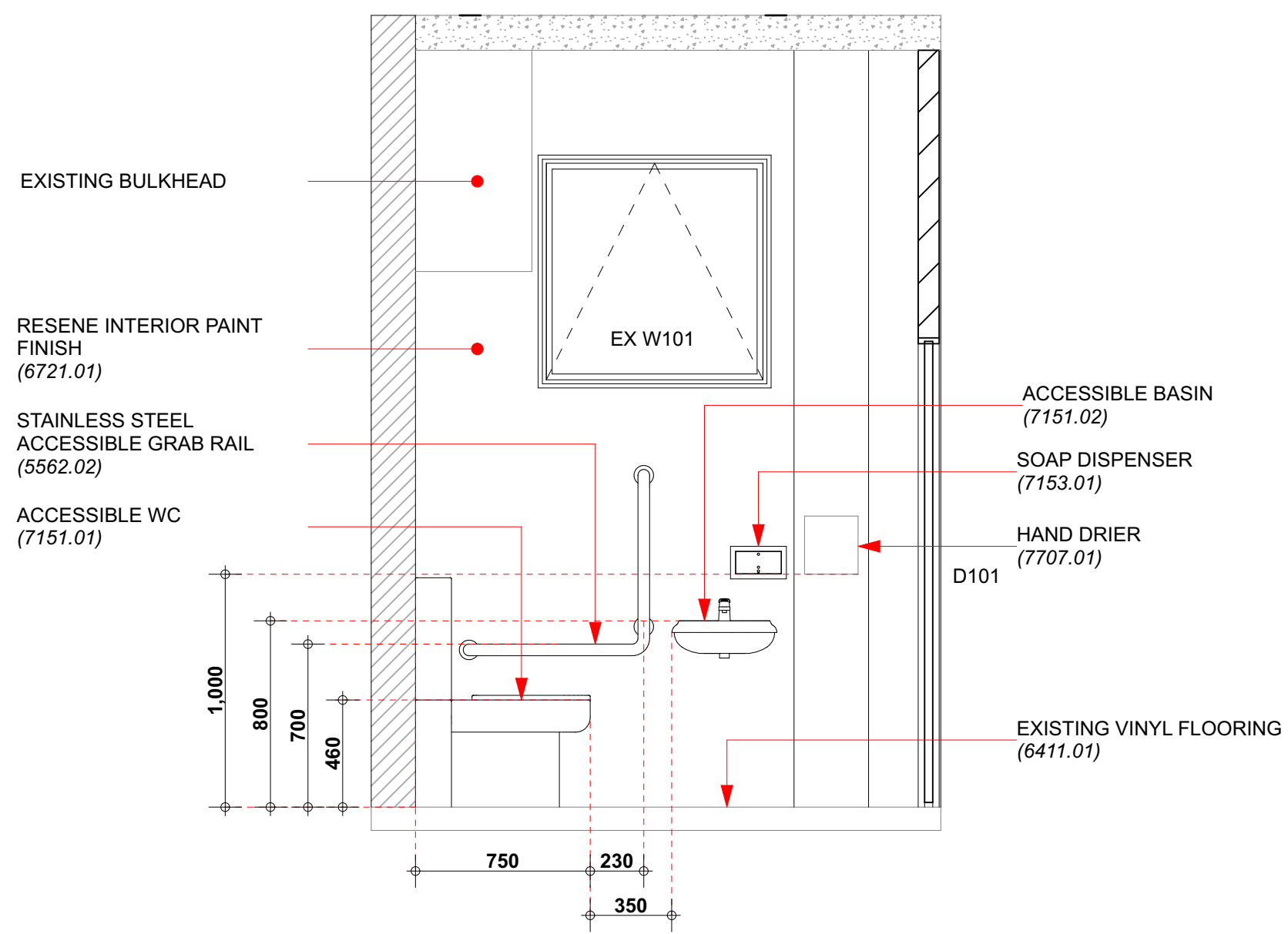
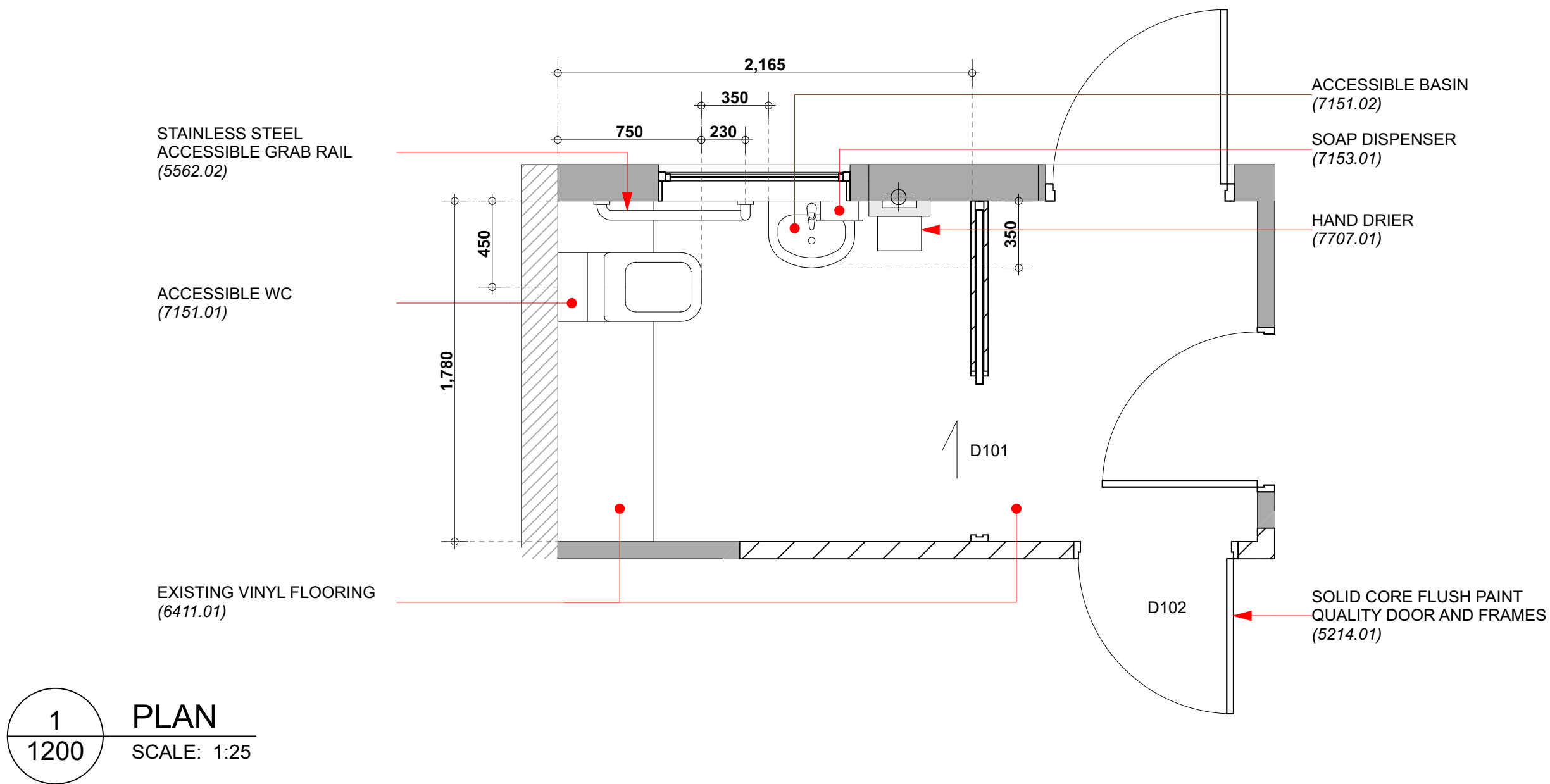
ISSUED FOR:
AS-BUILTS
22/10/24
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

SECTIONS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV.
5285 2103 04
REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln



NOTES

- REFER TO MACDONALD INDUSTRIES SCHEDULE FOR FIXTURES.
- REFER TO ACCESSIBLE REPORT
- REFER TO COLOR SCHEDULE AND FINISHES SCHEDULE FOR MATERIAL SELECTIONS AND FINISHES
- REFER TO FLOOR PLANS FOR WALL CONSTRUCTION

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	CH02	Added Details
	03	CH07	New Door
17/08/20	03		

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
www.fharcitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

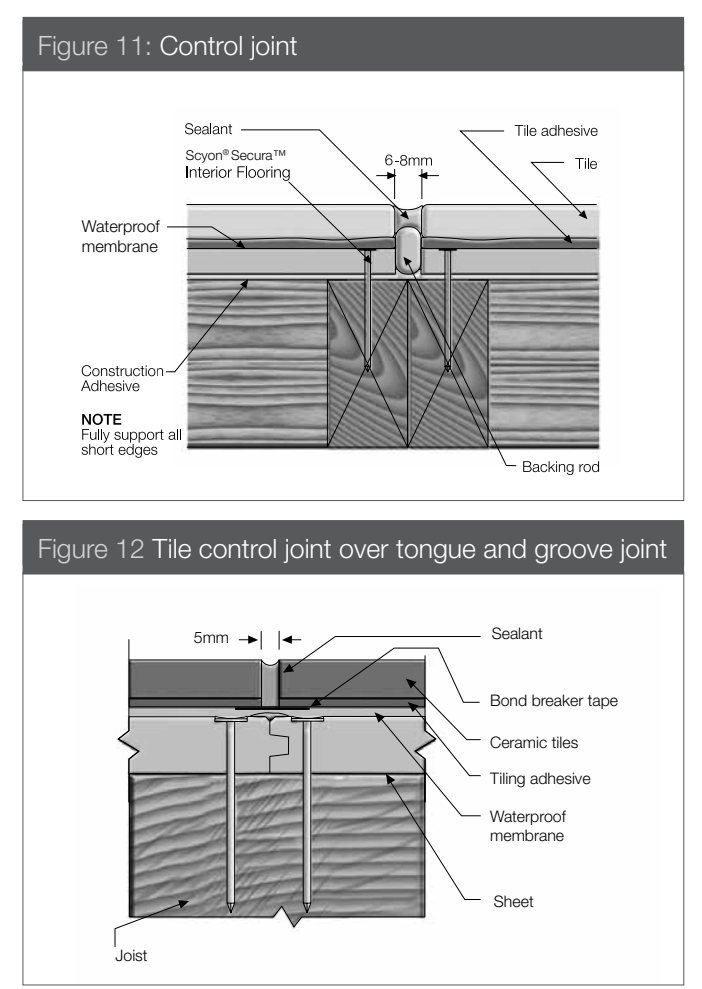
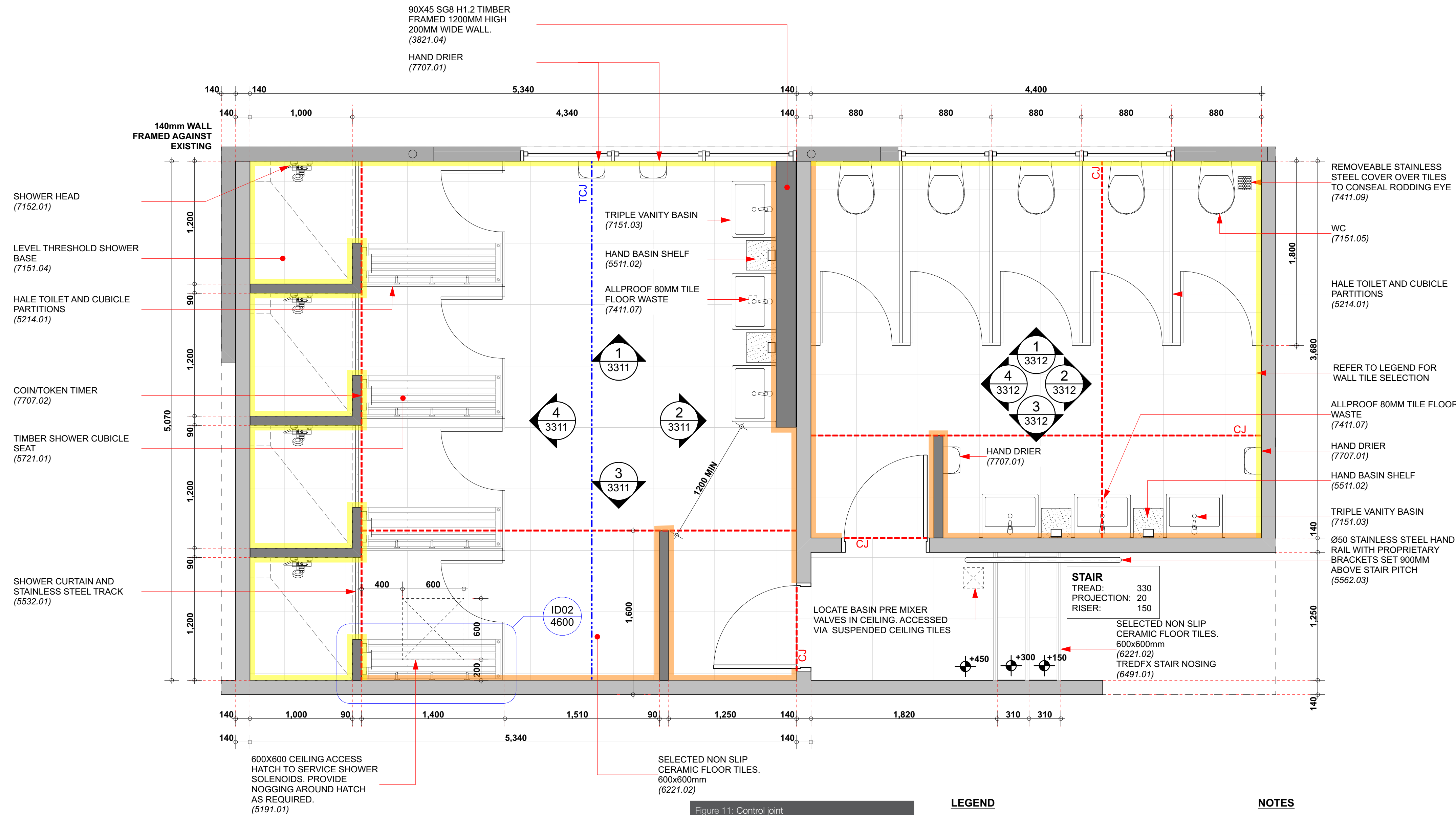
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

ACC.WC

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 3300 03
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



LEGEND

CJ CONTROL JOINTS FIG. 11

TCJ TILE CONTROL JOINTS FIG. 12

CONTROL JOINTS: SETOUT JOINTS ON TILE MODULE FLOORING
 SCRYON SECURA FLOORING REQUIRES CONTROL JOINTS AT:
 - 4.05m IN THE LONG SHEET DIRECTION.
 - AT TILED DOORWAYS
 - L-SHAPED ROOMS
 - AT WALL PROJECTIONS

TILES TO FLOORS
 MAPEI REQUIREMENT FOR TILE MOVEMENT JOINTS:
 - AT THE PERIMETER OF ALL TILED AREAS
 - WHERE TILED SURFACES ABUTS ANOTHER MATERIALS
 - AT 3.6m LENGTHS

WALLS LININGS
 VILLABOARD WALL LININGS REQUIRE CONTROL JOINTS AT:
 - 4.2m
 - AREAS GREATER THAN 10m²
 - AT EACH END OF A WINDOW WHERE THE WINDOW HEAD IS LESS THAN 250mm FROM THE CEILING

WALL TILES
 MAPEI REQUIREMENT FOR TILE MOVEMENT JOINTS:
 - AT THE PERIMETER OF ALL TILED AREAS
 - WHERE TILED SURFACES ABUTS ANOTHER MATERIAL
 - AT 3.6m LENGTHS

NOTES

- REFER TO MACDONALD INDUSTRIES SCHEDULE FOR FIXTURES.
- REFER TO ACCESSIBLE REPORT
- REFER TO COLOR SCHEDULE AND FINISHES SCHEDULE FOR MATERIAL SELECTIONS AND FINISHES
- REFER TO FLOOR PLANS FOR WALL CONSTRUCTION

WALL TILE SELECTIONS - REFER TO PLANS

YELLOW LIGHT GREY WALLS TILES
600X300 LAID VERTICALLY

ORANGE BLACK WALLS TILES
600X600

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch05	Revised Framing
		Ch11	Added Shelves
20.09.16	03	Ch13	Revised Fixtures
		Ch14	Added Ceiling Access
10.10.16	04	Ch15	Control Joints
02/11/16	05	Ch16	Revised Notes
17/08/20	06		

Far North Holdings Limited

158 BANK STREET, WHANGAREI
 P.O. BOX 677, WHANGAREI, 0140
 PH: (09) 438 9545
 FAX: (09) 438 7411
 www.farncorholdings.co.nz

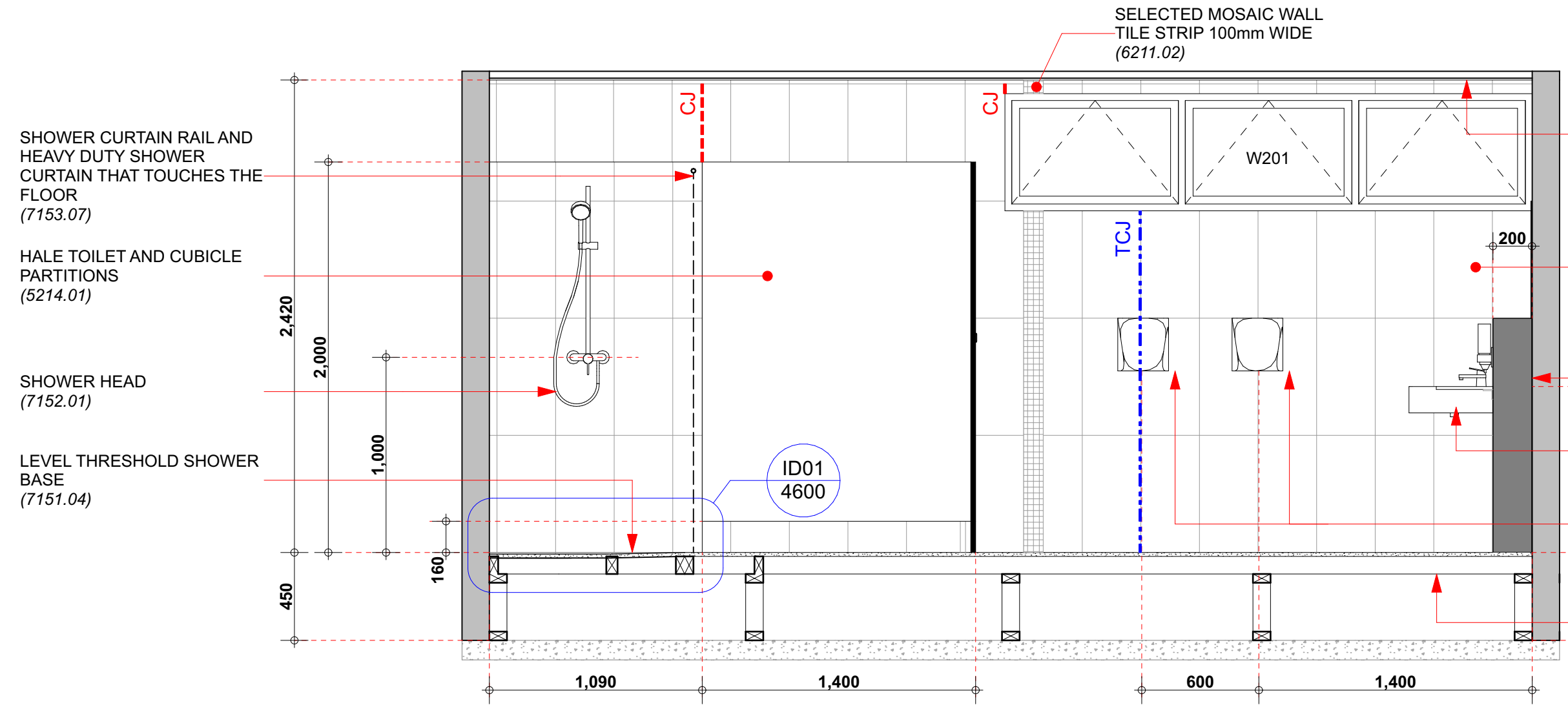
HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
 17/08/20

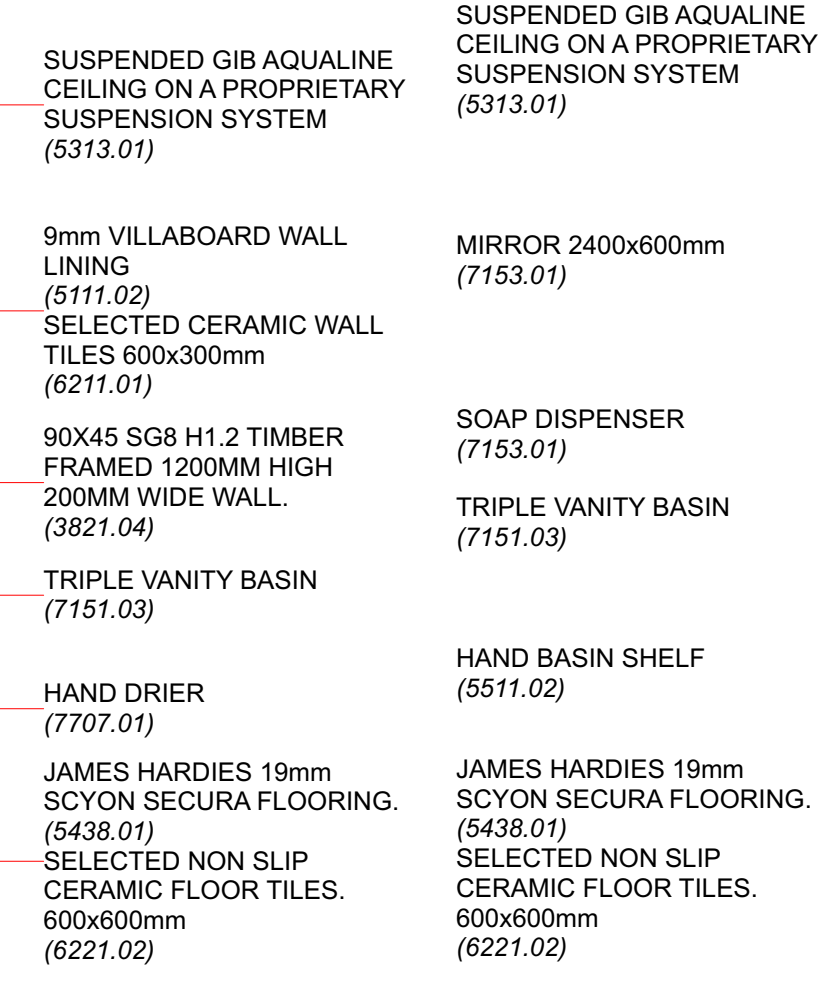
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS
 FEMALE ABLUTIONS

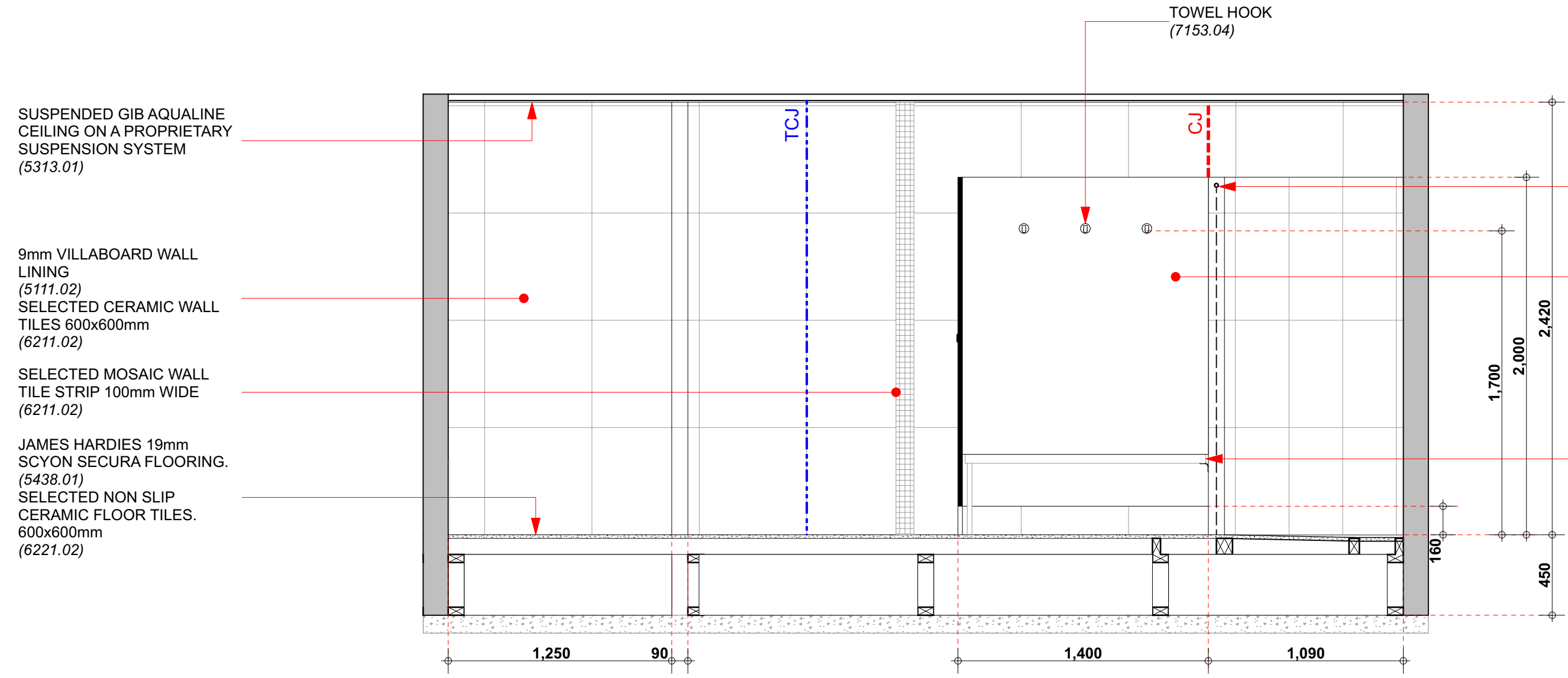
11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
 PROJECT No. SHEET SHEET ISSUE / REV.
5285 3310 06
 REVISION ISSUED: 17/08/20
 5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



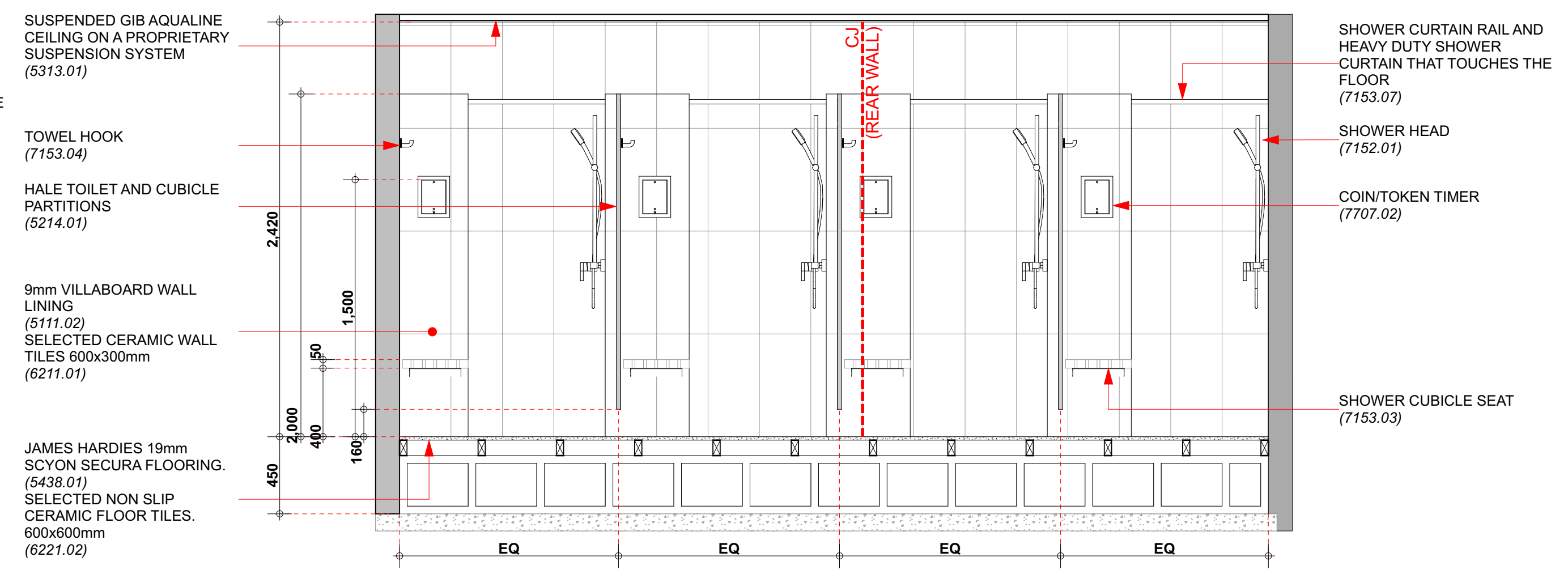
1 NORTH ELEVATION
SCALE: 1:25



2 EAST ELEVATION
SCALE: 1:25



3 SOUTH ELEVATION
SCALE: 1:25



4 WEST ELEVATION
SCALE: 1:25

NOTES:
1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

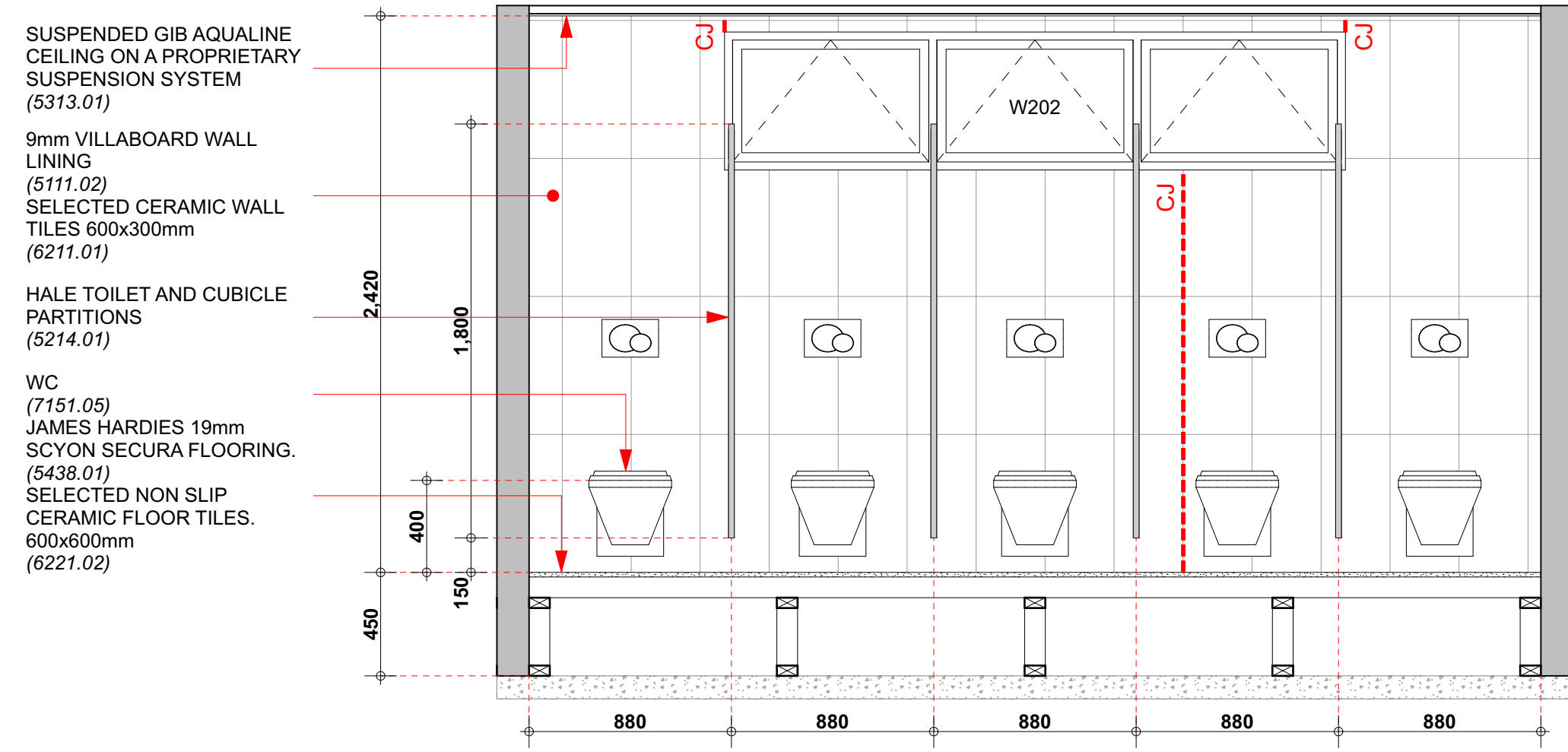
FNHL

OPUA MARINA 2 ALTERATIONS

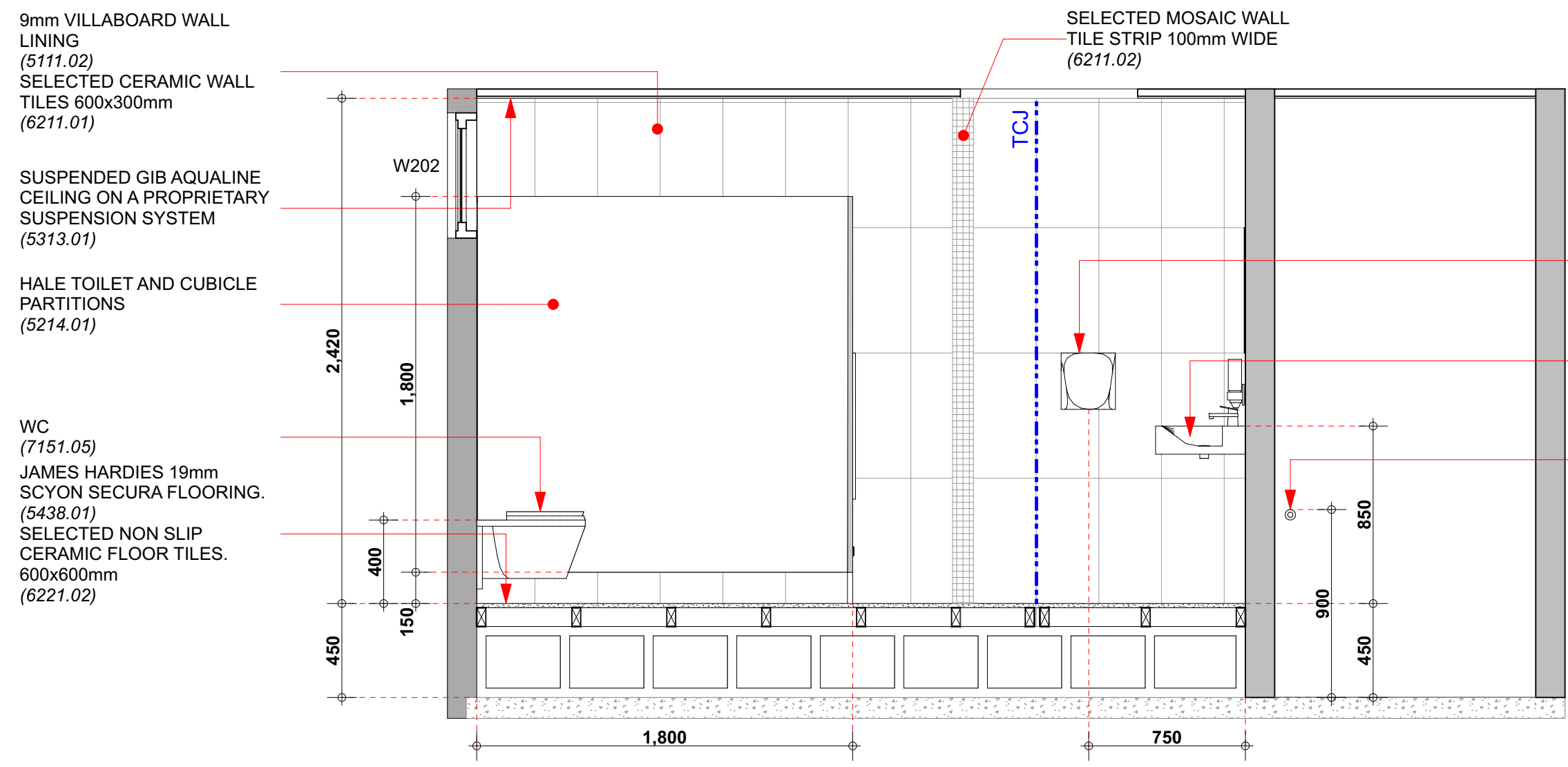
DESIGN PHASE:
AS-BUILTS
FEMALE SHOWER

11/11/2024 9:42 AM	ORIGINAL SCALE SHOWN @ A1
PROJECT No:	SHEET
5285	3311
REVISION ISSUED: 17/08/20	SHEET ISSUE / REV: 06
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln	

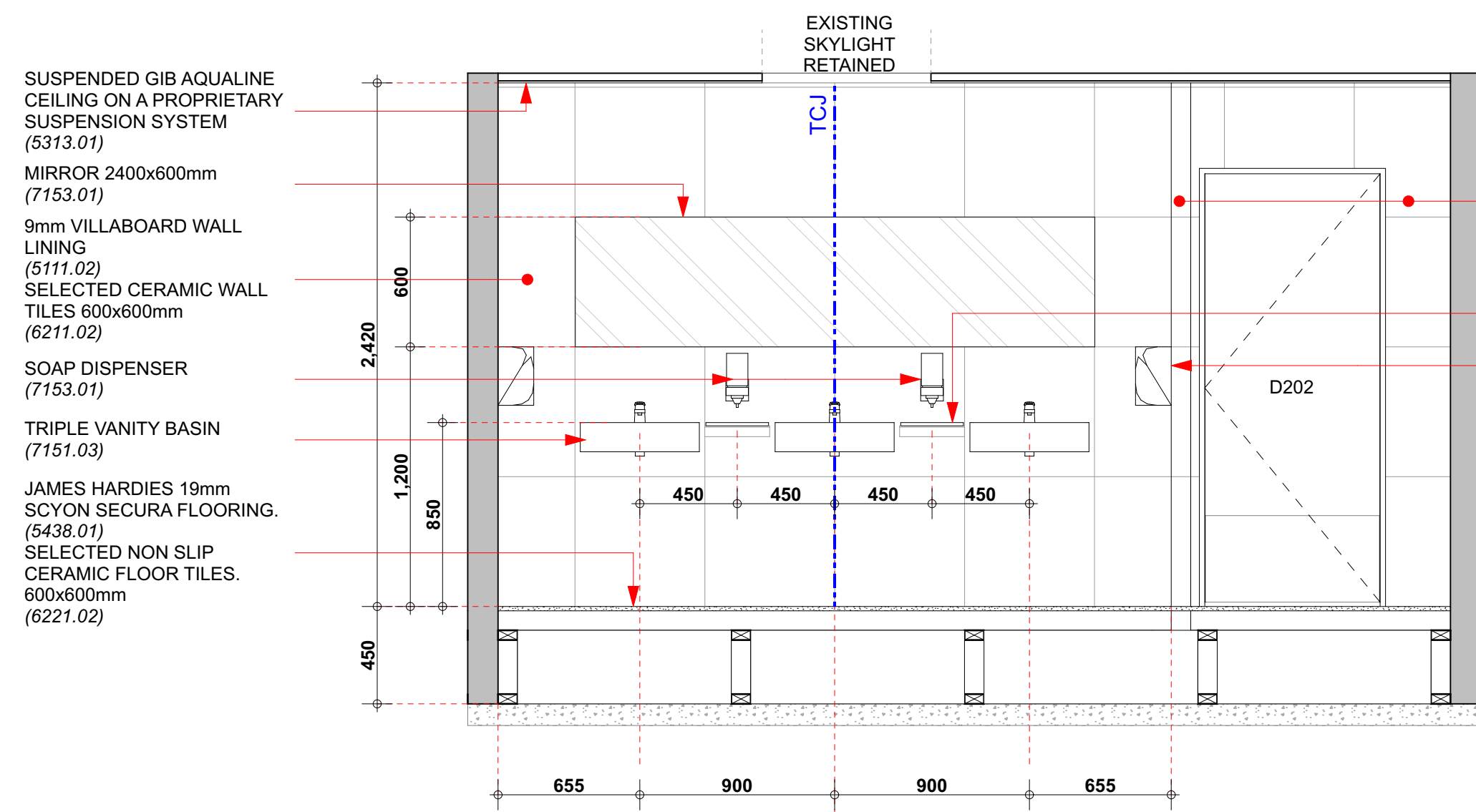
Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch05	Revised Framing
		Ch08	Removed Shower Box
		Ch11	Added Shelves
20.09.16	03	Ch13	Revised Fixtures
10.10.16	04	Ch15	Control Joints
02/11/16	05	Ch16	Revised Notes
17/08/20	06	Ch17	Mosaic Strip Added



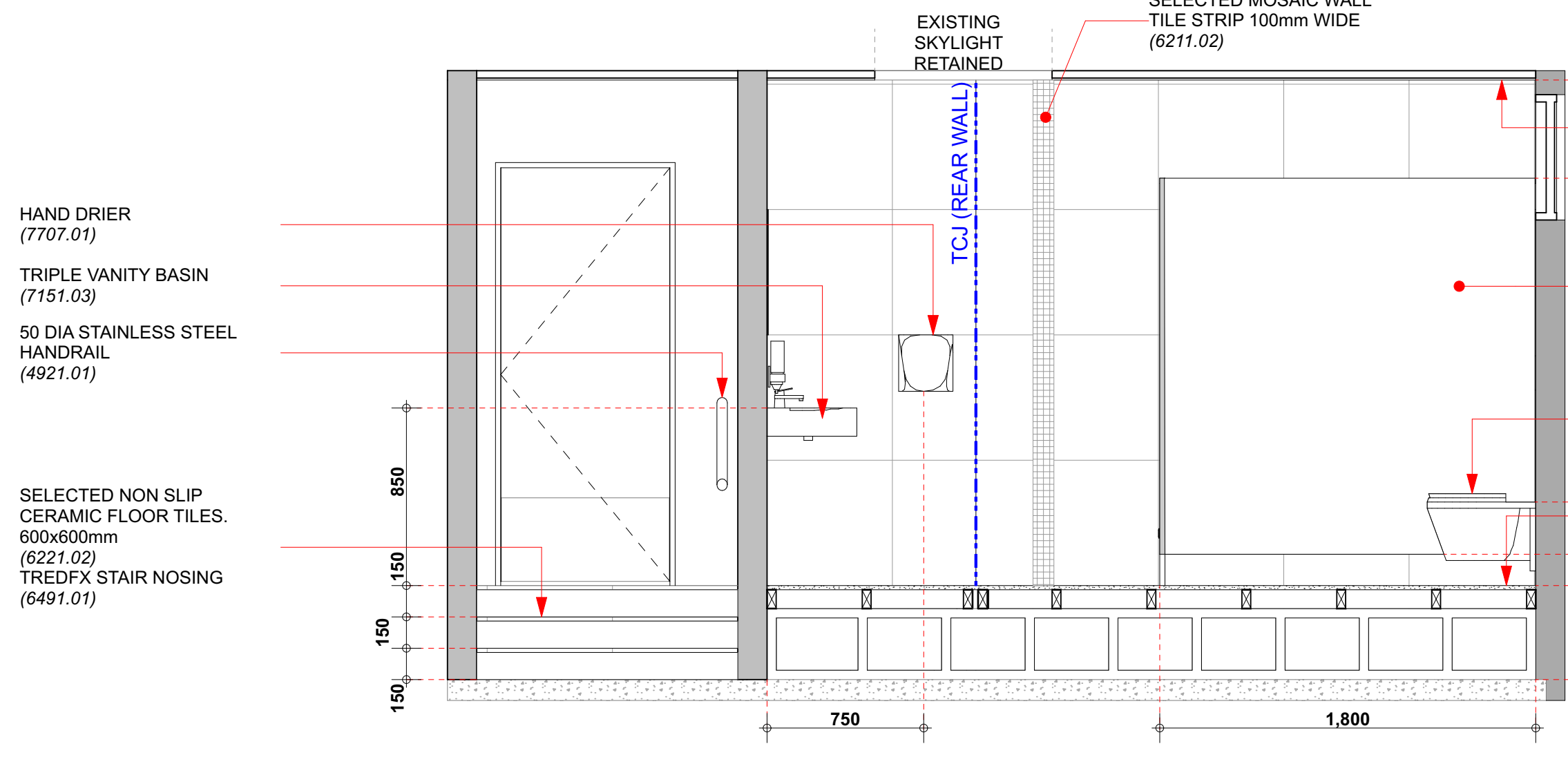
1 NORTH ELEVATION
SCALE: 1:25



2 EAST ELEVATION
SCALE: 1:25



3 SOUTH ELEVATION
SCALE: 1:25



4 WEST ELEVATION
SCALE: 1:25

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch05	Revised Framing
		Ch11	Added Shelves
20.09.16	03	Ch13	Revised Fixtures
10.10.16	04	Ch15	Control Joints
02/11/16	05	Ch16	Revised Notes
17/08/20	06	Ch17	Mosaic Strip Added

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnharchitecture.co.nz
www.fnharchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

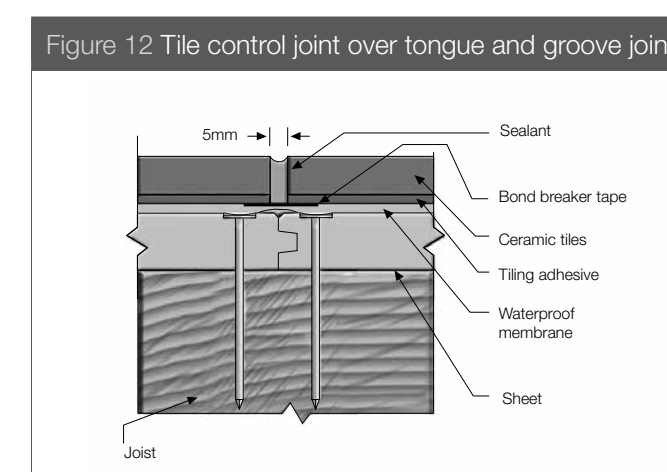
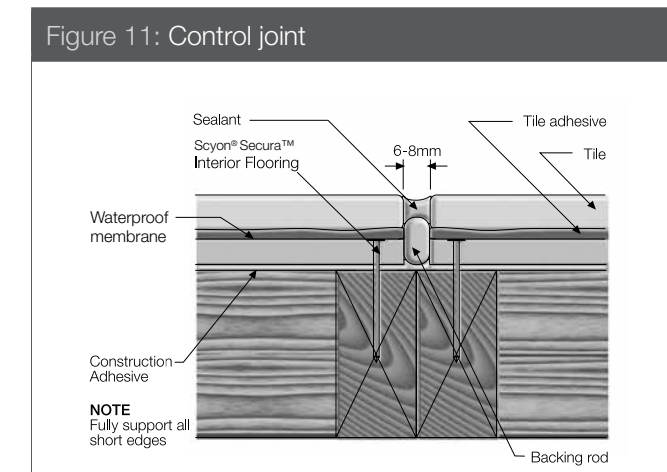
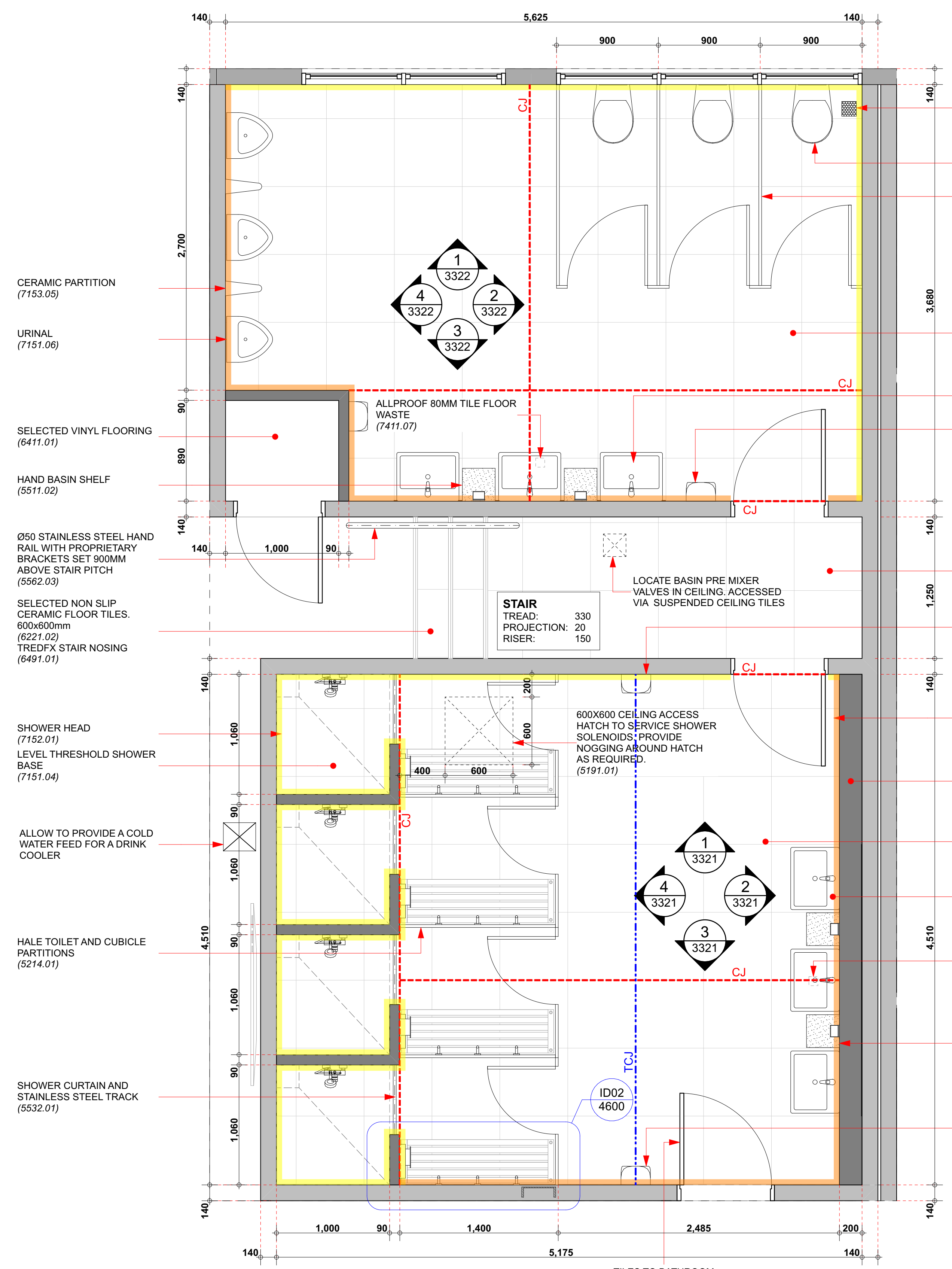
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

FEMALE WC

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 3312 06
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



LEGEND

CJ CONTROL JOINTS FIG. 11

TCJ TILE CONTROL JOINTS FIG. 12

CONTROL JOINTS: SETOUT JOINTS ON TILE MODULE FLOORING
 SCYON SECURA FLOORING REQUIRES CONTROL JOINTS AT:
 - 4.05m IN THE LONG SHEET DIRECTION.
 - AT TILED DOORWAYS
 - L-SHAPED ROOMS
 - AT WALL PROJECTIONS

TILES TO FLOORS
 MAPEI REQUIREMENT FOR TILE MOVEMENT JOINTS:
 - AT THE PERIMETER OF ALL TILED AREAS
 - WHERE TILED SURFACES ABUTS ANOTHER MATERIALS
 - AT 3.6m LENGTHS

WALLS LININGS
 VILLABOARD WALL LININGS REQUIRE CONTROL JOINTS AT:
 - 4.2m
 - AREAS GREATER THAN 10m²
 - AT EACH END OF A WINDOW WHERE THE WINDOW HEAD IS LESS THAN 250mm FROM THE CEILING

WALL TILES
 MAPEI REQUIREMENT FOR TILE MOVEMENT JOINTS:
 - AT THE PERIMETER OF ALL TILED AREAS
 - WHERE TILED SURFACES ABUTS ANOTHER MATERIAL
 - AT 3.6m LENGTHS

NOTES

- REFER TO MACDONALD INDUSTRIES SCHEDULE FOR FIXTURES.
- REFER TO ACCESSIBLE REPORT
- REFER TO COLOR SCHEDULE AND FINISHES SCHEDULE FOR MATERIAL SELECTIONS AND FINISHES
- REFER TO FLOOR PLANS FOR WALL CONSTRUCTION

WALL TILE SELECTIONS - REFER TO PLANS

YELLOW LIGHT GREY WALLS TILES 600X300 LAID VERTICALLY

ORANGE BLACK WALLS TILES 600X600

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	CH05	Revised Framing
		CH11	Added Shelves
20.09.16	03	CH13	Revised Fixtures
		CH14	Added Ceiling Access
10.10.16	04	CH15	Control Joints
02/11/16	05	CH16	Revised Notes
17/08/20	06		

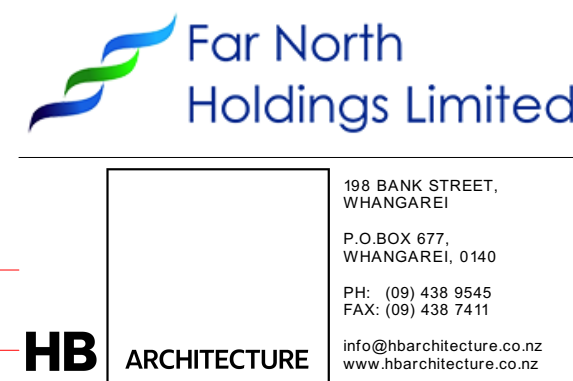
ISSUED FOR:
AS-BUILTS DRAWINGS
 17/08/20

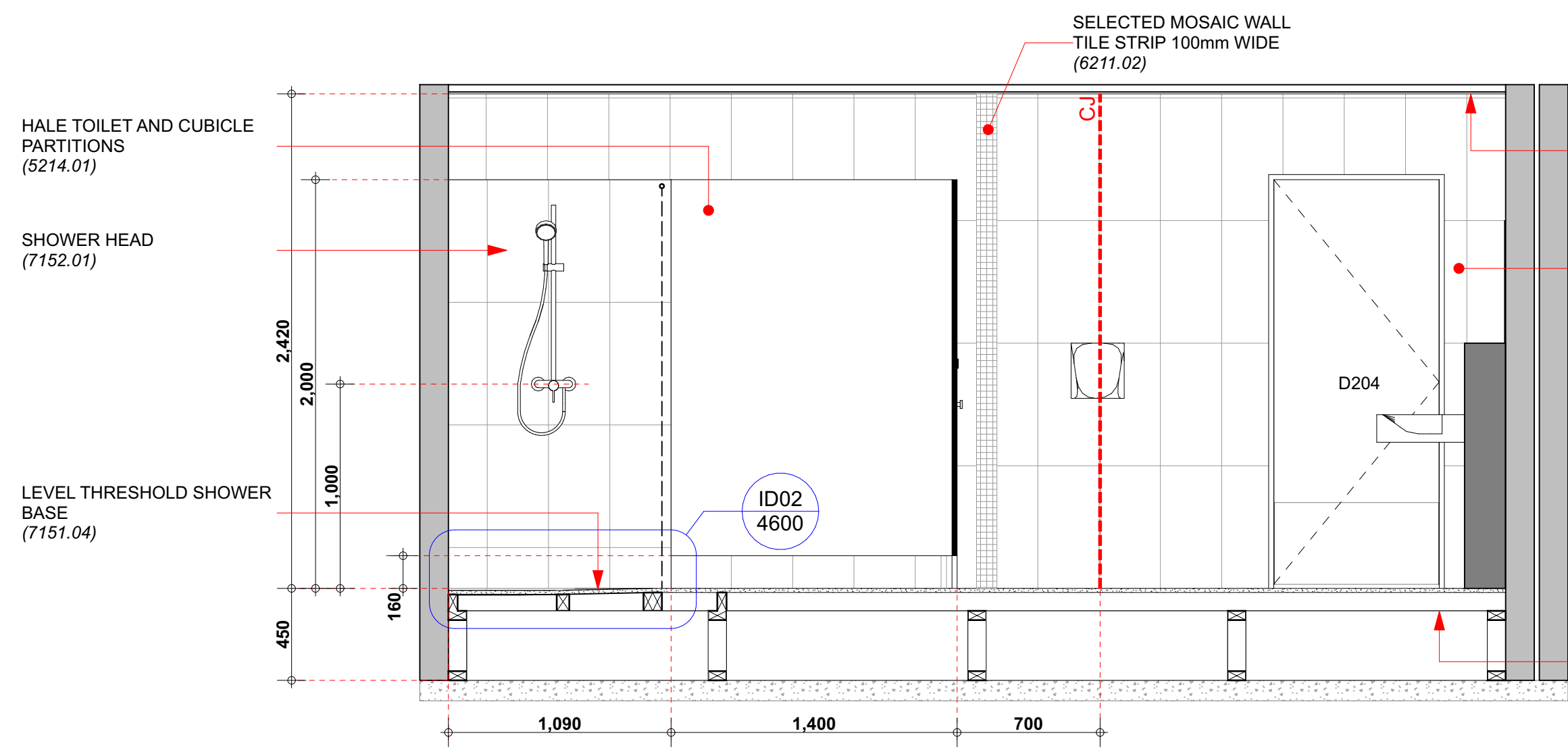
FNHL

OPUA MARINA 2 ALTERATIONS

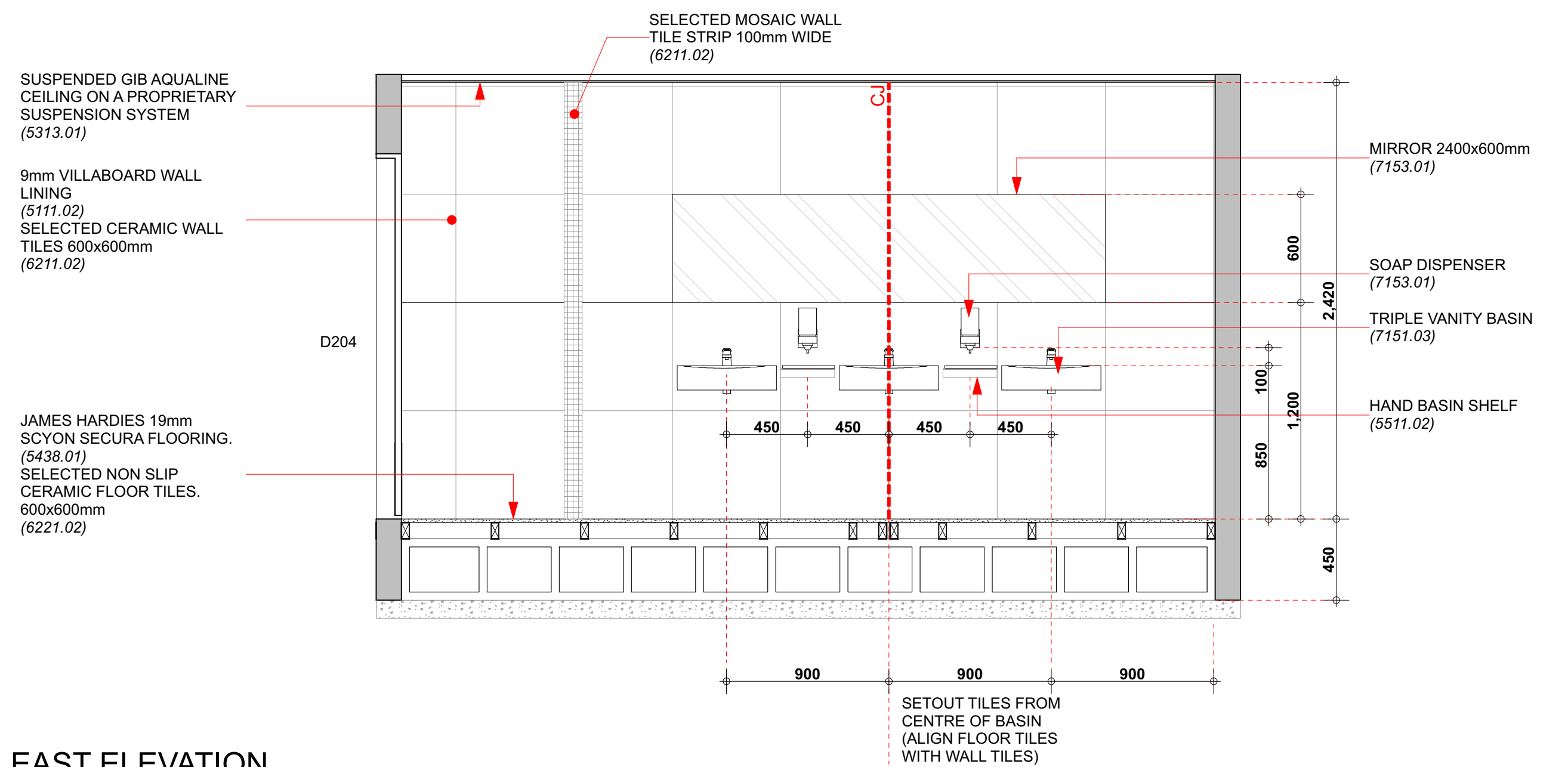
DESIGN PHASE:
AS-BUILTS
 MALE ABLUTIONS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
 PROJECT No: SHEET: SHEET ISSUE / REV:
5285 3320 06
 REVISION ISSUED: 17/08/20
 5285_20241021 FNHL Marina 2 Alterations_As Built.pln

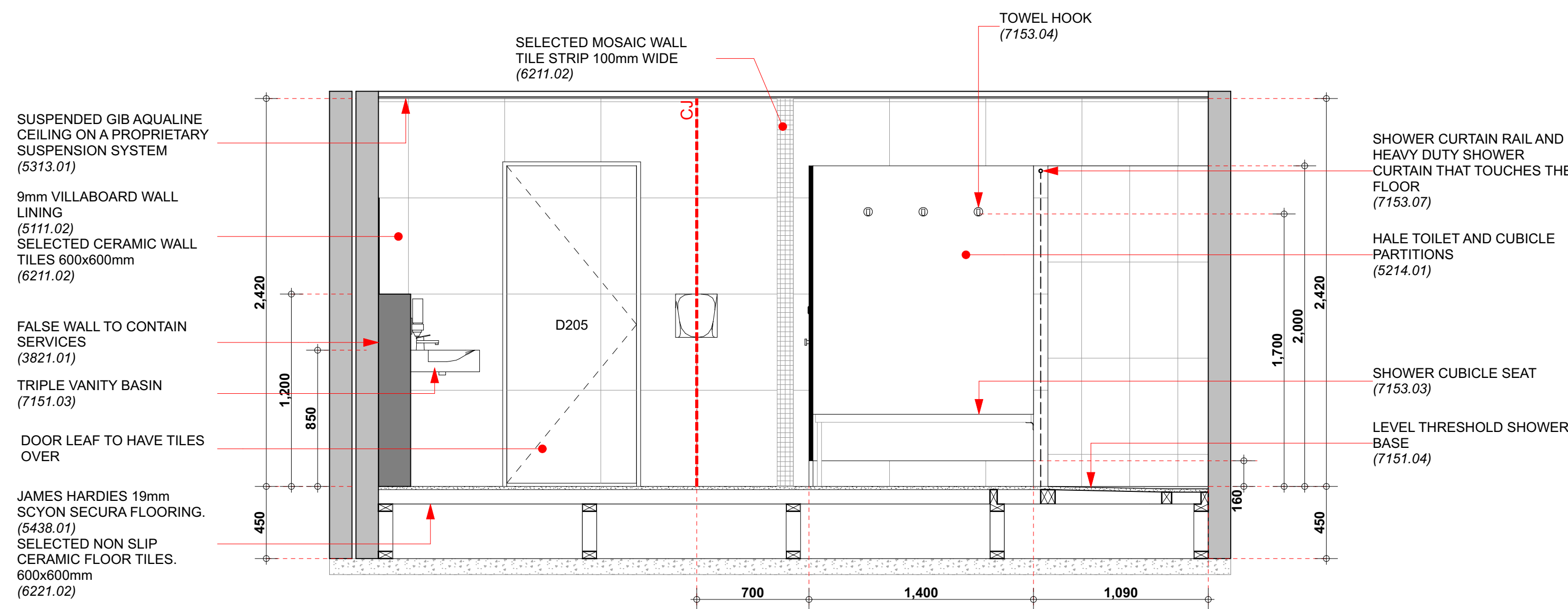




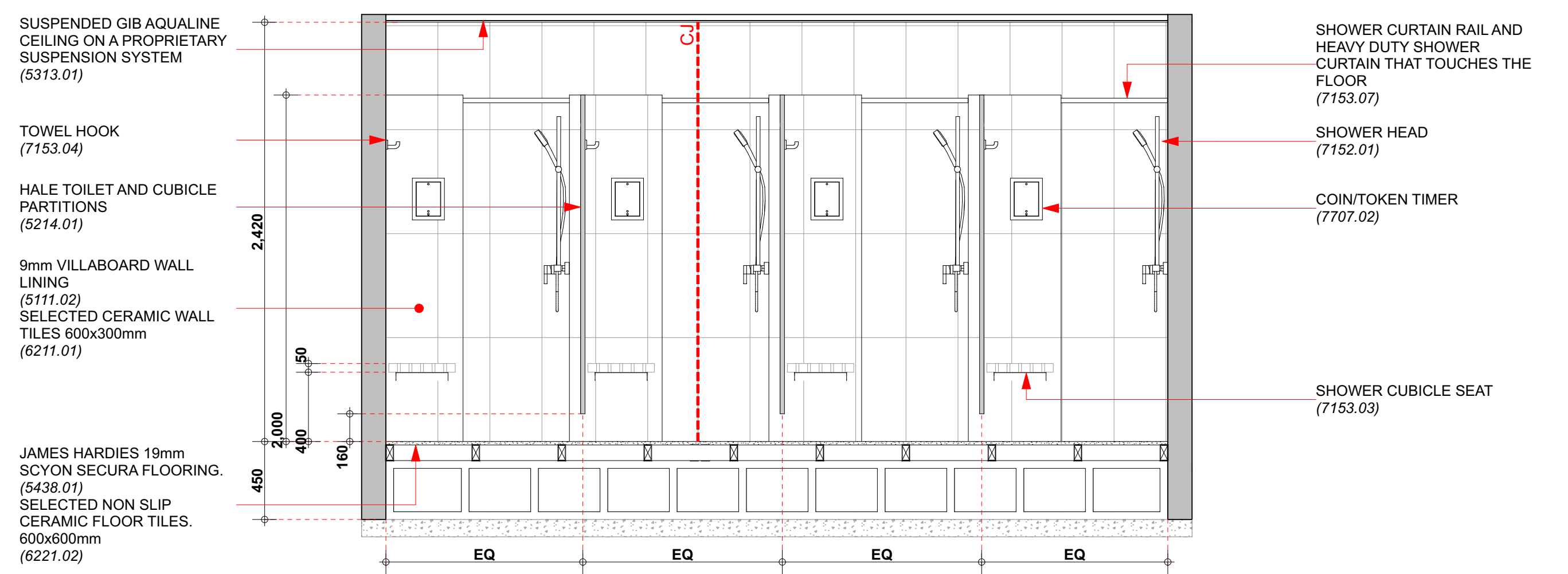
1 NORTH ELEVATION
3320 SCALE: 1:25



2 EAST ELEVATION
3320 SCALE: 1:25



3 SOUTH ELEVATION
3320 SCALE: 1:25



4 WEST ELEVATION
3320 SCALE: 1:25

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch05	Revised Framing
		Ch08	Removed Shower Box
		Ch11	Added Shelves
20.09.16	03	Ch13	Revised Fixtures
10.10.16	04	Ch15	Control Joints
02/11/16	05	Ch16	Revised Notes
		Ch17	Mosaic Strip Added
17/08/20	06		

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnharchitecture.co.nz
www.fnharchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

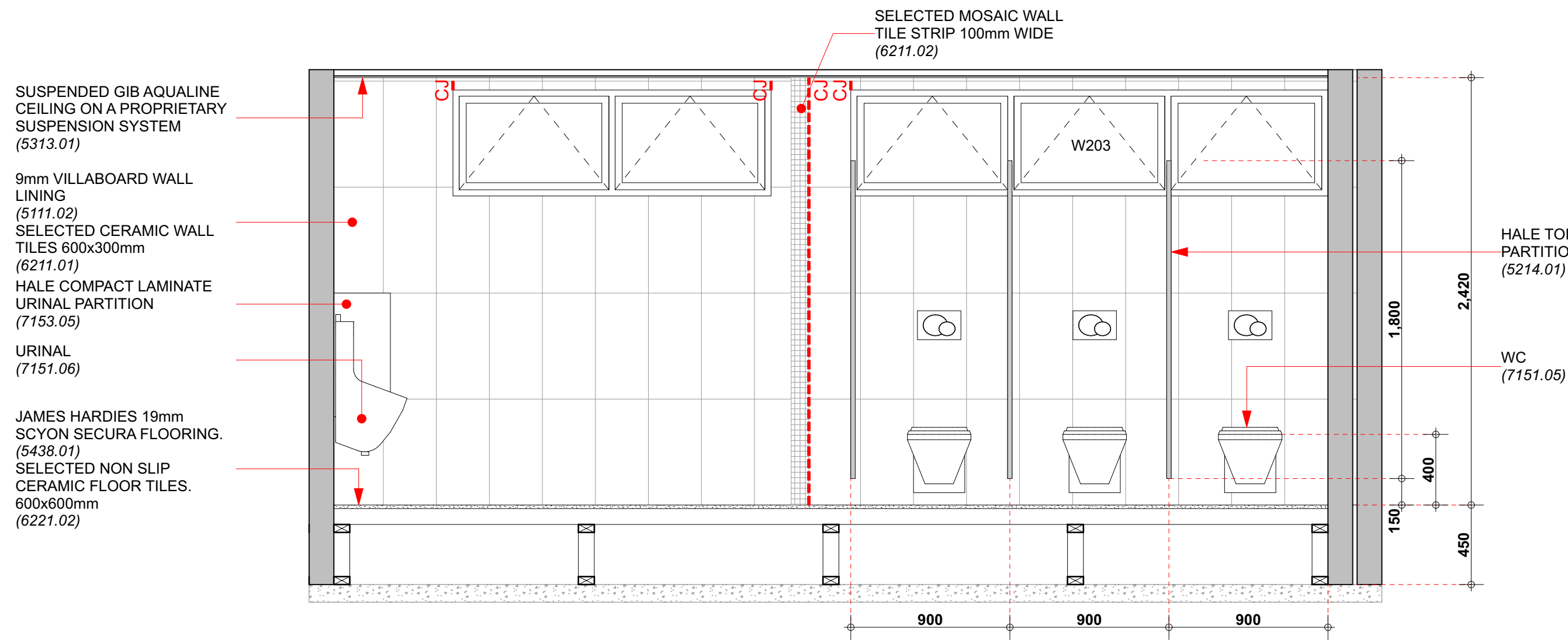
FNHL

OPUA MARINA 2 ALTERATIONS

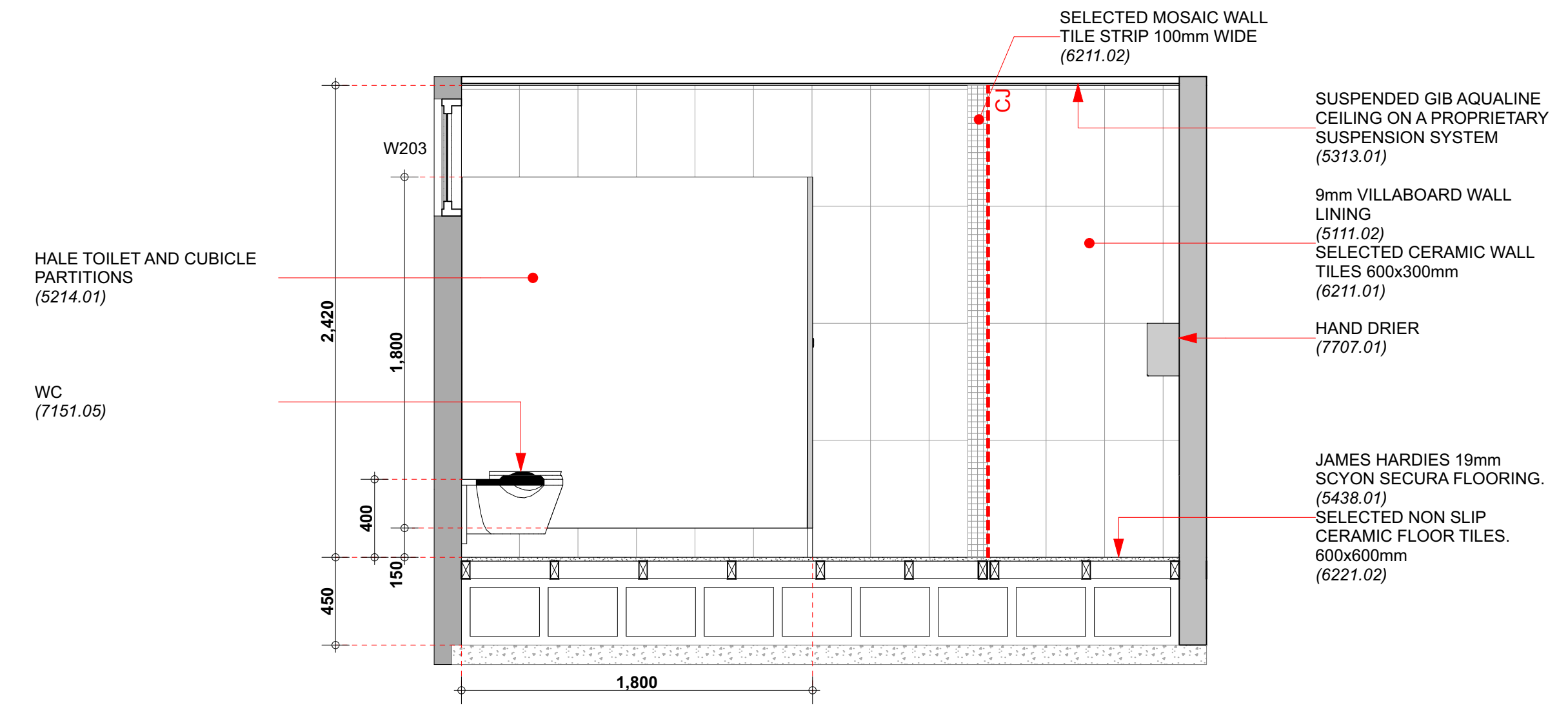
DESIGN PHASE:
AS-BUILTS

MALE SHOWER

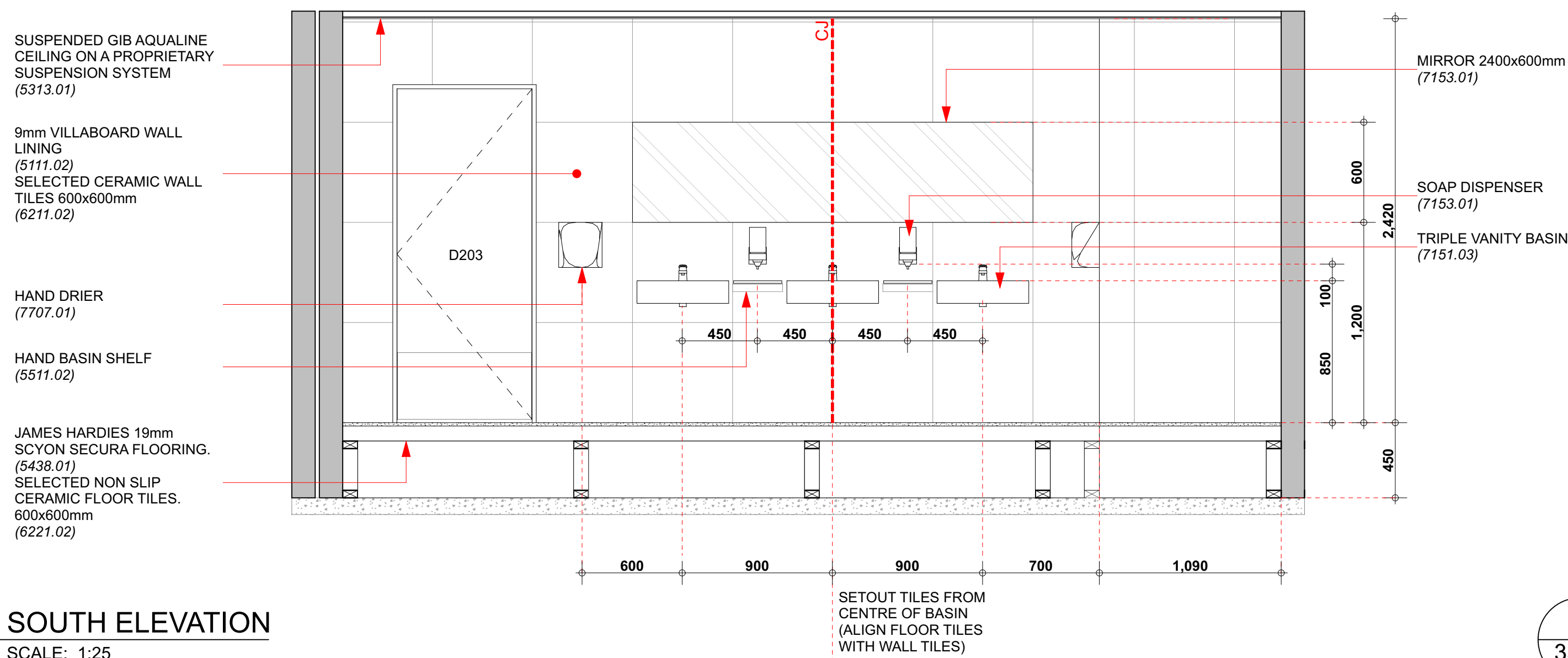
11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 3321 06
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



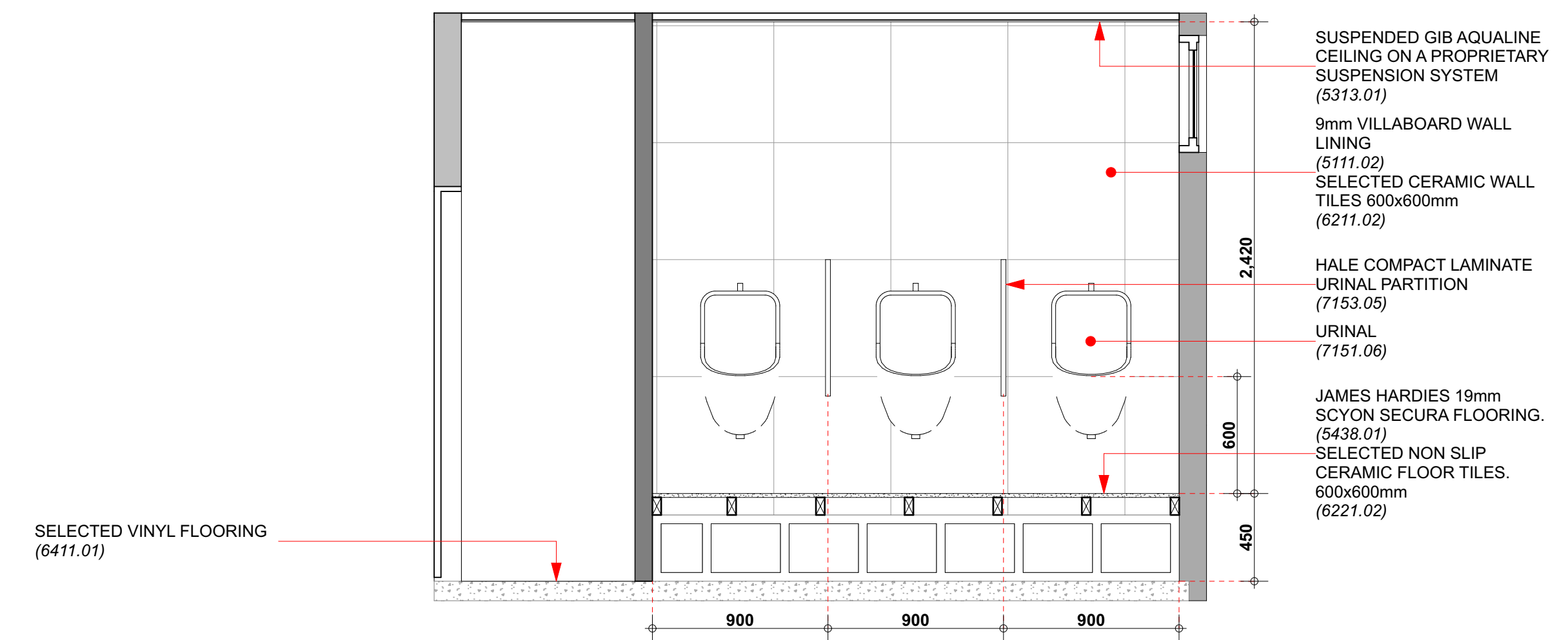
1 NORTH ELEVATION
3320 SCALE: 1:25



2 EAST ELEVATION
3320 SCALE: 1:25



3 SOUTH ELEVATION
3320 SCALE: 1:25



4 WEST ELEVATION
3320 SCALE: 1:25

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch05	Revised Framing
		Ch11	Added Shelves
20.09.16	03	Ch13	Revised Fixtures
10.10.16	04	Ch15	Control Joints
02/11/16	05	Ch16	Revised Notes
17/08/20	06	Ch17	Mosaic Strip Added

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnharchitecture.co.nz
www.fnharchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

MALE WC

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 3322 06

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln

Ch21

ALL DECK INFORMATION REMOVED AS NOT REQUIRED

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02	Ch21	DECK REMOVED



158 BANK STREET,
WHANGAREI
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@hbarchitecture.co.nz
www.hbarchitecture.co.nz



ISSUED FOR:

AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

DECK SECTIONS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1

PROJECT No. SHEET SHEET ISSUE / REV.

5285 3501 02

REVISION ISSUED: 17/08/20

5285_20241021 FNHL Marina 2 Alterations_As Built.gln


Ch21

AII DECK INFORMATION REMOVED AS NOT REQUIRED

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch02	Added Details
17/08/20	03	Ch21	DECK REMOVED



198 BANK STREET,
WHANGAREI
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@hbarchitecture.co.nz
www.hbarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS
DECK SECTIONS

11/11/2024 9:42 AM	ORIGINAL SCALE SHOWN @ A1		
PROJECT No:	SHEET:	SHEET ISSUE / REV:	
5285	3502	03	
REVISION ISSUED:	17/08/20		
5285_20241021 FNHL Marina 2 Alterations_As Built.glt			

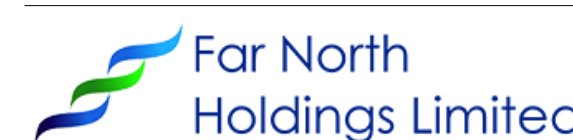
Ch21

AII DECK INFORMATION REMOVED AS NOT REQUIRED

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02	Ch21	DECK REMOVED



198 BANK STREET,
WHANGAREI
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@hbarchitecture.co.nz
www.hbarchitecture.co.nz



ISSUED FOR:

AS-BUILTS DRAWINGS

17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:

AS-BUILTS

DECK DETAILS

11/11/2024 9:42 AM

ORIGINAL SCALE SHOWN @ A1

PROJECT No:

SHEET:

SHEET ISSUE / REV:

5285

3550

02

REVISION ISSUED: 17/08/20

5285_20241021 FNHL Marina 2 Alterations_As Bultls.pln

Ch21

AII DECK INFORMATION REMOVED AS NOT REQUIRED

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.



158 BANK STREET,
WHANGAREI
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@hbarchitecture.co.nz
www.hbarchitecture.co.nz

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02	Ch21	DECK REMOVED

ISSUED FOR:

AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE: **AS-BUILTS**

SECTION DETAILS

11/11/2024 9:42 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV.

5285 4100 02

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Builta.gln


Ch21

AII DECK INFORMATION REMOVED AS NOT REQUIRED

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
21 JUN 2016	01		
17/08/20	02	Ch21	DECK REMOVED



198 BANK STREET, WHANGAREI
 P.O. BOX 677, WHANGAREI, 0140
 PH: (09) 438 9545
 FAX: (09) 438 7411
 info@hbarchitecture.co.nz
 www.hbarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
 17/08/20

FNHL

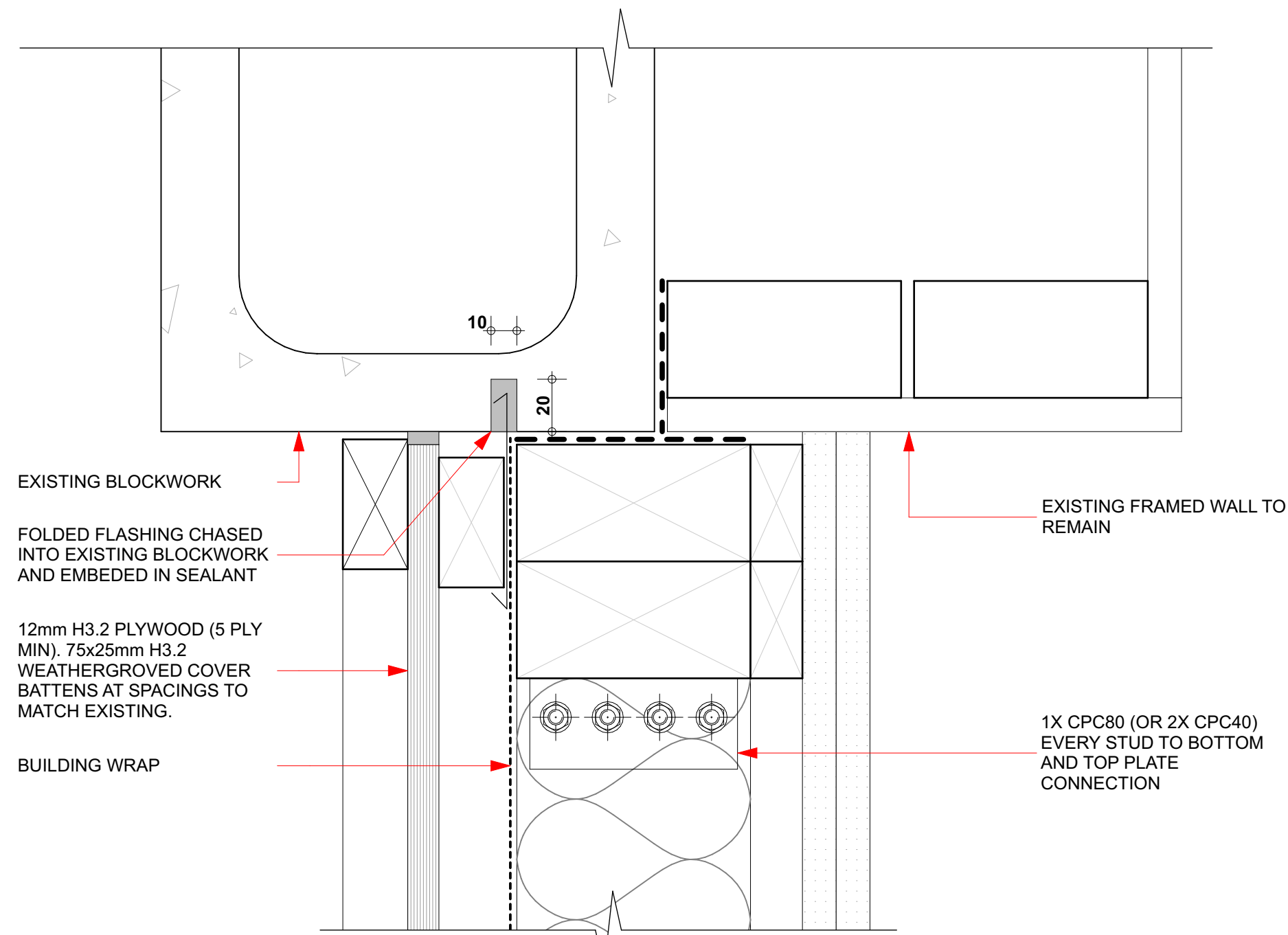
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

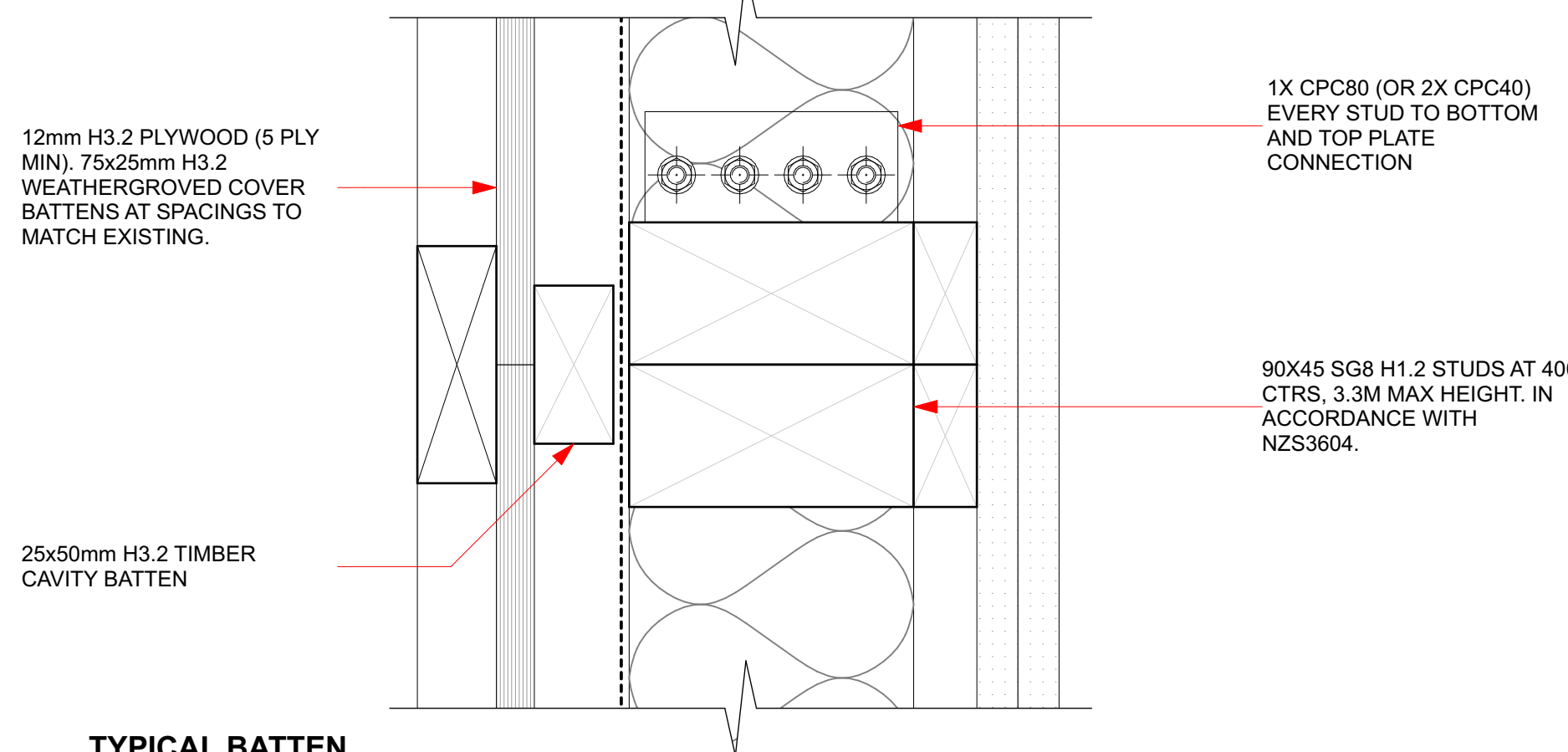
DECK FIRE WALL DETAILS

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
 PROJECT No. SHEET SHEET ISSUE / REV:
5285 4102 02

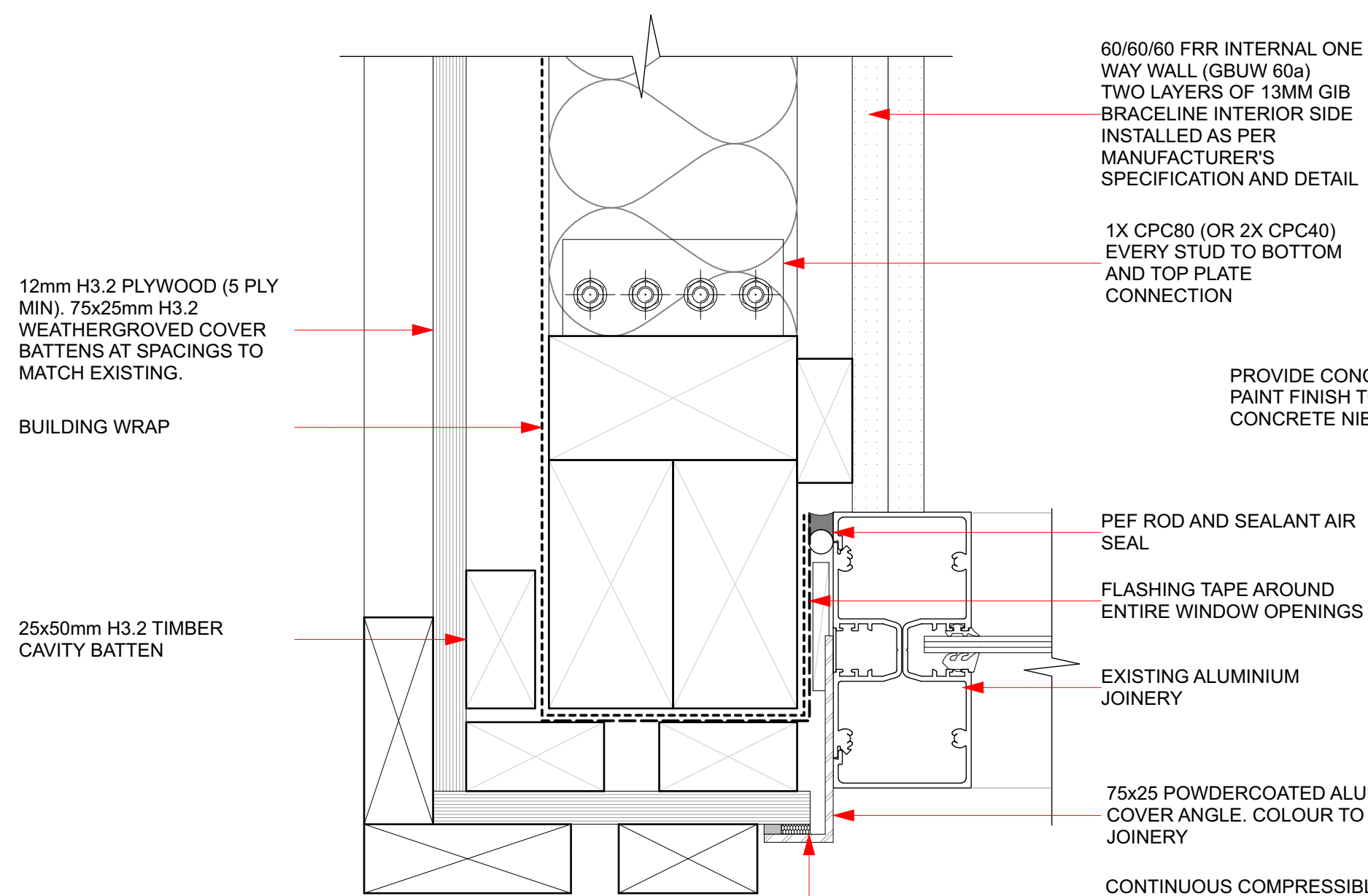
REVISION ISSUED: 17/08/20
 5285_20241021 FNHL Marina 2 Alterations_As Bulta.pln



NEW WALL TO EXISTING BLOCK WORK JAMB

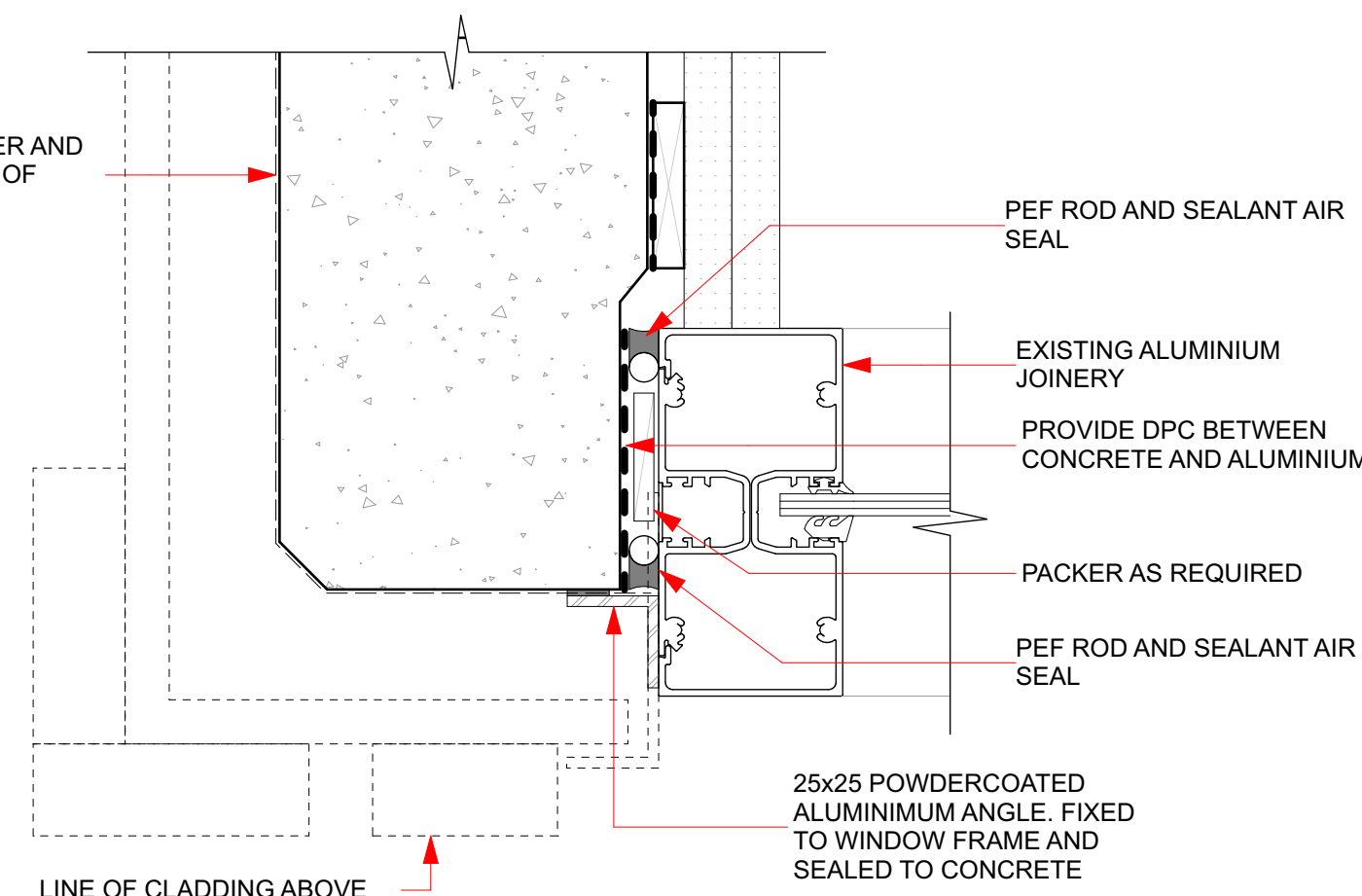
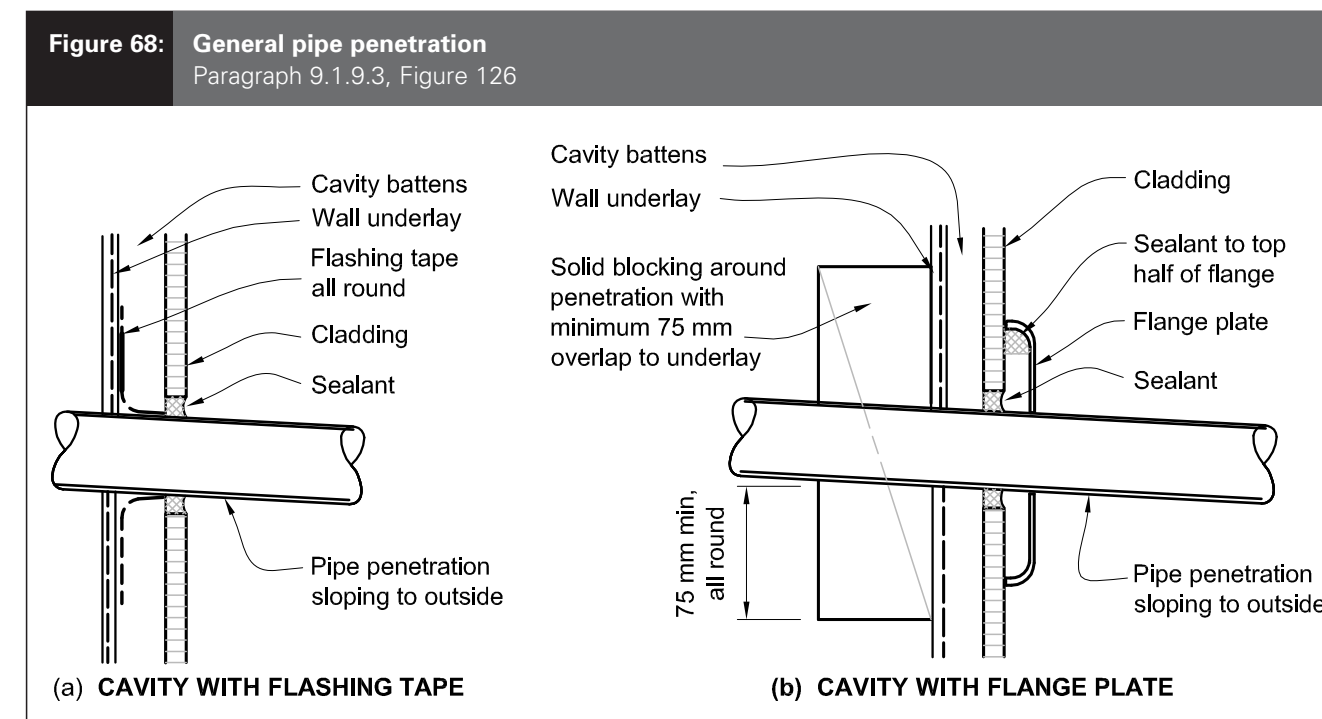


TYPICAL BATTEN

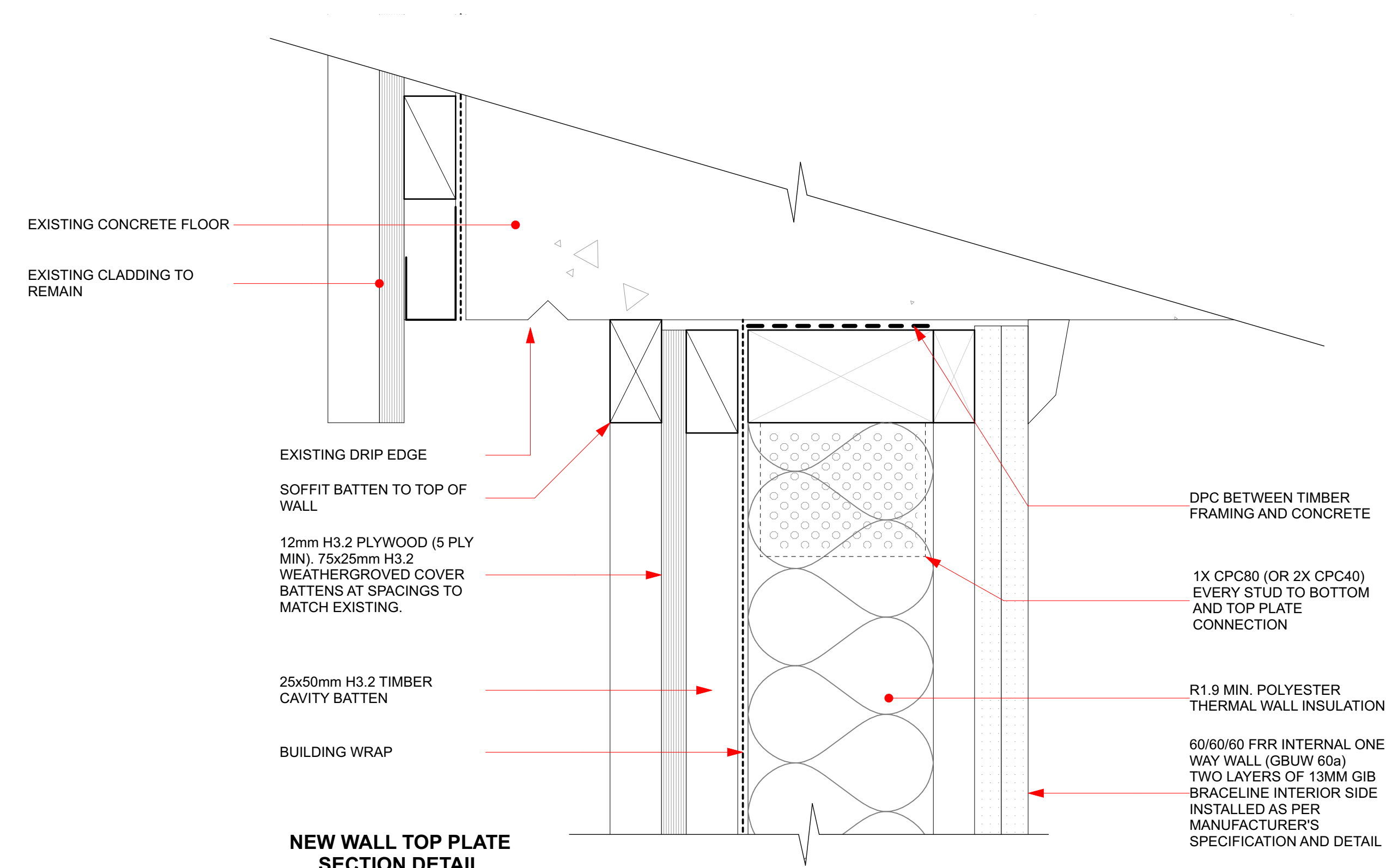


NEW WALL TO EXISTING SHOPFRONT JAMB

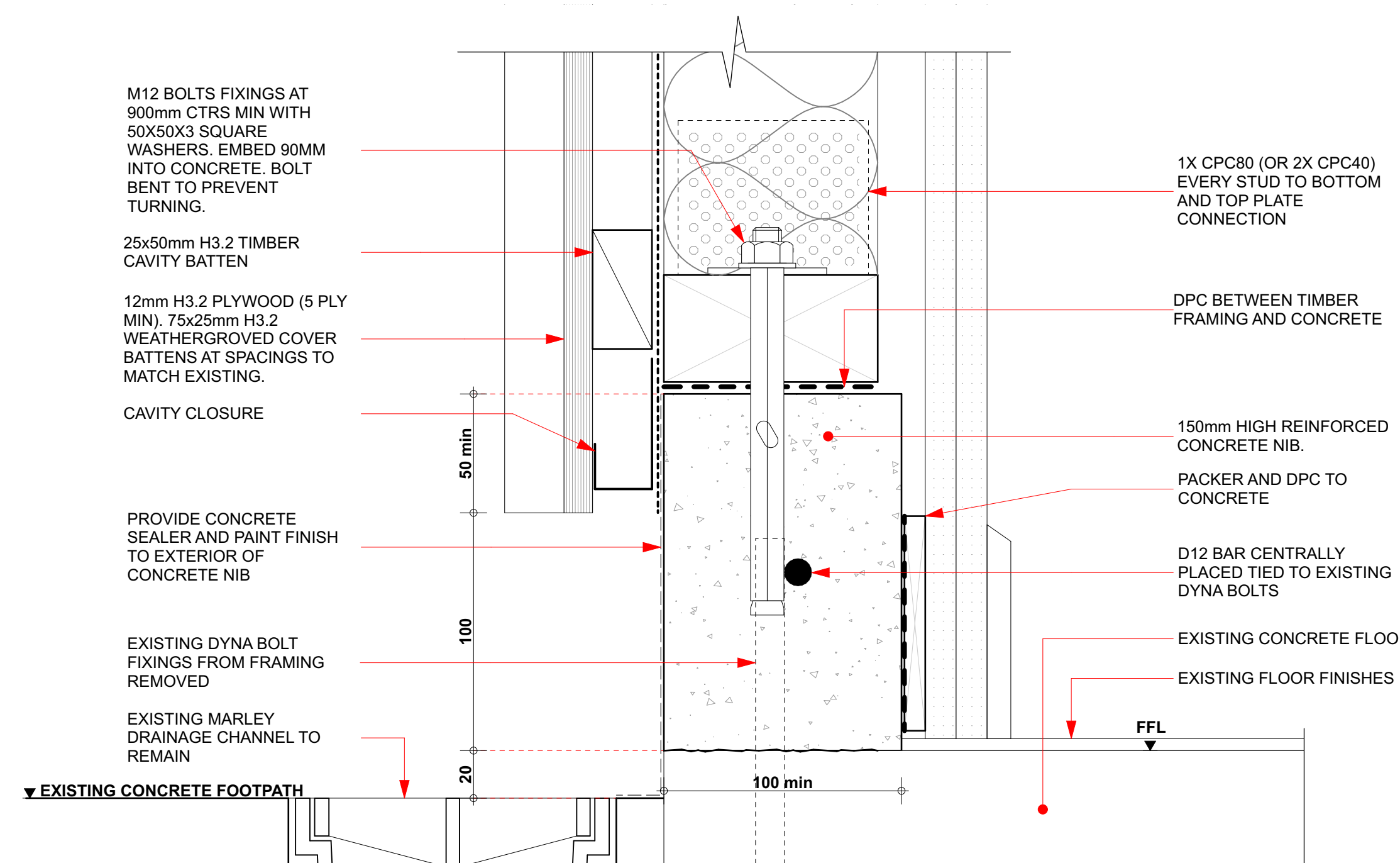
1 WALL DETAILS - BOARD AND BATTEN CALDDING
SCALE: 1:2



NEW NIB TO EXISTING SHOPFRONT JAMB



NEW WALL TOP PLATE SECTION DETAIL



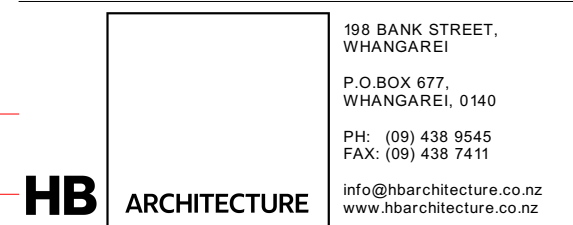
NEW WALL BOTTOM PLATE SECTION DETAIL

2 WALL DETAILS - BOARD AND BATTEN CLADDING
SCALE: 1:2

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
22/11/16	02	Ch16	Revised Detail
17/08/20	03		



ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

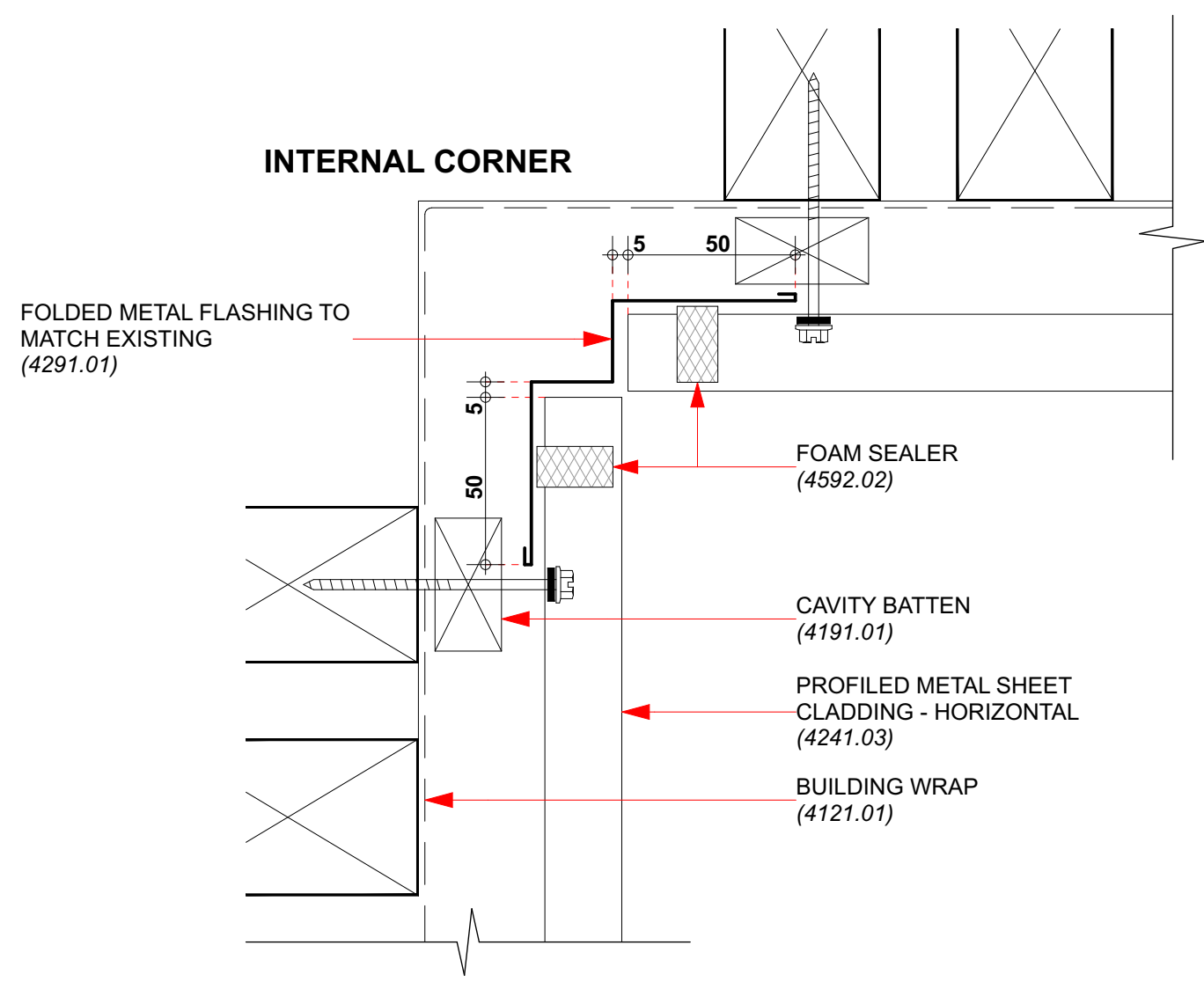
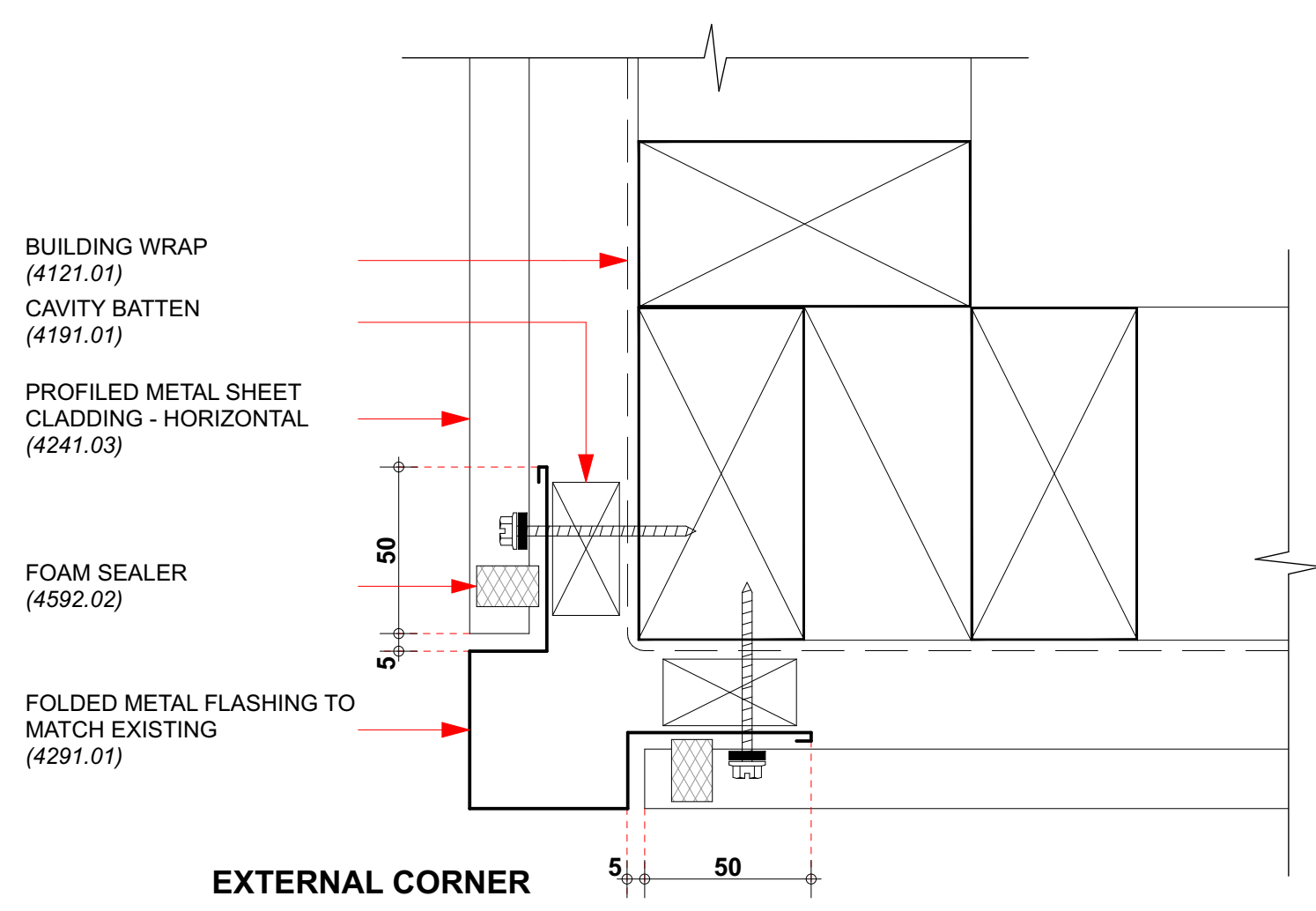
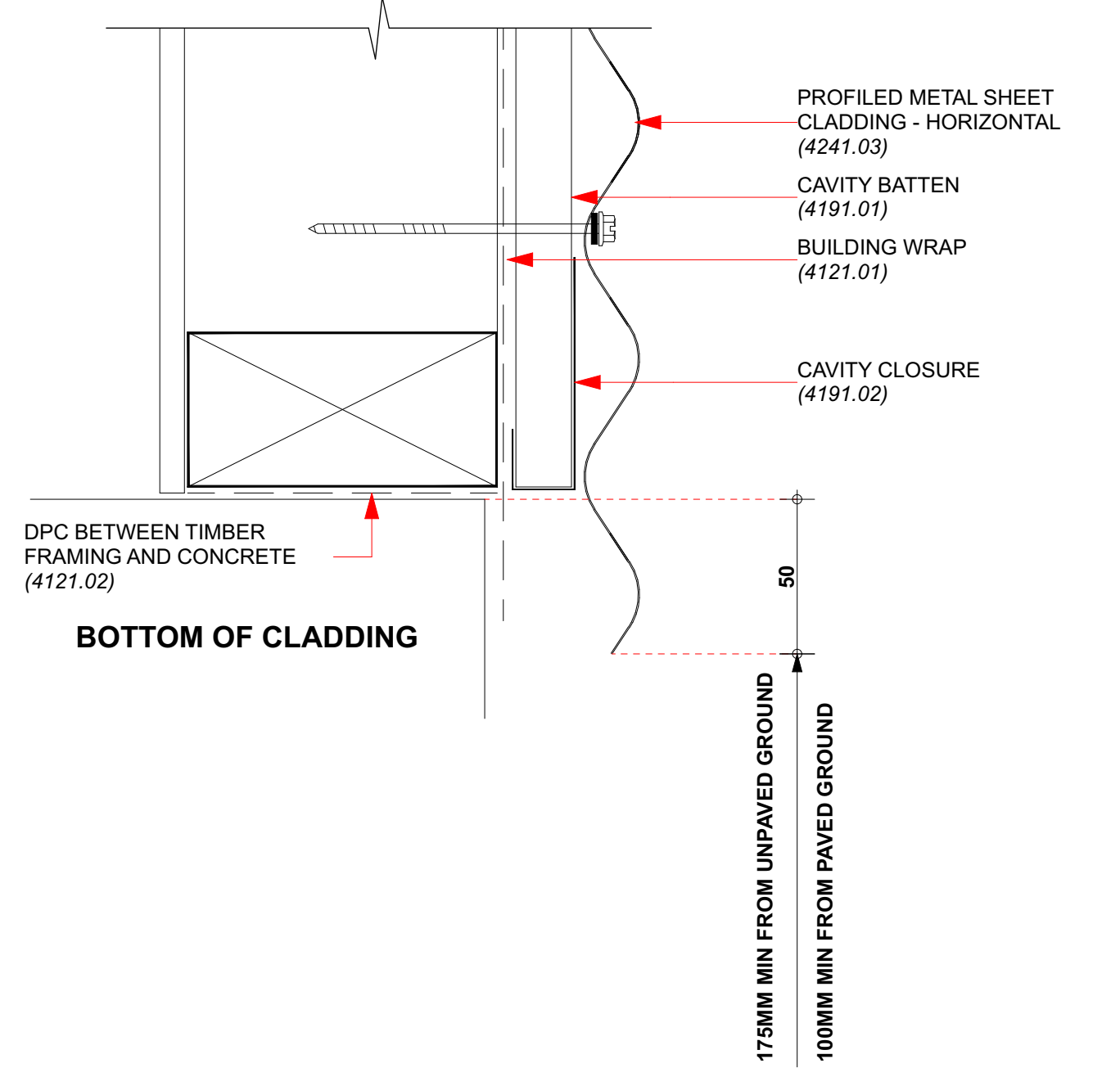
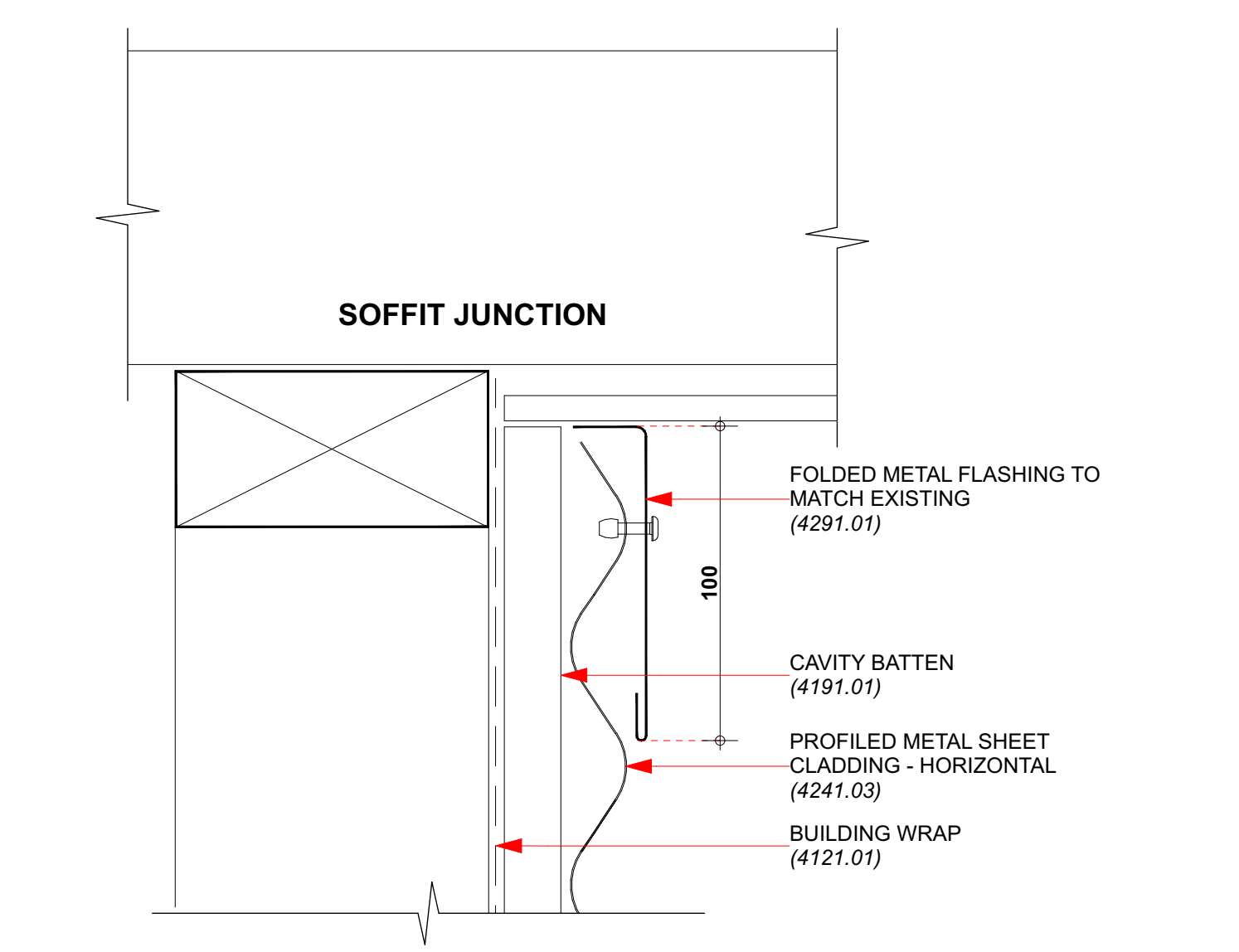
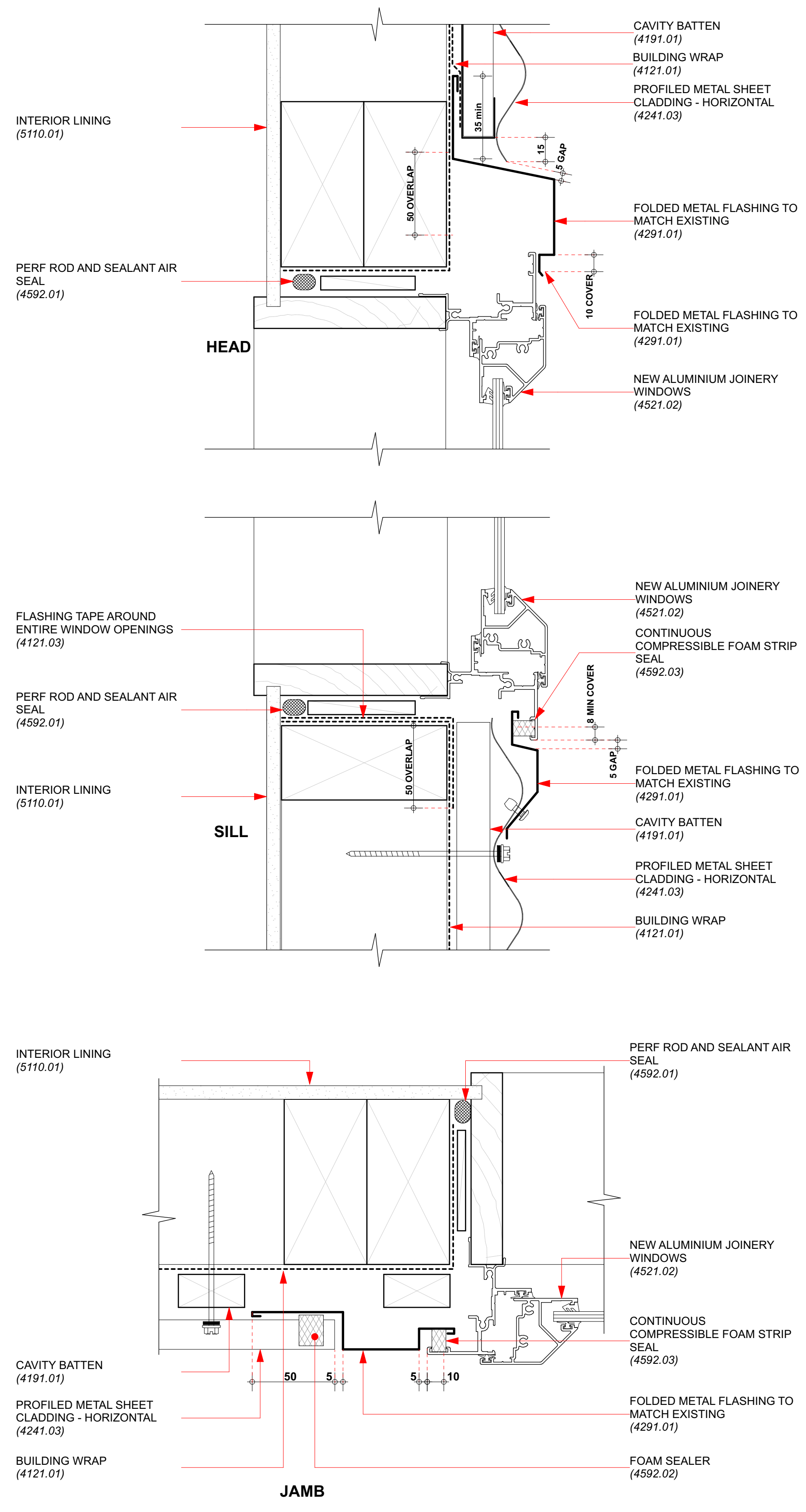
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

TYPICAL DETAILS - BOARD AND BATTEN

PROJECT No.	SHEET	SHEET ISSUE / REV.
5285	4300	03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



2 WALL DETAILS - HORIZONTAL PROFILED METAL
SCALE: 1:2

1 WINDOW DETAILS - HORIZONTAL PROFILED METAL
SCALE: 1:2

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

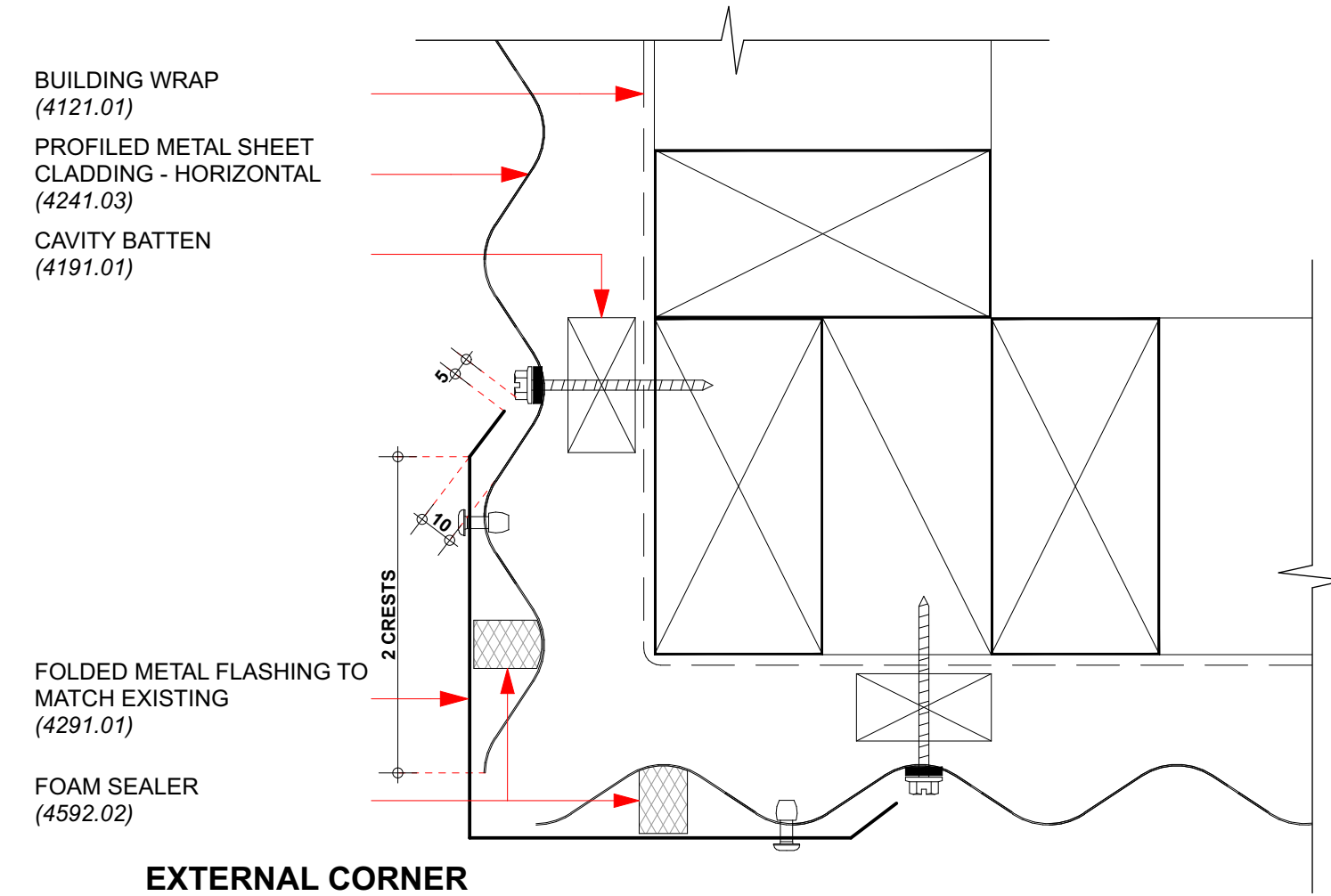
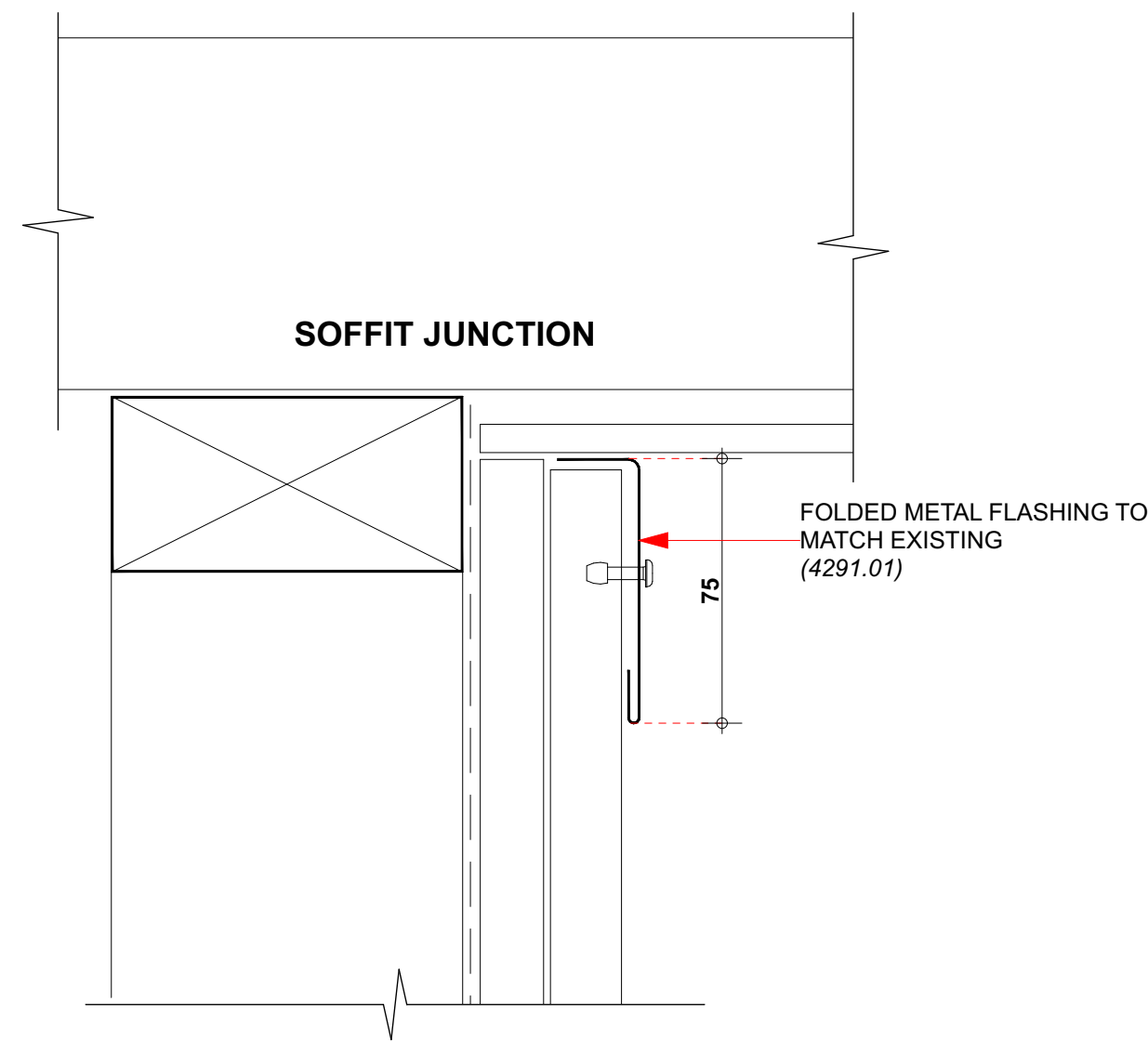
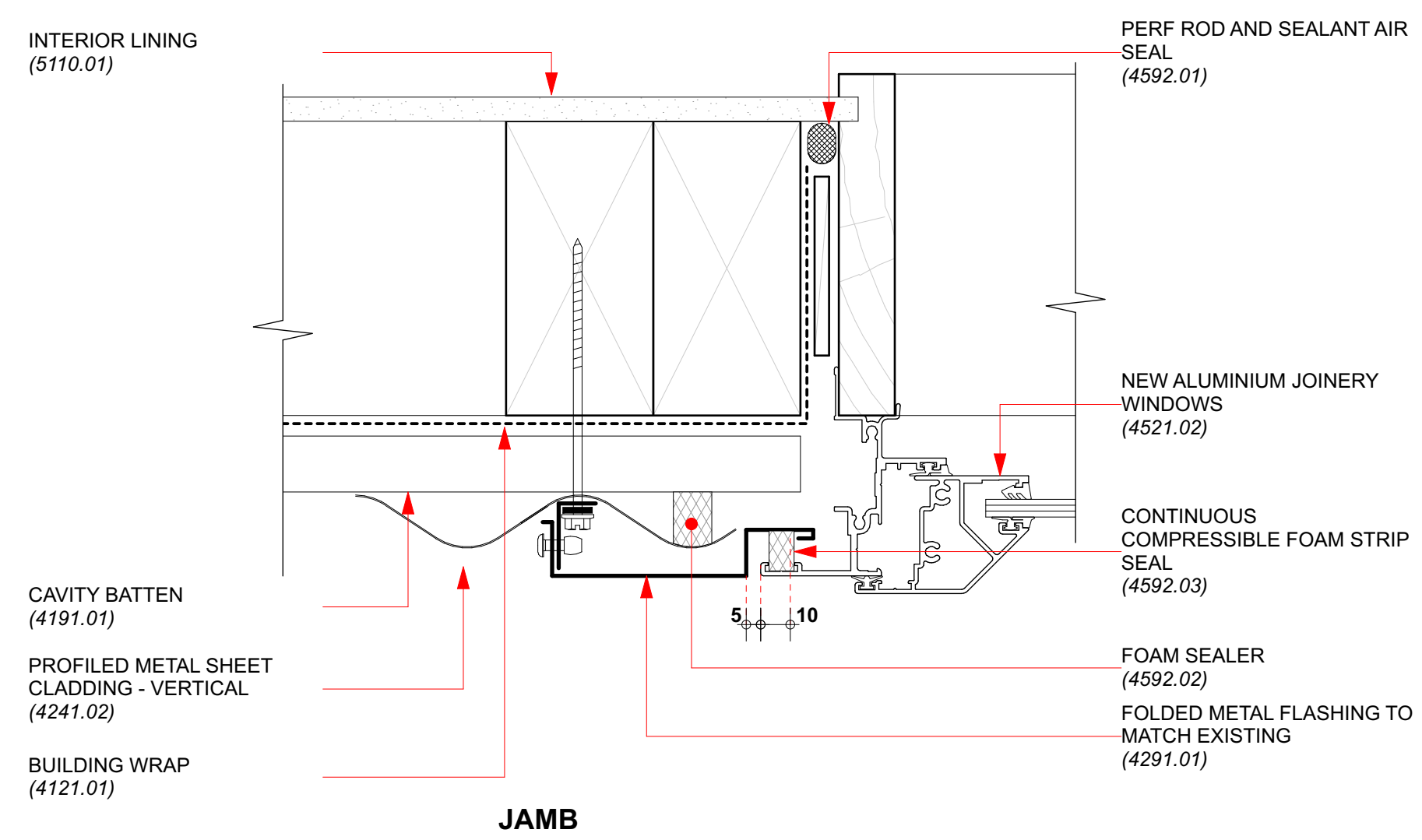
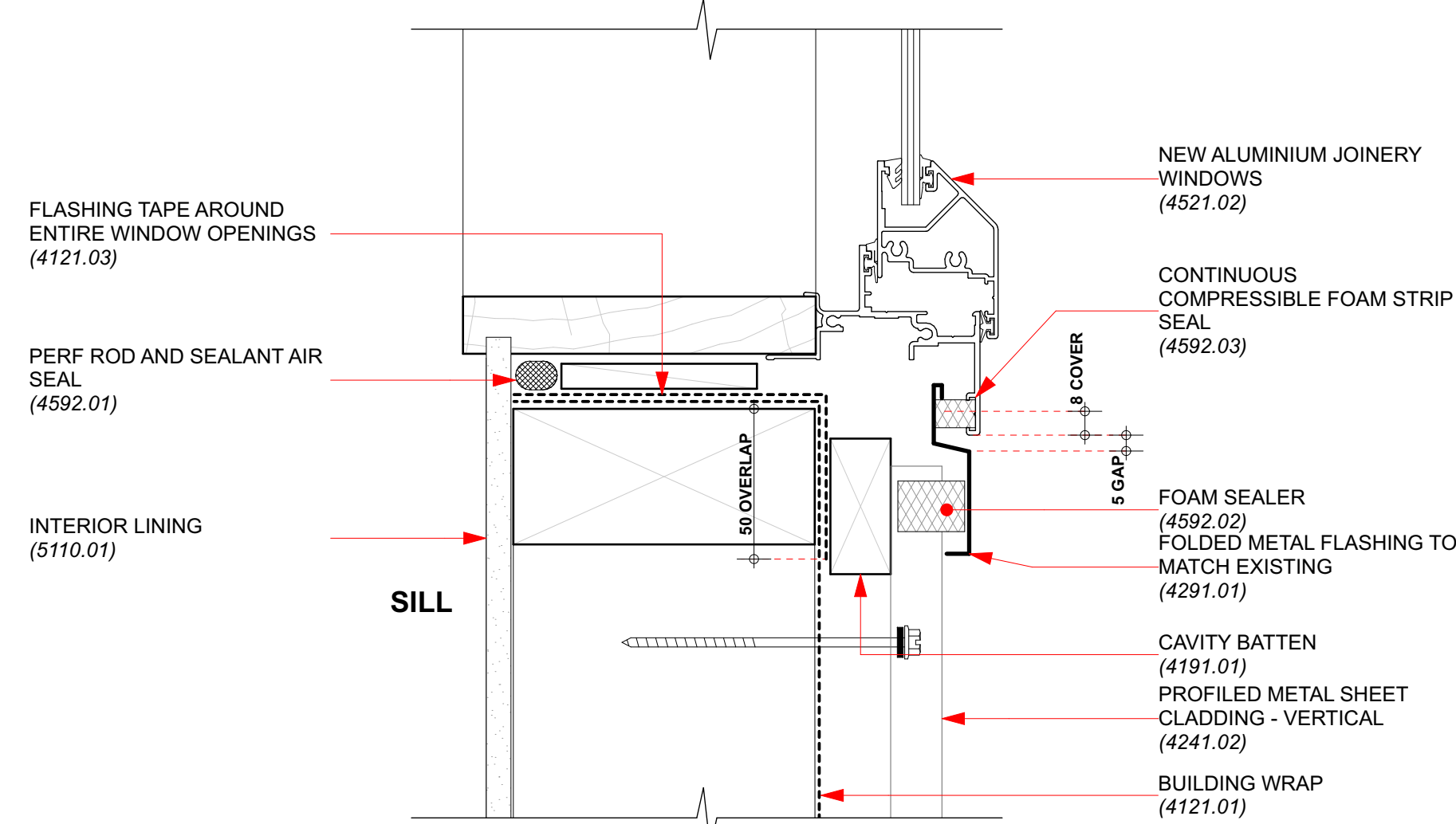
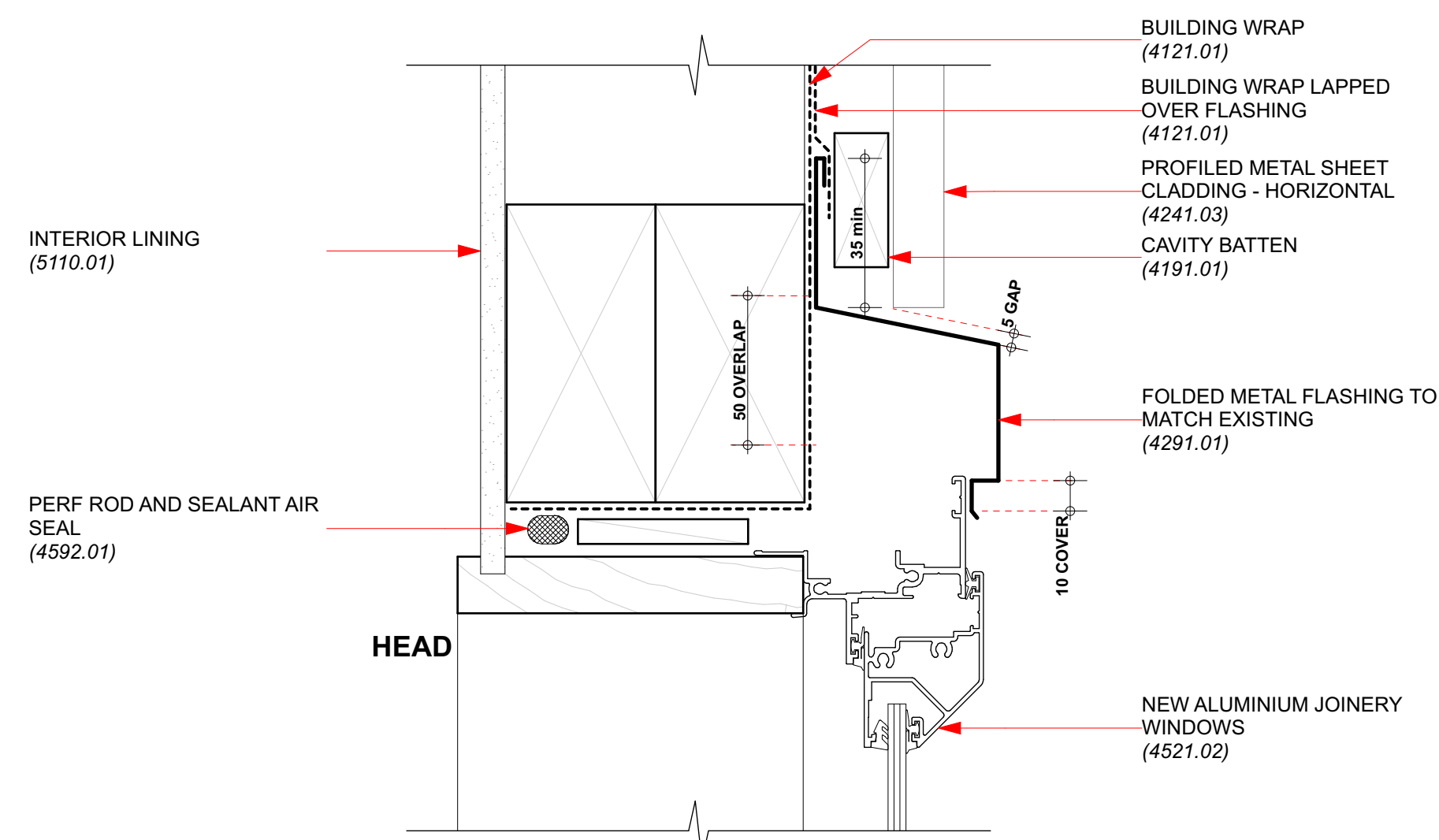
Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
17/08/20	03		

Far North Holdings Limited
198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

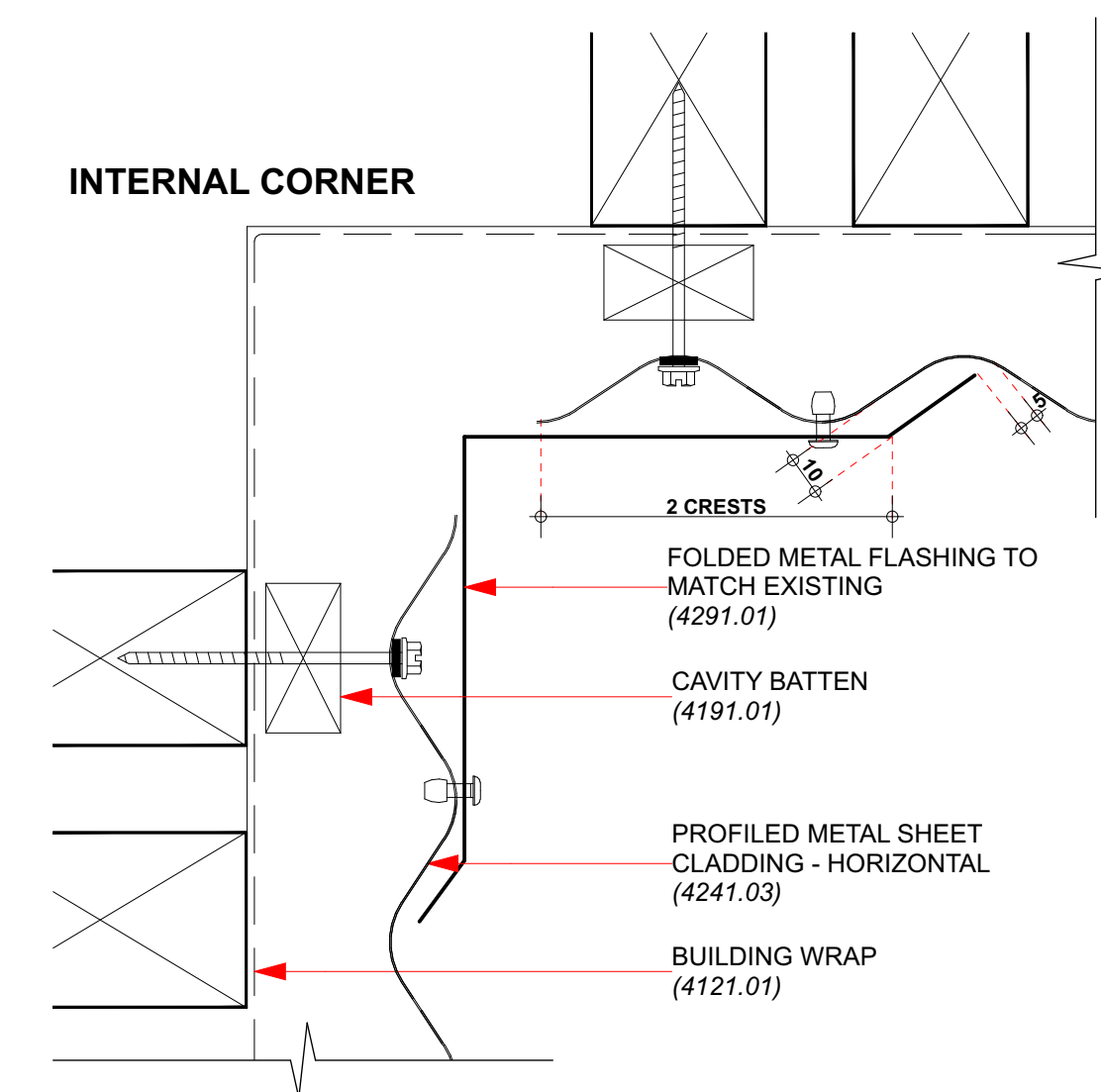
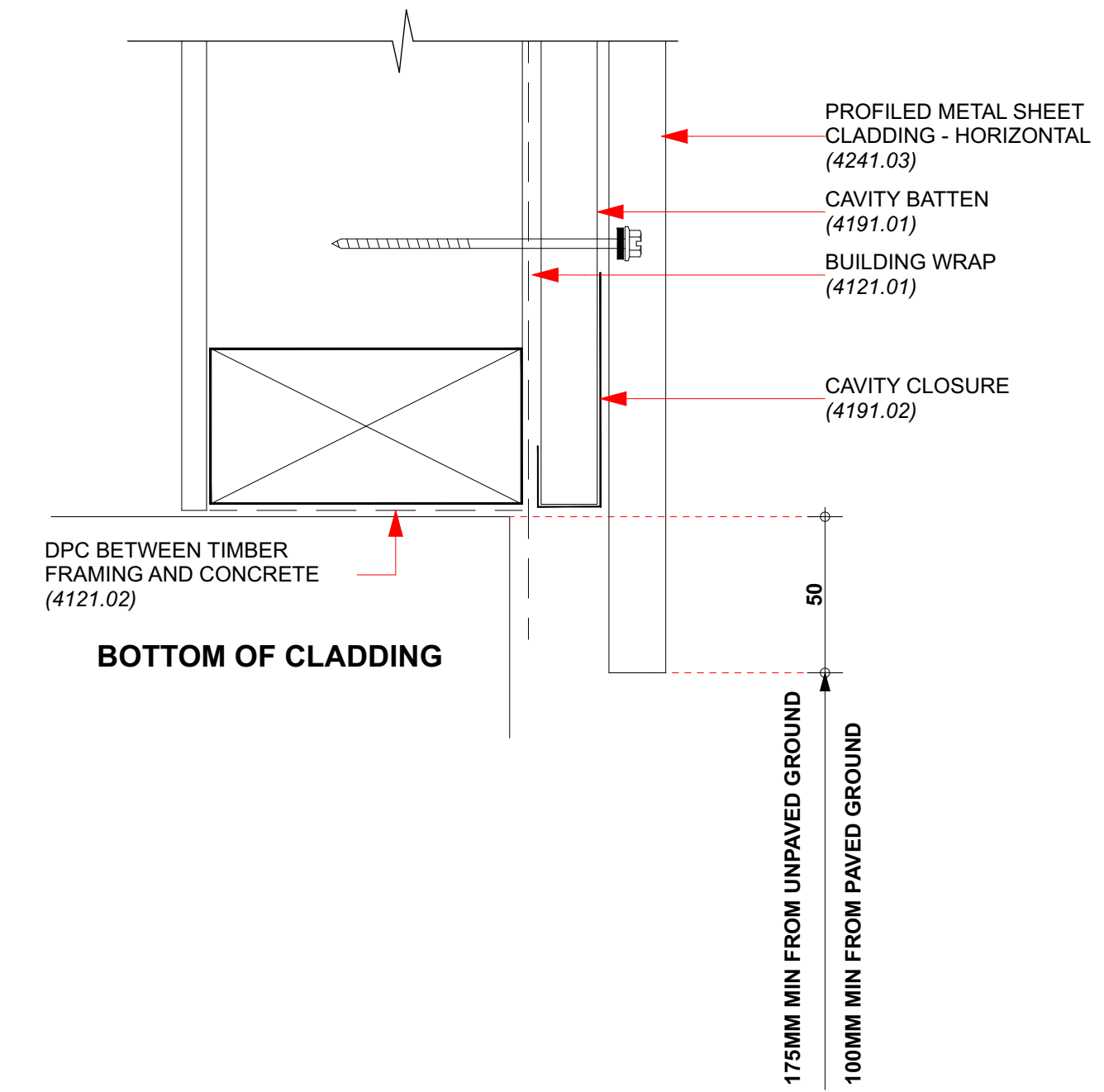
HB ARCHITECTURE
ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20
FNHL
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS
TYPICAL DETAILS - HORIZONTAL PROFILED METAL

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 4301 03
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



2 WALL DETAILS - VERTICAL PROFILED METAL
SCALE: 1:2



1 WINDOW DETAILS - VERTICAL PROFILED METAL
SCALE: 1:2

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	Ch01	Revised Details
17/08/20	03		

Far North Holdings Limited
198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
www.fararchitecture.co.nz

HB ARCHITECTURE
ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS
TYPICAL DETAILS - VERTICAL PROFILED METAL

PROJECT No.	SHEET	SHEET ISSUE / REV.
5285	4302	03

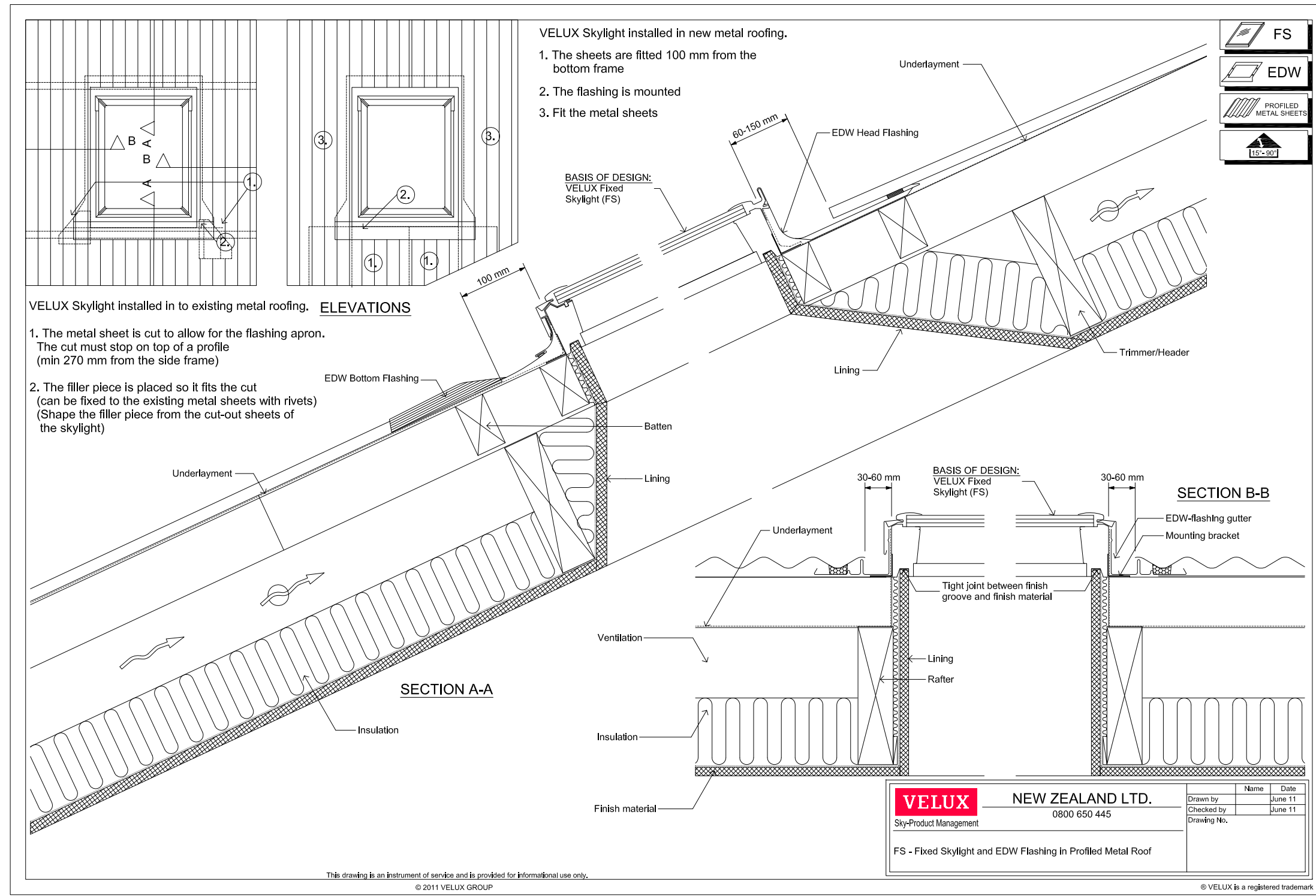


Figure 53: Flashing for small pipes
Paragraphs 8.3.10, 8.4.17, 9.6.8.5 and 9.6.9.6

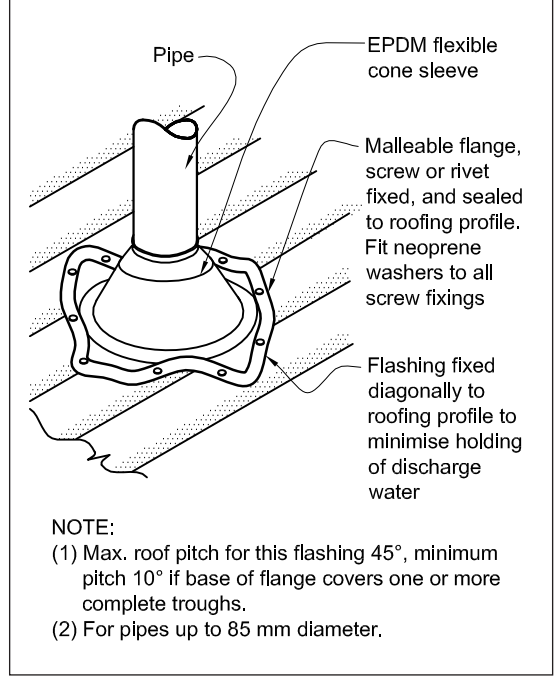
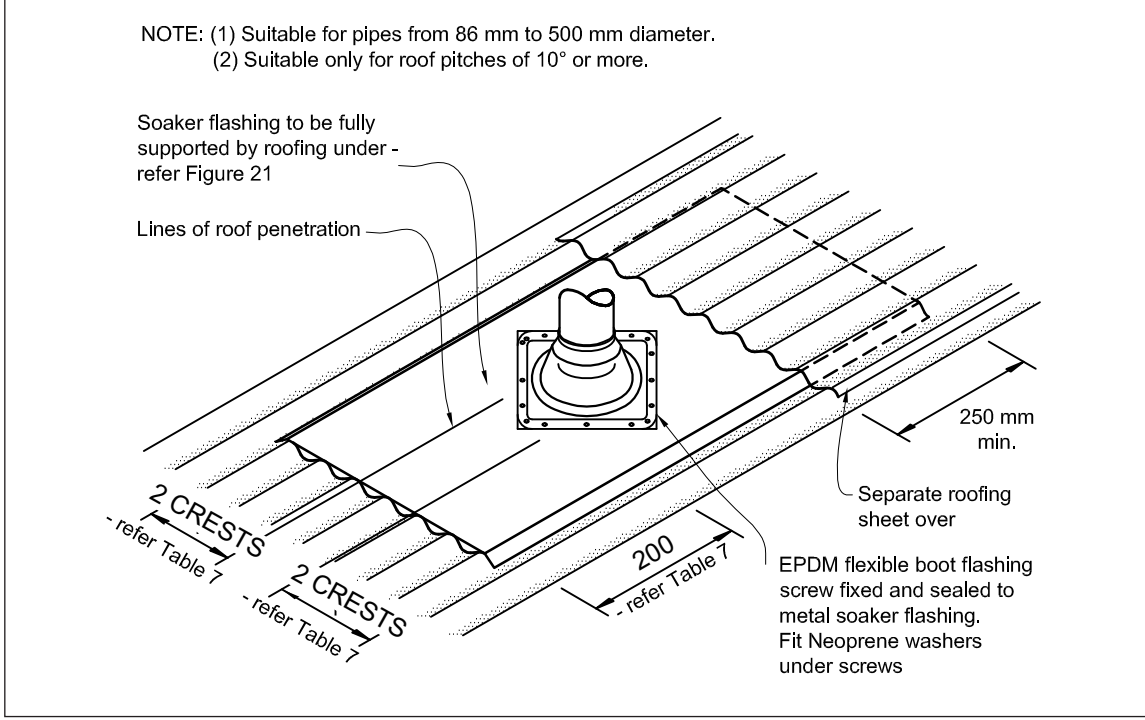


Figure 54: Soaker flashing for pipe penetrations
Paragraph 8.4.17



NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02		

Far North Holdings Limited
158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitect.co.nz
www.fnarchitect.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

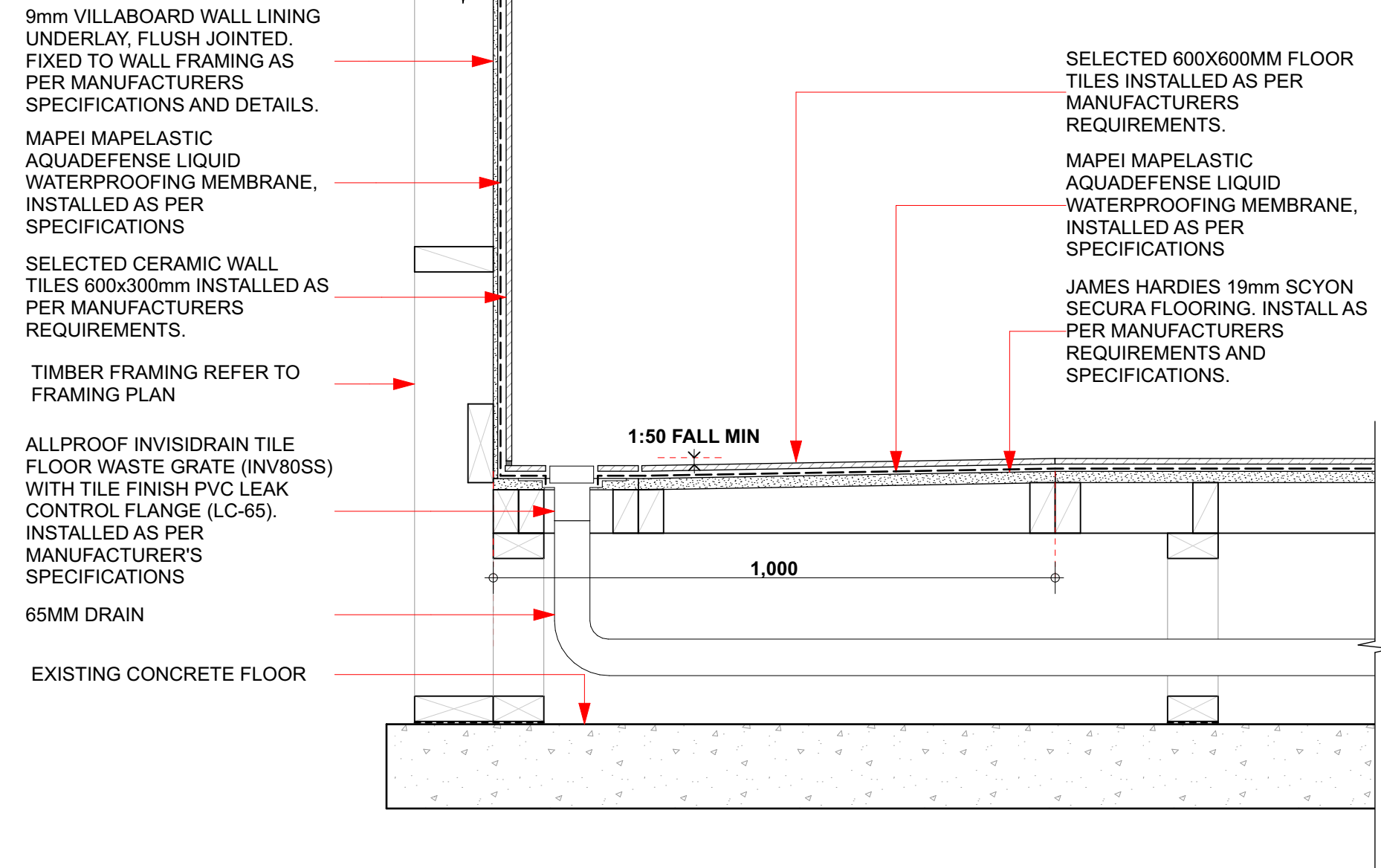
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

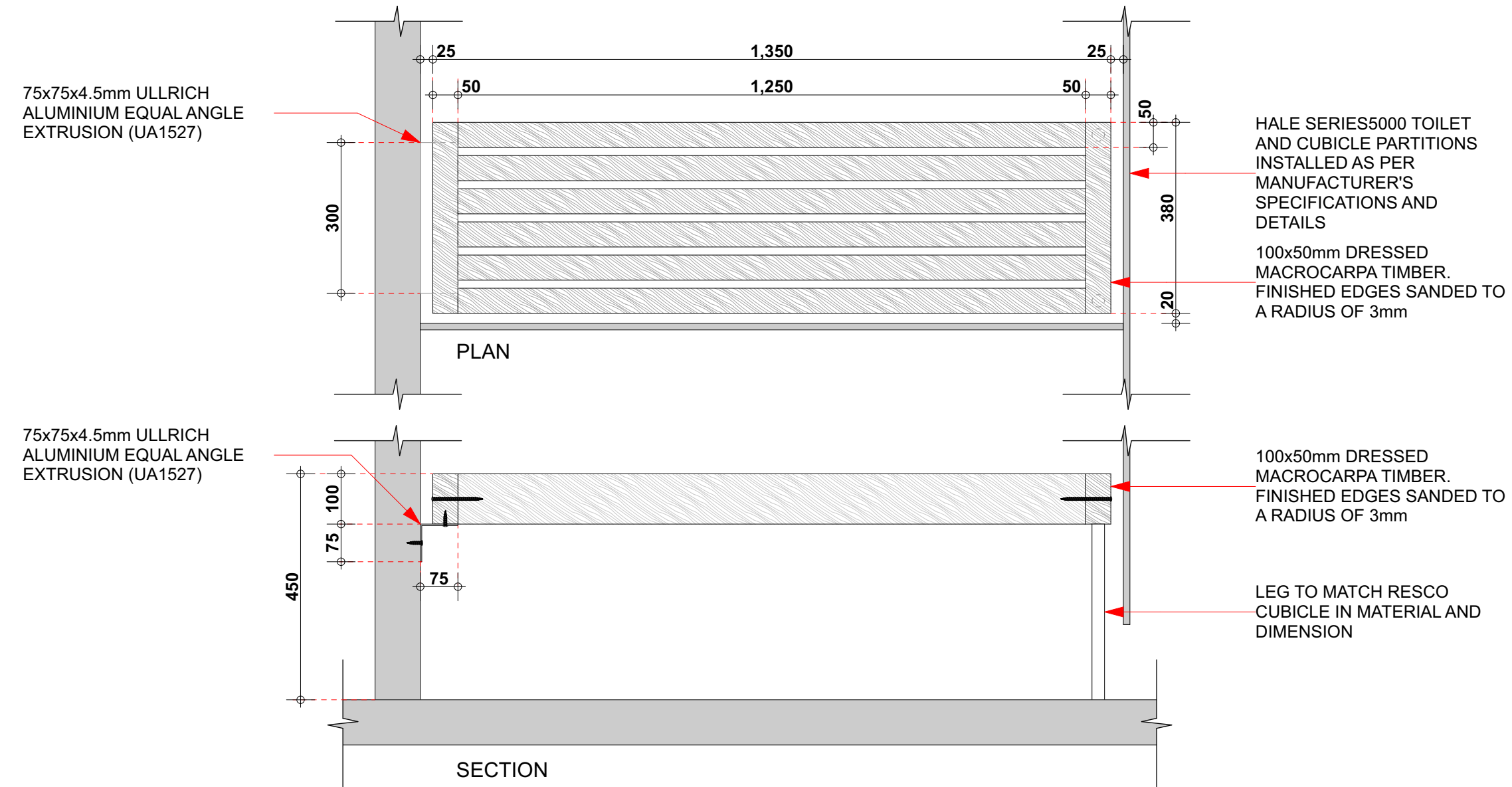
TYPICAL ROOF PENETRATION DETAILS

11/11/2024 9:43 AM	ORIGINAL SCALE SHOWN @ A1
PROJECT No. 5285	4500
SHEET 02	SHEET ISSUE / REV: 02
REVISION ISSUED: 17/08/20	

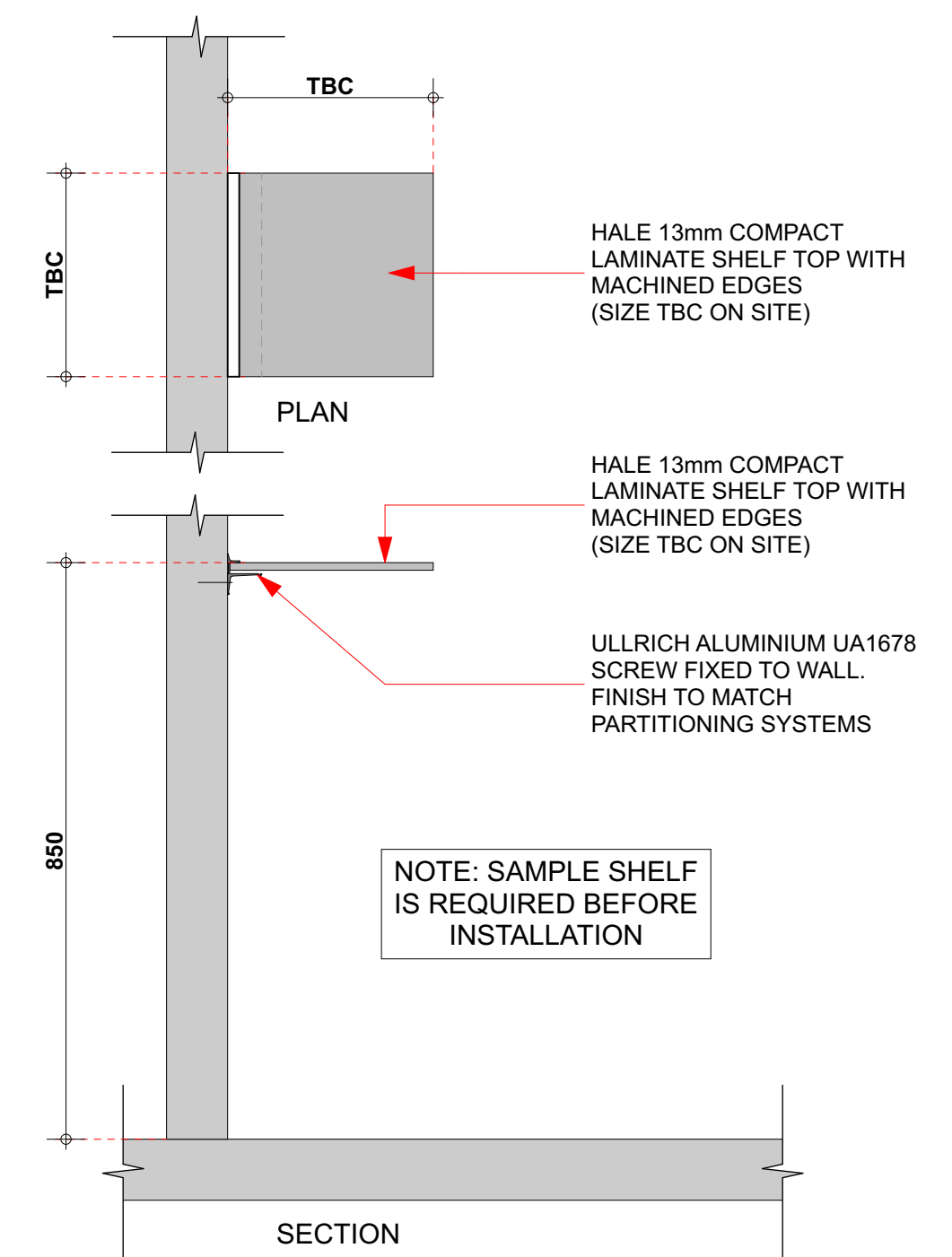
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



ID01 ABLUTIONS SHOWER BASE
SCALE: 1:10

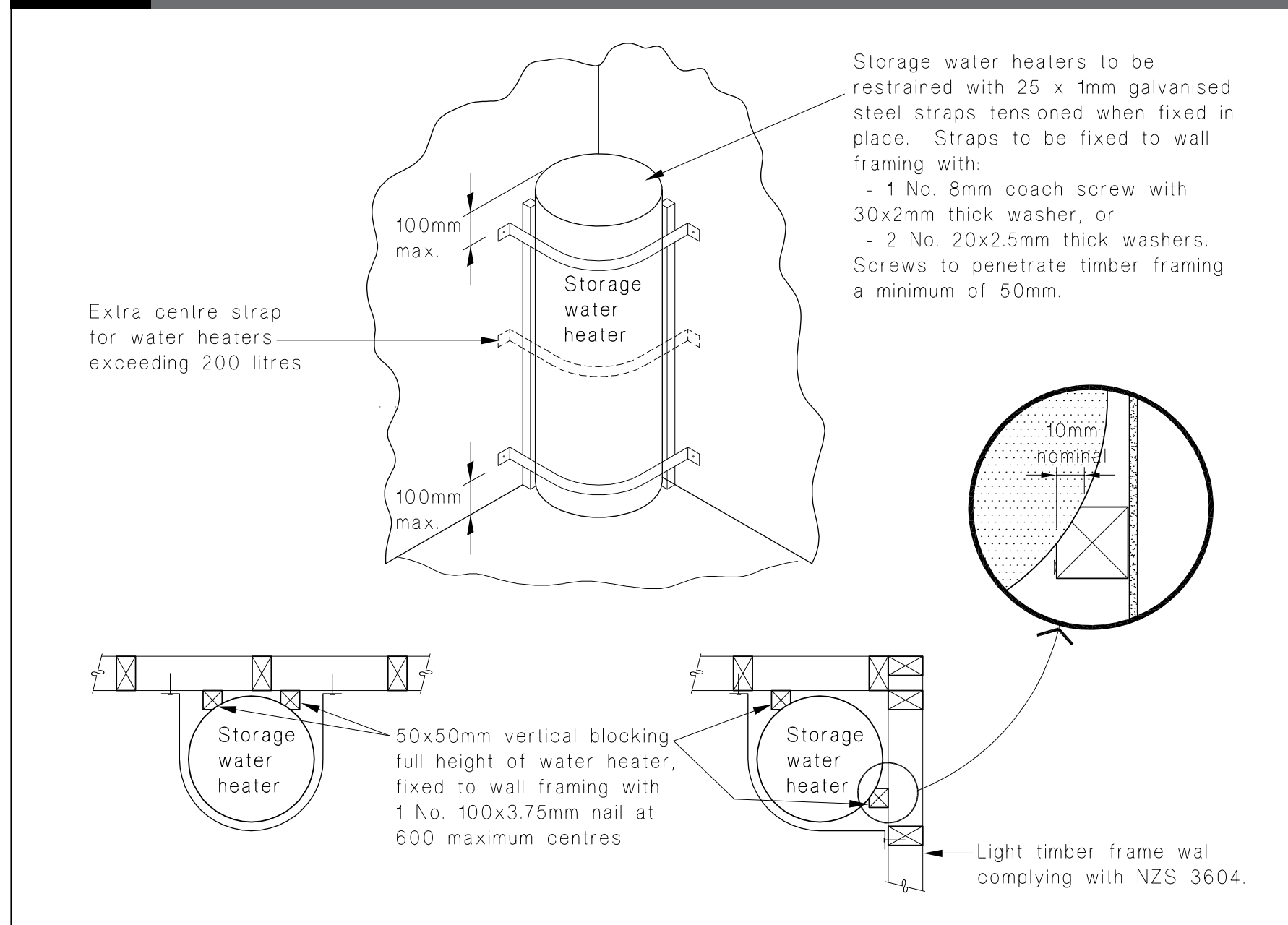


ID02 ABLUTIONS CUBICLE SEAT
SCALE: 1:10



ID03 VANITY BASIN SIDE SHELF
SCALE: 1:10

Figure 14: Seismic Restraint of Storage Water Heaters 90 – 360 litres
Paragraph 6.11.4



Ch28

SHOWER BASE DETAIL REMOVED

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch02	Added Details
		Ch08	Removed Shower Box
17/08/20	03	Ch28	REMOVED DETAILS

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitect.co.nz
www.fnarchitect.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

TYPICAL INTERIOR DETAILS

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET SHEET ISSUE / REV:
5285 4600 03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln

Table 2.2 – Fixing type and capacity reference guide (see 2.4.4.1)

Fixing type	Description	Alternative fixing capacity (kN)	See table
A	2 / 90 x 3.15 end nails	0.7	8.18
B	2 / 90 x 3.15 end nails + 2 wire dogs	4.7	
C	2 / 90 x 3.15 end nails + strap fixing (see figure 8.12)	8.5	
D	4 / 90 x 3.15 end nails + 2 strap fixing (double stud)	16.0	
E	2 / 90 x 3.15 skew nails + 2 wire dogs	4.7	10.1, A10.1, 10.7, A10.7, 10.11, A10.11, 10.14, 10.15
F	2 / 90 x 3.15 skew nails + strap fixing (see figure 10.6)	7.0	15.6, A15.6, 15.10, A15.10
G	10 / 90 x 3.15 nails (5 each side)	4.7	10.2, A10.2, 15.7, A15.7
H	1 / M12 bolt	8.5	
I	2 / M12 bolts	16.0	
J	2 / M16 bolts	24.0	
K	6 / 90 x 3.15 nails	3.0	
L	2 / M12 bolts	9.8	
M	2 / M16 bolts	13.0	
N	6 / 100 x 4.0 HDG nails (hand driven)	4.7	
O	2 / M12 bolts (see figure 9.3 (C))	6.8	
P	2 HDG 'flat' straps (see figure 9.3 (B))	13.7	
Q	2 HDG 'tee' straps (see figure 9.3 (A))	25.5	
R	1 / 90 x 3.15 nail	0.55	10.10, A10.10, 10.12, 15.9, A15.9
S	2 / 90 x 3.15 nails	0.8	
T	1 / 10g self-drilling screw, 80 mm long	2.4	
U	1 / 14g self-drilling Type 17 screw, 100 mm long	5.5	

NOTE – Capacities are associated with fixing type, not fasteners. See individual selection tables for the appropriate fixing type for the application.

7.6 NAILING SCHEDULE FOR TIMBER FLOOR FRAMING

Table 7.5 lists the size, number and location of nails to be used in floor framing. See 2.4.4 for other requirements for nails.

Table 7.5 – Nailing schedule for hand-driven and power-driven nails (see 7.6)

Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/ Location	Length (mm) x diameter (mm) and type	Number/ Location
Floor framing				
Boundary joist to end of each joist	100 x 3.75	2 (end nailed)	90 x 3.15	2 (end nailed)
Curtailed joist not exceeding 3 m long to trimmer	100 x 3.75	3 (end nailed)	90 x 3.15	5 (end nailed)
Curtailed joist to trimmer when half housed	100 x 3.75	2 (end nailed)	90 x 3.15	3 (end nailed)
Fitted joint in joist	100 x 3.75	4 (each end)	90 x 3.15	6 (each end)
Herringbone strutting to joist	60 x 2.8	2 (skewed)	60 x 2.8	2 (skewed)
Joist to plate on foundation walls	100 x 3.75	12 (skewed) per 1.5 m length	90 x 3.15	18 (skewed) per 1.5 m length
Joist to plate or bearer	100 x 3.75	2 (skewed)	90 x 3.15	3 (skewed)
Lapped joint in joist	100 x 3.75	2 (each side)	90 x 3.15	3 (each side)
Solid blocking between joists to plate bearer or stringer	100 x 3.75	4 (skewed)	90 x 3.15	6 (skewed)
Solid blocking to joist	100 x 3.75 or 75 x 3.15	2 (end nailed)	90 x 3.15	2 (end nailed)
Flooring				
Sheet decking (not exceeding 21 mm thick): (a) Supports at sheet edges (b) Intermediate supports	60 x 3.06 ring shanked galv. or 60 x 2.8	150 mm centres	60 x 2.8 ring shanked galv.	150 mm centres
Strip flooring not exceeding 75 mm wide to floor joist	2½ x finished thickness	1	–	1
Strip flooring not exceeding 100 mm wide to floor joist	2½ x finished thickness	2	–	2

NOTE –
(1) Nail lengths and diameters are the minimum required.
(2) Refer to 2.4 for required protective coatings for metal fasteners.
(3) Proprietary fixings with the required fixing capacity indicated in the tables may be used.

Table 8.19 – Nailing schedule for hand-driven and power-driven nails (see 8.8.6)

Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/ Location	Length (mm) x diameter (mm) and type	Number/ Location
Bottom plate to floor framing at: (a) External walls and internal wall bracing elements (b) Internal walls (may be nailed to floor decking) (c) Trimmer not exceeding 4.2 m long	100 x 3.75	2 at 600 mm centres	90 x 3.15	3 at 600 mm centres
Dwang to stud	75 x 3.15 or 100 x 3.75	2 (skewed) 2 (end nailed)	75 x 3.06 90 x 3.15	2 (skewed) 2 (end nailed)
Fishplate to straightened stud	60 x 2.8	4 each side of cut	60 x 2.8	4 (each side of cut)
Half joint in top plate	75 x 3.15	3	75 x 3.06	4
Lintel to trimming stud	75 x 3.15 or 100 x 3.75	4 (skewed) 2 (end nailed)	90 x 3.15	3 (end nailed)
Ribbon board to stud	100 x 3.75	2	90 x 3.15	3
Sill or header trimmer to trimming stud for: (a) Trimmer not exceeding 2.4 m long (b) Trimmer not exceeding 3.0 m long (c) Trimmers not exceeding 3.6 m long	100 x 3.75	2 (end nailed)	90 x 3.15	3 (end nailed)
Solid plaster batten to stud	60 x 2.8 (galv.)	500 mm centres	60 x 2.8 (galv.)	500 mm centres
Stud to plate	75 x 3.15 or 100 x 3.75	4 (skewed) 2 (end nailed)	75 x 3.06 90 x 3.15	4 (skewed) 3 (end nailed)
Top plate 140 mm x 35 mm to 90 mm x 45 mm and top plate to lintel	100 x 3.75	2 at 500 mm centres	90 x 3.15	3 at 500 mm centres
Trimming studs at openings, blocking and studs at wall intersections	100 x 3.75	600 mm centres	90 x 3.15	600 mm centres
Trimming stud to doubled stud immediately under lintel	100 x 3.75	2	90 x 3.15	2
Walling to stud	60 x 2.8	2	60 x 2.8	2

NOTE –
(1) Nail lengths and diameters are the minimum required.
(2) Refer to 2.4 for required protective coatings for metal fasteners.
(3) For studs up to 2.7 m length, 2 / 90 x 3.15 power-driven nails (end nailed) are sufficient.

Table 10.18 – Nailing schedule for hand-driven and power-driven nails (see 10.5.1)

Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/ Location	Length (mm) x diameter (mm) and type	Number/ Location
Roof framing				
Rafter or jack rafter to ridge board or top plate (except skillion roofs) (see 10.2.1.3.7)	See table 10.1	See table 10.1	See table 10.1	See table 10.1
Truss to top plate of external wall	See tables 10.14 and 10.15	See tables 10.14 and 10.15	See tables 10.14 and 10.15	See tables 10.14 and 10.15
Truss to top plate of internal wall	100 x 3.75	2	90 x 3.15	2
Ceiling batten to parallel top plate of internal wall bracing element	75 x 3.15	2 at 400 mm centres	90 x 3.15	2 at 400 mm centres
Collar tie or cleat to rafter	75 x 3.15	4	75 x 3.06	4
Fitches to ridge board and roof members for each side on both joints	60 x 2.8	3	60 x 2.8	3
Hip rafter to top plate	See table 10.1	See table 10.1	See table 10.1	See table 10.1
Underpurlin strut to underpurlin or top plate or strutting beam	100 x 3.75 together with fixing types as set out in table 10.5	2	90 x 3.15 together with fixing types as set out in table 10.5	3
Strutting beam to top plate	See table 10.7	See table 10.7	See table 10.7	See table 10.7
Roof braces at each connection to a framing member: (a) 90 mm x 19 mm brace (b) 70 mm x 45 mm brace runner (c) 90 mm x 45 mm brace (d) Steel strip brace (i) At ends (ii) Other cases (iii) To ends of braces	75 x 3.15 100 x 3.75 100 x 3.75 60 x 3.15 60 x 3.15 –	3 2 3 3 2 –	75 x 3.15 90 x 3.15 90 x 3.15 – – –	3 3 5 – – –

NOTE –
(1) Nail lengths and diameters are the minimum required.
(2) Refer to 2.4 for required protective coatings for metal fasteners.
(3) Proprietary fixings with the required fixing capacity indicated in the tables may be used.

Table 10.18 – Nailing schedule for hand-driven and power-driven nails (continued) (see 10.5.1)

Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/ Location	Length (mm) x diameter (mm) and type	Number/ Location
Roof framing (continued)				
Blocking between rafters, joists or truss chords, 90 mm x 45 mm	100 x 3.75	2 (end nailed)	90 x 3.15	2 (end nailed)
Outrigger to gable top plate (as for equivalent purlins)	See table 10.10 and table 10.11	See table 10.10 and table 10.11	See table 10.10 and table 10.11	See table 10.10 and table 10.11
Outrigger to rafter	100 x 3.75 or 75 x 3.15	2 (end nailed) 4 (skewed)	90 x 3.15	3 (end nailed)
Flying rafter to outrigger	100 x 3.75	2	90 x 3.15	3
Outrigger blocking to top plate	100 x 3.75	4 (skewed)	90 x 3.15	4 (skewed)
Purlin or batten directly to rafter or top chord	See table 10.10 and table 10.11	See table 10.10 and table 10.11	See table 10.10 and table 10.11	See table 10.10 and table 10.11
Roof sarking				
Board sarking to rafters or top chords: (a) Boards not exceeding 75 mm wide (b) Boards exceeding 75 mm wide	2½ x finished thickness	1 2	– –	– –
Sheet material for sheet sarking to: (a) Rafters or top chords at sheet edges (b) Intermediate supports	30 x 2.5 FH	150 mm centres 300 mm centres	– –	– –
Purlins or battens through sarking to rafter or top chord	See table 10.15	See table 10.15	See table 10.15	See table 10.15

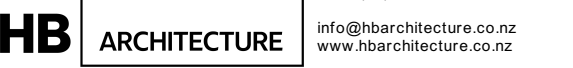
NOTE –
(1) Nail lengths and diameters are the minimum required.
(2) Refer to 2.4 for required protective coatings for metal fasteners.
(3) Proprietary fixings with the required fixing capacity indicated in the tables may be used.

- NOTES:
- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
 - THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02		



198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitect.co.nz
www.fnarchitect.co.nz



ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

NZS 3604 NAILING SCHEDULES

PROJECT No.	SHEET	SHEET ISSUE / REV.
5285_4700	02	

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.gln

Masterspec (881692) subscribers are licensed to temporarily download this document and may print it but not more than 10% of the documents subscribed to may be held in printed form at any one time.

Masterspec (881692) subscribers are licensed to temporarily download this document and may print it but not more than 10% of the documents subscribed to may be held in printed form at any one time.

Masterspec (881692) subscribers are licensed to temporarily download this document and may print it but not more than 10% of the documents subscribed to may be held in printed form at any one time.

Masterspec (881692) subscribers are licensed to temporarily download this document and may print it but not more than 10% of the documents subscribed to may be held in printed form at any one time.

Masterspec (881692) subscribers are licensed to temporarily download this document and may print it but not more than 10% of the documents subscribed to may be held in printed form at any one time.

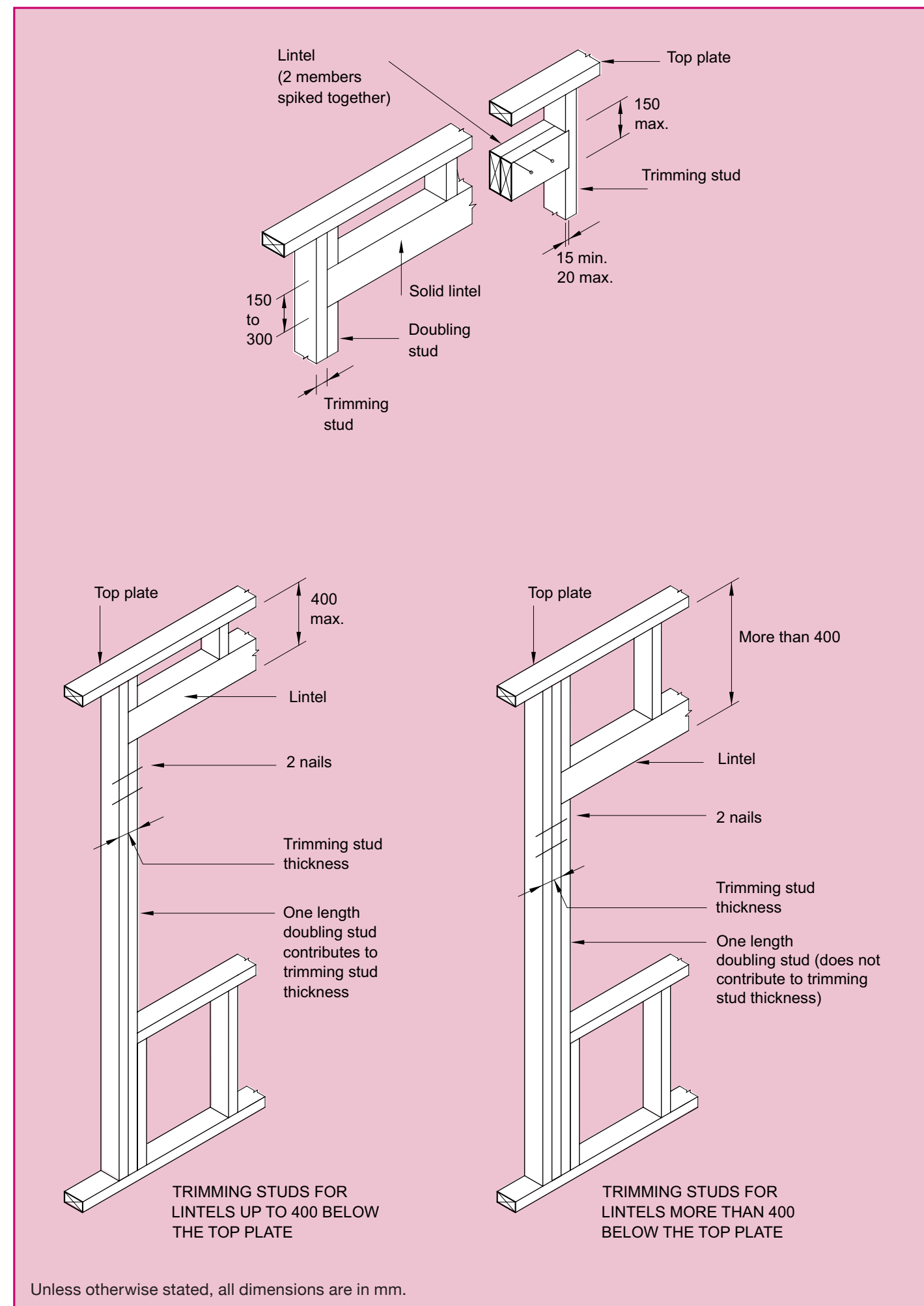


Figure 8.5 – Trimming studs and lintels (see 8.5.2.1)

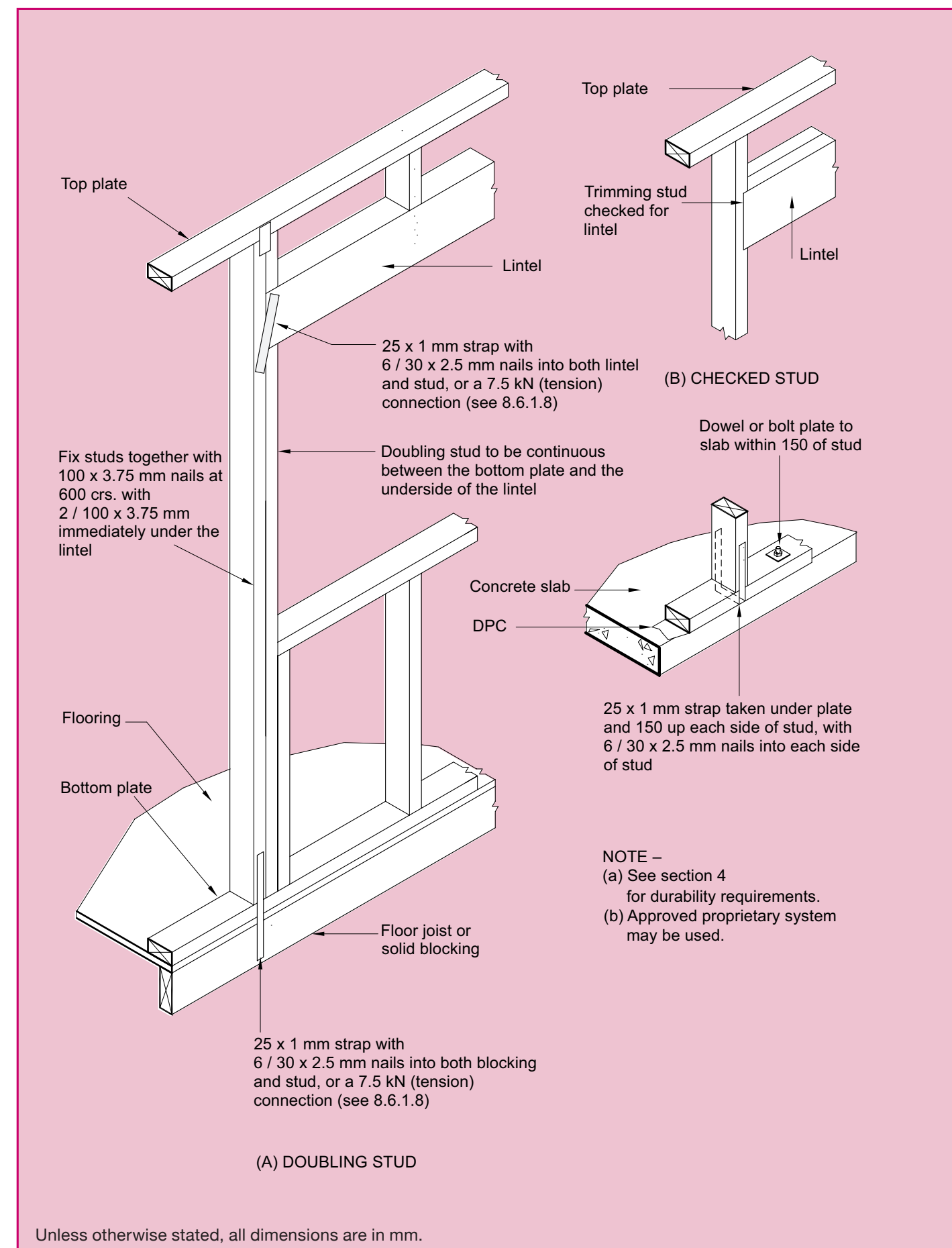


Figure 8.12 – Lintel fixing to prevent uplift (see 8.6.1.8 and table 8.14 (a) and (b))

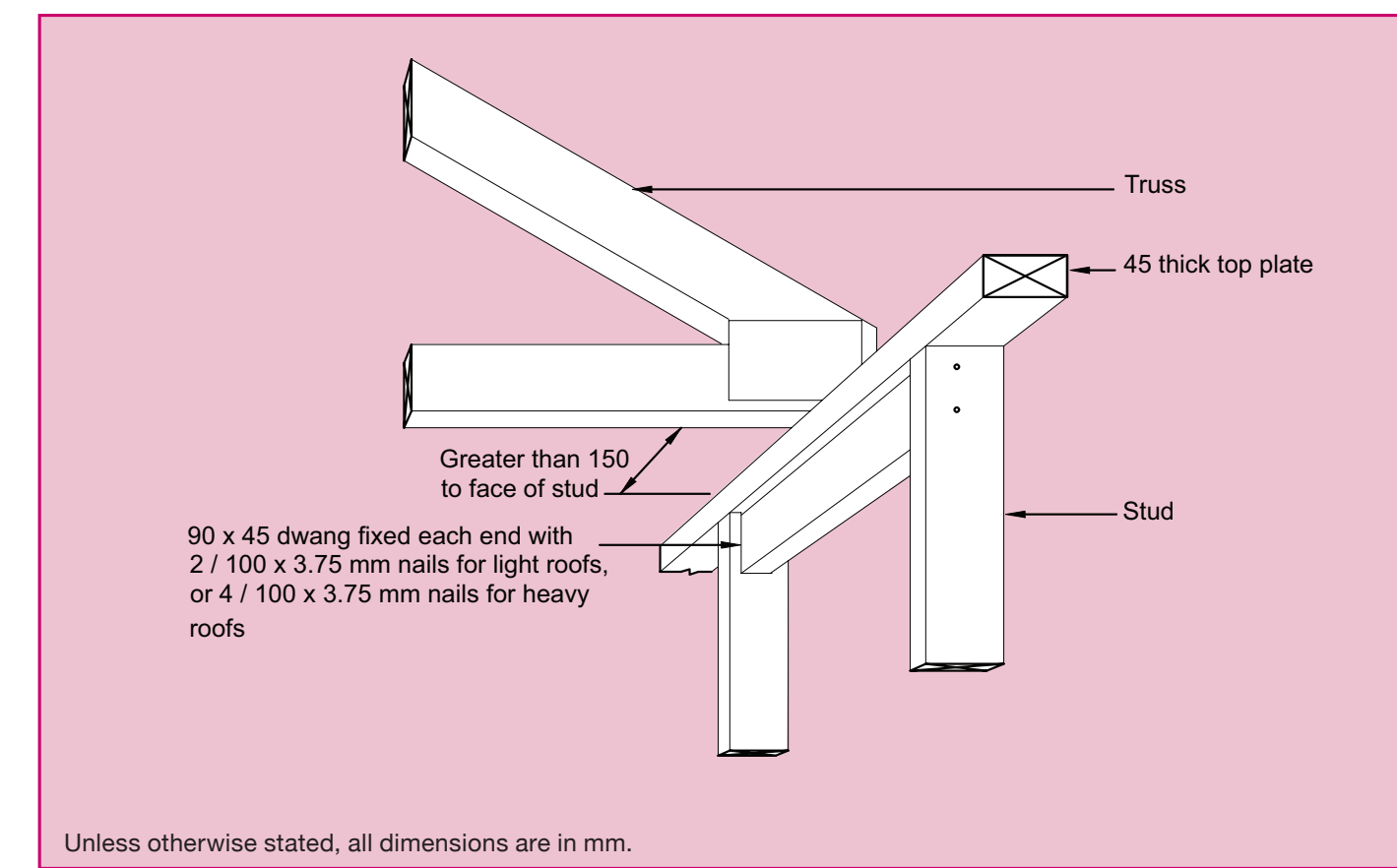


Figure 8.13 – Strengthening top plate (see 8.7.1.1 and table 8.16)

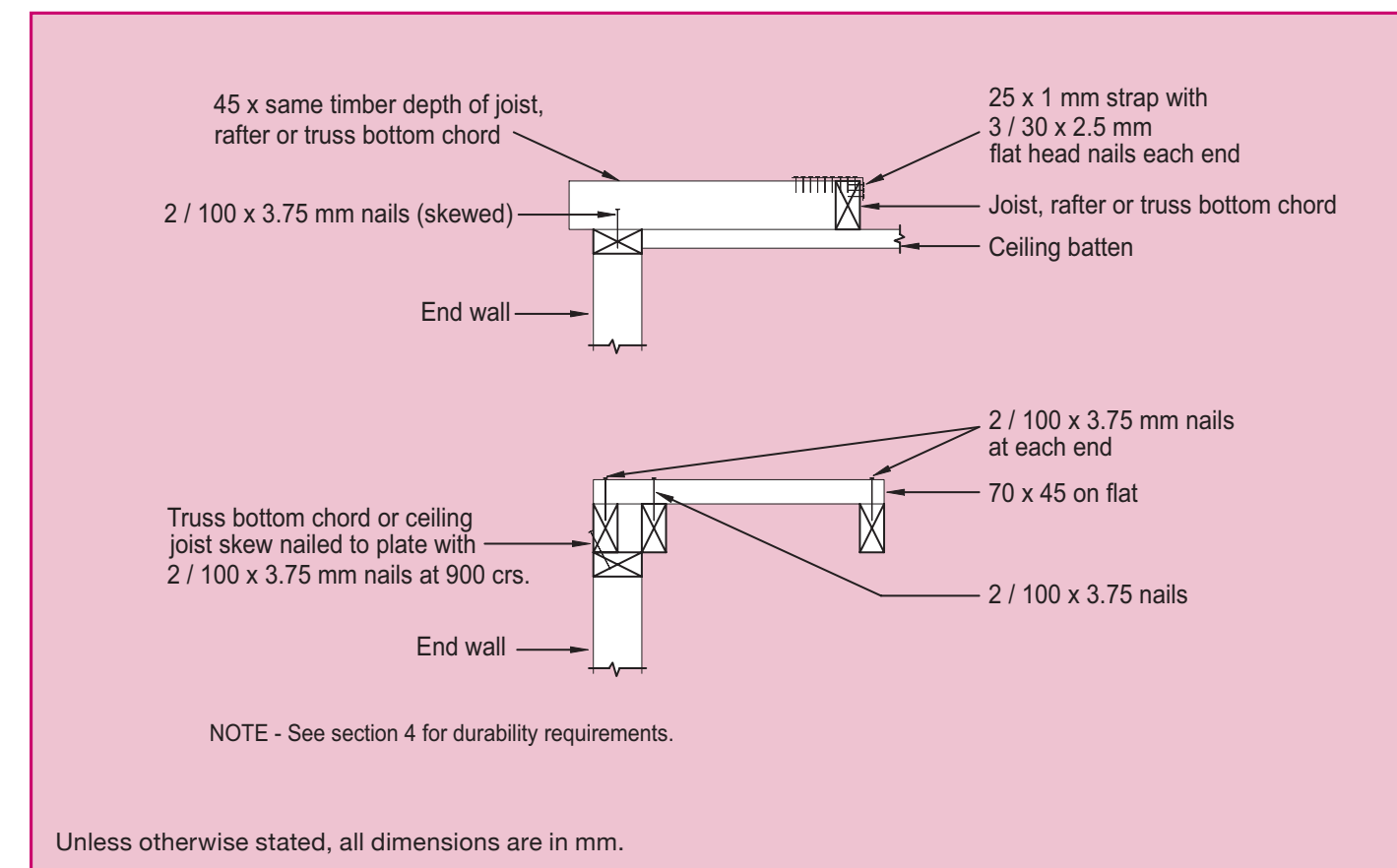


Figure 8.17 – Connecting members providing lateral support to top plates (see 8.7.4.1)

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02		

Far North Holdings Limited

198 BANK STREET, WHANGAREI
 P.O. BOX 677, WHANGAREI, 0140
 PH: (09) 438 9545
 FAX: (09) 438 7411
 info@fnarchitecture.co.nz
 www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
 17/08/20

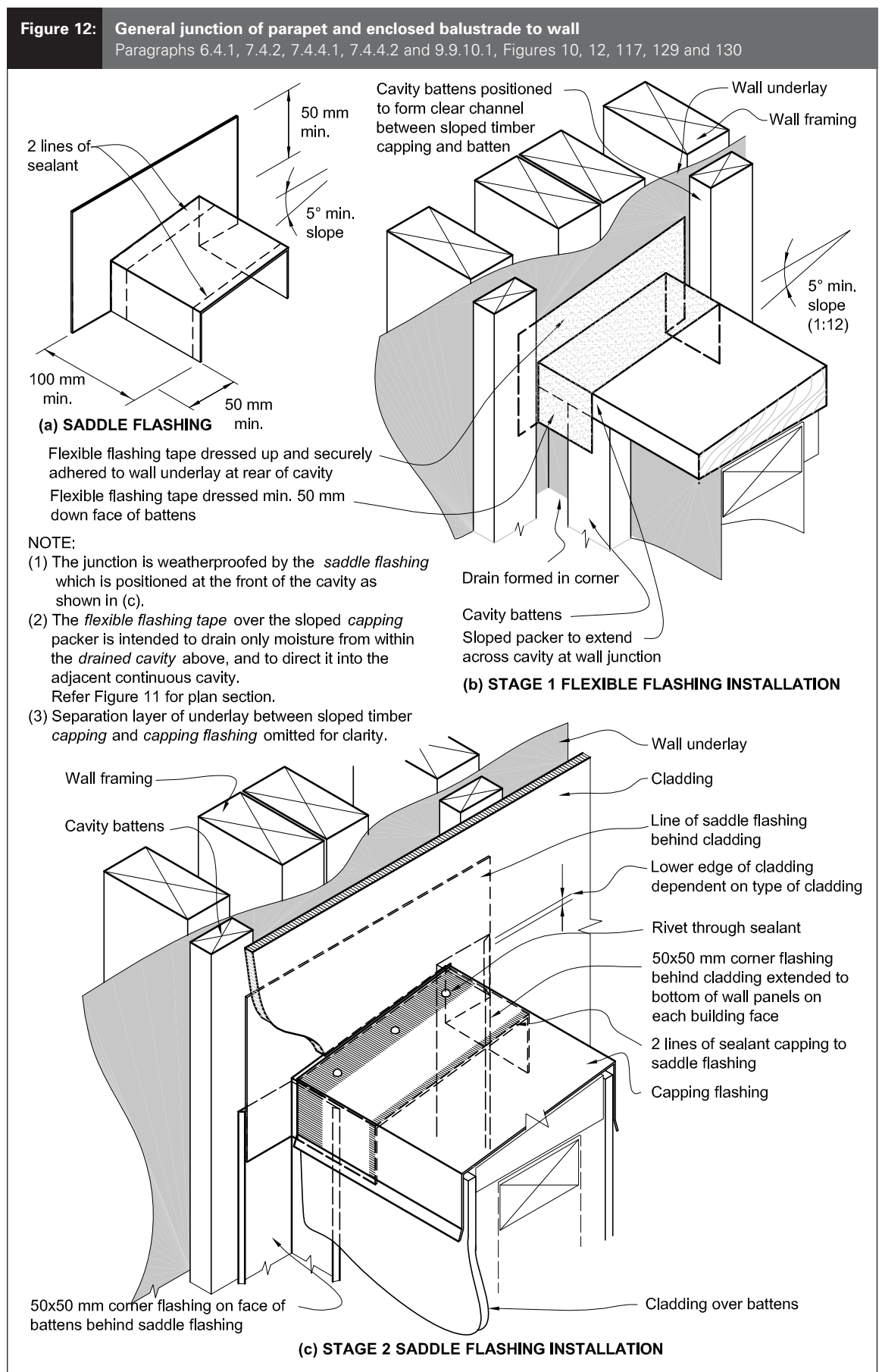
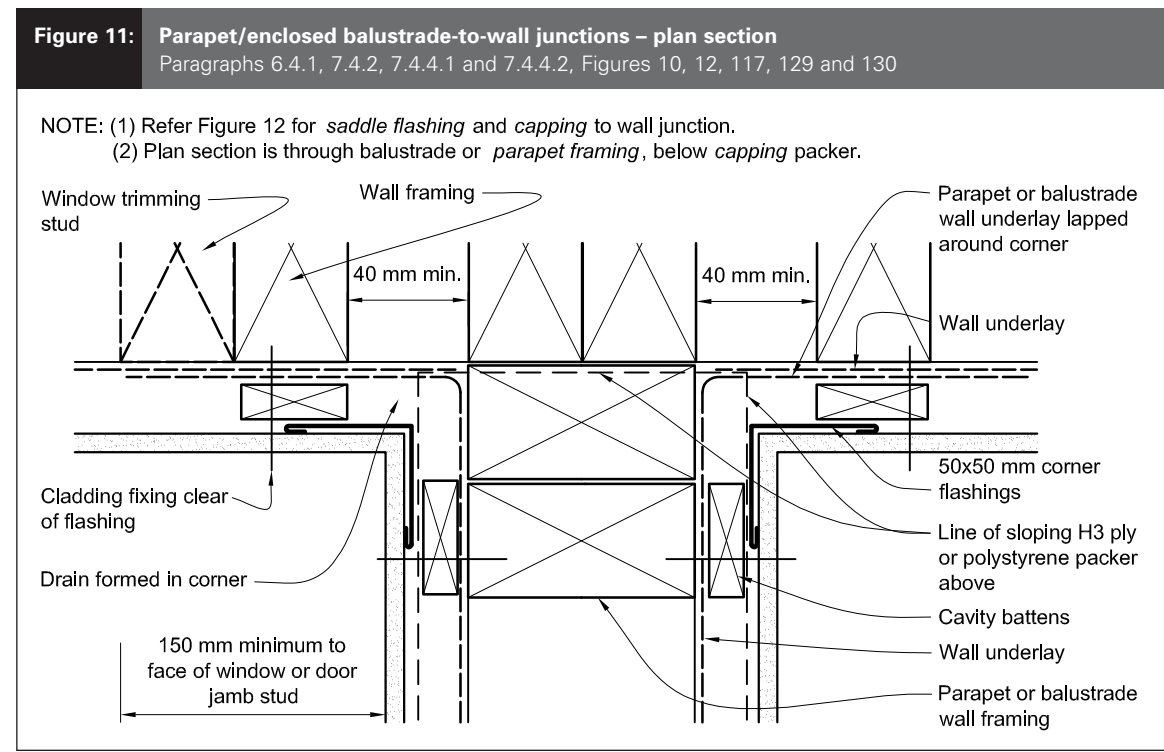
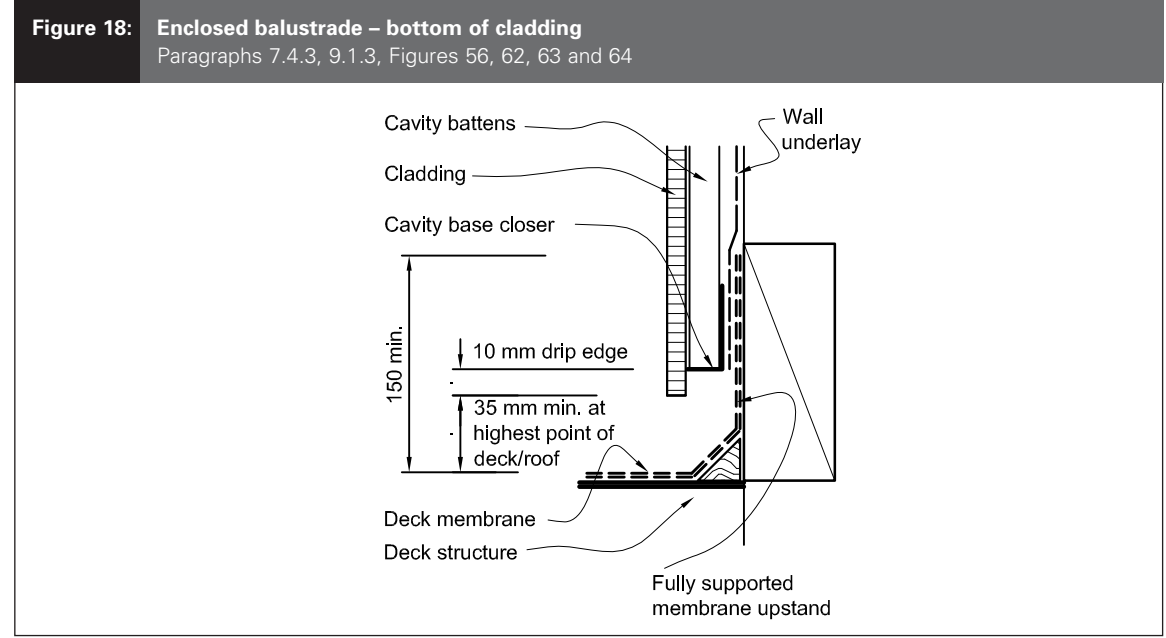
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

TYPICAL NZS 3604 DETAILS

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
 PROJECT No. SHEET SHEET ISSUE / REV.
5285 4701 02
 REVISION ISSUED: 17/08/20
 5285_20241021 FNHL Marina 2 Alterations_As Bults.pln



- NOTES:
- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
 - THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
21 JUN 2016	02	CH01	Revised Details
	02	CH03	Deleted Detail
17/08/20	03		

Far North Holdings Limited

198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnararchitecture.co.nz
www.fnararchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

TYPICAL PARAPET WALL DETAILS

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No: SHEET SHEET ISSUE / REV:
5285 4702 03
REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.glt

GIB® NOISE CONTROL SYSTEMS – INTERTENANCY

Two Way FRR – Timber Frame with GIB Rail®

Table with columns: SPEC. No., LOADBEARING CAPACITY, STC, RW, FIRE RESISTANCE RATING, LINING REQUIREMENTS. Row 1: GIBTLJA 60r, LB, 55, 54, (60)/60/60, 2 x 10mm GIB NoiseLine® each side.

FRAMING

Framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1500mm centres maximum
Height as determined by NZS 3604 stud and top plate tables for loadbearing walls.

FRAMING

FRAMING TO COMPLY WITH:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1500mm centres maximum

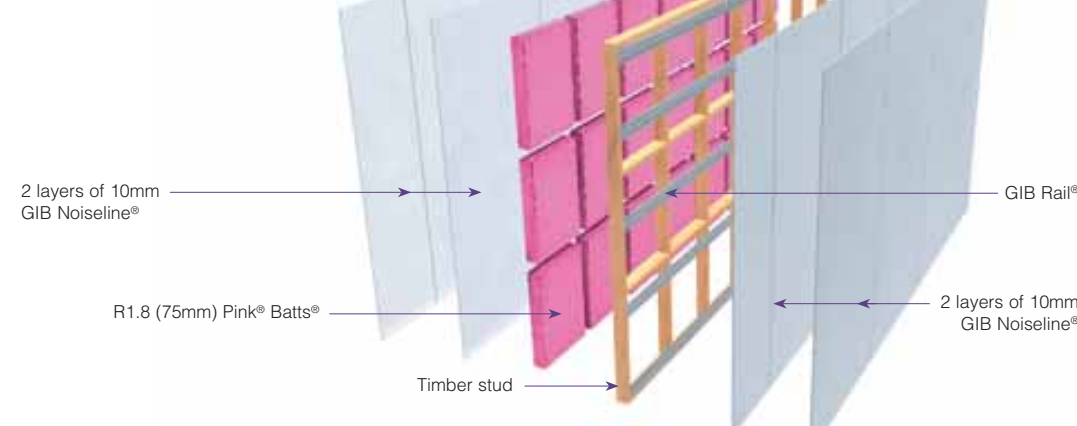
SOUND CONTROL INFILL
RT 8 (75mm) Pink® Batt® glasswool insulation installed between the studs and noggs.

FASTENING THE GIB RAIL®

The rail shall be fixed horizontally at 600mm centres using 32mm x 6g GIB® Grabber® Water Head Self Tapping Screws through the base flange into each stud. The base flange shall face downwards and the open edge upwards. The top rail shall be fastened with its upper edge below the top plate no more than 75mm below the ceiling line. Bottom rail fixed from the floor line. The bottom rail only may be fixed to the base flange up or down for ease of attachment. Splice rails directly over the studs by nesting (interlocking) no more than a 20mm overlap. Drive the fasteners through the flanges into the stud.

LINING

2 layers of 10mm GIB NoiseLine® fixed vertically each side of the frame. Vertical joints of the outer layer are offset 600mm from those of the inner layer. Full height sheets where possible. Sheet joints are touch fitted and must occur over timber on the framing. Where sheet end joints are unavoidable they must be over nogs or rail and the outer layer joints offset from those on the inner layer.



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow system specifications.

FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ AND SEARCH SPECIFICATION CODE: GIBTLJA 60r

GIB® FIRE RATED WALL SYSTEMS

TWO WAY FRR – TIMBER FRAME

Table with columns: SPECIFICATION NUMBER, LOADBEARING CAPACITY, FIRE RESISTANCE RATING, LINING REQUIREMENTS, SOUND TRANSMISSION CLASS, SYSTEM WEIGHT APPROX. Row 1: GBT 60a, N/LB, /60/60, 1 layer 13mm GIB Fyrelene® 1 layer 13mm GIB Fyrelene® one side, STC 36, 27kg/m².

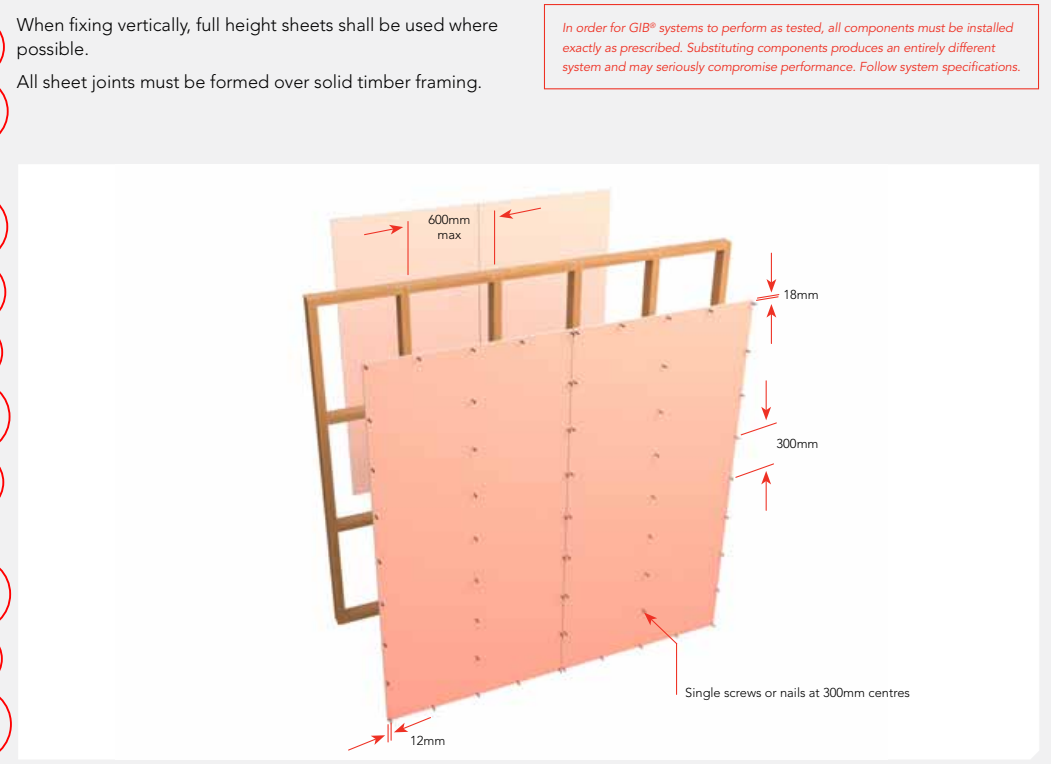
FRAMING

Framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1200mm centres for Horizontal fixing
WALL HEIGHTS AND FRAMING DIMENSIONS
GBT60a Non Loadbearing – Framing dimensions and height as determined by NZS 3604 stud tables for non loadbearing partitions.

LINING

1 layer of 13mm GIB Fyrelene® each side of the frame. Vertical or Horizontal fixing permitted. Sheets shall be touch fitted. When fixing vertically, full height sheets shall be used where possible. All sheet joints must be formed over solid timber framing.

In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow system specifications.



FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ OR PHONE 0800 100 442

Ch22

GIB® FIRE RATED WALL SYSTEMS

ONE WAY FRR – TIMBER OR STEEL FRAME

Table with columns: SPECIFICATION NUMBER, LOADBEARING CAPACITY, FIRE RESISTANCE RATING, LINING REQUIREMENTS, SOUND TRANSMISSION CLASS, SYSTEM WEIGHT APPROX. Row 1: GBLW 60a, L/NLB, /60/60/60, 2 layers 13mm GIB Fyrelene® one side, STC 36, 27kg/m².

FRAMING AND WALL HEIGHT

Timber or steel frame designed to meet durability and structural criteria for strength and serviceability under dead and live loads. The stud width shall be 38mm minimum with a depth of 90mm minimum. Stud spacing at 600mm centres maximum. Frame height and dimensions as determined by NZS 3604 stud tables or specific design.

LINING (FIRE SIDE)

GBLUW 60a – 2 layers of 13mm GIB Fyrelene® to one side of the frame. GBLW 60b – 1 layer of 16mm plus 1 layer of 13mm GIB Fyrelene® to one side of the frame. Full height sheets shall be used where possible. Sheets shall be touch fitted. Offset joints in double layered systems: For vertical fixing all sheet joints must be formed over framing and sheet joints must be offset.

In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow system specifications.



FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ OR PHONE 0800 100 442

13

GIB EzyBrace® Systems

GIB EzyBrace® System Specification – GSP-H

Table with columns: Specification Code, Minimum Length (m), Lining requirement, Other Requirements. Row 1: GSP-H, 0.4, Any 10mm or 13mm GIB® Plasterboard lining to one side of framing and minimum 7mm Ecopy to the other side, Hold downs.

WALL FRAMING

Wall framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 Timber (NZS 3604:2011)
• NZBC B2 – Durability: AS1 Clause 3.2 Timber (NZS 3602)
Framing dimensions and height as determined by NZS 3604 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

PERMITTED SUBSTITUTION

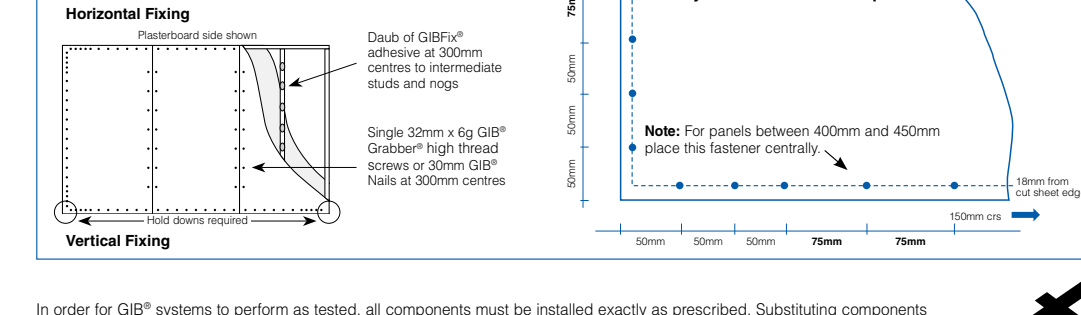
For permitted GIB® Plasterboard substitutions refer to Page 21 in GIB EzyBrace® Systems 2011. FASTENING THE LINING
Plasterboard
32mm x 6g GIB® Grabber® high thread screws, or 30mm GIB® Nails. Plywood
50 x 2.8mm Galv or Stainless steel FH nails. Fastener centres
GIB® Plasterboard side
50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element.

BOTTOM PLATE FIXING

Timber Floor
Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems 2011 or GIB® Site Guide. Pairs of hand driven 100 x 3.75mm nails at 600mm centres, or Three power driven 90 x 3.15 nails at 600mm centres.

WALL LINING

One layer any 10mm or 13mm GIB® Plasterboard to one side of the wall plus minimum 7mm Ecopy construction plywood manufactured to AS/NZS 2699:2004 to the other side. Plasterboard sheets can be fixed vertically or horizontally. Plywood sheets to be fixed vertically, with edges supported. Sheet joints shall be touch fitted. Use full length sheets where possible.



FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ OR PHONE THE GIB® INFORMATION HELPLINE 0800 100 442

GIB EzyBrace® Systems

GIB EzyBrace® System Specification – BL1-H

Table with columns: Specification Code, Minimum Length (m), Lining requirement, Other requirements. Row 1: BL1-H, 0.4, 10mm or 13mm GIB Plasterboard to one side only, Hold downs.

WALL FRAMING

Wall framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 Timber (NZS 3604:2011)
• NZBC B2 – Durability: AS1 Clause 3.2 Timber (NZS 3602)
Framing dimensions and height as determined by NZS 3604 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

PERMITTED SUBSTITUTION

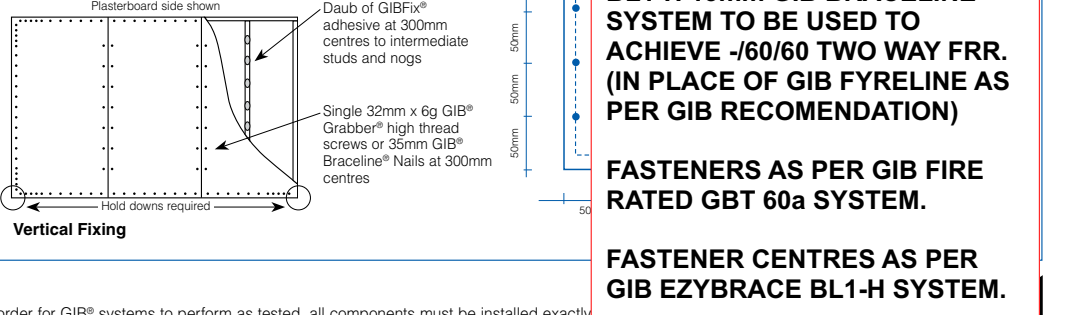
For permitted GIB® Plasterboard substitutions refer to Page 21 in GIB EzyBrace® Systems 2011. FASTENING THE LINING
Plasterboard
32mm x 6g GIB® Grabber® high thread screws. (GIB Braceline® Nails may be used with 10mm GIB Braceline® only)
Fastener centres
50, 100, 150, 225, 300mm from each corner and 150mm thereafter around the perimeter of the bracing element. For vertically fixed sheets place fasteners at 300mm centres to the sheet joint.

BOTTOM PLATE FIXING

Timber Floor
Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems 2011 or GIB® Site Guide. Within the length of the bracing element bottom plates are to be fixed in accordance with the requirements of NZS 3604.

WALL LINING

One layer 10mm or 13mm GIB® Braceline. Sheets can be fixed vertically or horizontally. Sheet joints shall be touch fitted. Use full length sheets where possible.



FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ OR PHONE THE GIB® INFORMATION HELPLINE 0800 100 442

Ch22

GIB® NOISE CONTROL SYSTEMS – INTERTENANCY

Two Way FRR – Double Timber Frame

Table with columns: SPEC. No., LOADBEARING CAPACITY, STC, RW, FIRE RESISTANCE RATING, LINING REQUIREMENTS. Row 1: GIBTLJA 90d, LB, 68, 67, (90)/90/90, 2 x 13mm GIB NoiseLine® each side.

FRAMING

Framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1500mm centres maximum
Height as determined by NZS 3604 stud and top plate tables for loadbearing walls.

FRAMING

FRAMING TO COMPLY WITH:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1500mm centres maximum

SOUND CONTROL INFILL

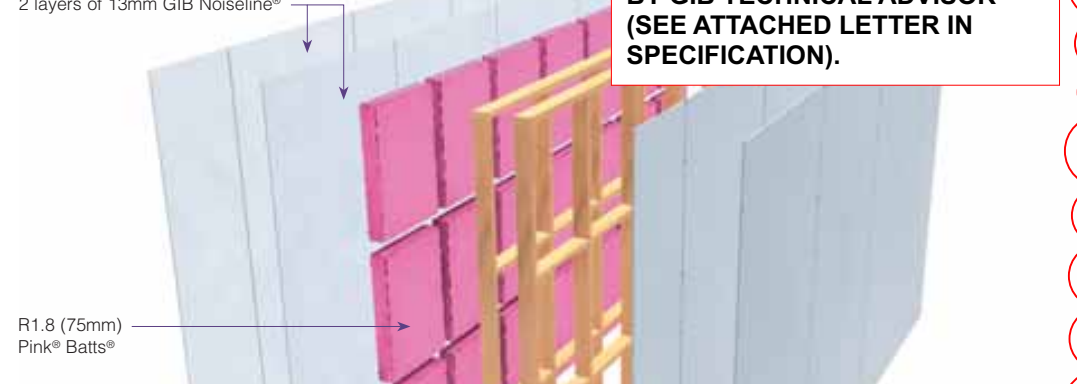
RT 8 (75mm) Pink® Batt® glasswool insulation installed between the studs and noggs on one side of the double frame.

LINING

2 layers of 13mm GIB NoiseLine® fixed vertically each side of the frame. Vertical joints of the outer layer are offset 600mm from those of the inner layer. Use full height sheets where possible. Sheet joints are touch fitted and must occur over framing. Where sheet end joints are unavoidable they must be over nogs and outer layer joints offset from those on the inner layer.

ACOUSTIC SEALANT

A bead of GIB Soundseal® acoustic sealant is required around the perimeter of the inner lining, the outer lining is then bedded onto the bead.



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow system specifications.

FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ AND SEARCH SPECIFICATION CODE: GIBTLJA 90d

Ch22

GIB® FIRE RATED WALL SYSTEMS

TWO WAY FRR – TIMBER FRAME

Table with columns: SPECIFICATION NUMBER, LOADBEARING CAPACITY, FIRE RESISTANCE RATING, LINING REQUIREMENTS, SOUND TRANSMISSION CLASS, SYSTEM WEIGHT APPROX. Row 1: GBT 120b, N/LB, /120/120, 1 layer 19mm GIB Fyrelene® each side, STC 35, 43kg/m².

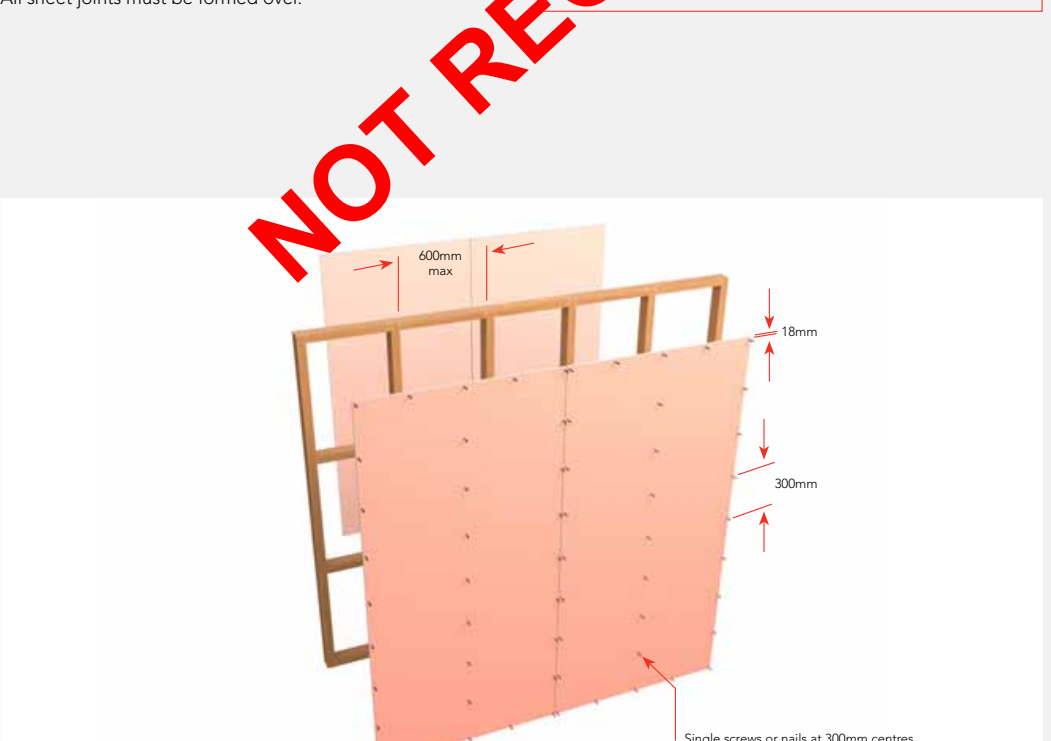
FRAMING

Framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1200mm centres for Horizontal fixing
WALL HEIGHTS AND FRAMING DIMENSIONS
GIBTLJA 90d SYSTEM TO BE USED TO ACHIEVE /120/120 TWO WAY FRR - AS CONFIRMED BY GIB TECHNICAL ADVISOR (SEE ATTACHED LETTER IN SPECIFICATION).

LINING

1 layer of 19mm GIB Fyrelene® each side of the frame. Vertical or horizontal fixing permitted. Sheets shall be touch fitted. When fixing vertically, full height sheets shall be used where possible. All sheet joints must be formed over.

In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow system specifications.



FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ OR PHONE 0800 100 442

Ch22

GIB® FIRE RATED WALL SYSTEMS

TWO WAY FRR – DOUBLE TIMBER FRAME

Table with columns: SPECIFICATION NUMBER, LOADBEARING CAPACITY, FIRE RESISTANCE RATING, LINING REQUIREMENTS, SOUND TRANSMISSION CLASS, SYSTEM WEIGHT APPROX. Row 1: GBT 120b, N/LB, /120/120, 1 layer 19mm GIB Fyrelene® each side, STC 35, 43kg/m².

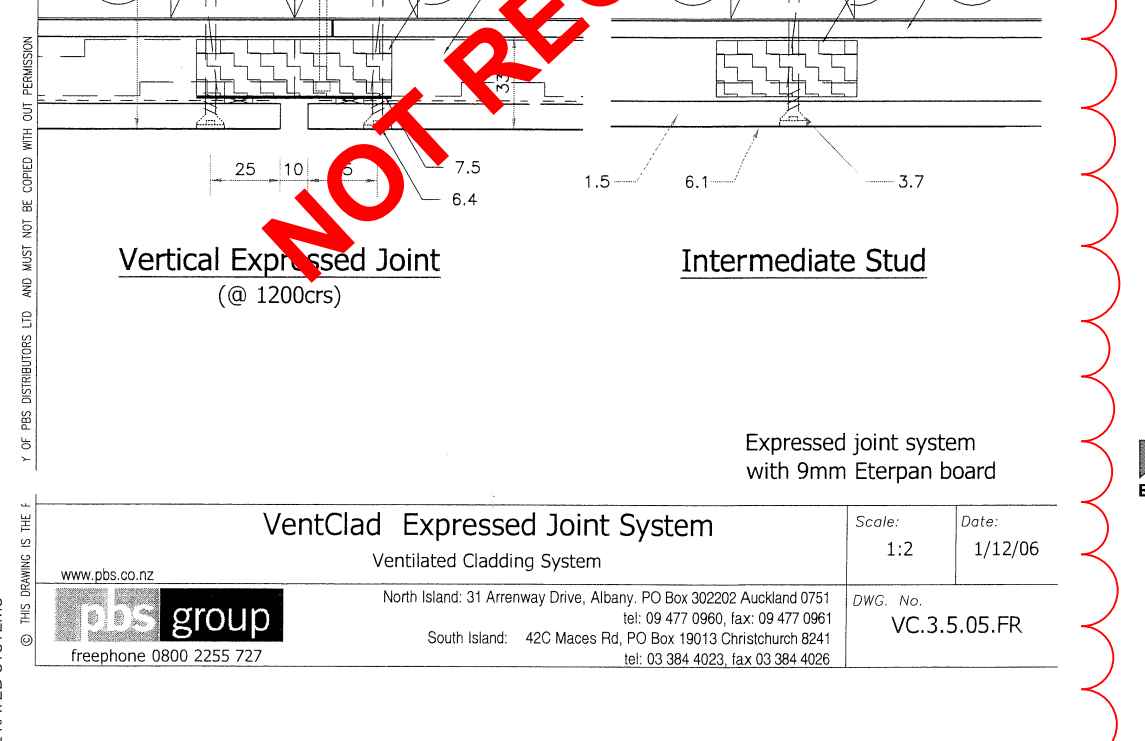
FRAMING

Framing to comply with:
• NZBC B1 – Structure: AS1 Clause 3 – Timber (NZS 3604) or VMI Clause 6 – Timber (NZS 3603)
• NZBC B2 – Durability: AS1 Clause 3.2 – Timber (NZS 3602)
• Studs at 600mm centres maximum
• Nogs at 1200mm centres for Horizontal fixing
WALL HEIGHTS AND FRAMING DIMENSIONS
GIBTLJA 90d SYSTEM TO BE USED TO ACHIEVE /120/120 TWO WAY FRR - AS CONFIRMED BY GIB TECHNICAL ADVISOR (SEE ATTACHED LETTER IN SPECIFICATION).

LINING

1 layer of 19mm GIB Fyrelene® each side of the frame. Vertical or horizontal fixing permitted. Sheets shall be touch fitted. When fixing vertically, full height sheets shall be used where possible. All sheet joints must be formed over.

In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow system specifications.



FOR FURTHER INFORMATION VISIT WWW.GIB.CO.NZ OR PHONE 0800 100 442

Ch22

CONCLUSION

It is considered that a wall constructed as detailed below would achieve a fire resistance in terms of the structural adequacy, integrity and insulation criteria in AS 1530.4: 2005 of 120 minutes with a load of 6kN/m².

Exposed lining: 12 mm Eterpan. Board attached to the frame with Bostik Fireban One adhesive and 10g x 50 mm long 304 SS CSK screws at 150 mm centres around the perimeter and over intermediate studs and noggs.

Unexposed lining: 16 mm thick GIB® Fyrelene. Board attached to the frame with 2.5 mm diameter x 40 mm studs at 150 mm centres at the perimeter and with pairs of nails 50 mm apart at 300 mm centres on the intermediate studs and noggs.

Framing: MS58 – H3.1 Pinus Radiata 140 mm x 45 mm. Studs at nominal 600 mm centres. Nogs at 800 mm centres.

Insulation: Two layers of 60 mm x 145kg/m³ Etaoac mineral wool insulation. Mineral wool cut oversize to each cavity section and installed as single pieces of insulation material bonded by timber framing on each edge.

Promat Hpa Ratio Table B3. PROMATECT® 50 for up to 120 minutes fire resistance in accordance with the requirements of AS 1530.4: 2005. Table with columns: Section Factor, Fire Resistance Duration at 620°C (minutes).

REPORT NUMBER: FAR 4165 ISSUE DATE: 3 December 2013 PAGE: 8 of 8

THE LEGAL VALIDITY OF THIS REPORT CAN ONLY BE CONFIRMED BY INSPECTION OF THE COMPLETE REPORT UNDER RELEVANT CONDITIONS OR BY CONTACTING THE REPORT AUTHOR FOR FURTHER INFORMATION.

Scale: 1:2 Date: 1/12/06

Promat PROMATECT® 50 Beam Cladding at 620 C Fire Resistance

Hpa Ratio Table B3. PROMATECT® 50 for up to 120 minutes fire resistance in accordance with the requirements of AS 1530.4: 2005.

Section Factor (Hpa) Calculations. Table with columns: Section Factor, Fire Resistance Duration at 620°C (minutes).

Section Factor (Hpa) Calculations
Hpa = 1.016m
Hpa = (7850 x 1.016) / 72.9
150 UC 30
Hpa = 4 x 0.152m
Hpa = (7850 x 0.608) / 30 = 159.09m-1

CONCLUSION

It is considered that a wall constructed as detailed below would achieve a fire resistance in terms of the structural adequacy, integrity and insulation criteria in AS 1530.4: 2005 of 120 minutes with a load of 6kN/m².

Exposed lining: 12 mm Eterpan. Board attached to the frame with Bostik Fireban One adhesive and 10g x 50 mm long 304 SS CSK screws at 150 mm centres around the perimeter and over intermediate studs and noggs.

Unexposed lining: 16 mm thick GIB® Fyrelene. Board attached to the frame with 2.5 mm diameter x 40 mm studs at 150 mm centres at the perimeter and with pairs of nails 50 mm apart at 300 mm centres on the intermediate studs and noggs.

Framing: MS58 – H3.1 Pinus Radiata 140 mm x 45 mm. Studs at nominal 600 mm centres. Nogs at 800 mm centres.

Insulation: Two layers of 60 mm x 145kg/m³ Etaoac mineral wool insulation. Mineral wool cut oversize to each cavity section and installed as single pieces of insulation material bonded by timber framing on each edge.

Promat Hpa Ratio Table B3. PROMATECT® 50 for up to 120 minutes fire resistance in accordance with the requirements of AS 1530.4: 2005.

REPORT NUMBER: FAR 4165 ISSUE DATE: 3 December 2013 PAGE: 8 of 8

THE LEGAL VALIDITY OF THIS REPORT CAN ONLY BE CONFIRMED BY INSPECTION OF THE COMPLETE REPORT UNDER RELEVANT CONDITIONS OR BY CONTACTING THE REPORT AUTHOR FOR FURTHER INFORMATION.

Scale: 1:2 Date: 1/12/06

Far North Holdings Limited

AS-BUILTS DRAWINGS

ISSUED FOR: AS-BUILTS DRAWINGS 17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

AS-BUILTS

FIRE PROTECTION AND BRACING WALL SYSTEMS

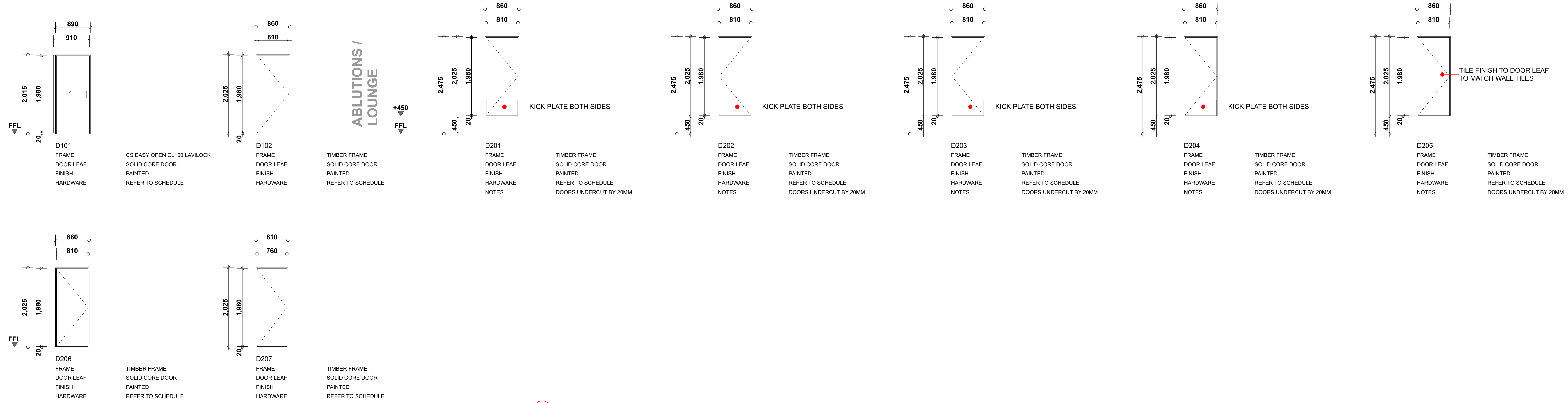
11/11/2009 9:43 AM ORIGINAL SCALE SHOWN @ A1

PROJECT No: SHEET: SHEET ISSUE /REV: 5285 4800 03

REVISION ISSUED: 17/08/20

S285_20241021 FPHL Marina 2 Alterations_As Builts.gib

GROUND FLOOR



APARTMENT DOORS REMOVED

DOOR SCHEDULE
 SCALE: 1:50

NOTES

1. REFER TO COLOUR SCHEDULE FOR PAINT COLOURS
2. SOLID CORE DOORS TO HAVE SOLID PARTICLE BOARD CORES.
3. REFER TO HARDWARE SCHEDULE FOR HARDWARE SELECTIONS
4. ALL GLASS THICKNESSES TO COMPLY WITH REQUIREMENTS OF NZS4223.1 2008
 NZS4223.2 2016
 NZS4223.3 2016
 NZS4223.4 2008
5. PROVIDE DOOR GRILLES TO ABLUTION DOORS AS REQUIRED BY MECHANICAL.

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch07 Ch10	New Door Revised notes
17/08/20	03	Ch30	REMOVED APARTMENT DOORS

Far North Holdings Limited

158 BANK STREET, WHANGAREI
 P.O. BOX 677, WHANGAREI, 0140
 PH: (09) 438 9545
 FAX: (09) 438 7411
 www.fnholdings.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
 17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

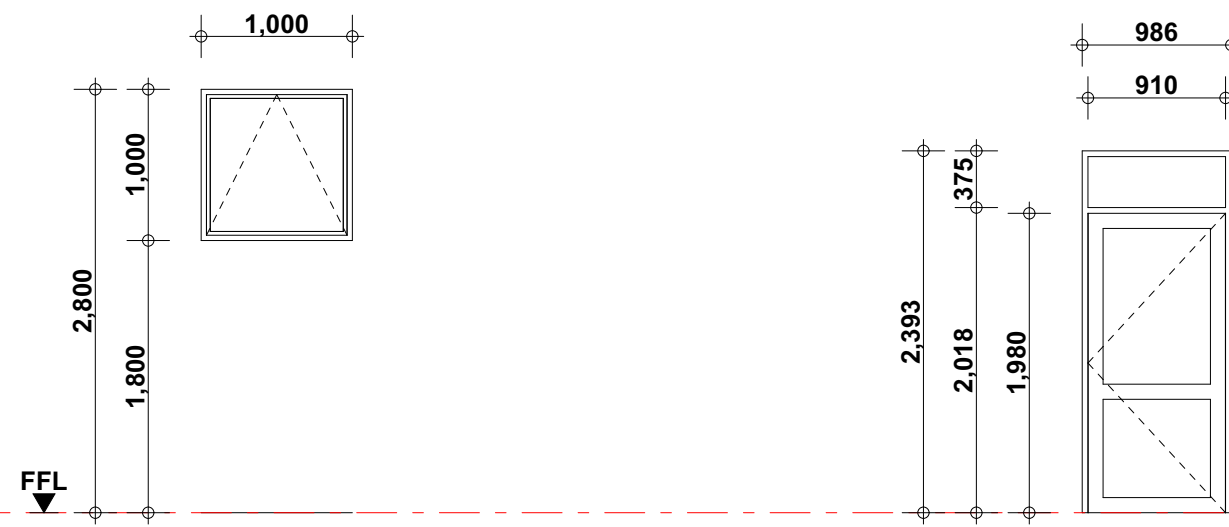
DESIGN PHASE:
AS-BUILTS

INTERIOR JOINERY SCHEDULE

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
 PROJECT No. SHEET SHEET ISSUE / REV.
5285 5000 03

REVISION ISSUED: 17/08/20
 5285_20241021 FNHL Marina 2 Alterations_As Bults.pln

GROUND FLOOR



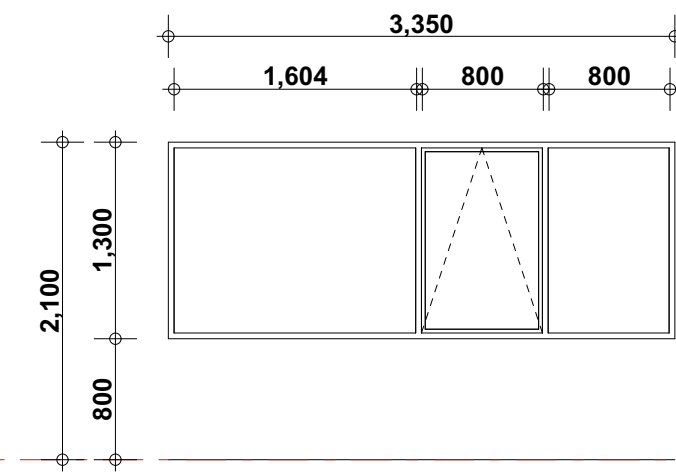
EX W01
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

EXISTING
EXISTING (CHECK ON SITE)
EXISTING (CHECK ON SITE)
EXISTING
EXISTING

EX W02
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

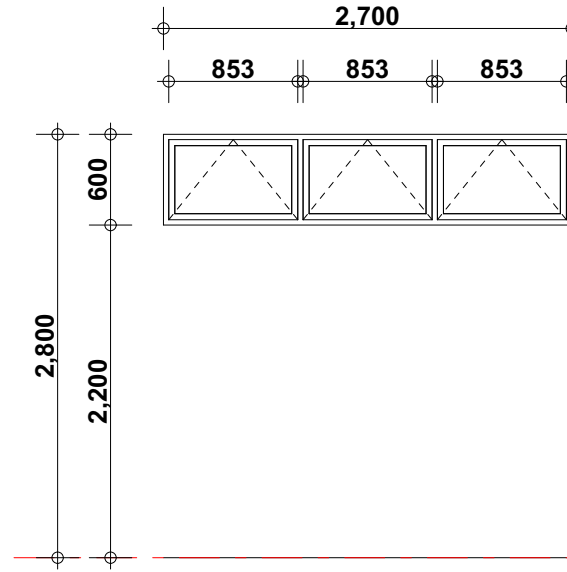
EXISTING
EXISTING (CHECK ON SITE)
EXISTING (CHECK ON SITE)
EXISTING
EXISTING

FIRST FLOOR



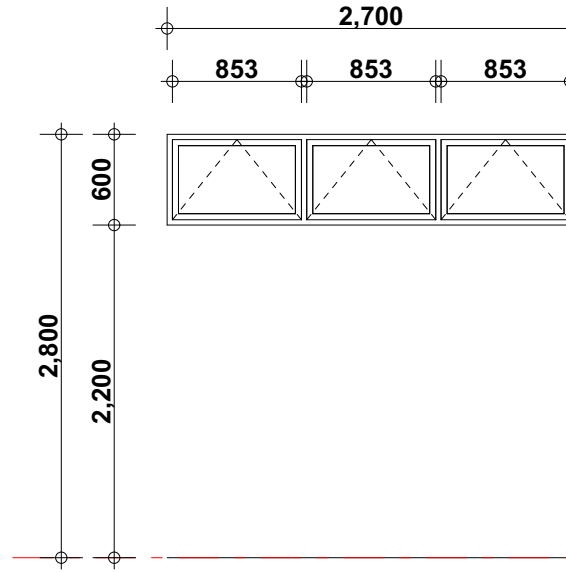
EX W03
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

EXISTING
EXISTING (CHECK ON SITE)
EXISTING (CHECK ON SITE)
EXISTING
EXISTING



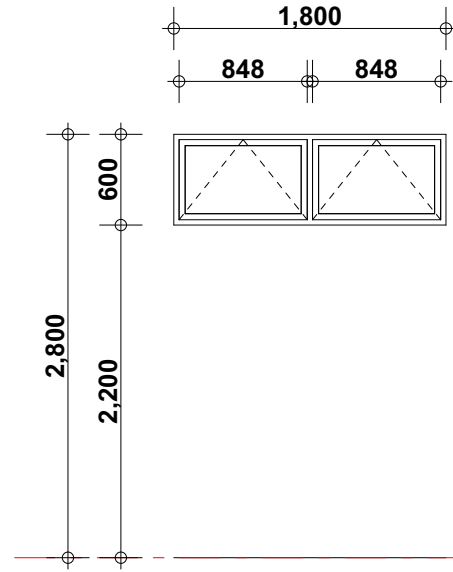
W201
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

APL 40MM WINDOW SERIES WITH SLOPING BEAD
POWDERCOATED DURATEC MARINE GRADE (TO MATCH EXISTING)
SILVER PEARL (TO MATCH EXISTING)
SEE NOTES
REFER TO SCHEDULE



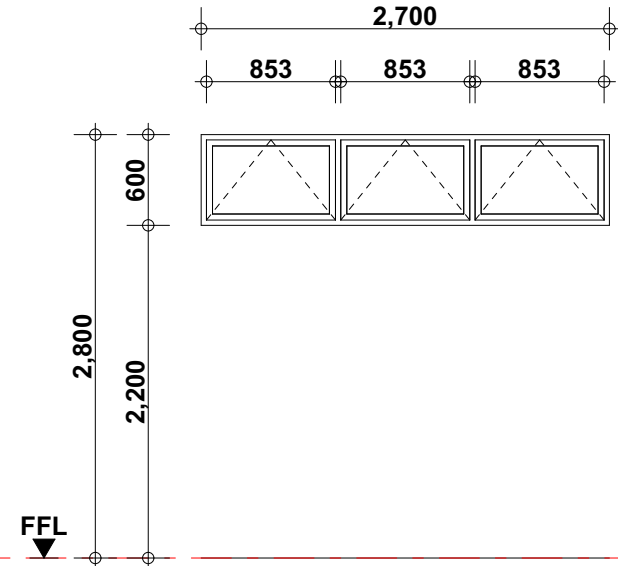
W202
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

APL 40MM WINDOW SERIES WITH SLOPING BEAD
POWDERCOATED DURATEC MARINE GRADE (TO MATCH EXISTING)
SILVER PEARL (TO MATCH EXISTING)
SEE NOTES
REFER TO SCHEDULE



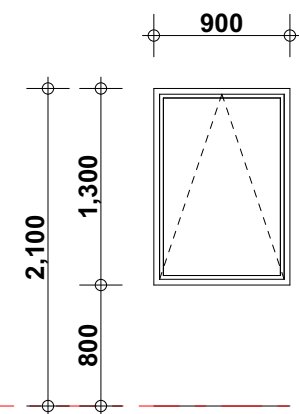
W203
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

APL 40MM WINDOW SERIES WITH SLOPING BEAD
POWDERCOATED DURATEC MARINE GRADE (TO MATCH EXISTING)
SILVER PEARL (TO MATCH EXISTING)
SEE NOTES
REFER TO SCHEDULE



W204
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

APL 40MM WINDOW SERIES WITH SLOPING BEAD
POWDERCOATED DURATEC MARINE GRADE (TO MATCH EXISTING)
SILVER PEARL (TO MATCH EXISTING)
SEE NOTES
REFER TO SCHEDULE



W210
FRAME
FRAME FINISH
FRAME COLOUR
GLAZING
HARDWARE

APL 40MM WINDOW SERIES WITH SLOPING BEAD
POWDERCOATED DURATEC MARINE GRADE (TO MATCH EXISTING)
SILVER PEARL (TO MATCH EXISTING)
SEE NOTES
REFER TO SCHEDULE

REMOVED JOINERY

Ch31

REMOVED SKYLIGHTS

Ch27

ALUMINIUM JOINERY SCHEDULE

SCALE: 1:50

NOTES

- T - TOUNGHNED SAFTEY GLASS
- 1. ALL GLASS THICKNESSES TO COMPLY WITH REQUIREMENTS OF NZS4223.1 2008 NZS4223.2 2016 NZS4223.3 2016 NZS4223.4 2008
- 2. DOORS TO HAVE 90MM LOCK STILES

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch27	REMOVED SKYLIGHTS
17/08/20	03	Ch31	REMOVED APARTMENT JOINERY

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE:
AS-BUILTS

EXTERIOR JOINERY SCHEDULE

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 5100 03

REVISION ISSUED: 17/08/20
5285_20241021 FNHL Marina 2 Alterations_As Bults.pln

GROUND FLOOR INTERIOR FINISHES SCHEDULE											
	FLOOR	SKIRTING	WALLS				CEILING	DOOR/TRIM	SANITRY FITTINGS	TAPWARE	REMARKS
			NORTH	EAST	SOUTH	WEST					
ACC. WC 101	EXISTING VINYL FLOORING(6411.01)	150MM HIGH COVERED VINYL(6411.03)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING CEILING LININGS REPAINTED(5197.02)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)	ACCESSIBLE WC(7151.01) ACCESSIBLE BASIN(7151.02)	REFER TO SANITARY SCHEDULE	REFER TO SANITARY SCHEDULE: GRAB RAILS, BACK REST, SOAP DISPENSER, TOILET ROLL HOLDERS, MIRROR
LOBBY 102	EXISTING VINYL FLOORING(6411.01)	150MM HIGH COVERED VINYL(6411.03)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING CEILING LININGS REPAINTED(5197.02)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)			

FIRST FLOOR INTERIOR FINISHES SCHEDULE - ABLUTIONS											
LOUNGE 201	REUSED EXISTING CARPET TILES (6512.01)	90MM SPAYED SKIRTING(5151.01) RESENE INTERIOR PAINT FINISH(6721.01)									MAKE GOOD ANY WORK DAMAGED FROM DEMOLITION
LOBBY 202	REUSED EXISTING CARPET TILES (6512.01)	90MM SPAYED SKIRTING(5151.01) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. BRACELINE INTERIOR WALL LINING. (5113.14) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. BRACELINE INTERIOR WALL LINING. (5113.14) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING WALL LININGS TO REMAIN(5197.01) RESENE INTERIOR PAINT FINISH(6721.01)	REUSE EXISTING SUSPENDED TILE CEILING AND PROPRIETARY SUSPENSION SYSTEM(5311.01)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)			NOSING TO STEPS STAINLESS STEEL HANDRAILS AND PROPRIETARY BRACKETS PROVIDE SIGNAGE FOR WC AND SHOWERS
FEMALE WC 203	JAMES HARDIES 19mm SCYON SECURA FLOORING. (5438.01) SELECTED NON SLIP CERAMIC FLOOR TILES. 600x600mm(6221.02)	SELECTED CERAMIC WALL TILES 600x300mm(6211.01) PROVIDE SEALANT BETWEEN WALL AND FLOOR TILES. (6293.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	2/13MM GIB. NOISELINE INTERIOR WALL LINING. (5113.15) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	AND PROPRIETARY SUSPENSION SYSTEM(5311.01)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)	TRIPLE VANITY BASIN(7151.03) WC(7151.05)	REFER TO SANITARY SCHEDULE	MAPEI WATERPROOFING UNDER TILES TO FLOOR AND WALLS HALE PARTITIONS MIRRORS REFER TO SANITARY SCHEDULE FOR: HAND DRIERS, SOAP DISPENSERS, TOILET ROLL HOLDERS CLOSER AND KICKPLATE TO DOOR
FEMALE SHOWERS 204	JAMES HARDIES 19mm SCYON SECURA FLOORING. (5438.01) SELECTED NON SLIP CERAMIC FLOOR TILES. 600x600mm(6221.02)	SELECTED CERAMIC WALL TILES 600x300mm(6211.01) PROVIDE SEALANT BETWEEN WALL AND FLOOR TILES. (6293.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	13MM GIB. AQUALINE INTERIOR CEILING LINING ON RONDO KEYLOCK SYSTEM DIRECT FIXED TO U/S OF TRUSSES(5113.04) RESENE INTERIOR PAINT FINISH(6721.01)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)	TRIPLE VANITY BASIN(7151.03) SHOWER HEAD(7152.01)	REFER TO SANITARY SCHEDULE	MAPEI WATERPROOFING UNDER TILES TO FLOOR AND WALLS HALE PARTITIONS MIRRORS REFER TO SANITARY SCHEDULE FOR: HAND DRIERS, SOAP DISPENSERS, CLOTHES HOOKS CLOSER AND KICKPLATE TO DOOR
MALE WC 205	JAMES HARDIES 19mm SCYON SECURA FLOORING. (5438.01) SELECTED NON SLIP CERAMIC FLOOR TILES. 600x600mm(6221.02)	SELECTED CERAMIC WALL TILES 600x300mm(6211.01) PROVIDE SEALANT BETWEEN WALL AND FLOOR TILES. (6293.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	13MM GIB. AQUALINE INTERIOR CEILING LINING ON RONDO KEYLOCK SYSTEM DIRECT FIXED TO U/S OF TRUSSES(5113.04) RESENE INTERIOR PAINT FINISH(6721.01)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)	TRIPLE VANITY BASIN(7151.03) WC(7151.05)	REFER TO SANITARY SCHEDULE	MAPEI WATERPROOFING UNDER TILES TO FLOOR AND WALLS HALE PARTITIONS MIRRORS REFER TO SANITARY SCHEDULE FOR: HAND DRIERS, SOAP DISPENSERS, TOILET ROLL HOLDERS CLOSER AND KICKPLATE TO DOOR
MALE SHOWERS 206	JAMES HARDIES 19mm SCYON SECURA FLOORING. (5438.01) SELECTED NON SLIP CERAMIC FLOOR TILES. 600x600mm(6221.02)	SELECTED CERAMIC WALL TILES 600x300mm(6211.01) PROVIDE SEALANT BETWEEN WALL AND FLOOR TILES. (6293.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	13MM GIB. AQUALINE INTERIOR CEILING LINING ON RONDO KEYLOCK SYSTEM DIRECT FIXED TO U/S OF TRUSSES(5113.04) RESENE INTERIOR PAINT FINISH(6721.01)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)	TRIPLE VANITY BASIN(7151.03) SHOWER HEAD(7152.01)	REFER TO SANITARY SCHEDULE	MAPEI WATERPROOFING UNDER TILES TO FLOOR AND WALLS HALE PARTITIONS MIRRORS REFER TO SANITARY SCHEDULE FOR: HAND DRIERS, SOAP DISPENSERS, CLOTHES HOOKS CLOSER AND KICKPLATE TO DOOR
CLEANERS 207	JAMES HARDIES 19mm SCYON SECURA FLOORING. (5438.01) SELECTED NON SLIP CERAMIC FLOOR TILES. 600x600mm(6221.02)	SELECTED CERAMIC WALL TILES 600x300mm(6211.01) PROVIDE SEALANT BETWEEN WALL AND FLOOR TILES. (6293.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	9mm VILLABOARD WALL LINING(5111.02) SELECTED CERAMIC WALL TILES 600x300mm(6211.01)	EXISTING CEILING LINE REPAINTED	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)	CLEANERS SINK(7151.07)	REFER TO SANITARY SCHEDULE	TIMBER SHELVING ABOVE 1600MM, 300 DEEP MOP HANGER HWC BRACING GRILLE TO EXTERIOR WALL
MEDIA ROOM 208	REUSED EXISTING CARPET TILES (6512.01)	90MM SPAYED SKIRTING(5151.01) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. BRACELINE INTERIOR WALL LINING. (5113.14) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	2/13MM GIB. NOISELINE INTERIOR WALL LINING. (5113.15) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. BRACELINE INTERIOR WALL LINING. (5113.14) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	EXISTING CEILING REPAINTED	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)			
STORE 209	SELECTED VINYL FLOORING(6411.01)	90MM SPAYED SKIRTING(5151.01) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. BRACELINE INTERIOR WALL LINING. (5113.14) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. BRACELINE INTERIOR WALL LINING. (5113.14) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR WALL LINING. (5113.01) LEVEL 4 FINISH TO PLASTERBOARD(5113.10) RESENE INTERIOR PAINT FINISH(6721.01)	13MM GIB. STANDARD INTERIOR CEILING LINING ON RONDO KEYLOCK SYSTEM DIRECT FIXED TO U/S OF TRUSSES(5113.04) RESENE INTERIOR PAINT FINISH(6721.01)	SOLID CORE FLUSH PAINT QUALITY DOOR AND FRAMES(5214.01) RESENE INTERIOR PAINT FINISH(6721.01)			TIMBER SHELVING ABOVE 1600MM, 300 DEEP

NOTE:
REFER TO FLOOR PLANS AND FIRE SAFETY PLANS FOR LOCATIONS OF GIB EZYBRACE, NOISELINE AND FIRELINE WALLS SYSTEMS.

INTERIOR COLOUR SCHEDULE

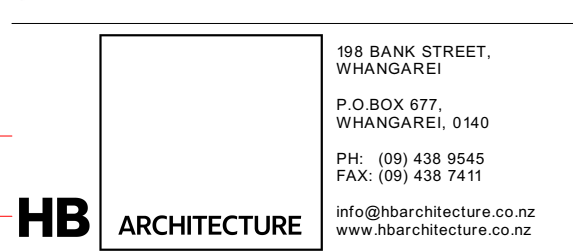
NAME / AREA	BASIC MATERIAL	MANUFACTURER	FINISH / TYPE	COLOUR / CODE	NOTES	FIRE RATING	LRV	SLIP RESISTANCE
LOUNGE/LOBBY								
CARPET TILES	CARPET TILES	EXISTING	EXISTING	CHARCOAL	REUSE EXISTING TILES AS REQUIRED			
CEILING	SUSPENDED CEILING TILES	EXISTING	EXISTING	WHITE	REUSE EXISTING TILES AS REQUIRED			
WALL	GIB. BD WALL LININGS	RESENE	PAINT FINISH	BLACK WHITE	N93-005-100		84%	
INTERIOR TRIM	TIMBER	RESENE	PAINT FINISH	TRIPLE SEA FOG	N87-007-094		71%	
SKIRTING	TIMBER	RESENE	PAINT FINISH	TRIPLE SEA FOG	N87-007-094		71%	
SCOTIA	TIMBER	RESENE	PAINT FINISH	TRIPLE SEA FOG	N87-007-094		71%	
DOOR LEAF	TIMBER	RESENE	PAINT FINISH	TRIPLE SEA FOG	N87-007-094		71%	
BATHROOM								
BATHROOM FLOOR TILES	CERAMIC	TILE WHAREHOUSE	PICADILLY GIRO STRUCTURED MT35A	LIGHT GREY	600x600mm			MINIMUM COEFFICIENT OF FRICTION: NOT LESS THAN 0.4
WALL TILES (YELLOW MARKUP)	CERAMIC	TILE WHAREHOUSE	PICADILLY GIRO MATT	LIGHT GREY	600x300mm LAID VERTICALLY			
WALL TILES (ORANGE MARKUP)	CERAMIC	TILE WHAREHOUSE	REGAL BLACK GMR97N NIRO GRANTIE	CHARCOAL	600x300mm			
WALL TILES (MOSAIC MARKUP)	CERAMIC	TILE WHAREHOUSE	PARISIAN BLACK MOSAIC	BLACK	600x300mm			
CEILING	REFER TO RCP	RESENE	PAINT FINISH	HALF BLACK WHITE	N94-004-096		86%	
TOILET PARTITION	LAMINATE PANEL	HALE	COMPACT LAMINATE	BLACKENED LINWOOD	13mm			
HAND BASIN SHELF	LAMINATE PANEL	HALE	COMPACT LAMINATE	BLACKENED LINWOOD	13mm WITH MACHINED EDGES			

NOTE: REFER TO SITE MEETING MINUTES 02 FOR LOCATIONS FOR SELECTED WALL TILES

NOTES:

- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08 09 16	02	Ch09	Finishes To Be Confirmed
17/08/20	03		



ISSUED FOR:
AS-BUILTS DRAWINGS
17/08/20

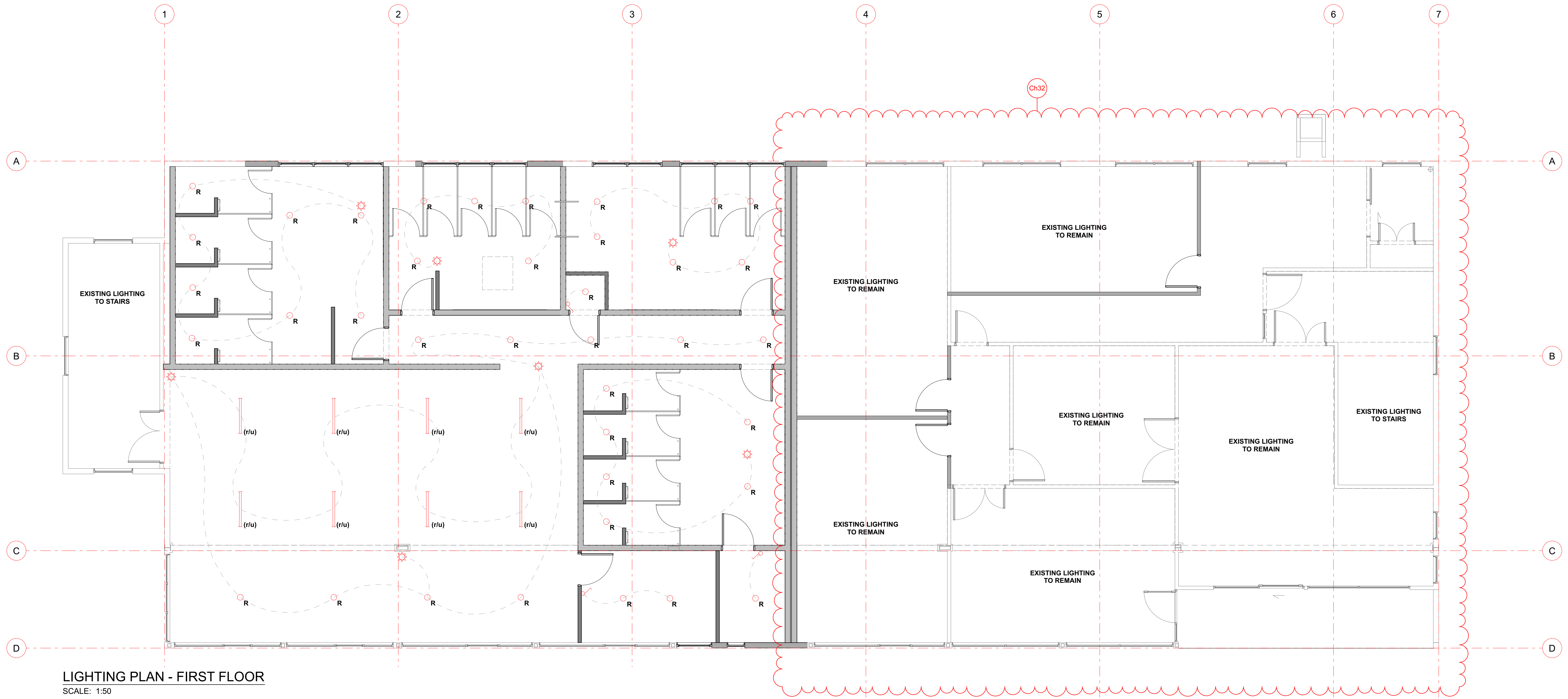
FNHL

OPUA MARINA 2 ALTERATIONS

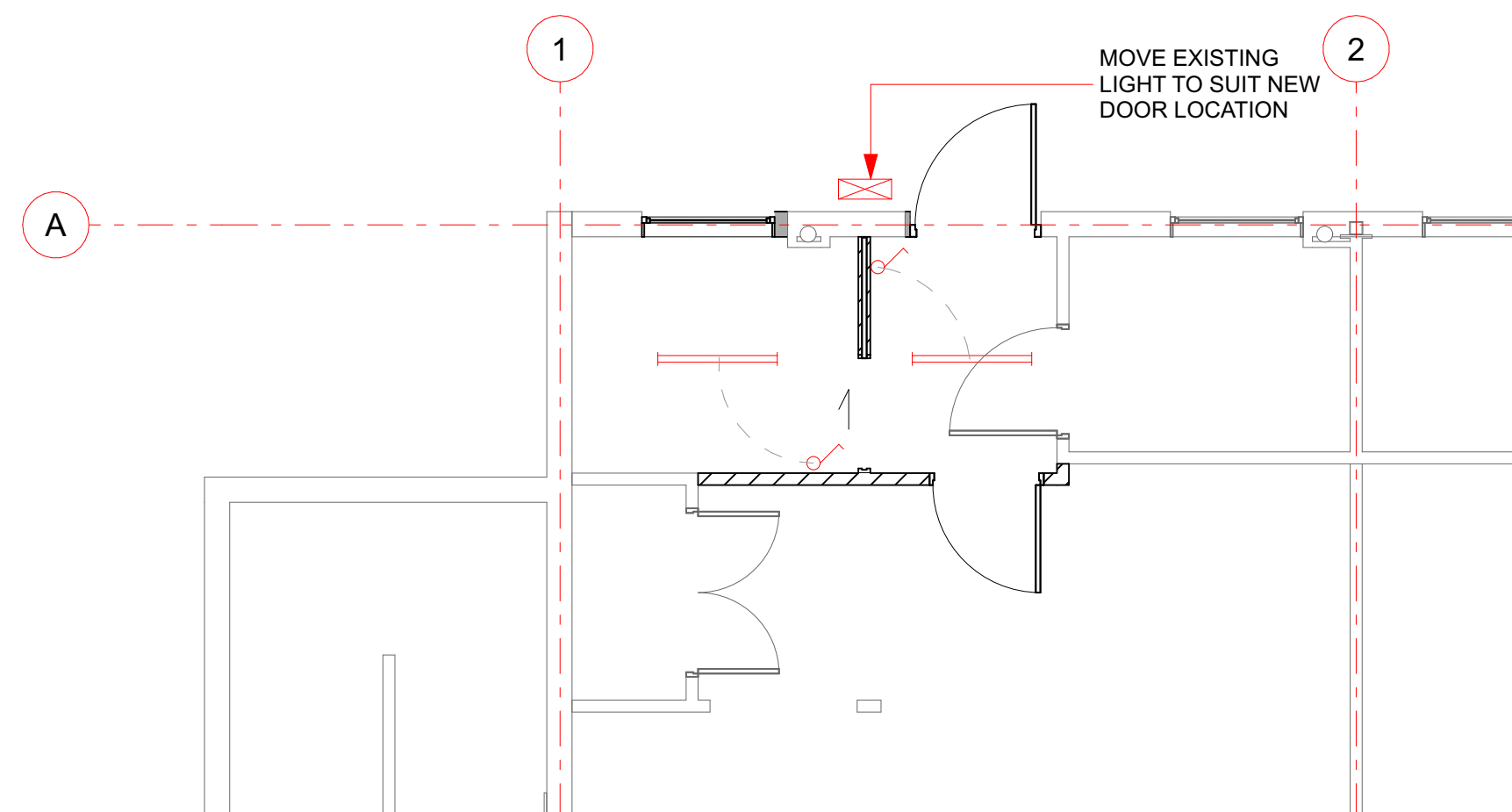
DESIGN PHASE:
AS-BUILTS

ABLUTIONS FINISHES & COLOUR SCHEDULE

11/11/2024 9:43 AM	ORIGINAL SCALE SHOWN @ A1
PROJECT No:	SHEET
5285	5200
REVISION ISSUED: 17/08/20	SHEET ISSUE / REV: 03








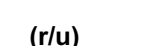


LIGHTING PLAN - FIRST FLOOR
SCALE: 1:50



LIGHTING PLAN - GROUND FLOOR
SCALE: 1:50

LEGEND

-  **Ext.** 7742.01 SELECTED EXTERIOR LIGHT FITTING
-  **P** 7741.01 SELECTED PENDANT LIGHT
-  **R** 7741.02 SELECTED RECESSED LIGHT
-  7741.03 SELECTED FLUORESCENT LIGHT
-  7741.04 SELECTED LED STRIP LIGHT
-  7701.03 LIGHT SWITCH
-  7701.04 360 CEILING PHOTO SENSOR SWITCH
-  (r/u) RE-USE EXISTING LIGHT FITTING

NOTES

- 1.

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
08.09.16	02	Ch04	Removed Skylights
		Ch07	New Door
17/08/20	03	Ch19	As Built drawings
22/10/24	04	Ch32	AS-BUILT LAYOUT

Far North Holdings Limited

158 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnarchitecture.co.nz
www.fnarchitecture.co.nz

HB ARCHITECTURE

ISSUED FOR: **AS-BUILTS**
22/10/24
FNHL

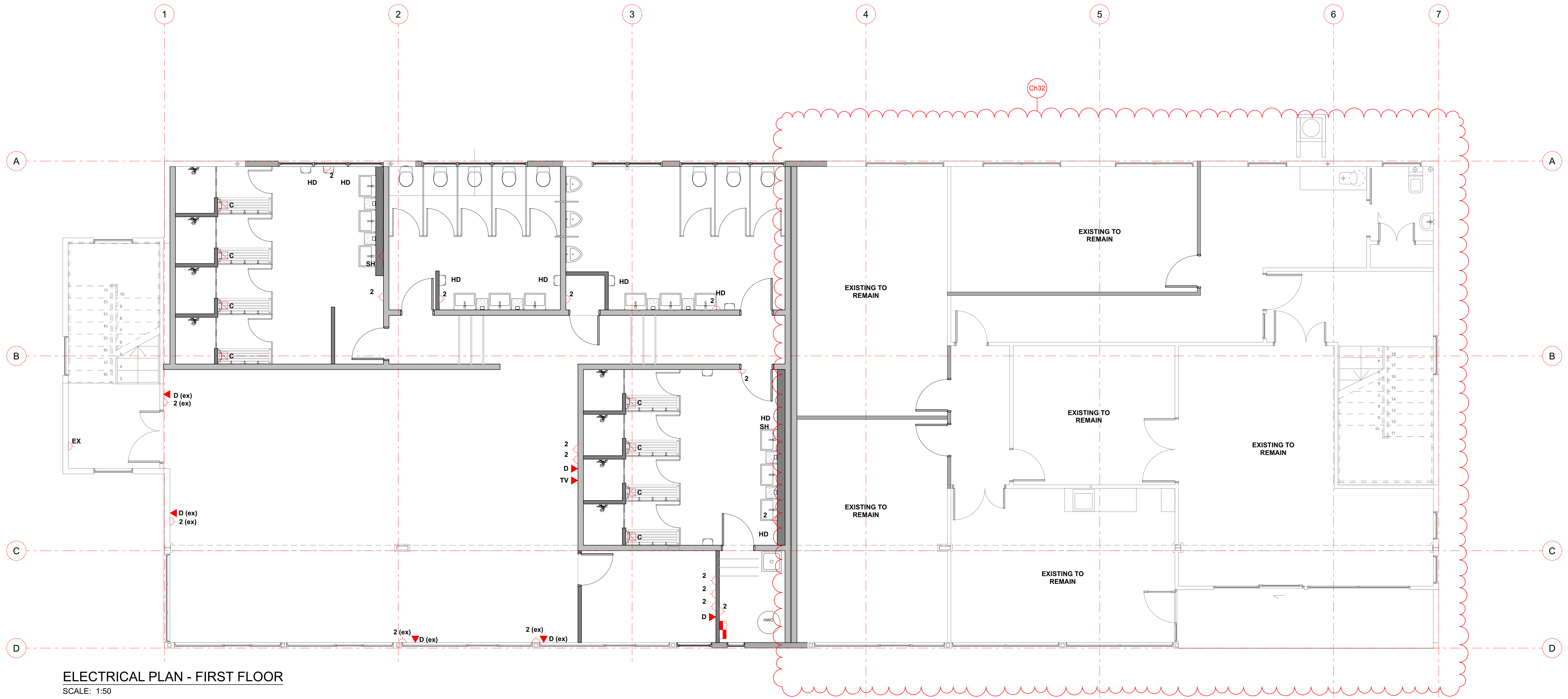
OPUA MARINA 2 ALTERATIONS

DESIGN PHASE: **AS-BUILTS**

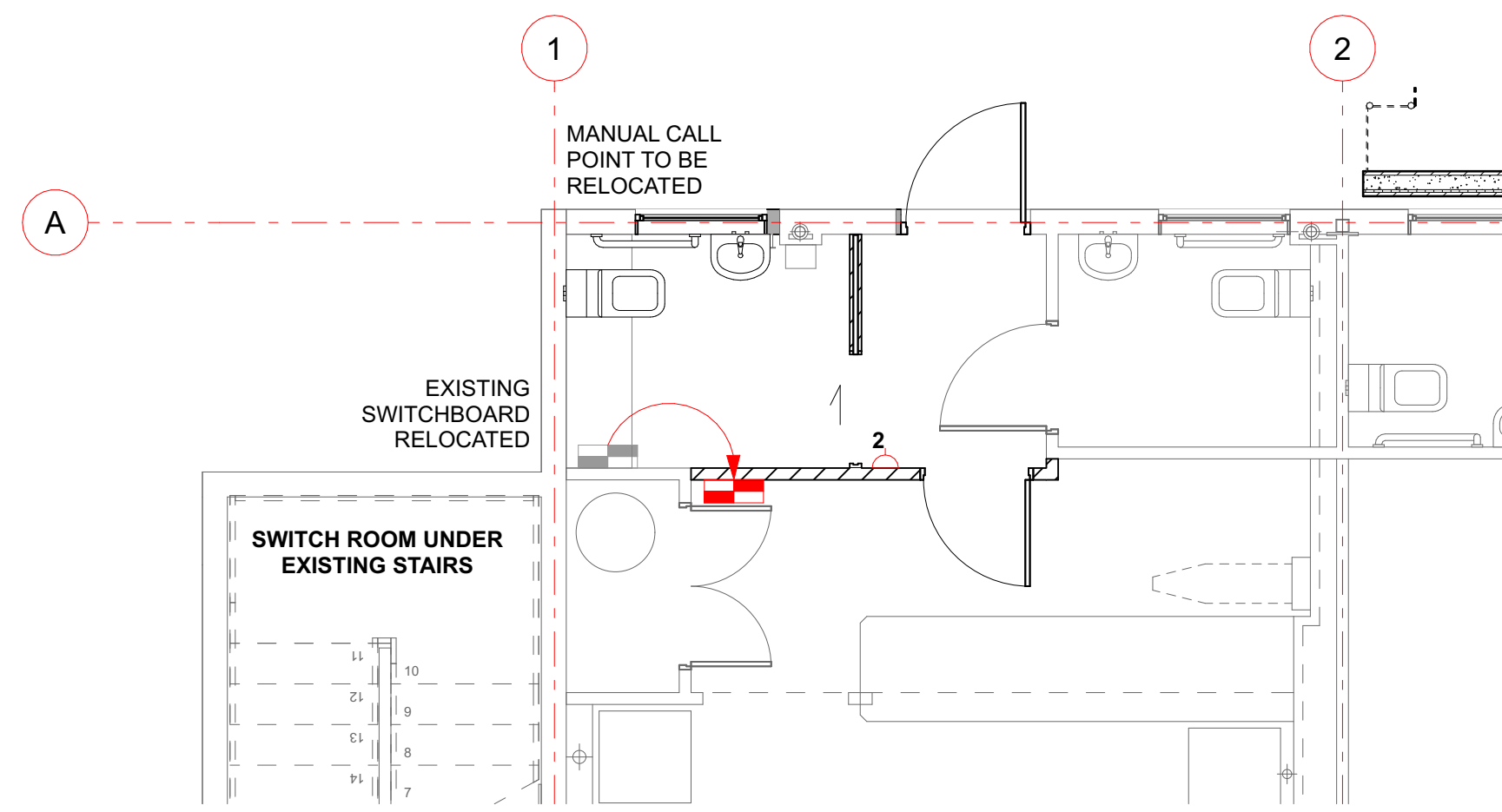
LIGHTING PLAN

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV.
5285 6100 04

REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln



ELECTRICAL PLAN - FIRST FLOOR
SCALE: 1:50



ELECTRICAL PLAN - GROUND FLOOR
SCALE: 1:50

LEGEND

- 7701.10** DATA OUTLET
- 7701.11** TELEVISION DATA CABLE
- 7701.01** DOUBLE POWER POINT
- 7701.02** SHAVING POWER POINT
- 7707.02** COIN/TOKEN TIMER
- 7707.01** HAND DRIER
- UB** UNDER BENCH
- (ex)** EXISTING OUTLETS
- 7701.05** DISTRIBUTION BOARD (RE-USE WHERE POSSIBLE)

NOTES

- TOTAL AVAILABLE METER SLOTS: 9
CURRENTLY IN USE: 6
NEW METERS REQUIRED: 2
- TOTAL:
1. ABLUTION BLOCK
 2. APARTMENT A
 3. APARTMENT B
 4. COMMUNAL FOR APARTMENTS
 5. LAUNDRY
 6. MARINA OFFICE
 7. RETAIL UNIT
 8. RESTAURANT

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02	Ch19	As Built drawings
22/10/24	03	Ch29	REMOVED NOTES
		Ch32	AS-BUILT LAYOUT

198 BANK STREET,
WHANGAREI
P.O. BOX 677,
WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
info@fnhl.co.nz
www.fnhl.co.nz

HB ARCHITECTURE

ISSUED FOR: **AS-BUILTS**
22/10/24

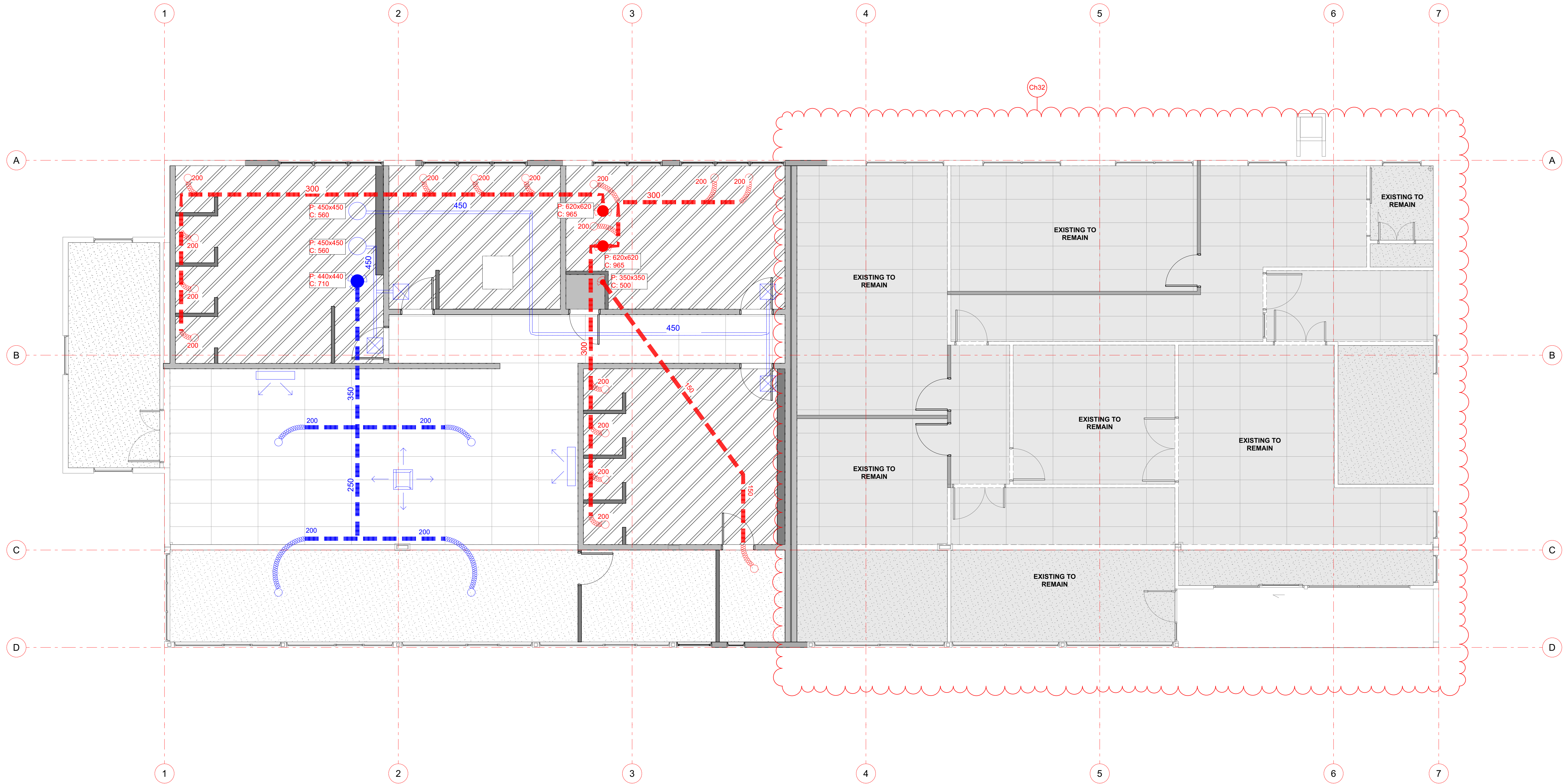
FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE: **AS-BUILTS**

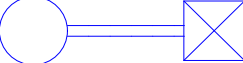


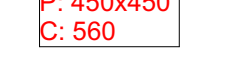
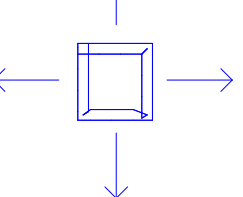
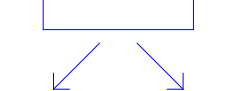
ELECTRICAL PLAN

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1
PROJECT No. SHEET SHEET ISSUE / REV:
5285 6101 03
REVISION ISSUED: 22/10/24
5285_20241021 FNHL Marina 2 Alterations_As Built.pln



MECHANICAL PLAN - FIRST FLOOR
SCALE: 1:50

LEGEND

-  PASSIVE 'MAKE-UP' AIR
-  EXTRACT SYSTEM (FAN)
-  FRESH AIR SYSTEM (FAN)
-  P = PENETRATION SIZE
C = COWL SIZE
-  'CASSETTE' AIR CONDITIONER
-  HIGH WALL AIR CONDITIONER

NOTES

1. REFER TO CHILLTECH MARK-UP IN SPECIFICATION

NOTES:

1. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE.
2. THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCT IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTALLATION DOCUMENTATION.

Date	Issue	Ch. ID	Description
16 JUN 2016	01		
17/08/20	02	Ch20	EXISTING TO REMAIN
22/10/24	03	Ch32	AS-BUILT LAYOUT

Far North Holdings Limited
198 BANK STREET, WHANGAREI
P.O. BOX 677, WHANGAREI, 0140
PH: (09) 438 9545
FAX: (09) 438 7411
www.fararchitecture.co.nz

HB ARCHITECTURE
ISSUED FOR:

AS-BUILTS
22/10/24

FNHL

OPUA MARINA 2 ALTERATIONS

DESIGN PHASE: **AS-BUILTS**

MECHANICAL SERVICES

11/11/2024 9:43 AM ORIGINAL SCALE SHOWN @ A1

PROJECT No. SHEET 5285 6200 SHEET ISSUE / REV: 03

REVISION ISSUED: 22/10/24

5285_20241021 FNHL Marina 2 Alterations_As Built.pln

3 December 2024

Far North Holdings Limited
PO Box 7
Opuia 0241

Dear Sir / Madam,

Building consent number: EBC-2016-1221/0/B
Property ID: 3361730
Address: 7 Baffin Street, Opuia 0200
Description: Alterations to existing building

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **Industrial / Marine Exemption Area** under the District Plan and Resource Consent is required for breach of the following:

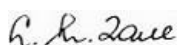
Rule:	Building Consent plans are not in accordance with the stamped 'approved' plans in 2140222-RMAVAR/D approved 27/072018.
Reason:	Variation to 2140222-RMAVAR/D required.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully



Leeanne Tane
PIM Officer
Delivery and Operations

Emailed to: hori@fnhl.co.nz

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM
Section 37, Building Act 2004

Building Consent Number: EBC-2016-1221/0/B

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**


The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

- **Variation to Resource Consent 2140222-RMAVAR/D – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Position:

Trent Blakeman

On behalf of:

Manager - Building Services

Date:

Far North District Council (Building Consent Authority)

3 December 2024



**FAR NORTH OPERATIVE DISTRICT PLAN
DECISION ON RESOURCE CONSENT APPLICATION (Section 127)**

Resource Consent Number: 2140222-RMAVAR/D

Pursuant to section 127 of the Resource Management Act 1991 (the Act), the Far North District Council hereby grants resource consent to:

Far North Holdings

The activity to which this decision relates:

To change condition 1 of RC 2140222-RMAVAR/B, being a consent to vary condition 1 of RC 2140222-RMAVAR/A, to allow for the addition of a balcony to one of the apartments on the first floor.

Subject Site Details

Address: 1 Baffin Street, Opuia
Legal Description: Lots 1 and 2 DP 196730, Lots 2 and 3 DP 172115, Lot 1 DP 156505, and Lots 3-5 DP 367224 Sec 60 Blk V
Certificate of Title reference: CT-361128, NA-138A/112, CT-762290, CT-480180

The following changes are made to the consent conditions:

Condition 1 amended to read:

The approved plans are amended to the extent shown on the following plans:

Eclipse Architecture, Opuia Marina – Building N2

- Site Plan, DWG. No. A000 Rev P dated 5/04/2017
- Site Plan Detail DWG. No. A100 Rev C dated 5/04/2017
- Ground Floor Plan DWG. No. A 200 Rev C dated 5/04/2017
- ~~First Floor Plan DWG. No. A 201 Rev C dated 5/04/2017~~
- ~~Elevations DWG. No. A 300 and A 301 Rev D dated 5/04/2017~~

Mealings Architecture, Opuia Marina – Building N2

- First Floor Plan, Sheet A3-2.0, dated 16/04/17
- Balcony Joist Layout, Sheet A3-3.0, dated 16/04/17
- Cross Section A-A, Sheet A3-7.0, dated 16/04/17
- Architectural Details, Sheet A3-8.1, dated 16/04/17
- Eastern Elevation, Sheet A3-1.2, dated 16/04/17
- Northern Elevation, Sheet A3-1.3, dated 16/04/17

Haigh Workman- Opuia Marina Proposed Building NZ

- Utilities Plan Project No. 16 127 DWG No. P1 dated 02/02/2017

For the purpose of clarity the complete amended conditions of consent are as follows:

That pursuant to Sections 104 and 104B of the Resource Management Act 1991, the Far North District Council grants consent, subject to conditions, to Far North Holdings Limited to a discretionary activity to undertake activities and construct buildings on a proposed reclamation and land use consent for activities that do not meet the permitted activity rules of the Far North District Plan by exceeding the allowed traffic movements, not meeting the

parking requirements, and stormwater management not discharging to an urban system, all from facilities and development associated with the Opuā marina expansion and reclamation at Baffin Street, Opuā.

Pursuant to section 108 of the Resource Management Act 1991, consent is subject to the following conditions:

1. That the application proceeds in accordance with plans and information provided within the application and the updated building location plans and landscaping plan received on 8th July 2014, as modified by the Landscape Design Concept plans dated 30th August 2014 attached to the supplementary evidence of Simon Cocker dated 2nd September 2014, and attached to this consent with the Council's "Approved Stamp" affixed to them.

The approved plans are amended to the extent shown on the following plans:

Eclipse Architecture, Opuā Marina – Building N2

- Site Plan, DWG. No. A000 Rev P dated 5/04/2017
- Site Plan Detail DWG. No. A100 Rev C dated 5/04/2017
- Ground Floor Plan DWG. No. A 200 Rev C dated 5/04/2017

Mealings Architecture, Opuā Marina – Building N2

- First Floor Plan, Sheet A3-2.0, dated 16/04/17
- Balcony Joist Layout, Sheet A3-3.0, dated 16/04/17
- Cross Section A-A, Sheet A3-7.0, dated 16/04/17
- Architectural Details, Sheet A3-8.1, dated 16/04/17

Haigh Workman- Opuā Marina Proposed Building NZ

- Utilities Plan Project No. 16 127 DWG No. P1 dated 02/02/2017

2. That the Consent Holder provides formed, impermeable surfaced, marked, and suitably drained parking areas with associated vehicle manoeuvring compliant with the requirements of the District Plan for an additional 111 car parking spaces and two vehicle loading spaces. The loading spaces are to be positioned within close proximity to the proposed buildings for ease of servicing. For the purpose of this condition the formation of the impermeable surface and marking of the car parks shall start within two years of the date of this consent subject to a report being prepared by a suitably qualified engineer which confirms the area of reclamation has reached final settlement. Where the engineer's report is received and it does not confirm final settlement the formation and marking shall start within one week of a subsequent report[s] confirming final settlement.
3. That the Consent Holder install a stormwater 360 two stage storm filter system which includes a Vortcapture (model VC40) structure and a Diversion Manhole in the hardstand area and a ZPG storm filter in both areas of the car park, as detailed in the Engineer's Report prepared by NCC Consulting Engineers Ltd dated 22nd January 2014 and submitted with the application.
4. That the Consent Holder extend the 1,500 mm diameter culvert that discharges at the edge of the existing slipway as detailed in the Engineer's Report prepared by NCC Consulting Engineers Ltd dated 22nd January 2014 and submitted with the application.
5. That the Consent Holder shall obtain all necessary consents and install an internal sanitary sewer reticulation servicing the proposed development including a facility for emptying portable toilets for boat operators using the Marina.

6. That storage for wastewater purposes and with a minimum volume of 25,000 litres be provided on site so that wastewater can be stored and released to the Baffin Street Pump Station at off peak flow times to prevent overloading of the pump station. Details of the storage, the method to be used to control the timing of the discharge, and the main from the site to the Baffin Street Pump Station are to be provided prior to construction commencing on site.
7. The Consent Holder shall provide to Council a detailed landscape plan prior to the lodgement of any building consent or the commencement of any site works associated with the reclamation. The plan shall be in general accordance with the landscape concept plan prepared by Simon Cocker - Landscape Architect dated 6th July 2014, as modified by the Landscape Design Concept plans dated 30th August 2014 attached to the supplementary evidence of Simon Cocker dated 2nd September 2014. The landscape plan shall be certified by Council's Duly Authorised Officer as fulfilling the requirements of this condition and shall include the following elements:
 - A schedule of plant numbers and species types;
 - The final location of the proposed planted areas, any amenity paving, the wooden boardwalk, and any grassed areas;
 - The means and method of maintaining the proposed landscaping for a minimum of two further planting seasons or two years whichever is the longer;
 - A weed eradication plan and replacement planting program;
 - The materials and details for the timber boardwalk including the associated safety rail;
 - The materials and furnishings such as public seating, lighting poles, amenity lighting, litter bins, and other elements to be located within the outdoor space area;
 - The final scale and design of the proposed playground.

All landscaping is to be completed within six months of the final inspections for the buildings within the reclamation area, or the final building consent inspection for building N2, and maintained thereafter.

8. The Consent Holder shall provide, for the approval of Council, an Esplanade Strip plan and instrument which provides for a minimum of 6 metre wide easement along the extent of the reclamation adjoining the Coastal Marine Area and which excludes the hard stand area immediately in front of Ashby's Boatyard. This instrument is to be completed within three months of the completion of the reclamation (in order that the easement can be correctly referred to on the appropriate survey plan). The Consent Holder shall provide a Solicitor's undertaking, once approved by Council, to register the instrument on the respective titles.
9. The Consent Holder shall provide, for the approval of Council, a pedestrian access easement from the required Esplanade Strip to the legal road which is to be a minimum of 3 metres wide. The position of the access will provide an important pedestrian link to the legal road from the esplanade strip. The Consent Holder shall provide to Council a final plan, associated legal documentation, and a Solicitor's undertaking to register the document on the applicable title(s).
10. In the event of archaeological sites or kōiwi being uncovered, activities in the vicinity of the discovery shall cease and the Consent Holder shall contact Heritage New Zealand Pouhere Taonga and local Iwi. Work shall not recommence in the area of the discovery until the relevant Heritage New Zealand Pouhere Taonga approval has been obtained.

Advice Note: *The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, damage or modify the whole or any part of an archaeological site without the prior authority of Heritage New Zealand Pouhere Taonga.*

11. The Consent Holder shall provide a Construction Traffic Management Plan, prepared in consultation with the New Zealand Transport Agency and the Northland Regional Council, which shall include, but not by way of limitation, specific details relating to avoiding, remedying or mitigating any adverse effects of:

- Proposed numbers and timing of truck movements throughout the day and the proposed routes including the identification of heavy vehicle routes.
- Safe and clear pedestrian access and thoroughfare on roads and footpaths adjacent to the site.
- Construction traffic on local residents by avoiding traffic movements before 7.00 a.m. and after 8.00 p.m.
- Construction traffic on the drop-off and pick-up times at the Opua Primary School on school days by avoiding traffic movements between 8.30am and 9.15am and between 2.45pm and 3.30pm, or alternative times as may be agreed with the school authorities.

12. For operational noise generated by activities in the marina above MHWS the following noise limits shall be complied with when measured at or within any site zoned Industrial that is under the control of the Consent Holder:

0700 to 2200 hours, L_{Aeq} 65dB
2200 to 0700 hours, L_{Aeq} 55dB and L_{Amax} 80dB.

13. For operational noise generated by activities in the marina above MHWS the following noise limits shall be complied with when measured at or within any site zoned Industrial that is not under the control of the Consent Holder:

0700 to 2200 hours, L_{Aeq} 55dB
2200 to 0700 hours, L_{Aeq} 45dB and L_{Amax} 70dB.

14. Sound levels shall be measured in accordance with New Zealand Standard NZS6801: 2008 Acoustics - Measurement of Environmental Sound, and assessed in accordance with NZS6802: 2008 Acoustics-Environmental noise.

Advice Note: *The discharge from the Marina is classified as Trade Waste and the Consent Holder will be required to enter into a Trade Waste Agreement under the Council's Trade Waste Bylaw. The agreement will deal with, among other things, odour control.*

Advice Notes

1. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.

Reasons for the Decision

1. The Council has determined (by way of an earlier report and resolution) that the adverse environmental effects associated with the proposed changes are no more than minor and that there are no affected persons or affected order holders.
2. There have been no changes to objectives and policies in the Operative District Plan since the original consent was issued, and the proposed changes being sought are considered to remain consistent with the existing objectives and policies in the Operative District Plan.
3. **Part 2 Matters**
The Council has taken into account the purpose & principles outlined in sections 5, 6, 7 & 8 of the Act. It is considered that granting/declining [delete one] this resource consent application for changes to consent conditions, achieves the purpose of the Act.
4. In summary it is considered that the proposed changes are consistent with the sustainable management purpose of the RMA.

Approval

This resource consent has been prepared by Carine Andries, Resource Planner, and is granted under delegated authority (pursuant to section 34A of the Resource Management Act 1991) from the Far North District Council by:



Pat Killalea, Principal Planner

Date: 26th July 2018.

Right of Objection

If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Resource Management Act 1991) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.

Lapsing Of Consent

You should note that the granting of this consent for a change or cancellation of conditions does not affect the lapsing date of the underlying consent for the proposed activity.

