

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? **Yes** **No**

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use** **Discharge**
 Fast Track Land Use* **Change of Consent Notice (s.221(3))**
 Subdivision **Extension of time (s.125)**
 Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
 Other (please specify) _____

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

Yes **No**

4. Consultation

Have you consulted with iwi/Hapū? **Yes** **No**

If yes, which groups have you consulted with?

Te Runanga Nui o Te Aupouri

Who else have you consulted with?

NZTA, Potahi Marae Trustees

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Whakawhiti Ora Pai Society Incorporated C/- Errol Murray

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Tohu Consulting C/- Nina Pivac

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Te Runanga Nui o Te Aupouri

**Property Address/
Location:**

6652 Far North Road ,Te Kao

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Te Runanga Nui o Te Aupouri

**Site Address/
Location:**

6652 Far North Road ,Te Kao

Postcode

Legal Description:

Te Kao 71A1

Val Number:

Certificate of title:

NA54A/1304

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?

Yes **No**

Is there a dog on the property? **Yes** **No**

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please contact applicant to arrange site visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Proposed alterations to existing health clinic in the Rural Production Zone, breaching rules relating to setback, sunlight, stormwater management, building coverage, traffic, parking and sites of cultural significance.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes **No**

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent**
- Regional Council Consent (ref # if known)**
- National Environmental Standard consent**
- Other (please specify)**

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) **Yes** **No** **Don't know**

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. **Yes** **No** **Don't know**

- Subdividing land** **Disturbing, removing or sampling soil**
- Changing the use of a piece of land** **Removing or replacing a fuel storage system**

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application **Yes**

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? **Yes** **No**

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? **Yes** **No**

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.


Name/s: (please write in full)	As per applicant details	
Email:		
Phone number:	Work	Home
Postal address: (or alternative method of service under section 352 of the act)		
	Postcode	

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)	Errol Murray
Signature: (signature of bill payer)	
	Date 18 March 2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Nina Pivac

Signature:

A signature is not required if the application is made by electronic means

Date 18 March 2025

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

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Appendix A – Site, Floor and Elevation Plans

Appendix B – Certificate of Title

Appendix C – Traffic Impact Assessment

Appendix D – Stormwater Management Report

Appendix E – Written Approvals

1.0 THE APPLICANT AND PROPERTY DETAILS

To:	Far North District Council
Site address:	6652 Far North Road, Te Kao
Applicant's name:	Whakawhiti Ora Pai (C/- Errol Murray, General Manager)
Address for service:	Tohu Consulting Limited Attn: Nina Pivac 50-64 Commerce Street Kaitaia 0410
Legal description:	Te Kao 71A1 Block (NA54A/1304) ROW easement over Te Kao 71A2 Block (NA54A/1302)
Site area:	2364m ²
Site owner/s:	Te Runanga Nui o Te Aupouri
Operative District Plan:	Far North District Plan
Operative zoning:	Rural Production Zone
Overlays/resource areas:	Site of Cultural Significance (MS02-13 – Wamirirangi Marae)
Proposed zoning/overlays:	Maori Purpose – Rural Treaty Settlement Area of Interest Sites and Areas of Significance to Maori – MS02-13
Brief description of proposal:	To make alterations to an existing health clinic, which involves increasing the GFA of the existing building from approximately 400m ² to 630m ² , and increasing associated impermeable surfaces. Resource consent is required under the following rules: <ul style="list-style-type: none"> • 8.6.5.1.2 Sunlight • 8.6.5.1.3 Stormwater Management • 8.6.5.1.4 Setback from Boundaries • 8.6.5.1.5 Transportation (Parking and TIF) • 8.6.5.1.10 Building Coverage <p>All relevant written approvals have been obtained.</p>
Summary of reasons for consent:	Overall, resource consent is required as a Discretionary Activity under the Far North District Plan.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 19 March 2025

2.0 PROPOSAL

Whakawhiti Ora Pai (WOP) is a Maori Health Provider with three operating clinics based in Pukenui, Te Kao and Te Hapua. WOP provide most services typically associated with a GP/medical clinic and community health centre.

Based on Council’s records, the Te Kao WOP clinic has been operating from the subject building since 1992. The applicants now wish to make alterations to the building to provide a more ‘fit-for-purpose’ premise for their existing staff, patients and other users i.e. operations will not be increasing.

The subject site is located at 6652 Far North Road, Te Kao and is legally described as Te Kao 71A2 Block.

Proposed alterations:

Removal of part of the building

Part of the existing building currently encroaches Te Kao 71D2, which is a separate title that Potahi Marae is located on. This portion of the subject building will be removed from the site so that it no longer encroaches Te Kao 71D2.

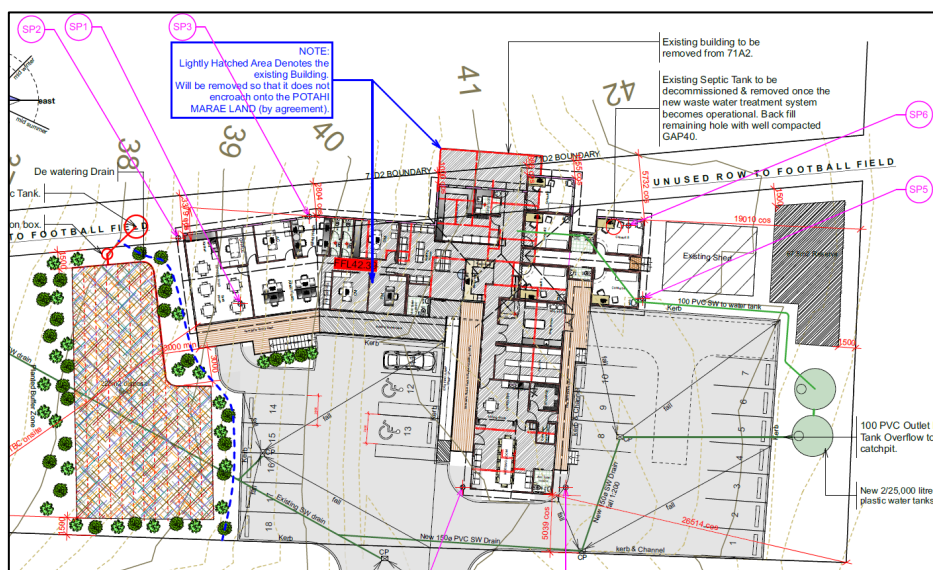


Figure 1: Excerpt of site plan showing portion of building to be removed from Te Kao 71D2 (Beard + Beard)

Increase in floor area and internal alterations

The proposed alterations will involve an increase in floor area from 400m² to 630m². The internal layout of the building will also be altered to include more consult rooms and office spaces.

Impermeable surfaces

Additional parking spaces will be provided, resulting in an increase of impermeable surfaces as per Figure 1 above. Total impermeable surfaces will equate 1362m² (57.6%).

Reasons for resource consent:

Resource consent is required under the following rules:

- 8.6.5.1.2 Sunlight
- 8.6.5.1.3 Stormwater Management
- 8.6.5.1.4 Setback from Boundaries
- 8.6.5.1.5 Transportation (Parking and TIF)
- 8.6.5.1.10 Building Coverage

A comprehensive district plan assessment has been provided in Section 4.0 below.

Overall, the application has been assessed as a **Discretionary Activity** under the ODP.

The following Assessment of Environmental Effects (AEE) has been prepared in accordance with the requirements of Section 88 of and Schedule 4 of the Resource Management Act 1991 (the Act) and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual or potential effects the proposal may have on the environment.

3.0 SITE CONTEXT

The subject site is located at 6652 Far North Road (SH1) in the centre of the Te Kao township. The site is legally described as Te Kao 71A1 Block (NA54A/1304) and is within Māori Freehold Land. A copy of the relevant Certificate of Title (CT) is attached as **Appendix B**.



Figure 2: Map showing subject site (Premise)

While in the centre of the Te Kao township, the subject site is zoned Rural Production and is located within Site of Cultural Significance MS02-13 (Waimiriangi Marae).



Figure 3: Map showing extent of Site of Cultural Significance MS02-13 (Far North Maps)

The immediate surrounding environment is characterised by a mix of activities including recreational (Te Aupouri Rugby Club), cultural (Potahi Marae and Nga Tapuwae o te Mangai Church), commercial (Te Kao Store) and residential activities (standalone dwellings and and papakainga development).

The subject site is currently used as a medical centre, as has been the situation for at least 30 years (according to Council’s records).

There are no significant areas of indigenous vegetation or habitats of indigenous fauna.

Access to the subject site is currently gained via an existing vehicle crossing off Far North Road, over an adjacent property which is also owned by the applicants, namely Te Kao 71A2 Block where the Te Kao store is currently operating. Existing access arrangements are currently informal, and the applicants have proposed to legalise these arrangements by way of ROW easement. A Traffic Impact Assessment prepared by Dean Scanlen is attached as **Appendix C**, which shows proposed access and parking arrangements. Formal written approval has also been sought from NZTA, however, no response had been received at the time of lodging this application. Comments will be forwarded to Council once received.

4.0 FAR NORTH DISTRICT PLAN ASSESSMENT

Table 2 – Assessment of Rural Production Zone and District-Wide provisions

Rural Production Zone	Permitted Standards	Compliance
Rule 8.6.5.1.1 Residential Intensity	One unit per 12ha of land is permitted, or one unit per site.	Not applicable
Rule 8.6.5.1.2 Sunlight	2m + 45-degree recession plane	The existing building is currently located across the boundaries of two other adjacent properties, being Te Kao 71D2 (Potahi

Rural Production Zone	Permitted Standards	Compliance
		<p>Marae), and Te Kao 71D3 (Te Aupouri Rugby Club). The portion of the existing WOP clinic which currently encroaches Te Kao 71D2 will be removed, as per the site plan. However, the proposed building will continue to encroach into Te Kao 71D3. All relevant written approvals have been obtained as per Appendix E.</p> <p>Restricted Discretionary Activity</p>
Rule 8.6.5.1.3 Stormwater Management	The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.	<p>Total impermeable surfaces equate to approximately 1362m² or 57.6% of the total site area, which exceeds the permitted threshold of 15%.</p> <p>Discretionary Activity</p>
Rule 8.6.5.1.4 Setback from Boundaries	10m from any site boundary	<p>The existing building is currently located across the boundaries of two other adjacent properties, being Te Kao 71D2 (Potahi Marae), and Te Kao 71D3 (Te Aupouri Rugby Club). The portion of the existing WOP clinic which currently encroaches Te Kao 71D2 will be removed, as per the site plan. However, the proposed building will continue to encroach into Te Kao 71D3. All relevant written approvals have been obtained as per Appendix E.</p> <p>Restricted Discretionary Activity</p>
Rule 8.6.5.1.5 Transportation	Refer to Chapter 15 – Transportation for Traffic, Parking and Access	<p>The proposed vehicle crossing and internal accessway will be formed to Council's Engineering Standards.</p> <p>The proposed activity is classified as a Doctors Room/Medical Centre, which requires 1 standard parking space per 20m² GFA. Based on a GFA of 630m², at least 30 standard parking spaces are required. However, there will be a shortfall of 12 parking spaces.</p> <p>According to Appendix 3C, a TIF of 315 one-way daily traffic movements will be generated by the proposed activity which exceeds the permitted threshold of 30 (via SH1), and restricted discretionary threshold of 31-200.</p> <p>Discretionary Activity</p>

Rural Production Zone	Permitted Standards	Compliance
Rule 8.6.5.1.8 Building Height	The maximum height of any building shall be 12m.	The maximum building height will be less than 12m. Permitted Activity
Rule 8.6.5.1.10 Building Coverage	Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.	Total building coverage equates to approximately 570m ² or 24% which exceeds the permitted threshold of 12.5% and restricted discretionary threshold of 15%. Discretionary Activity
Rule 12.5.6.2.2 Activities which could affect Sites of Cultural Significance for Maori	Building, excavating, filling, planting of trees or clearance of vegetation within any Site of Cultural Significance to Maori, as listed in Appendix 1F and shown on the Resource Maps, is a restricted discretionary activity, unless the activity is proposed by the requesting party, in which case this rule does not apply.	The subject site is owned by the requesting party, being Te Runanga Nui o Te Aupouri. Permitted Activity

Overall, the proposal requires resource consent as a **Discretionary Activity** under the Far North District Plan.

5.0 NES CONTAMINATED SOILS (NESCS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NES Contaminated Soils. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Based on a search of Council records, historic aerial images, and the documentation provided in support of this application, there is no evidence to suggest that a HAIL activity is, has been, or is more than likely to not have been undertaken on any part of the site. Therefore, the NES Contaminated Soils is not applicable in this instance.

6.0 NES FRESHWATER (NESFW)

A review of aerial images, including NRC's wetland maps, reveal no evidence to suggest that there are any wet areas that may be subject to the NES Freshwater provisions. Therefore, no further assessment is required under the NES Freshwater.

7.0 NPS INDIGENOUS BIODIVERSITY (NPS-IB)

As discussed earlier in the report, the subject site does not contain any significant areas of indigenous vegetation or habitats of indigenous fauna.

8.0 NPS HIGHLY PRODUCTIVE LAND (NPSHPL)

As shown on Far North LUC Maps, the site does not contain any highly versatile soils. The NPSHPL is therefore not applicable in this instance.

9.0 NOTIFICATION

Public Notification

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

Step 1: Mandatory public notification is required in certain circumstances

Under Section 95A(3) an application must be publicly notified if:

- a) *the applicant has requested that the application be publicly notified;*
- b) *public notification is required under Section 95C.*

The applicant is not requesting public notification under clause (a). Clause (b) provisions relate to where an applicant does not provide further information formally requested under Section 92, which is not applicable in this case.

Public notification is not required and therefore Step 2 must be considered.

Step 2: If not required by Step 1, public notification precluded in certain circumstances

Under Section 95A (4) an application must not be publicly notified if:

- a) *the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;*
- b) *the application is for a resource consent for 1 or more of the following, but no other, activities:*
 - i. *a controlled activity;*
 - ii. *a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;*

None of the above criteria apply, therefore public notification is not precluded in this instance. Step 3 must be considered.

Step 3: If not precluded by step 2, public notification required in certain circumstances

Under Section Under Section 95A(7), public notification is required if:

- a) *the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;*
- b) *the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.*

Clause (a) does not apply in this situation.

An assessment of environmental effects in accordance with s95D has been undertaken in Section 8.0 below which concludes that any adverse effect arising as a result of the proposed development will be less than minor. Public notification is therefore not required in this instance.

Step 4: Public notification in special circumstances

Section 95A(9) sets out that the council is required to determine whether special circumstances exist that warrant it being publicly notified.

Special circumstances are those that are:

- *exceptional or unusual, but something less than extraordinary; or*
- *outside of the common run of applications of this nature; or*
- *circumstances which make notification desirable, notwithstanding the conclusion that the adverse effects will be no more than minor.*

There are no special circumstances that apply to the subject site.

Public Notification Conclusion

Based on the above, it is considered that this application can be processed without public notification.

Limited Notification

Under Section 95B, if an application is not publicly notified, the Council must decide if there are any 'affected persons' and undertake limited notification to those persons. Under Section 95E(1) a person is considered 'affected' if the adverse effects of the activity on that person are 'minor or more than minor'. If the application is not publicly notified, the consent authority must follow the following steps to determine whether to give limited notification of an application.

Step 1: Certain affected protected customary rights groups must be notified

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups, or affected persons under a statutory acknowledgement affecting the land.

The above does not apply to this land.

Step 2: If not required by step 1, limited notification precluded in certain circumstances

Step 2 describes that limited notification is precluded where all applicable rules and NES preclude limited notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity under section 360H(1)(a)(ii).

None of the above apply in this instance.

Step 3: if not precluded by step 2, certain other affected persons must be notified

In the case of a boundary activity, Council shall determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

In the case of any other activity, Council shall determine whether a person is an affected person in accordance with section 95E.

If yes to any of the above, Council shall notify each affected person identified under subsections (7) and (8) of the application.

As per the assessment of effects, all relevant written approvals have been provided including from the iwi authority (Te Runanga Nui o Te Aupouri), trustees of Potahi Marae, and NZTA.

Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification. As previously discussed, special circumstances are not considered to apply to this proposal.

Limited Notification Conclusion

Having undertaken the s95B limited notification tests, it is considered that this application can be processed without limited notification.

10.0 ASSESSMENT OF ENVIRONMENTAL EFFECTS

In accordance with Section 88(2)(b) of the Act and Clause 1(d) of Schedule 4, this assessment of environmental effects of the proposed activity has been prepared in such detail as corresponds with the scale and significance of the effects it may have on the environment.

Sunlight and Setback from Boundaries

As per the site plan provided with the application, part of the existing building to the north is located over the boundaries of two other adjacent properties. These are Te Kao 71D2 Block on which Potahi Marae is located, and an unused pan handle of Te Kao 71D3 Block on which the Te Aupouri Rugby Football Club is located. As per a private agreement between the applicants and Potahi Marae trustees, that part of the existing building which encroaches into Te Kao 71D2 will be removed from the site. However, part of the proposed building will continue to encroach into Te Kao 71D3. The applicants propose to hold these two titles together via s75 of the Building Act such that they cannot be transferred or leased except in conjunction with any specified other or others of those allotments. All relevant written approvals have been provided as per **Appendix E**.

There is also a setback infringement on the southern boundary of the subject site, where the proposed building is setback 5m from the boundary. The affected property, being Te Kao 71A2, is also owned by Te Runanga Nui o Te Aupouri who have provided written approval in support of the proposed development.

On the basis that written approval has been provided by all parties affected by the setback and sunlight infringements, any adverse effects in relation to these rules can be disregarded.

Stormwater Management

The proposed development will see a net increase in impermeable surfaces of approximately 394m², as per Table 1 below:

Table 1: Excerpt from Stormwater Management Report (Wilton Joubert)

	Pre-Development	Post-Development	Total Change
Total Roof Area	488 m ²	618 m ²	130 m ²
Health Clinic Main Structures*	440 m ²	570 m ²	
Shed / Garage	48 m ²	48 m ²	
Total Driveway*	480 m ²	744 m ²	264 m ²
Pervious	1,396 m ²	1,002 m ²	-394 m ²

*Existing impermeable areas estimated using FNDC GIS Aerial Imagery and is indicative only.

Total impermeable surfaces post-development will equate to 1362m² or 57.6% of the site area which exceeds the permitted threshold of 15%, and the controlled threshold of 20%.

A Stormwater Management Report has been prepared by Wilton Joubert in support of the proposed development which concludes that the effects of stormwater runoff will be less than minor subject to the implementation of those recommendations outlined in Section 5 of their report.

Building Coverage

As per the plans provided with the application, total building coverage will equate to approximately 570m² or 24.1% of the total site area which exceeds the permitted threshold of 12.5% and controlled threshold of 15%.

It should be noted that the health clinic has been operating from this site since the 1980s, according to Council's property file. Given the building is already existing, the applicants have very little flexibility in terms of optimal siting and setbacks from boundaries. However, as the proposed activity is an essential service to the Te Kao township and surrounds - visual amenity, privacy, and outlook effects generated by the health clinic have never been considered an issue to the local community.

While the proposed building will be clearly visible from all vantage points, it is considered that any adverse effects in relation to visual amenity will be less than minor for the following reasons:

- The health clinic has been operating from the subject site for at least 30 years with no issues known to arise regarding privacy and outlook.
- The subject site and all adjacent properties to the north, south and east are all used for community purposes which has been locally accepted for as long as these buildings have existed. It is therefore considered that the scale and bulk of the building is consistent with the character and development patterns in the immediate surrounding environment.
- The owners/administrators of adjacent properties to the north, south and east have provided their written approvals. Therefore, any adverse effects where they affect these properties can be disregarded.

On the basis of the above, it is considered that any adverse effects in relation to building coverage will be less than minor.

Cultural and Heritage Resources

Far North Maps show that the subject site is located within a Site of Cultural Significance, Council reference MS02-13 and described as Waimirangi Marae. The requesting party is Te Runanga Nui o Te Aupouri, who also own the subject site on which the health clinic is situated, and have provided written approval in support of the proposed development. It is therefore considered that any adverse effects in relation to cultural and heritage resources will be less than minor.

Traffic and Parking

When calculating TIF and parking requirements, it is considered that the category of 'Doctor Rooms/Medical Centre' is the most appropriate for the proposed activity.

The relevant formulas are outlined in Table 2 below:

Table 2: Table showing TIF and parking calculations using formulas relevant to the proposal

Land Use Activity	TIF/Parking Formula	Comment
Doctors Rooms/Medical Centre	TIF: 50 per 100m ² GFA	Based on a GFA of 630m ² , the proposed development would theoretically generate a TIF of 315 one-way daily traffic movements which is considered a Discretionary Activity.
Doctors Rooms/Medical Centre	Parking: 1 per 20m ² GFA Plus 1 accessible parking space	Based on a GFA of 630m ² , a minimum of 32 standard parking spaces are required plus two accessible parking spaces. As per the site plan, 18 standard parking spaces plus two accessible parking spaces will be provided. While there is a parking shortfall, the proposed parking arrangements are considered to be adequate as explained in the TIA.

Traffic and parking effects have been comprehensively described in the Traffic Impact Assessment (TIA) prepared by Dean Scanlen at Engineering Outcomes in support of the proposed development. In summary, it is concluded that the traffic effects of the proposal will be well managed such that the associated risks are well within acceptable limits and the effects will be less than minor.

In particular, no increase in either staffing or patient visits are expected as a result of the expansion, which is necessary primarily because of under-capacity of the existing facility. As such, there will be no increase in traffic over and above that resulting from expected future population growth and demographic changes in the locality.

The traffic generation is currently estimated at 62 to 66 movements per day on days in which the general practitioner is at the clinic (one to two days per week) and 46 to 50 movements on other days. Most residences in Te Kao are within a comfortable walking distance of the site, so walking trips are expected to be significant.

The sight distances in relation to the access connection are at least the highest standard applicable to safety along all vectors and are more than adequate.

Widening of Far North Road is not warranted through the connection point. The effects on the wider road network are also assessed to be negligible.

Overall, subject to the implementations of those recommendations outlined in the TIA, it has been concluded that traffic effects and safety risks associated with the proposal will be less than minor.

It should be noted that NZTA are currently reviewing the TIA and will be providing comment in due course.

Conclusion

Based on the above, it is considered that any adverse effects as a result of the proposal will be less than minor.

11.0 SECTION 104 ASSESSMENT

Assessment of Effects

Section 104(1)(a) requires consideration of any actual and potential effects on the environment of allowing the activity. This has been carried out in the assessment above. The conclusion reached overall is that the adverse effects of granting consent to the proposal are less than minor. Some positive effects will arise from the development, including:

- The provision for cultural well-being of the applicants and wider whānau;
- The provision of social well-being through addressing the current housing shortage in the Far North;
- The proposed development will also provide for the economical well-being of the Far North District through providing employment opportunities throughout the construction phase.

Therefore, the effects are considered acceptable in the receiving environment.

National and Regional Planning Documents

Other than those discussed earlier, there are no other national or regional planning documents directly relevant to this application.

Operative Far North District Plan – Objectives and Policies

The relevant objectives and policies of the District Plan can be found in the Rural Production Zone Chapters.

Rural Production Zone - Objectives	
Objective	Comment
8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.	The proposed development enables the efficient use of land where the site can continue to be used for social, cultural and educational purposes in a manner that will not degrade the natural and physical resources in the area.
8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety.	The proposal will enable the efficient use of Māori land and will promote strengthened connections between the applicants and their whenua.
8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.	As per the assessment of effects above, the proposed development aims to maintain the rural amenity of the site.

Rural Production Zone - Objectives	
Objective	Comment
8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone.	As per the assessment of effects above, the proposed development will not result in any adverse effects on the significant natural values of the Rural Production Zone.
8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.	Not applicable
8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.	As concluded in the assessment of effects above, the proposal will not result in any reverse sensitivity effects.
8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.	As above.
8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.	Not applicable.
8.6.3.9 To enable rural production activities to be undertaken in the zone.	The proposed development will not adversely affect rural production activities occurring in the area.

Rural Production Zone - Policies	
Policy	Comment
8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.	As per the assessment of effects, adjacent rural production activities will remain unaffected.
8.6.4.2 That standards be imposed to ensure that the off site effects of activities in the Rural Production Zone are avoided, remedied or mitigated.	As above.
8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.	As above.
8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.	As per the assessment of effects, the subject site is currently being used for social purposes as has been the situation for at least 30 years. The use of the site will remain unchanged. The site is not suitable for production purposes, which is reflected in the PDP

Rural Production Zone - Policies	
Policy	Comment
	where it proposed to rezone the site to Maori Purpose.
8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.	As above.
8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.	Not applicable
8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.	Given the subject site is Māori freehold land, it is considered that the nature of the proposed development, which provides for the continued operation of a maori health clinic, is considered appropriate for the subject site.
8.6.4.8 That activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities.	As concluded in the assessment of effects above, the proposal will not result in any reverse sensitivity effects.
8.6.4.9 That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones	As concluded in the assessment of effects above, the proposal will not result in any reverse sensitivity effects.

Proposed Far North District Plan – Objectives and Policies

As of Monday 4 September 2023, the further submission period on the PDP has closed. However, Council are yet to make a decision on submissions made and publicly notify this decision. Therefore, the application shall only 'have regard to' the relevant objectives and policies in the PDP. Relevant objectives and policies in the PDP are contained within the Rural Production Chapter and Historical and Cultural Values Chapter.

Based on the AEE, it is considered that the proposal is largely consistent with the anticipated outcome of the relevant objectives and policies, particularly the following:

- MPZ01 to MPZ03
- SASM-O1 to SASM-O5
- SASM-P1 to SASM-P5

Other Matters

There are no other matters considered relevant to the proposal.

12.0 PART 2 ASSESSMENT

As per current case law, an assessment of matters under Part 2 is only required where there is invalidity, incomplete coverage or uncertainty in the planning provisions. The Operative District Plans contain provisions that are relevant to the proposal, and there is no evidence to suggest the relevant provisions are invalid, incomplete or present uncertainty in making any decision. No assessment of the Part 2 provisions is therefore required.

13.0 OVERALL CONCLUSION

The applicants, Whakawhiti Ora Pai, propose to make alterations to an existing health clinic, which involves increasing the GFA of the existing building from approximately 400m² to 630m², and increasing associated impermeable surfaces. Resource consent is required under the following rules:

- 8.6.5.1.2 Sunlight
- 8.6.5.1.3 Stormwater Management
- 8.6.5.1.4 Setback from Boundaries
- 8.6.5.1.5 Transportation (Parking and TIF)
- 8.6.5.1.10 Building Coverage

Overall, the application has been assessed as a Discretionary activity.

A TIA and Stormwater Management Report, along with all relevant written approvals, have been provided in support of the proposal.

Based on the assessment of effects above, it is concluded that any potential adverse effects on the existing environment and potentially affected parties would be no more than minor and can be managed in terms of appropriate conditions of consent.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that the application for resource consent can be granted on a non-notified basis.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 19 March 2025

APPENDICES:

Appendix A – Site, Floor and Elevation Plans

Appendix B – Certificate of Title

Appendix C – Traffic Impact Assessment

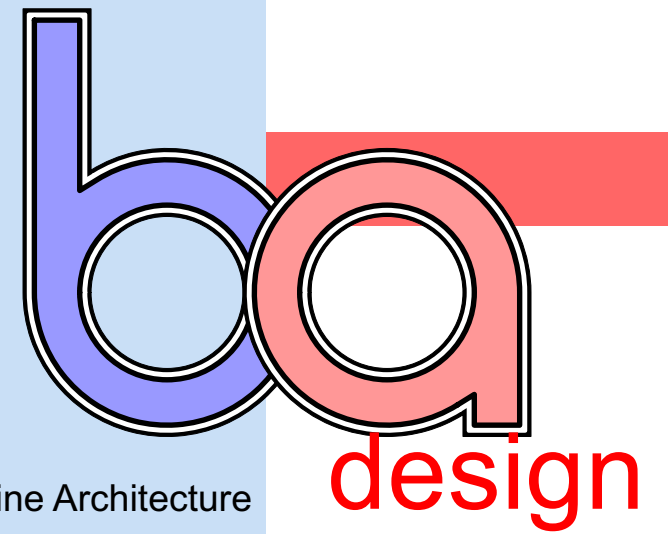
Appendix D – Stormwater Management Report

Appendix E – Written Approvals

Appendix A – Site, Floor and Elevation Plans

commercial & industrial development - structural design - residential design - new homes - alterations - extensions - garages

Sheet No.	Sheet Name	Rev. No.
A01	SITE PLAN	None
A01.1	LOCALITY PLAN	None
A01.2	GROUND SUITABILITY TEST	None
A01.3	GROUND SUITABILITY TEST	None
A02	FLOOR PLAN	None
A02.1	WALL FRAMING PLAN	None
A02.2	FLOORSLAB PLAN-STORAGE UNDER	None
A02.3	FLOOR COVERING PLAN	None
A02.3.1	SAFETREAD COVERING CRF	None
A02.3.2	FELTEX COVERING CRF	None
A02.4	PAINT FINISHING PLAN	None
A02.5	GENERAL PAINT SPEC	None
A02.6	CEILING PAINT SPEC	None
A02.7	FIRERATED PAINT SPEC	None
A02.8	WALL LINING PLAN	None
A02.9	INTERCENCY WALLS	None
A03	PILE FOUNDATION BRACING PLAN	None
A03.1	SUBFLOOR BRACE CALC AREA X	None
A03.2	SUBFLOOR BRACE CALC AREA Y	None
A03.3	JOIST FRAMING PLAN	None
A03.4	BKN12KN CONNECTION	None
A03.5	ANCHORPILE DETAIL	None
A03.6	PILE TO PILE BRACE DETAIL	None
A03.7	PILE TO BEARER BRACE DETAIL	None
A03.8	TYPICAL STEP DETAIL	None
A03.9	TYPICAL CONCRETE/TIMBER FLOOR FOOTING DETAIL	None
A03.10	DESIGNIT	None
A03.11	DESIGNIT	None
A03.12	DESIGNIT PS1	None
A04	ROOM PLAN-CLOSE UP	None
A04.1	ROOM PLAN-CLOSE UP	None
A04.2	ROOM PLAN-CLOSE UP	None
A04.3	ROOM PLAN-CLOSE UP	None
A04.4	ROOM PLAN-CLOSE UP	None
A05	PLUMBING & DRAINAGE LAYOUT	None
A05.1	SANITARY PLUMBING & DRAINAGE LAYOUT	None
A05.2	GULLY TRAP BEDDING DETAILS	None
A05.3	HWC DETAILS	None
A06	LOAD & NON LOADING WALL	None
A06.0	WALL BRACING PLAN-UPPER	None
A06.1	WALL BRACING PLAN-LOWER	None
A06.2	UPPER WALL BRACING CALCS	None
A06.3	UPPER WALL BRACING CALCS	None
A06.4	LOWER WALL BRACING CALCS	None
A06.5	LAPPED OR BUTTED JOINTS IN FLOOR JOISTS	None
A06.6	TYPICAL FLOOR JOIST LAYOUT NZ3604:2011	None
A07	ROOF FRAMING PLAN	None
A07.1	LINTEL PLAN	None
A07.2	TRUSS DESIGN	None
A07.3	TRUSS DESIGN	None
A07.4	TRUSS DESIGN	None
A07.5	TRUSS DESIGN	None
A07.6	LINTELSTUD FIXINGS-TIMBER	None
A08	ROOF PLAN	None
A09	EMERGENCY LIGHTING PLAN	None
A09.1	GENERAL LIGHTING	None
A09.2	POWER POINT/DATA PLAN	None
A09.3	VENTILATION PLAN	None
A10	ELEVATIONS	None
A11	ELEVATIONS	None
A12	RISK MATRIX	None
A13	CROSS SECTION A-A	None
A13.1	ARCHITECTURAL DETAILS A	None
A14	CROSS SECTION B-B	None
A14.1	ARCHITECTURAL DETAILS B	None
A14.1	ARCHITECTURAL DETAILS B	None
A14.2	ARCHITECTURAL DETAILS B	None
A14.3	ARCHITECTURAL DETAILS B	None
A15	LONG SECTION C-C	None
A15.1	ARCHITECTURAL DETAILS C	None
A15.2	ARCHITECTURAL DETAILS C	None
A16	CROSS SECTION D-D	None
A16.1	ARCHITECTURAL DETAILS D	None
A17	CROSS SECTION E-E	None
A17.1	ARCHITECTURAL DETAILS E	None
A18	CROSS SECTION F-F	None
A18.1	ARCHITECTURAL DETAILS F	None
A19	LONG SECTION G-G	None
A20	HEAD AXON PANEL CLADDING DETAIL	None
A20.1	SILL AXON PANEL CLADDING DETAIL	None
A20.2	JAMB AXON PANEL CLADDING DETAIL	None
A21	INTERNAL CORNER AXON PANEL CLADDING DETAIL	None
A21.1	EXTERNAL CORNER AXON PANEL CLADDING DETAIL	None
A22	SOFFIT AXON PANEL CLADDING DETAILS	None
A22.1	BASE AXON PANEL CLADDING DETAILS	None
A22.4	BASE GONG AXON PANEL CLADDING DETAILS	None
A22.2	VERTICAL JOINT AXON PANEL CLADDING DETAILS	None
A22.3	HORIZONTAL JOINT AXON PANEL CLADDING DETAILS	None
A23	HORIZONTAL JOINT AT FLOOR JOIST AXON PANEL CLADDING DETAIL	None
A23.2	CLADDING PENETRATION DETAIL	None
A24	DOOR SCHEDULE	None
A25	WINDOW SCHEDULE	None
A26	WINDOW SCHEDULE	None
B01	E3-BATHROOM DETAILS	None
B07	ACCESSIBLE SIGNAGE	None
B08	ACCESSIBLE TOILET	None
M02	BOWMACBOTTOM PLATE FIXING	None
M03	LUMBERLOK DECK CONNECTION DETAILS	None
M04	BEDDING AND BACKFILLING	None
M05	WATER FILTRATION DEVICE	None
M08	VALLEY GUTTER DETAIL	None
M09	STUD-PLATE FIXING	None
M10	STUD-PLATE FIXING	None
M11	FIXING TYPE & CAPACITY	None
M12	BOVMAC STUD/TOP PLATE FIXING	None
M13	MITEK LINTELSTUD FIXINGS	None
M14	DEKITE DETAIL	None
M15	OUTRIGGER DETAIL	None
M16	TYPICAL VERGE DETAIL	None
M18	DRAINAGE PAVEMENT CONCRETE SLAB ON GROUND	None
WC01	GIB AQUALINE INSTALLTION DETAILS	None
WC02	GIB AQUALINE INSTALLTION DETAILS	None
WC03	GIB INSTALLTION DETAILS	None
WC04	GIB INSTALLTION DETAILS	None
WC05	GIB INSTALLTION DETAILS	None
WC06	GIB FIRE RATED SYSTEMS INSTALLTION DETAILS	None
WC07	GIB FIRE RATED SYSTEMS INSTALLTION DETAILS	None
WC08	GIB FIRE RATED SYSTEMS INSTALLTION DETAILS	None
WC08.1	GIB FIRE RATED SYSTEMS INSTALLTION DETAILS	None
WC09	GIB FIRE RATED SYSTEMS INSTALLTION DETAILS	None
WC10	GIB FIRE RATED SYSTEMS INSTALLTION DETAILS	None
WC11	SERATONE WALL CLADDING	None
WC12	SERATONE WALL CLADDING	None
FC01	VINYL SPEC	None
FC02	VINYL SPEC	None
FC03	VINYL SPEC	None
FC04	VINYL SPEC	None
FC05	EDGE PROTECTOR	None
UB1	UNEX BALUSTRADE	None
UB2	UNEX BALUSTRADE	None
UB3	UNEX BALUSTRADE	None
H01	H1 REPORT	None
H02	H1 REPORT	None
H03	H1 REPORT	None
H04	H1 REPORT	None



Beard Online Architecture

ARCHITECTURAL & STRUCTURAL DESIGNERS

Proposed Extension/Alteration to Existing Building

DESIGN

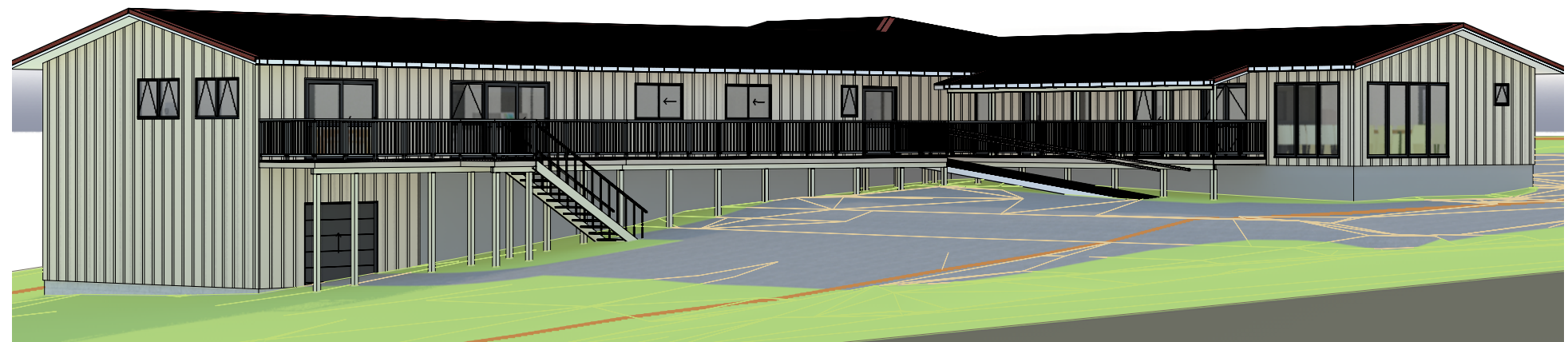
STRATEGY

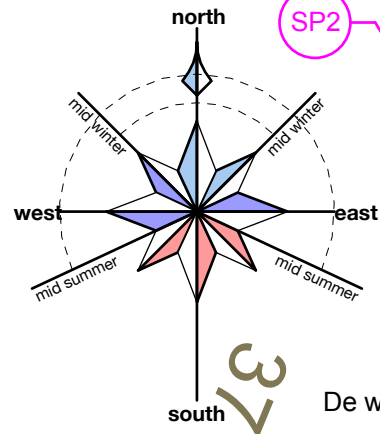
VISION

For

Whakawhiti Ora Pai Te Kao

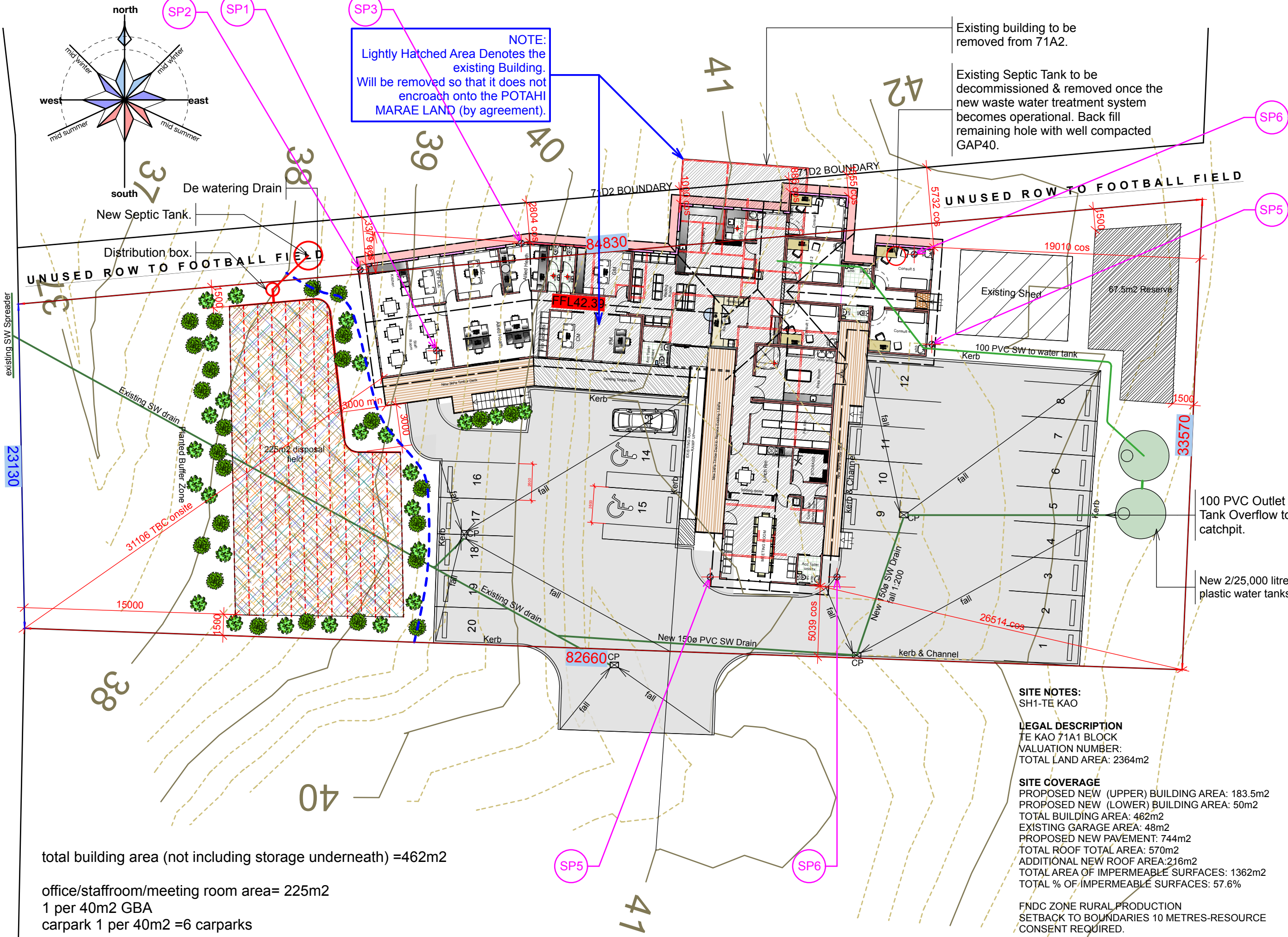
6652 Far North Road, Te Kao





NOTE:
Lightly Hatched Area Denotes the existing Building.
Will be removed so that it does not encroach onto the POTAHU MAREE LAND (by agreement).

Existing building to be removed from 71A2.
Existing Septic Tank to be decommissioned & removed once the new waste water treatment system becomes operational. Back fill remaining hole with well compacted GAP40.



existing SW Spreader
23130

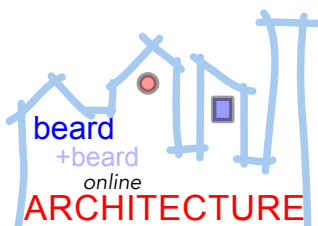
total building area (not including storage underneath) = 462m²
office/staffroom/meeting room area = 225m²
1 per 40m² GBA
carpark 1 per 40m² = 6 carparks
consults/waiting/reception area = 237m²
1 per 20m² GBA
carpark 1 per 20m² = 12 carparks
Total Car Park Required = 18

SITE NOTES:
SH1-TE KAO
LEGAL DESCRIPTION
TE KAO 71A1 BLOCK
VALUATION NUMBER:
TOTAL LAND AREA: 2364m²
SITE COVERAGE
PROPOSED NEW (UPPER) BUILDING AREA: 183.5m²
PROPOSED NEW (LOWER) BUILDING AREA: 50m²
TOTAL BUILDING AREA: 462m²
EXISTING GARAGE AREA: 48m²
PROPOSED NEW PAVEMENT: 744m²
TOTAL ROOF TOTAL AREA: 570m²
ADDITIONAL NEW ROOF AREA: 216m²
TOTAL AREA OF IMPERMEABLE SURFACES: 1362m²
TOTAL % OF IMPERMEABLE SURFACES: 57.6%
FNDC ZONE RURAL PRODUCTION
SETBACK TO BOUNDARIES 10 METRES-RESOURCE CONSENT REQUIRED.
EARTHQUAKE ZONE 1
EXPOSURE ZONE C
CLIMATE ZONE 1
WIND REGION A
WIND ZONE HIGH
SNOW ZONE NO
LEE ZONE NO

ISSUE	DATE	BY

NOTES
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
DRAWINGS ARE NOT TO BE SCALED.
USE ONLY FIGURED DIMENSIONS.

100 PVC Outlet From Tank Overflow to new catchpit.
New 2/25,000 litre plastic water tanks.



Address -106 Arawhata Road, Kaingaroa 0483
Work - 09 408 7123
Doug Cell - 021 125 8866
Tyler Cell - 021 247 7232

Client
WHAKAWHITI ORA PAI-TE KAO
Project
EXTENSION PROPOSED NEW MEDICAL FACILITY

Sheet Name:
SITE PLAN

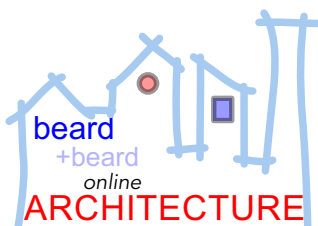
Date: 31/10/2024
Drawn By: TB/DB Scale: 1:250
Sheet: **A01**
Total Sheets: 139



Te Kao 71A1 Block

ISSUE AMENDMENTS	BY	DATE	ISSUE	REV

NOTES
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 DRAWINGS ARE NOT TO BE SCALED.
 USE ONLY FIGURED DIMENSIONS.



Address -106 Arawhata Road,
 Kaingaroa 0483
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 Tyler Cell - 021 247 7232

Client
WHAKAWHITI ORA
PAI-TE KAO

Project
EXTENSION
PROPOSED NEW
MEDICAL FACILITY

Sheet Name:
LOCALITY PLAN

Date: 31/10/2024

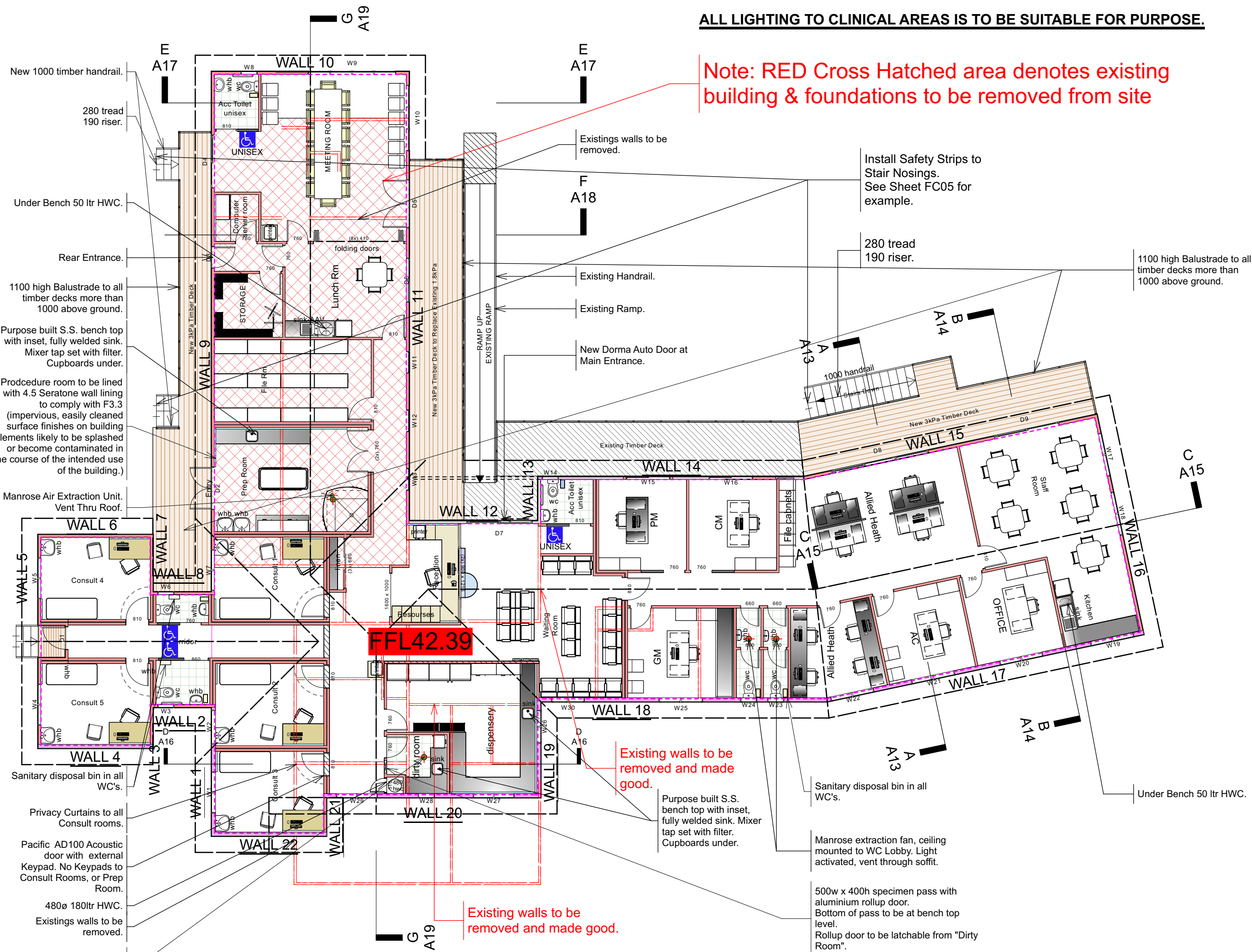
Drawn By: TB/DB Scale: 1:250

Sheet: A01.1

Total Sheets: 135

ALL LIGHTING TO CLINICAL AREAS IS TO BE SUITABLE FOR PURPOSE.

Note: RED Cross Hatched area denotes existing building & foundations to be removed from site



FFL42.39

Existing walls to be removed and made good.

Existing walls to be removed and made good.

Install Safety Strips to Stair Nosings. See Sheet FC05 for example.

1100 high Balustrade to all timber decks more than 1000 above ground.

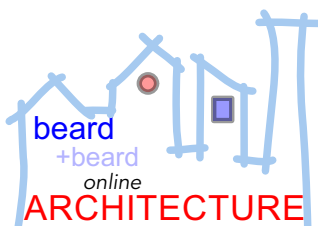
Manrose extraction fan, ceiling mounted to WC Lobby. Light activated, vent through soffit.

500w x 400h specimen pass with aluminium rollup door. Bottom of pass to be at bench top level. Rollup door to be latchable from "Dirty Room".

TOTAL FLOOR AREA = 462.3723m²

ISSUE AMENDMENTS	ISSUE	REV

NOTES
 ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
 DRAWINGS ARE NOT TO BE SCALED.
 USE ONLY FIGURED DIMENSIONS.



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 Tyler Cell - 021 247 7232

Client
**WHAKAWHITI ORA
 PAI-TE KAO**
 Project
**EXTENSION
 PROPOSED NEW
 MEDICAL FACILITY**

Sheet Name:
FLOOR PLAN

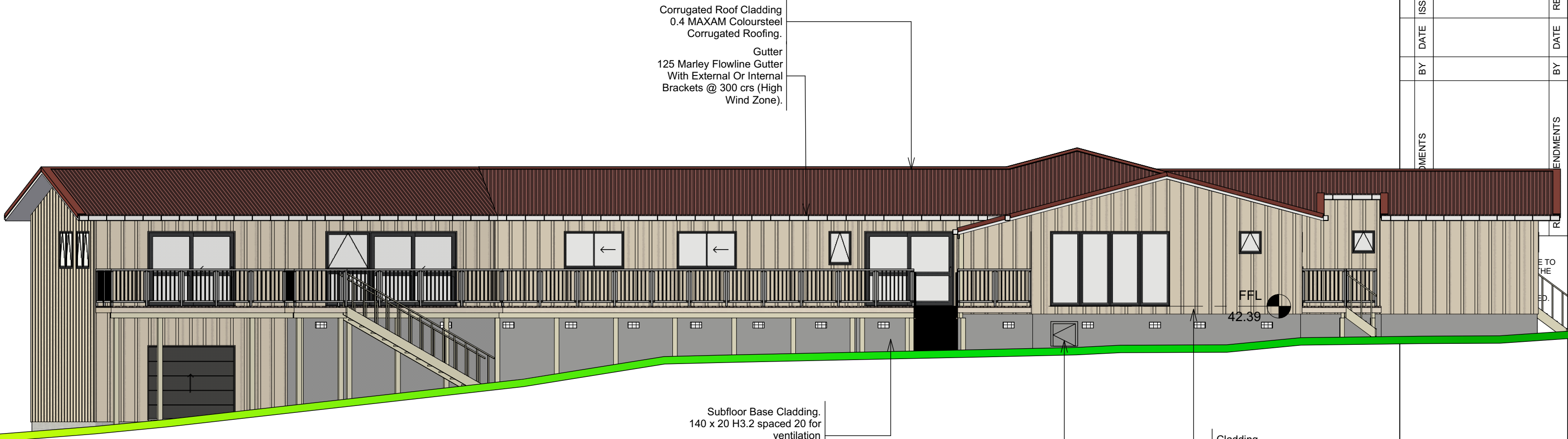
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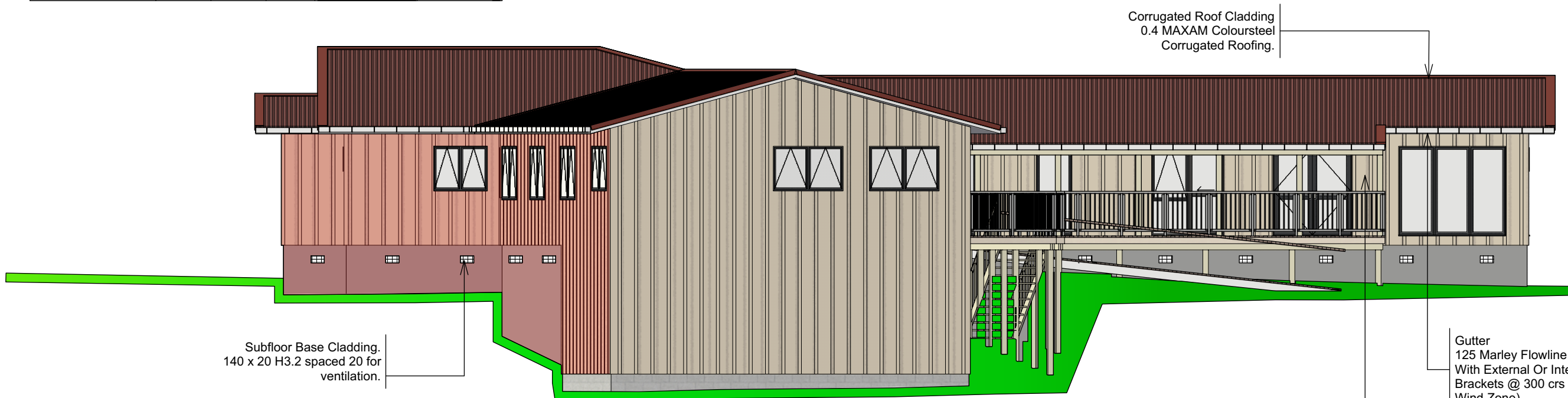
Total Sheets: 135

ISSUE		REV	
DATE		DATE	
BY		BY	
COMMENTS		REVISIONS	



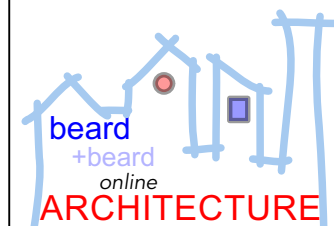
South Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	1
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	0
Envelope complexity	0	1	3	6	2
Decks	0	2	4	6	0
Total Risk Factor					3

B SOUTH WALL ELEVATION



West Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	1
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	0
Envelope complexity	0	1	3	6	2
Decks	0	2	4	6	0
Total Risk Factor					3

A WEST WALL ELEVATION



Address -106 Arawhata Road,
Kaingaroa 0483
Work - 09 408 7123
Doug Cell - 021 125 8866
Tyler Cell - 021 247 7232

Client
**WHAKAWHITI ORA
PAI-TE KAO**
Project
**EXTENSION
PROPOSED NEW
MEDICAL FACILITY**

Sheet Name:
ELEVATIONS

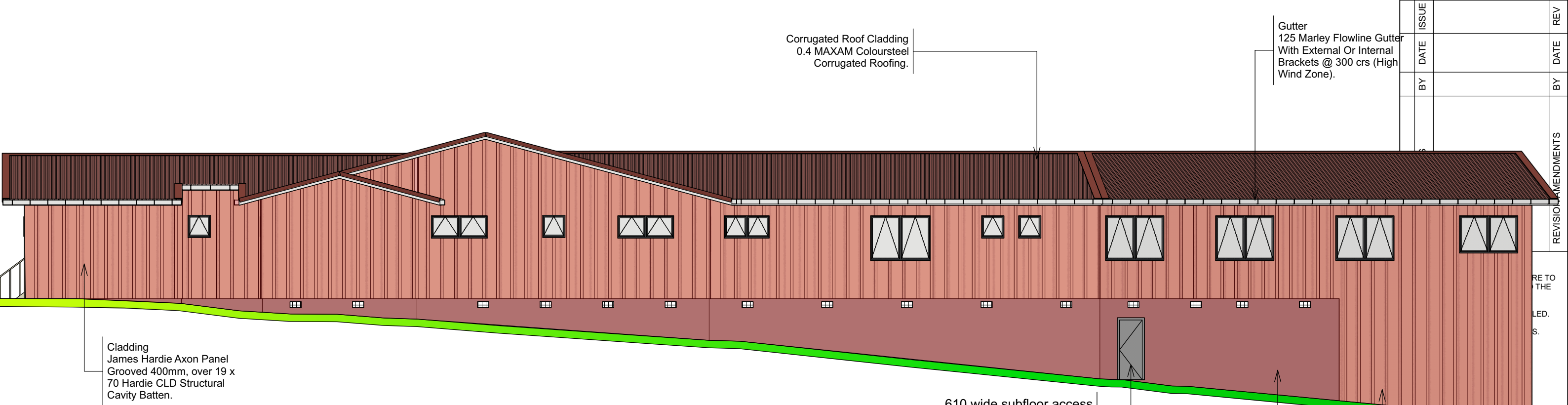
Date: 31/10/2024

Drawn By: TB/DB Scale: 1:100

Sheet: **A10**

Total Sheets: **135**

ISSUE	DATE	BY	REVISIONS



Cladding
James Hardie Axon Panel
Grooved 400mm, over 19 x
70 Hardie CLD Structural
Cavity Batten.

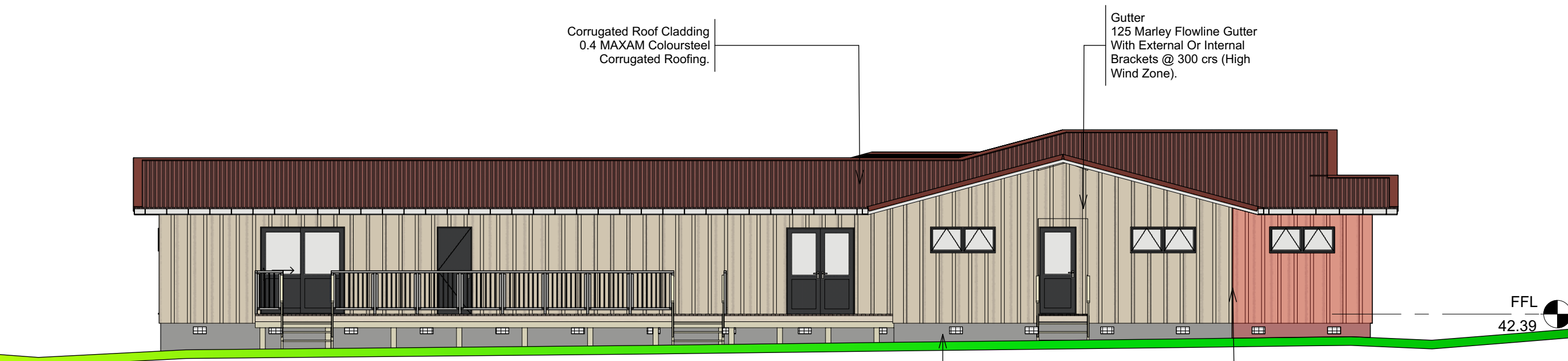
North Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1		1
Number of Storeys	0	1	2		0
Roof/Wall junctions	0	1	3		0
Eave width	0	1	2		0
Envelope complexity	0	1	3		2
Decks	0	2	4		0
Total Risk Factor					3

D NORTH
WALL ELEVATION

610 wide subfloor access door

Subfloor Base Cladding.
140 x 20 H3.2 spaced 20 for ventilation.

Cladding
James Hardie Axon Panel
Grooved 400mm, over 19 x
70 Hardie CLD Structural
Cavity Batten.



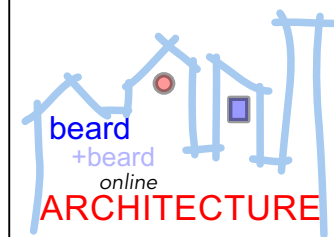
Corrugated Roof Cladding
0.4 MAXAM Coloursteel
Corrugated Roofing.

Gutter
125 Marley Flowline Gutter
With External Or Internal
Brackets @ 300 crs (High
Wind Zone).

Subfloor Base Cladding.
140 x 20 H3.2 spaced 20 for ventilation.

Cladding
James Hardie Axon Panel
Grooved 400mm, over 19 x
70 Hardie CLD Structural
Cavity Batten.

FFL
42.39



Address -106 Arawhata Road,
Kaingaroa 0483
Work - 09 408 7123
Doug Cell - 021 125 8866
Tyler Cell - 021 247 7232

Client
**WHAKAWHITI ORA
PAI-TE KAO**
Project
**EXTENSION
PROPOSED NEW
MEDICAL FACILITY**

Sheet Name:
ELEVATIONS

Date: 31/10/2024

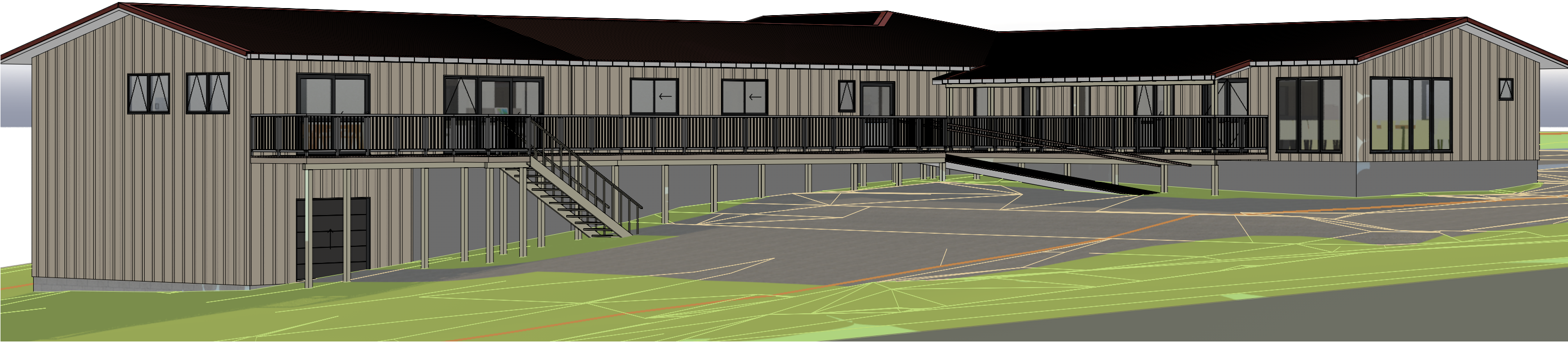
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Sheet: A11

Total Sheets: 135

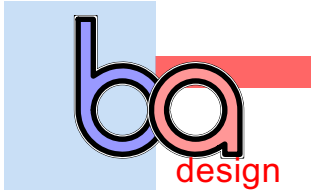
C EAST
WALL ELEVATION

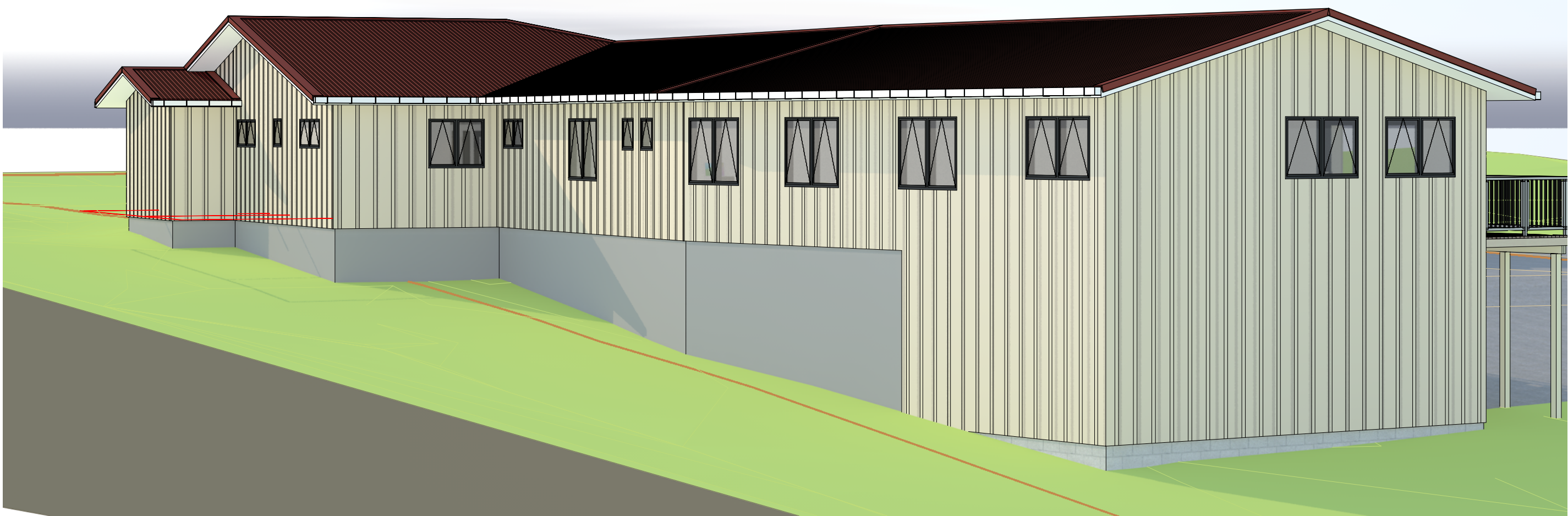
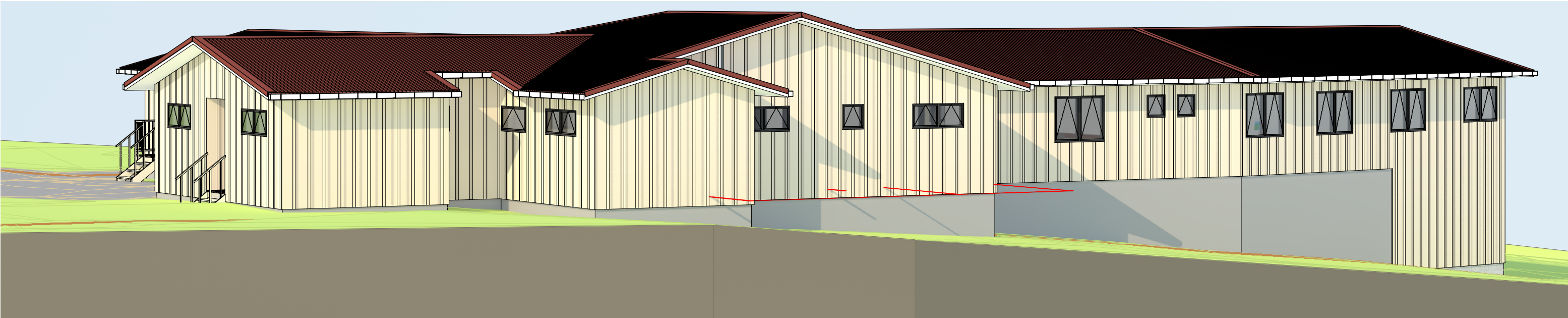
East Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1		1
Number of Storeys	0	1	2		0
Roof/Wall junctions	0	1	3		0
Eave width	0	1	2		0
Envelope complexity	0	1	3		2
Decks	0	2	4		0
Total Risk Factor					3



PERSPECTIVES

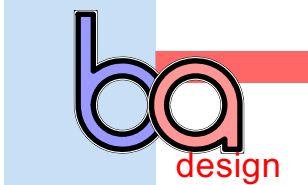
WHAKAWHITI ORA PAI-TE KAO EXTENSION





PERSPECTIVES

WHAKAWHITI ORA PAI-TE KAO EXTENSION

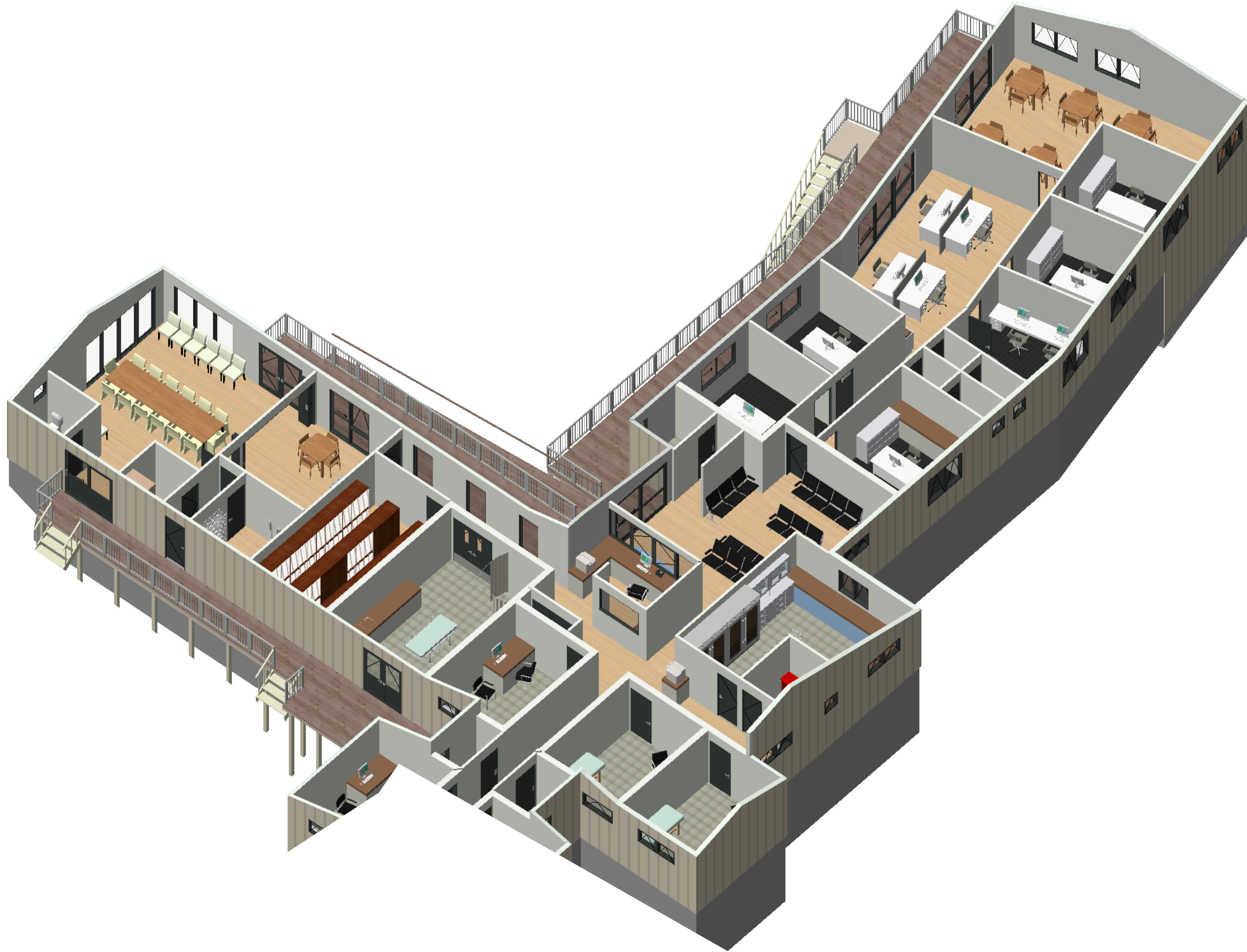




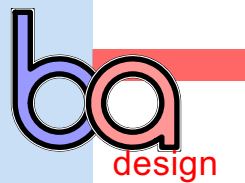
PERSPECTIVES-OVERVIEW
WHAKAWHITI ORA PAI-TE KAO EXTENSION



PERSPECTIVES-OVERVIEW
WHAKAWHITI ORA PAI-TE KAO EXTENSION



PERSPECTIVES-OVERVIEW
WHAKAWHITI ORA PAI-TE KAO EXTENSION



Appendix B – Certificate of Title



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier **NA54A/1304**
Land Registration District **North Auckland**
Date Issued 02 October 1984

Prior References
NA54A/1303

Estate Fee Simple
Area 2364 square metres more or less
Legal Description Te Kao 71A1 Block

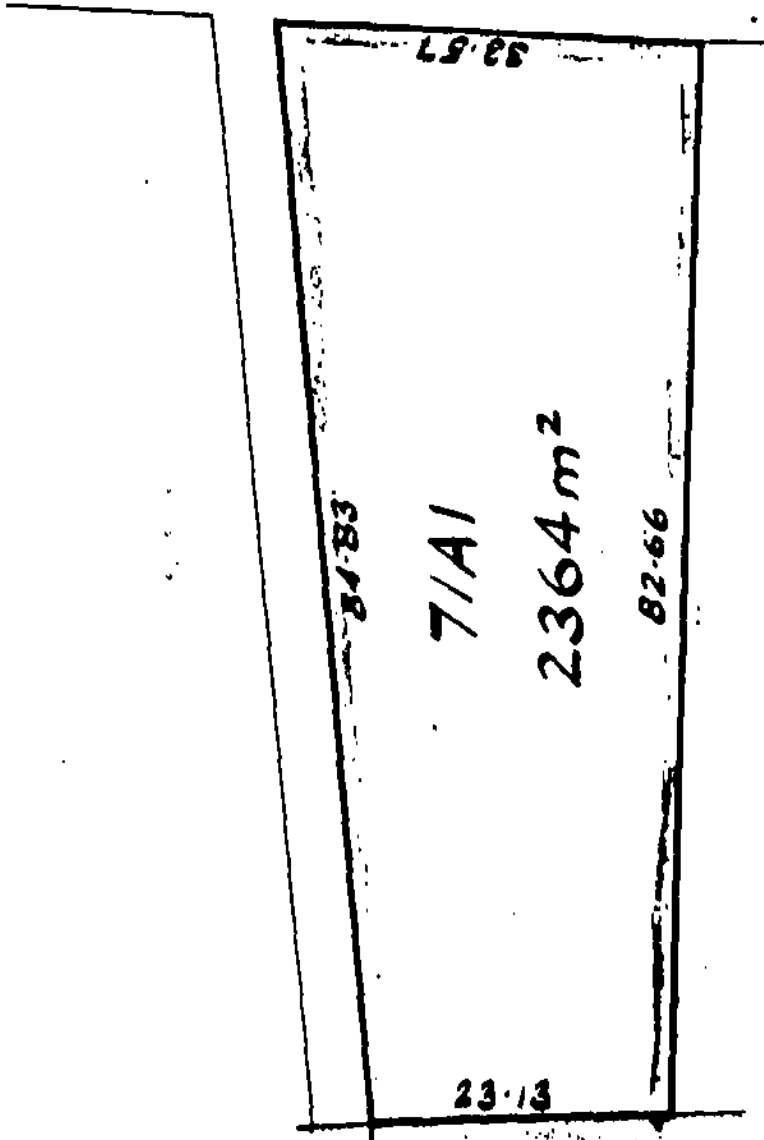
Registered Owners
Te Runanga Nui O Te Aupouri

Interests

B334679.3 STATUS ORDER DETERMINING THE STATUS OF THE WITHIN LAND TO BE MAORI FREEHOLD
LAND - 2.10.1984 AT 9.05 AM



71D3



(20.12) Gaz 1951 P 668
 Tangoake Landing - Waipapakauri Rd.



Report on Maori Land details for the following Record(s) of Title



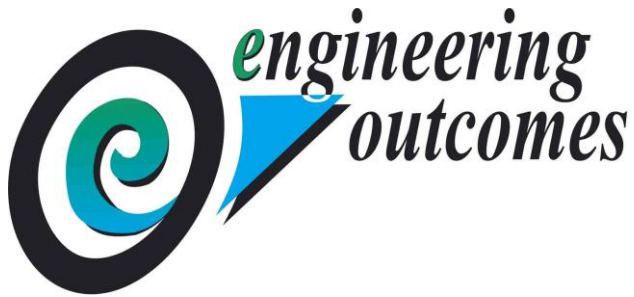
Record(s) of Title

NA54A/1304

Identified as potentially Maori Freehold Land

***** End of Report *****

Appendix C – Traffic Impact Assessment



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New Zealand
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WHAKAWHITI ORA PAI HEALTH CLINIC, TE KAO TE KAO 71A1 BLOCK PROPOSED EXPANSION

ASSESSMENT OF TRAFFIC EFFECTS

*Prepared by Engineering Outcomes Ltd
13 March 2025*

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1. THE PROPOSAL

The proposal is the expansion of the existing Whakawhiti Ora Pai health clinic building at 6652 Far North Road/SH1N, Te Kao, Tai Tokerau/Northland plus associated access, parking and other services. It is described in the plan reproduced in Appendix A, with additional details given in Figure 1.

The clinic is located on Te Kao 71A1 Block and part of an unused pan handle of Te Kao 71D3 Block (on which the playing fields are situated). The proposal will increase the clinic floor area to a total of 630 square metres, all at ground level, from the existing area of close to 400 sq.m. It also includes additional parking plus an expansion of onsite parking and upgrade of the onsite water supply and wastewater systems. It is one of three clinics owned and operated by Whakawhiti Ora Pai, the others being in Te Hapua and Pukenui.

A topographical survey has determined that part of one wing of the clinic encroaches into Te Kao 71D2 Block on which Te Potahi marae is located. The proposal includes the removal of that part of the building.

The clinic access leads to the eastern side of the Far North Road at route position 44/0.18 via the parking area of Te Kao local store which is on the adjoining Te Kao 71A1 Block. A suitable right-of-way easement is proposed over Te Kao 71A1 Block as indicated in Figure 1.

Twenty parking spaces are proposed on the site, all of which lead to the single access through Te Kao 71A1 Block.

No new access or driveway connection points are proposed onto the Far North Road.

This is a traffic report in relation to the proposed expansion including measures to ensure legal access is always available through Te Kao 71A1 Block and an assessment of the access existing connection to the Far North Road.

2. SUMMARY OF CONCLUSIONS AND RECOMMENDATIONS

Overall, it is concluded that the traffic effects of the proposal will be well managed such that the associated risks are well within acceptable limits and the effects will be less than minor.

In particular, no increase in either staffing or patient visits are expected as a result of the expansion, which is necessary primarily because of under-capacity of the existing facility. As such, there will be no increase in traffic over and above that resulting from expected future population growth and demographic changes in the locality.

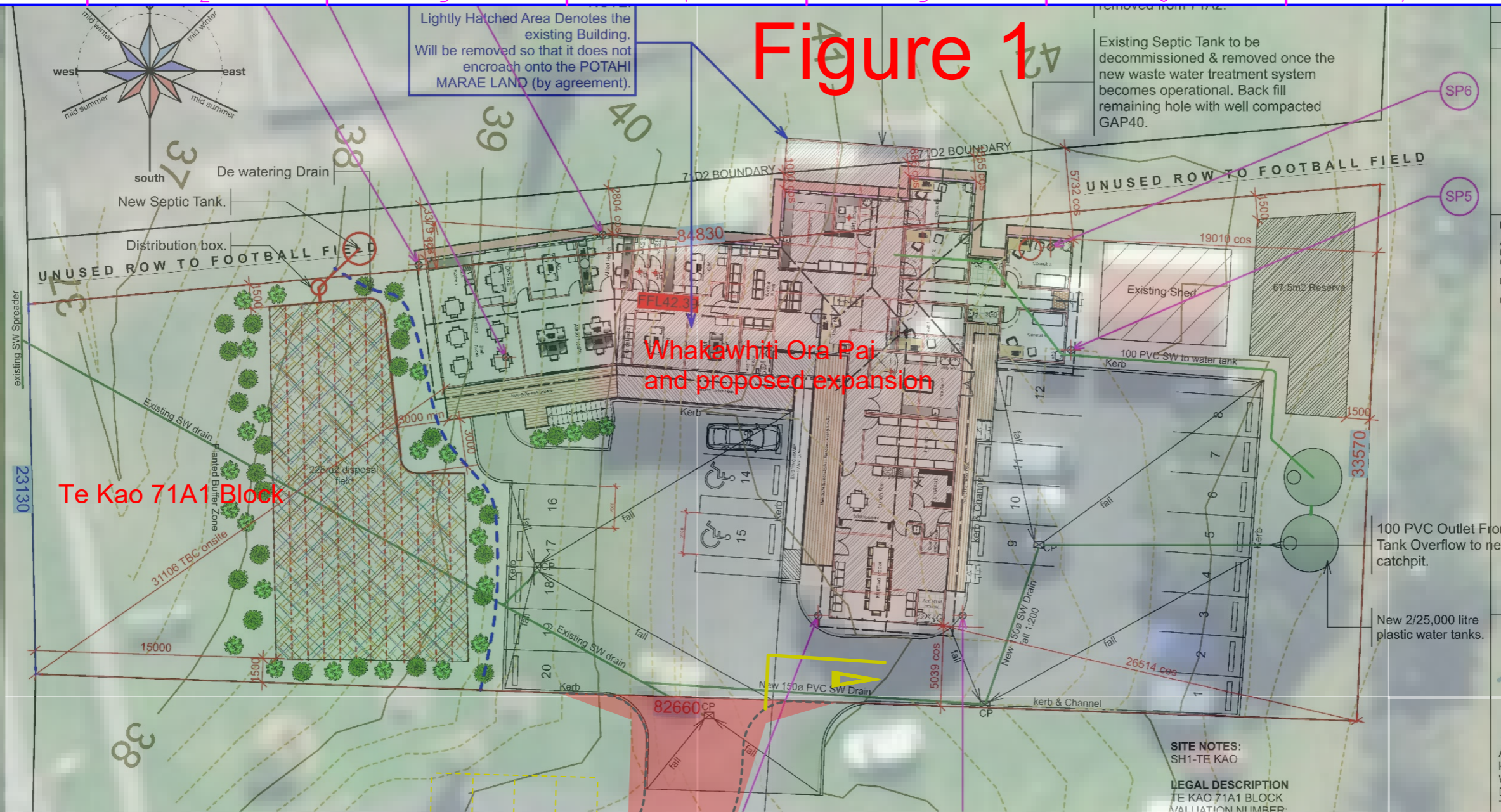
The traffic generation is currently estimated at 62 to 66 movements per day on days in which the general practitioner is at the clinic (one to two days per week) and 46 to 50 movements on other days. Most residences in Te Kao are within a comfortable walking distance of the site, so walking trips are expected to be significant.

The sight distances in relation to the access connection are at least the highest standard applicable to safety along all vectors and are more than adequate.

Widening of Far North Road is not warranted through the connection point. The effects on the wider road network are also assessed to be negligible.

Figure 1

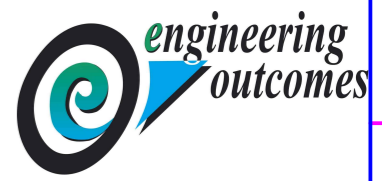
Plan Whakawhiti Ora Pai Parking and Loading



Far North Rd/SH1N



SITE NOTES:
SH1-TE KAO
LEGAL DESCRIPTION
TE KAO 71A1 BLOCK
VALUATION NUMBER:



PO Box 3048,
Onerahi
Whangarei 0142
Tel. 09 436 5534
info@e-outcomes.co.nz

Project	Extension Whakawhiti Ora Pai Health clinic Te Kao
Client	Whakawhiti Ora Pai
Surveyed by	R Neave LINZ
Amendments	
Council ref.	
Scale	1:300 at A3
Date	13-Mar-2025 16:17:36

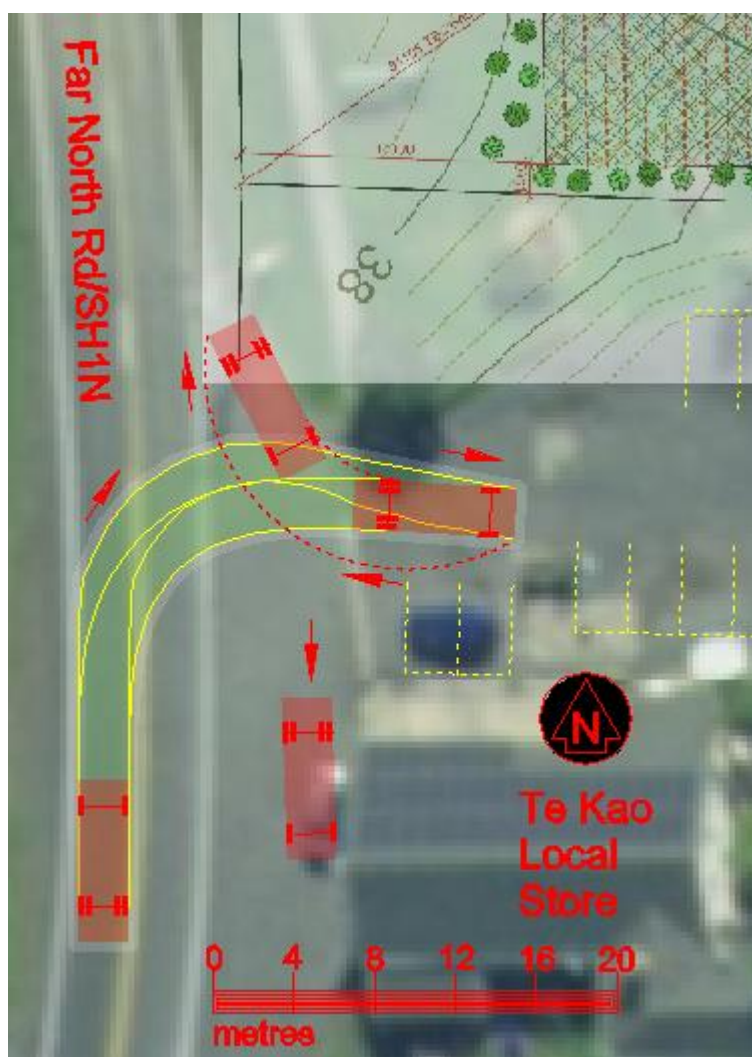
3. TE KAO LOCAL STORE

The store is located near the frontage of Far North Road immediately south of its parking area (which the clinic access runs through). It consists of a single building and small lean-to, with total floor area of 160 square metres, plus an attached residence.

As shown in Figure 1, there is capacity in the store parking area for at least fourteen parking spaces laid out in such a way that the clinic access runs through the aisle and is clear of parked vehicles at all times.

Goods are delivered to the store in a range of vehicles, with trucks more common in summer. The delivery vehicles unload in the area between the store and highway and turn around in the parking area as shown in Figure 2.

Figure 2. A truck (8 metre rigid travelling from the south), turning around and parking in the store loading space



During the busy holiday seasons, deliveries are typically made no more than twice per week. Outside the holidays seasons, deliveries are even less frequent and usually by van rather than trucks.

4. THE EXISTING ROAD NETWORK

This part of Far North Road is part of the only road route between Cape Reinga and Kaitaia. It is sealed and unkerbed with two lanes throughout and has a carriageway width close to 8.0 metres. There is a footpath along the western side of Far North Road south of the site and the eastern side to its north, both of which end at the store.

There is some local widening through the store access, but it does not provide anywhere near the width specified by Waka Kotahi/NZ Transport Agency for standards such as “Diagram D or E”¹.

All of the Far North Road is sealed with at least two lanes, although there are single-lane bridges in both directions. The nearest of those is Te Kao Stream bridge, which is less than 2.5 kilometres north of the site. There is only one single-lane bridge south of the site and it is nearly 10 kilometres distant.

The speed limit on this part of Far North Road is 70 kilometres per hour and it has the status of primary collector road in the One Network Framework.

Photo 1. A panorama of the clinic (upper centre-left), Te Kao local store (upper centre-right), the shared site access and Far North Road. Viewed from the opposite (western) side of Far North Road. The buildings at left are part of the Potahi marae complex.



Photo 2. Looking south along Far North Road from the site access connection. Sight distance of more than 300 metres is available in this direction. The crest is not a restriction – a car at the lowest point of the dip beyond the crest (circled) is still clearly visible from this location.



¹ *Planning Policy Manual Appendix 5B.*

Photo 3. Looking north along Far North Road from site access connection. Sight distance of 205 metres – at least the safe-intersection standard, is available in this direction.



5. RULES AND STANDARDS

The *Far North district plan* rule 15.1.6C.1.1c specifies that private access is permitted for access that leads to eight household equivalents and that access leading to nine or more household equivalents is to be a public road. Discretionary land-use consent is required for private access that leads to more than eight household equivalents as the clinic access strictly does.

The width standards for public roads are given in Appendix 3B-2 of the Far North district council's operative district plan. For rural access leading to as many as fifteen household equivalents, those standards specify a carriageway width of 6.0 metres. The available space in the store parking aisle is at least 6.5 metres.

Section 3.3.7.4 of the council's engineering standard 2009, which is part of the district plan, specifies that:

Accesses that carry 60 vehicle [movements] per day or more and have access onto rural roads that are expected to carry fewer than 1,000 vehicles per day in 10 years shall be in accordance with drawing FNDC/S/6D.

That is, a crossing with local widening of the highway on both sides. The Waka Kotahi/NZTA guidelines also specify local widening.

For "Doctors Rooms/Medical Centres, the *Far North district plan* Appendix 3C specifies parking provision of 1 space per 20 square metres of gross business area, or 32 spaces for the clinic when expanded as proposed.

6. TRAFFIC

All vehicle movements are one-way movements whether an entry or exit or a movement in one direction along public roads.

6.1 Traffic generation

Total staff at the Te Kao clinic on Tuesdays is between eight and twelve including one part-time general practitioner and three registered nurses, with as many as twenty-five patients visiting on busy days. The clinic is nurse-led on days in which the general practitioner is not on site.

The clinic provides a mobile service that carries out home visits of people with impaired mobility. Most of the residences in Te Kao are within comfortable walking distance of the clinic, so a significant proportion of the patients walk to/from the clinic.

On this basis, the traffic generation is estimated at 62 to 66 movements per day on days in which the general practitioner is at the clinic (one to two days per week) and 46 to 50 movements on other days.

The store is expected to generate traffic close to that of the traffic intensity factor (“TIF”) in the *Far North district plan*. It has a gross business area close to 160 sq.m for which daily traffic of 80 movements per day is specified and estimated.

Peak traffic is expected at each end of the day when most staff arrive and depart – in the order of 11% to 12% of daily traffic. A relatively even directional split is expected in the generated traffic. The traffic generation expected to reduce during holiday periods.

6.2 Parking

The parking associated with the clinic has been surveyed during three absolute peak periods – late Tuesday mornings. The parking demand on the busiest of those days was eighteen vehicles of which ten were parked on the clinic site and eight were parked on the adjoining site. At the other times (also Tuesday late mornings), the total demand was twelve and fifteen respectively, including clinic-related cars not parked on the clinic site.

The proposal includes an expansion of the clinic parking area to twenty spaces from its current capacity of no more than twelve spaces, many of which have problematic turning and manoeuvring space. This is expected to shift all demand to the clinic site.

6.3 Traffic on public roads

The traffic on this part of Far North Road is currently estimated at 550 movements on an average day² of which 45 to 50 are expected during peak hours. The traffic on Far North Road increases significantly during holiday periods – potentially as much as a doubling of traffic.

6.4 Crashes

A crash search has been carried out in the CAS database along the frontage of both the clinic and store sites. No crashes of any type have been reported since at least the start of 2019.

² Mobile Road.

A district-wide search has also been carried out of rear-crashes in urban areas³ involving vehicles waiting to turn right into a side road or private crossing (Type “GD” crashes in CAS). A number of such crashes are reported of which six resulted in injuries (all minor). Of those, three occurred in locations with sufficient width to the left of the turning vehicle for another vehicle to pass⁴. All occurred on roads with significantly more traffic than this part of the Far North Road⁵ and driver distraction was a significant factor in almost all of them.

7. ASSESSMENT OF TRAFFIC EFFECTS AND PROPOSED MITIGATION MEASURES

The key traffic effect of the proposal is the standard of its access connection to Far North Road, with parking, foot access, loading and associated truck turning for the store, and the width of the access also warranting comment.

7.1 Standard of the access connection point

In accordance with Waka Kotahi guidelines, the clinic strictly triggers widening on Far North Road at the access connection location. It is likely to require widening at least in accordance with engineering standards drawing sheet FNDC/S/6D.

However, a first principles investigation has recently been carried out of other urban access connections and intersections, as part of other projects, to determine whether “turn treatment” such as FNDC/S/6D, is actually warranted. This consisted of estimations of the likely long-term crash rate and “social cost” benefits of widening at those locations and intersections.

The searches associated with those investigations covered different (earlier) five-year periods than that searched in relation to this project. All of those previous searches found more injury-causing crashes than the most recent record⁶ and all also occurred at much busier sites than the subject site. Despite this, the previous analysis still found that local widening was nowhere near warranted⁷ and such would also be the case here.

7.2 Parking,

The parking supply proposed on the site is twelve spaces short of that specified by the *Far North district plan*. Despite this, surveys at absolute peak times have never found parking demand as high as the proposed supply, let alone the district plan specification. Parking at other times is always less again. As such, it is concluded that the proposed parking supply is at least adequate.

³ Defined as roads with speed limits of 70 km/hr or lower.

⁴ Minimum 5.8 metres, all others more than 6.0 metres.

⁵ Ranging from 4,500 vehicle movements per day to more than 10,000 according to Mobile Road.

⁶ Ten in the most recent previous search compared with only six in the most recent record.

⁷ In fact, with widening benefit/cost ratios of less than 0.1 even when the cost of widening is close to average. The study behind the warrants in the AUSTROADS guidelines (Arndt & Troutbeck; *New Warrants for Unsignalised Intersection Turn Treatments*, presented to the 22nd ARRB Conference – Research into Practice, Canberra Australia in 2006) states that the warrants are based on benefit/cost ratios.

7.3 Access width and geometrics

The proposed access, including that over Te Kao 71A2 Block – the lot on which Te Kao Store is situated, is comfortably wide enough for vehicles to pass each other in opposite directions. A wider access would add no value, in fact is likely to encourage higher speeds in a location likely to be frequented by people on foot.

As such, it is concluded that the access through Te Kao 71A2 Block is both optimum and fit-for-purpose such that the associated risks are well within acceptable limits.

7.4 Other matters

The sight distances associated with the connection point are at least the safe-intersection sight distance standard – the highest standard applicable to safety. Sight distances are also excellent in locations in which people on foot are likely to walk on the live lanes of roads, including when crossing them.

There are continuous footpaths between Potahi Road to the north⁸ and the access to te Kura o Te Kao 450 metres south of the store. Their locations are likely to force some people to cross the highway, but there are numerous locations between that point and site with excellent visibility. Also, frequent crossings of the highway will already occur and no recent incidents involving people crossing this part of the highway have been reported.

Loading and turning for the store occurs as shown in Figure 2. Trucks only require a few seconds to turn and, while doing so, do not restrict the access in more than a negligible way. Cars frequently also park in the loading area, but it is 22 metres long and 7 metres wide (between the white line of the highway and the kerb in front of the store building), so there is always space for a truck or van to park in that location.

Far North Road will be suitable at its current width – 8.0 metres, even with the additional traffic. The remainder of the road routes between the site and all common destinations, including Kaitaia and Cape Reinga, are sealed and of a standard that can easily cope with the relatively low level of traffic from the clinic.

The busiest single-lane bridge is nearly 10 kilometres south of the site and only carries traffic of 700 movements per day – well below the capacity of such bridges as previously calculated using SIDRA intersection. The bridges north of the site carry significantly less traffic again. It is concluded that the effect of the clinic on those bridges will be virtually negligible.

In any event, the proposal is not expected to increase traffic immediately and only gradually thereafter – mirroring population growth and demographic changes in the catchment of the clinic.

⁸ It is understood that residents of Potahi Road often walk to the clinic through the Potahi marae grounds. This is despite no legal access being in place for this and neither is such proposed.

8. FAR NORTH DISTRICT PLAN – ASSESSMENT CRITERIA

There are three sets of criteria in the plan relevant to traffic management, parking and access. Each of the other criteria is quoted here and the assessment is given with each one.

8.1 Rule 15.1.6A.4.1: Traffic Intensity Matters for Consideration

This is an assessment of the proposal against matters that the Council will restrict the exercise of its discretion to with respect to restricted-discretionary activities.

Criterion (a): The time of day when the extra vehicle movements will occur.

The proposal is expected to generate traffic at all times of the day, with typical weekday commuter peaks and little to no traffic on weekends.

Criterion (b): The distance between the location where the vehicle movements take place and any adjacent properties.

The nearest existing dwelling is that attached to the store and the store owners have given their written approval to the proposal. The only other dwelling that is less than 150 metres from the access is on the opposite side of the highway.

Criterion (c): The width and capability of any street to be able to cope safely with the extra vehicle movements.

Far North Road is more than suitable at its current width and the proposed expansion will not change this.

Criterion (d): The location of any footpaths and the volume of pedestrian traffic on them.

There are footpaths on the both sides this part of Far North Road. One leads from opposite the store to the entrance to te Kura o Te Kao 450 metres to the south. The other leads to Potahi Road 200 metres to the north.

Criterion (e): The sight distances associated with the vehicle access onto the street.

Assessment of Criterion (e): This is addressed in section 7.4 and finds that all sight distances are at least adequate.

Criterion (f): The existing volume of traffic on the streets affected.

See section 6.3.

Criterion (g): Any existing congestion or safety problems on the streets affected.

There is no congestion in this locality and no evidence of unusual safety issues on Far North Road in this vicinity.

Criterion (h): With respect to effects in local neighbourhoods, the ability to mitigate any adverse effects through the design of the access, or the screening of vehicle movements, or limiting the times when vehicle movements occur.

The main access is visible from one existing dwelling – that immediately opposite the access. However, with the proposal not immediately increasing traffic, no targeted mitigation nor other restrictions are warranted.

Criterion (i): With respect to the effects on through traffic on roads with more than 1000 vehicle movements per day, the extent to which Council’s “Engineering Standards and Guidelines” (2004) are met.

No roads in this vicinity, including Far North Road, are in this category.

Criterion (j): Effects of the activity where it is located within 500m of reserve land administered by the Department of Conservation upon the ability of the Department to manage and administer that land.

The site is not located within 500 metres of reserve land administered by the Department of Conservation.

Criterion (k): The provision of safe access for pedestrians moving within or exiting the site

Any people who walk to/from the clinic will have to use the vehicle access. This is acceptable because speeds on it are well below the safe-system threshold for vulnerable road uses and the visibility is excellent. With respect to pedestrian facilities on the highway, see section 7.4.

8.2 Section 15.1.6A.7: General Assessment Criteria, Traffic

This section includes eleven criteria. Criteria (a), (j), (k) and (l) are unique to this section of the plan. Criteria (b) to (i) are identical to criteria (a) to (h) of the assessment criteria in 15.1.6A.4.1, respectively, and have already been assessed in the previous section. This section is restricted to the criteria unique to 15.1.6A.7.

Criterion (a): The extent to which the expected traffic intensity exceeds the threshold set by the Traffic Intensity Factor contained in Appendix 3A in Part 4 of the district plan.

The permitted Traffic Intensity Factor (TIF) threshold for this site is 60 and while the proposal will exceed that TIF⁹, in reality as shown, the actual traffic generation will be** below 60 movements per day.

Criterion (j): With respect to the effects on through traffic on arterial roads, strategic roads and State Highways, any measures such as right-turn bays, flush medians, left-turn deceleration tapers, etc. proposed to be installed on the road as part of the development to accommodate traffic turning into and out of the site.

Far North Road has more than adequate capacity for its existing traffic plus that from the proposal.

Criterion (k): The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.

The access will not cause or exacerbate natural hazards. It already exists and no new earthworks nor retaining will be necessary.

⁹ When applying the rate of 10 per household as per the operative district plan Appendix 3A.

Criterion (l): Whether providing or having access to bicycle parking, shower/changing facilities or alternative transportation would reduce the number of vehicle movements associated with the proposed activity.

The provision of such facilities is not likely to significantly influence the traffic generation. Most staff and visitors to the clinic are either within comfortable walking distance or outside the feasible range of bicycles. In any event, there are suitable locations for bicycle parking on the decks that surround the building, the larger of which is accessible by way of a ramp.

15.1.6C.4.1 Property Access

Criteria (a) and (b) of this repeat those in other sections and have already been addressed. Specific comment is given for all others.

Criterion (c): Any foreseeable future changes in traffic patterns in the area.

No significant projects or road links are planned that might significantly change the patterns of traffic in this vicinity.

Criterion (d): Possible measures or restrictions on vehicle movements in and out of the access.

With the relatively light traffic and sparse existing development in the locality, there is no need for restrictions on vehicle movements.

Criterion (e): The adequacy of the engineering standards proposed and the ease of access to and from, and within, the site.

This is addressed in detailed section 7.1 and finds that, subject to the likely need for additional sight benching on one bend, the proposed access width and geometric standards will be adequate and fit-for-purpose.

Criterion (f): The provision of access for all persons and vehicles likely to need access to the site, including pedestrian, cycle, disabled, vehicular.

The proposed connection to Far North Road will ensure adequate access to all lots for all transport modes. Both pedestrians cyclists will be able to enter the site safely by way of the access and vehicle crossing connection.

Criterion (g): The provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.

The site access will not cause or exacerbate natural hazards. It already exists and no new earthworks nor retaining will be necessary.

Criterion (h) relates to sites with a road frontage on Kerikeri Road so is not relevant.

Criterion (i) The provisions of the roading hierarchy, and any development plans of the roading network.

No significant projects or road links are planned that might significantly change the patterns of traffic in this vicinity.

Criterion (j) relates to alternative access for car parking and vehicle loading in business zones and is not relevant.

Criterion (k) Any need to require provision to be made in a subdivision for the vesting of reserves for the purpose of facilitating connections to future roading extensions to serve surrounding land; future connection of pedestrian accessways from street to street; future provision of service lanes; or planned road links that may need to pass through the subdivision; and the practicality of creating such easements at the time of subdivision application in order to facilitate later development, so is not relevant.

Also Criterion (l) Enter into agreements that will enable the Council to require the future owners to form and vest roads when other land becomes available (consent notices shall be registered on such Certificates of Title pursuant to Rule 13.6.7).

There is nothing to be gained by facilitating access to areas outside the site using the mechanisms described. No internal access has potential outlets to other locations and is private in any event.

Criterion (m) With respect to access to a State Highway that is a Limited Access Road, the effects on the safety and/or efficiency on any State Highway and its connection to the local road network and the provision of written approval from the New Zealand Transport Agency.

Far North Road is a State highway but not a limited access road.

15.1.6B.5 Parking Assessment Criteria

Criterion (a) Whether it is physically practicable to provide the required car parks on site.

It is impracticable to provide more than the twenty parking spaces proposed on the site and, as shown, no more than twenty is ever likely to be necessary.

Criterion (b) Whether there is an adequate alternative supply of parking in the vicinity, such as a public car park or angled road parking.

There is no public parking supply within an easy walking distance of the site and neither will the proposal create demand for such due to an overspill from the site.

Criterion (c) Whether there is another site nearby where a legal agreement could be entered into with the owner of that site to allow it to be used for the parking required for the application.

There is space for additional parking on at least one adjoining site that has the same owner as that of the clinic. However, with the space available on the site for additional spaces if and as necessary, it will not be necessary for people associated with the clinic to park elsewhere.

Criterion (d) Whether it can be shown that the actual parking demand will not be as high as that indicated in *Appendix 3C*.

This has been shown – see section 6.2.

Criterion (e) Adequacy of the layout and design of the car parking areas in terms of other recognised standards, including the provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.

The proposed parking meets the dimensional specifications of the *Far North District Plan*. It only requires minimal additional paved areas that will not affect storm runoff flow paths.

Criterion (f) Degree of user familiarity with the car park and length of stay of most vehicles.

Almost all vehicles will be owned by staff or patients of the facility, so user familiarity will be high and appropriate signage will direct new users to the correct locations. Staff vehicles, in particular, will potentially be at the facility for long periods but, as shown the proposed supply can comfortably cater for this.

Criterion (g) Total number of spaces in the car park.

As shown in section 6.2, the total number of spaces will very likely be adequate for the life of the facility.

Criterion (h) Clear space for car doors to be opened even if columns, walls and other obstructions intrude into a car parking space.

There will not be any obstructions either in or around the parking areas.

Criterion (j) Whether cycling facilities or open green space have been considered or are appropriate as an alternative to car parking.

The provision of cycling facilities is not likely to significantly influence the parking demand. Most staff and visitors to the clinic are either within comfortable walking distance or outside the feasible range of bicycles. In any event, there are suitable locations for bicycle parking on the decks that surround the building and the larger of those is accessible by way of a ramp.

Criterion (k) Whether adequate consideration has been given to providing accessible car parking spaces for those with disabilities, the location of these spaces and regulating inappropriate use of the spaces.

Two accessible car parking spaces are proposed closest to the main entrance to the building.

Criterion (l) The extent to which the site can be accessed by alternative transport means such as buses, cycling or walking.

The site will be accessible to all such vehicles and people on foot.

Criterion (m) The extent to which the reduced number of car parking spaces may increase congestion along arterial and strategic roads.

With the extremely low level of traffic generation, congestion of arterial or strategic roads will never result from the activity.

Criterion (n) The degree to which provision of on-site car parking spaces may have resulted in adverse visual effects or fragmented pedestrian links.

Not applicable – onsite parking is proposed.

Criterion (o) Whether a financial contribution in lieu of car parking spaces is appropriate.

A financial contribution is not necessary because the facility will not rely on any surplus street parking. Indeed, there is no such parking in the vicinity of the site.

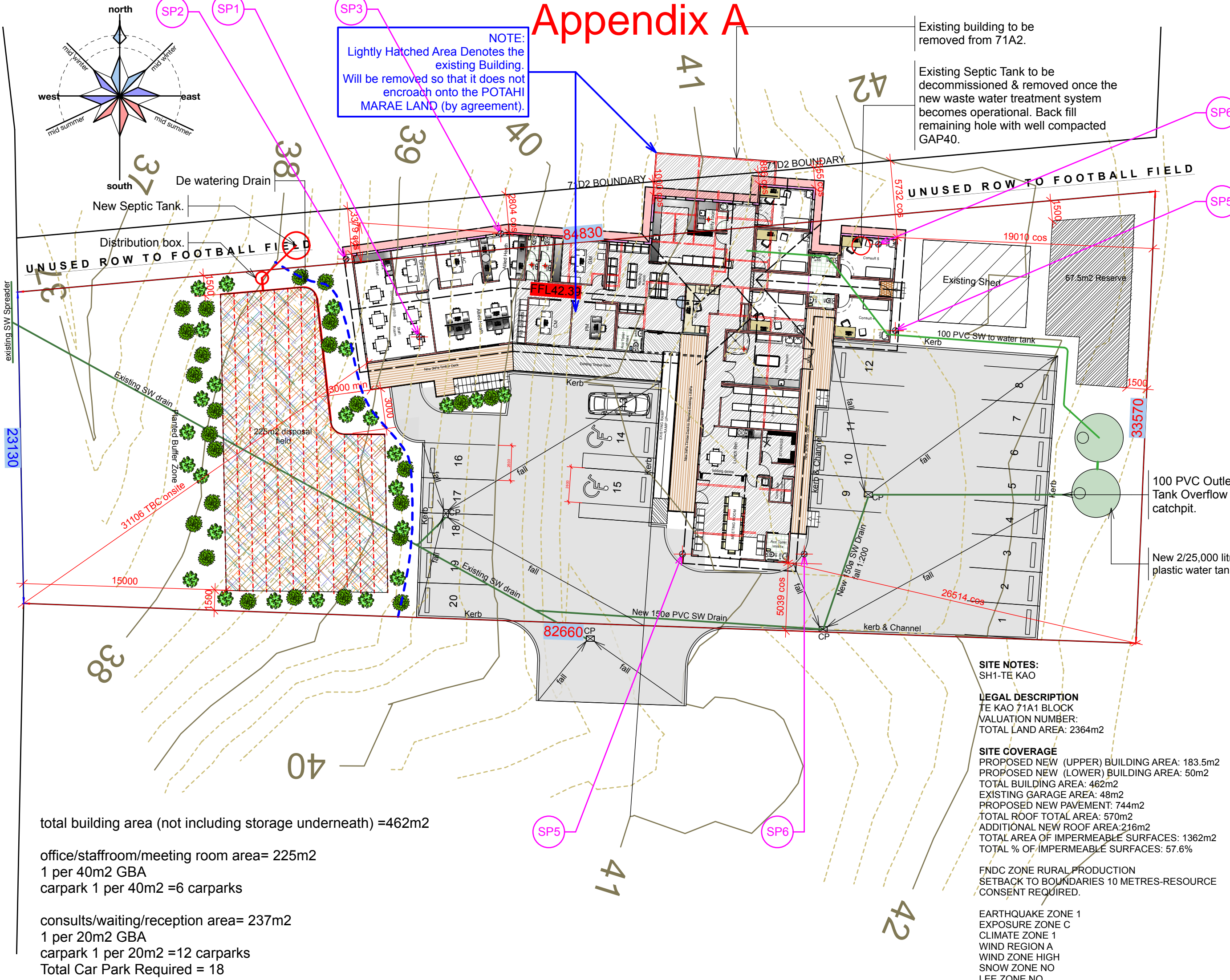
Criterion (p) Consideration given to shared parking options between adjacent sites and activities that have varying peak parking demands.

Not applicable nor necessary.

Criterion (q) The varying parking requirements for staff and customers.

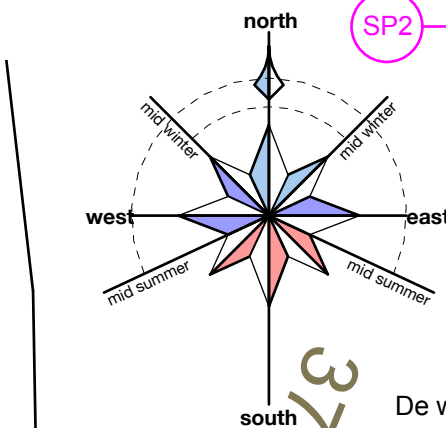
Almost all parking demand will be by staff and patients of the facility. It is expected to be variable with peaks on Tuesdays and every second Wednesday but, as shown, the proposed supply is expected to at least meet even the absolute peak demand.

Appendix A



NOTE:
Lightly Hatched Area Denotes the existing Building. Will be removed so that it does not encroach onto the POTAHU MARAE LAND (by agreement).

Existing building to be removed from 71A2.
Existing Septic Tank to be decommissioned & removed once the new waste water treatment system becomes operational. Back fill remaining hole with well compacted GAP40.



existing SW Spreader
23130

total building area (not including storage underneath) = 462m²
 office/staffroom/meeting room area = 225m²
 1 per 40m² GBA
 carpark 1 per 40m² = 6 carparks
 consults/waiting/reception area = 237m²
 1 per 20m² GBA
 carpark 1 per 20m² = 12 carparks
 Total Car Park Required = 18

SITE NOTES:
SH1-TE KAO

LEGAL DESCRIPTION
TE KAO 71A1 BLOCK
VALUATION NUMBER:
TOTAL LAND AREA: 2364m²

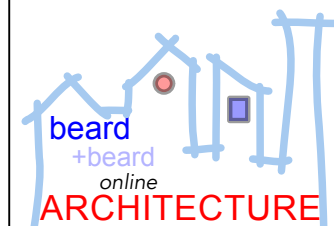
SITE COVERAGE
PROPOSED NEW (UPPER) BUILDING AREA: 183.5m²
PROPOSED NEW (LOWER) BUILDING AREA: 50m²
TOTAL BUILDING AREA: 462m²
EXISTING GARAGE AREA: 48m²
PROPOSED NEW PAVEMENT: 744m²
TOTAL ROOF TOTAL AREA: 570m²
ADDITIONAL NEW ROOF AREA: 216m²
TOTAL AREA OF IMPERMEABLE SURFACES: 1362m²
TOTAL % OF IMPERMEABLE SURFACES: 57.6%

FNDC ZONE RURAL PRODUCTION
SETBACK TO BOUNDARIES 10 METRES-RESOURCE
CONSENT REQUIRED.

EARTHQUAKE ZONE 1
EXPOSURE ZONE C
CLIMATE ZONE 1
WIND REGION A
WIND ZONE HIGH
SNOW ZONE NO
LEE ZONE NO

ISSUE	DATE	BY	REVISIONS

NOTES
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
DRAWINGS ARE NOT TO BE SCALED.
USE ONLY FIGURED DIMENSIONS.



Address - 106 Arawhata Road,
Kaingaroa 0483
Work - 09 408 7123
Doug Cell - 021 125 8866
Tyler Cell - 021 247 7232

Client
**WHAKAWHITI ORA
PAI-TE KAO**
Project
**EXTENSION
PROPOSED NEW
MEDICAL FACILITY**




Sheet Name:
SITE PLAN

Date: 31/10/2024
 Drawn By: TB/DB Scale: 1:250
 Sheet: A01
 Total Sheets: 139

Appendix D – Stormwater Management Report

SITE 6652 Far North Road, Te Kao
 LEGAL DESCRIPTION Te Kao 71A1 Block
 PROJECT Proposed Health Clinic Extension
 CLIENT Whakawhiti Ora Pai
 REFERENCE NO. 138387
 DOCUMENT Stormwater Mitigation Report
 STATUS/REVISION No. 01
 DATE OF ISSUE 30th January 2025

Report Prepared For	Email
Whakawhiti Ora Pai	errolm@wop.co.nz

Authored by	G. Brant (BE(Hons) Civil)	Civil Engineer	Gustavo@wjl.co.nz	
Reviewed by	P. McSweeney (BE(Hons) Civil)	Civil Engineer	Patrick@wjl.co.nz	
Approved by	B. Steenkamp (CPEng, BEng Civil, CMEngNZ, BSc (Geology))	Senior Civil Engineer	BenS@wjl.co.nz	

1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Legal Description:	Te Kao 71A1 Block	
Site Area:	2,364m ²	
Development Type:	Proposed Health Clinic Extension	
Development Proposals Supplied:	Plan Set provided by Beard & Beard Online Architecture (dated: 31.10.2024)	
District Plan Zone:	Rural Production	
Permitted Activity Coverage:	<u>15%</u>	
	Post-Development Impermeable Areas	
Impermeable Coverage:	Total Roof Area	618m ²
	Total Hardstand	744m ²
	Total impermeable area = 1,362m ² or 57.6% of the site area Total increase = 394m ²	
Activity Status:	<u>Discretionary Activity</u>	
	Attenuation is to be provided in accordance with the requirements outlined in Section 5 via the proposed dual-purpose rainwater tanks.	
Roof Attenuation:	Proposed Tank – 2 x 25,000 litre Rainwater Tanks (or similar) Dimensions – 3600mmØ x 2600mm high (or greater) 50% AEP & 20% AEP Control Orifice – 14mmØ orifice; <u>located >1240mm below the overflow outlet</u> Overflow – 100mmØ at the top of the tank	
Point of Discharge:	Discharge from potable water / detention tank to be directed to existing aboveground spreader bar to the west of the lot. The existing dispersal device and drainage line are to be checked to comply with the requirements outlined in Section 6 of this report.	

2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client, **Whakawhiti Ora Pai**, to produce an on-site stormwater management assessment at the above site for the proposed health clinic extension.

At the time of report writing, we have been supplied the following documents:

- Plan Set provided by Beard & Beard Online Architecture, including site plan, floor plan and elevations (dated: 31.10.2024)

Should any changes be made to the provided plans with stormwater management implications, WJL must be contacted for review.

3. SITE DESCRIPTION

The 2,364m³ property is legally described as Te Kao 71A1 Block and is located off the eastern side of Far North Road. The lot is accessed from its southern boundary via a shared accessway from neighboring Te Kao 71A2 Block.

Built development on-site consists of multiple structures and a driveway. Besides the existing development, ground cover on-site consists predominantly of pasture. Topographically speaking, the property generally falls to the west at gentle grades.

The Far North District Council (FNDC) GIS Water Services Map indicates that the property is not serviced by public stormwater, wastewater or potable water reticulation. However, an existing roadside channel is located on the eastern side of Far North Road.

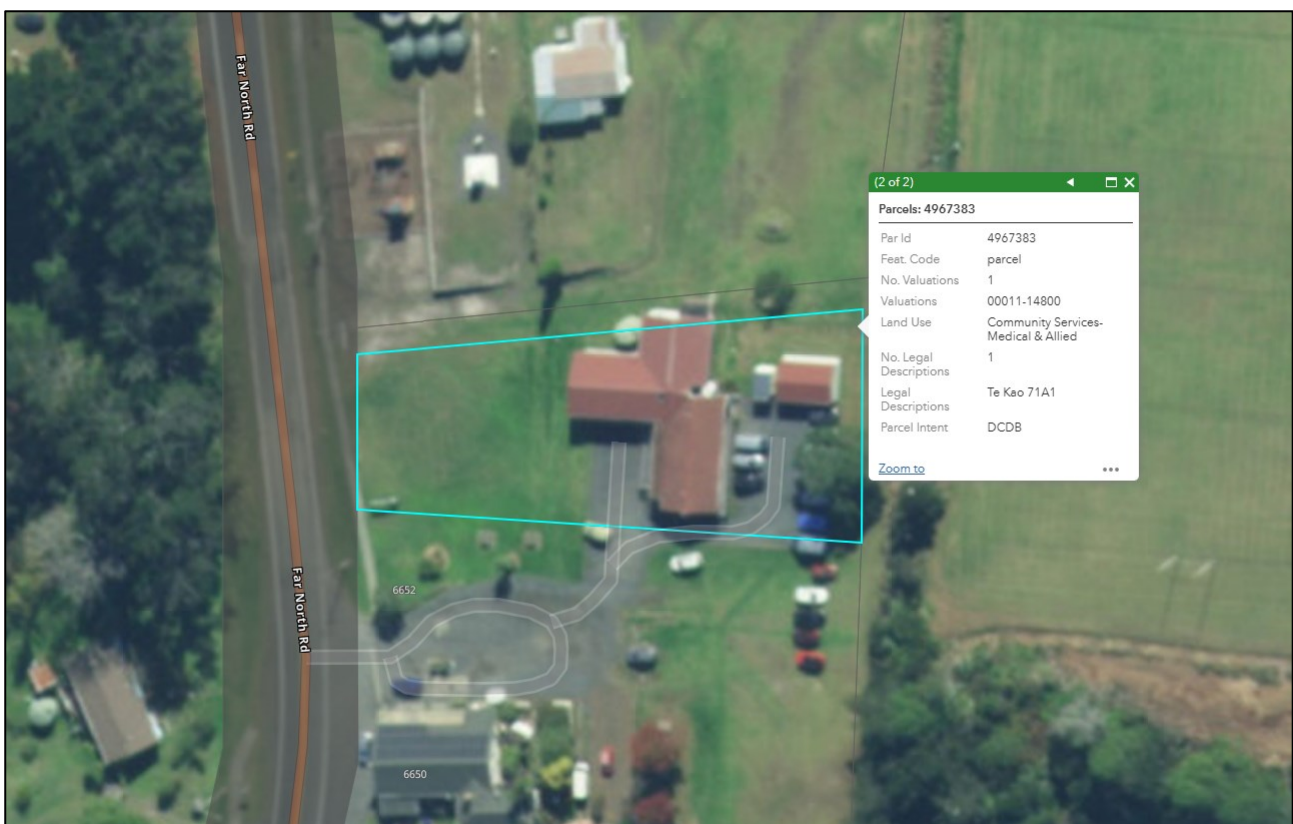


Figure 1: Aerial Snip from FNDC Maps Showing Parent Site Boundaries (cyan)

4. DEVELOPMENT PROPOSALS

The development proposal, obtained from the client, is to construct an extension to the existing health clinic on-site, and the existing driveway, as depicted in the plan set provided by Beard & Beard Online Architecture (dated: 31.10.2024).

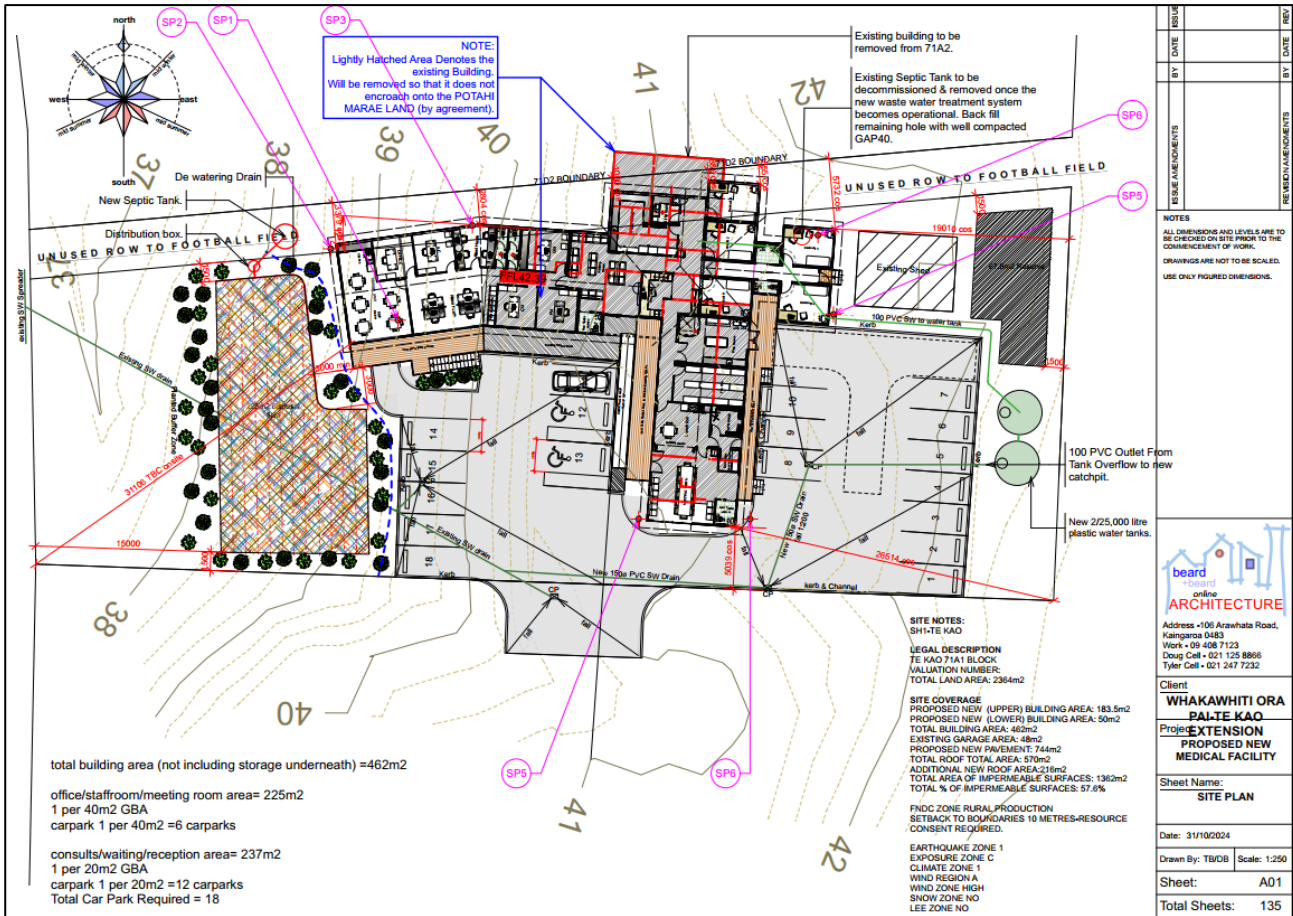


Figure 2: Snip of Proposed Site Plan Provided by Beard & Beard Online Architecture (dated: 31.10.2024)

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the proposed impermeable areas resulting from the proposed development.

The stormwater design herein does not include specific parking/roading stormwater designs.

5. ASSESSMENT CRITERIA

Impermeable Areas

The calculations for the stormwater system for the development are based on a gross site area of 2,364m² and the below areas *extracted from the supplied plans*:

	Pre-Development	Post-Development	Total Change
Total Roof Area	488 m²	618 m²	130 m ²
Health Clinic Main Structures*	440 m ²	570 m ²	
Shed / Garage	48 m ²	48 m ²	
Total Driveway*	480 m²	744 m²	264 m ²
Pervious	1,396 m²	1,002 m²	-394 m ²

*Existing impermeable areas estimated using FNDC GIS Aerial Imagery and is indicative only.

The total amount of impermeable area on site, post-development, equates to 1,362m² or 57.6% of the site area. The total increase in impermeable area post-development equates to 394m². Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

District Plan Rules

The site is zoned Rural Production. The following rules apply under the FNDC District Plan:

8.6.5.1.3 – **Permitted Activities – Stormwater Management** - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.

8.6.5.2.1 – **Controlled Activities – Stormwater Management** - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 20%.

The total proposed impermeable area exceeds 20% of the site area and does not comply with Permitted Activity Rule (8.6.5.1.3) nor Controlled Activity Rule (8.6.5.2.1). Therefore, the proposal is considered a Discretionary Activity. Additional considerations for stormwater management as outlined in the FNDC District Plan Section 11.3 are required. A District Plan Assessment has been included in Section 8 of this report.

Design Requirements

The site is under the jurisdiction of the Far North District Council. The design has been completed in accordance with the recommendations and requirements contained within the Far North District Council Engineering Standards, the Far North District Council District Plan and Clause E1 of the New Zealand Building Code.

The total impermeable area in exceedance of Permitted Activity Rule (8.6.5.1.3) is **1,007.4m²**. Stormwater attenuation for the 50% AEP and 20% AEP storm events, with an adjustment for climate change must therefore be provided for this excess impermeable area.

Provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed / existing impermeable areas (354.6m² total) are considered to have less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold.

The Type IA storm profile was utilised for stormwater attenuation calculations in accordance with TR-55. HydroCAD[®] software has been utilised in design for a 50% AEP rainfall value of 92.2mm with a 24-hour duration and for a 20% AEP rainfall value of 120mm with a 24-hour duration utilised for calculations. Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.

6. STORMWATER MITIGATION ASSESSMENT

To meet the requirements outlined in Section 5, the following must be provided:

Potable Water Supply

It is recommended that rainwater tanks are utilised to provide the health clinic with a potable water supply. The tank type is at the discretion of the client. A proprietary guttering system is required to collect roof runoff from the existing / proposed health clinic and the existing shed. A first flush diverter and/or leaf filters may be installed in-line between the gutters and the tank inlet. The tank inlet level should be at least 600mm below the gutter inlet and any in-line filters. Any filters will require regular inspection and cleaning to ensure the effective operation of the system. The frequency of cleaning will depend on current and future plantings around the existing / proposed roof areas. Provision should be made by the homeowner for top-up of the tanks via water tankers in periods of low rainfall.

All potable tanks must be constructed level and fitted with balancing pipes at the top and near the base of each tank to connect all potable water tanks to each other. Due to inadequate water quality concerns, runoff from hardstand areas should not be allowed to drain to the potable water tanks.

The upper section of the potable water tanks is to act as a detention volume to achieve stormwater neutrality for the proposed / future impermeable areas. One of the tanks is to be fitted with a 100mm \varnothing overflow outlet with a flow attenuation outlet as specified below.

Potable Tanks Detention Volume

As per the attached design calculations, the design elements of the detention volume are as follows:

Proposed Tank	2 x 25,000 litre Rainwater Tanks (or similar)
Tank dimensions	3600mm \varnothing (or greater) x 2600mm high (or greater)
Outlet Orifice (50% AEP & 20% AEP Control)	14mm diameter orifice ; located <u>>1240mm below the overflow outlet</u> <ul style="list-style-type: none">- 25.2m³ Storage (50% AEP)- 26.1m³ Storage (20% AEP)
Overflow Outlet	100mm diameter ; located at the top of the tank

Discharge from the potable water / detention tanks must be transported via sealed pipes to the existing drainage line draining to the existing aboveground spreader bar to the west of the lot. The tanks must be installed in accordance with the tank suppliers' details and specifications. Levels are to be confirmed by the contractor on-site prior to construction. Adequate fall (minimum 1% grade) from the tank's outlet to the discharge point is required. If this is not achievable, WJL must be contacted for review of the design.

The existing drainage line to the spreader bar must be confirmed to be at least a 150mm \varnothing pipe draining at a grade of >1%, and the existing spreader bar must be confirmed to have minimum 20mm \varnothing outlet holes drilled at 200mm centres. If either aforementioned requirement is not met, the drainage line and/or spreader bar must be upgraded to adhere to the requirements, or WJL must be contacted for review of the design. Permission from Council should be sought for any works outside the property boundary. Refer to the appended Site Plan (138387-C200), Tank Detail (138387-C201) and calculation set for clarification.

7. STORMWATER RUNOFF SUMMARY

Refer to the appended HydroCAD Calculation output.

Pre-Development Scenario – 50% AEP & 20% AEP Storm Events + CCF

Surface	Area	Runoff CN	50% AEP Peak Flow Rate	20% AEP Peak Flow Rate
Greenfields Impermeable Areas Exceeding Permitted Activity Threshold	1,000.4 m ²	79	2.62ℓ/s	4.32ℓ/s

Post-Development Scenario – 50% AEP & 20% AEP Storm Events + CCF

Surface	Area	Runoff CN	50% AEP Peak Flow Rate	20% AEP Peak Flow Rate
Post-Development Existing / Proposed Roof Areas via Detention Tank	618 m ²	98	0.45ℓ/s	1.63ℓ/s
Over-Mitigated Remaining Hardstand Area to Permitted Exceedance	382.4 m ²	98	2.28ℓ/s	3.00ℓ/s
			2.62ℓ/s	3.40ℓ/s

Given the design parameters, stormwater neutrality will be achieved for the 50% AEP and 20% AEP storm events across the existing / proposed impermeable surfaces over the permitted activity threshold.

8. DISTRICT PLAN ASSESSMENT

As the proposed development is not compliant with Permitted Activity Rule 8.6.5.1.3, nor Controlled Activity Rule 8.6.5.2.1, it is therefore regarded as a Discretionary Activity.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (m) of FNDCDP Section 11.3.

In respect of matters (a) through (m), we provide the following comments:

<i>(a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;</i>	Impermeable surfaces resulting from the development increase site impermeability by 394m ² . Through tank attenuation, runoff is to be attenuated to pre-development conditions for the proposed impermeable coverage exceeding the Permitted Activity threshold.
<i>(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;</i>	The impermeable areas in exceedance of Permitted Activity Rule 8.6.5.1.3 will be attenuated back to pre-development flow rates for the 50% AEP and 20% AEP storm events, adjusted for climate change.
<i>(c) any cumulative effects on total catchment impermeability;</i>	Impervious coverage will increase by 394m ² .
<i>(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;</i>	Runoff from the existing / proposed impermeable roof areas is to be collected and directed to the discharge point via sealed pipes. Ponding is not anticipated to occur provided the recommendations within this report are adhered to, mitigating interference with natural water absorption.

<i>(e) the physical qualities of the soil type;</i>	Awhitu Group – moderate drainage
<i>(f) any adverse effects on the life supporting capacity of soils;</i>	Stormwater runoff from the existing / proposed impermeable roof areas is to be collected and directed to stormwater management devices via sealed pipes. Runoff from impermeable roof areas to be directed to existing roadside channel, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils.
<i>(g) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;</i>	Runoff resulting from the existing / proposed roof areas is to be collected and directed to the discharge point via sealed pipes, mitigating the potential for runoff to pass over / saturate surrounding soils. The site is large enough for on-site stormwater and effluent disposal (i.e. setbacks between water sources and effluent disposal comply with Table 9 of the PRPN).
<i>(h) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;</i>	The proposed driveway / parking area are necessary for the health clinic's patients and staff and is not considered excessive.
<i>(i) the extent to which land scaping and vegetation may reduce adverse effects of run-off;</i>	Existing vegetation and any plantings introduced by the owner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.
<i>(j) any recognised standards promulgated by industry groups;</i>	Not applicable.
<i>(k) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold;</i>	The impermeable areas in exceedance of Permitted Activity Rule 8.6.5.1.3 have been attenuated back to pre-development flow rates for the 50% AEP and 20% AEP storm events, adjusted for climate change.
<i>(l) the extent to which the proposal has considered and provided for climate change;</i>	Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.
<i>(m) the extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.</i>	The impermeable areas in exceedance of Permitted Activity Rule 8.6.5.1.3 have been attenuated back to pre-development flow rates for the 50% AEP and 20% AEP storm events, adjusted for climate change.

9. NOTES

If any of the design specifications mentioned in the previous sections are altered or found to be different than what is described in this report, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (138387-C200 & 138387-C201).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system.

Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.

10. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. The secondary stormwater system, Overland Flow Paths (OLFP), vehicular access and the consideration of road/street water flooding is all assumed to be undertaken by a third party.

All drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

Wilton Joubert Ltd.



Gustavo Brant
Civil Engineer
BE(Hons)

REPORT ATTACHMENTS

- Site Plan - C200 (1 sheet)
- Tank Detail – C201 (1 sheet)
- Calculation Set



EXISTING ABOVEGROUND SPREADER BAR. TO BE CHECKED TO ENSURE MINIMUM OF 19 x 20mm OUTLET HOLES DRILLED INTO SPREADER BAR

UNUSED ROW TO FOOTBALL FIELD

INDICATIVE REROUTED / PROPOSED DRAINAGE LINE FROM EXISTING / PROPOSED HEALTH CLINIC & GARAGE GUTTERS TO TANK

EXISTING SHED/GARAGE ROOF COVERAGE 48m²

EFFLUENT RESERVE BY OTHERS

PROPOSED/EXISTING HEALTH CLINIC MAIN STRUCTURE ROOF COVERAGE 570m²

PROPOSED/EXISTING DRIVEWAY/PARKING 744m²

2 x 25,000L RAINWATER TANKS FOR POTABLE WATER / DETENTION

EFFLUENT DISPOSAL BY OTHERS

EXISTING DRAINAGE LINE TO EXISTING DISPERSAL DEVICE. LINE TO BE CHECKED TO ENSURE MINIMUM 150Ø uPVC @ >1%

INDICATIVE DRIVEWAY DRAINAGE BY OTHERS

PROPOSED DRAINAGE LINE FROM TANK TO EXISTING DISPERSAL DEVICE. 100Ø uPVC @ >1%. IF THE TANK DRAINAGE LINE & CATCHPIT DRAINAGE LINES ARE JOINED A CAPACITY ASSESSMENT OF THE LINE IS REQUIRED OR LINE TO BE UPSIZED TO MINIMUM 150Ø uPVC @ >1%

01
C201

NOTES:

1. SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
2. BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
3. ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.
5. IMPERVIOUS SURFACES FOR MITIGATION:
SITE AREA = 2,364m²
TOTAL ROOF COVER = 618m²
TOTAL HARDSTAND = 744m²



WILTON JOUBERT
Consulting Engineers

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Auckland: 09 527 0196
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Wanaka: 03 443 6209
www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	JAN '25	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY:
GMB

DRAWN BY:
GMB

CHECKED BY:
BGS

SURVEYED BY:
N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
SITE PLAN

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**TE KAO 71A1 BLOCK
6652 FAR NORTH ROAD
TE KAO
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: 1:200	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 138387-C200	ISSUE: 01
COPYRIGHT - WILTON JOUBERT LIMITED	

NOTES:

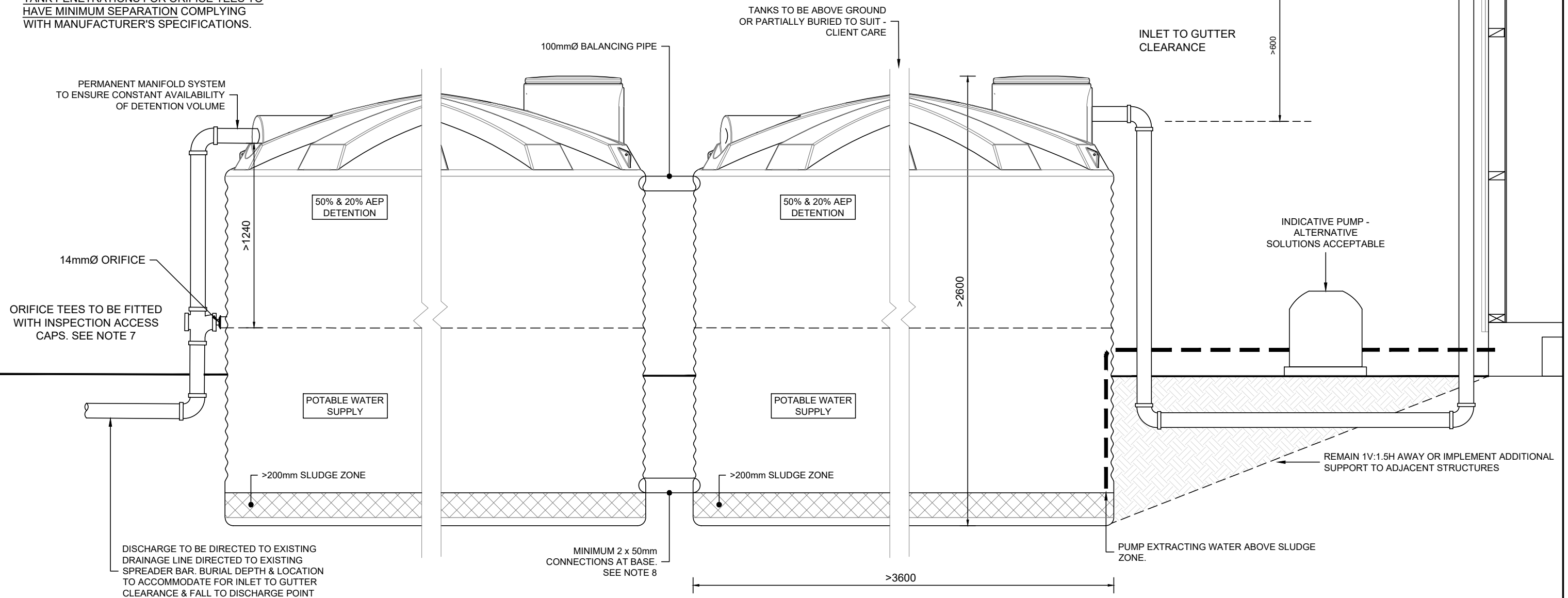
1. NOT TO SCALE. DRAWN INDICATIVELY ONLY.
2. ALL LEVELS & DIMENSIONS TO BE CONFIRMED ON SITE & ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. TANK TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & RELEVANT COUNCIL STANDARDS.
4. REGULAR INSPECTION & CLEANING IS REQUIRED TO ENSURE THE EFFECTIVE OPERATION OF THE SYSTEM.
5. ALL ORIFICE OUTLETS TO BE COVERED WITH STAINLESS STEEL OR NYLON MESH.
6. ASSUMED USE OF 2 x 25,000 LITRE PLASTIC WATER TANK OR SIMILARLY APPROVED.

PLASTIC TANK NOTES:

7. ALL OUTLETS / PENETRATIONS UNDER HIGH WATER PRESSURE TO BE INSTALLED BY THE MANUFACTURER.
8. TANKS TO BE CONNECTED AT BASE VIA FLEXIBLE CONNECTIONS ONLY.

TANK DETAIL TO BE PROVIDED TO TANK MANUFACTURER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH TANK MANUFACTURER'S SPECIFICATIONS MAY RESULT IN VOIDING OF TANK WARRANTY

INTERNAL RISER SETUP ALSO ACCEPTABLE.
TANK PENETRATIONS FOR ORIFICE TEES TO HAVE MINIMUM SEPARATION COMPLYING WITH MANUFACTURER'S SPECIFICATIONS.



01 **TANK DETAIL**
C200 N.T.S

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ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	JAN '25	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY:	GMB
DRAWN BY:	GMB
CHECKED BY:	BGS
SURVEYED BY:	N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

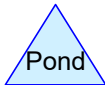
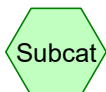
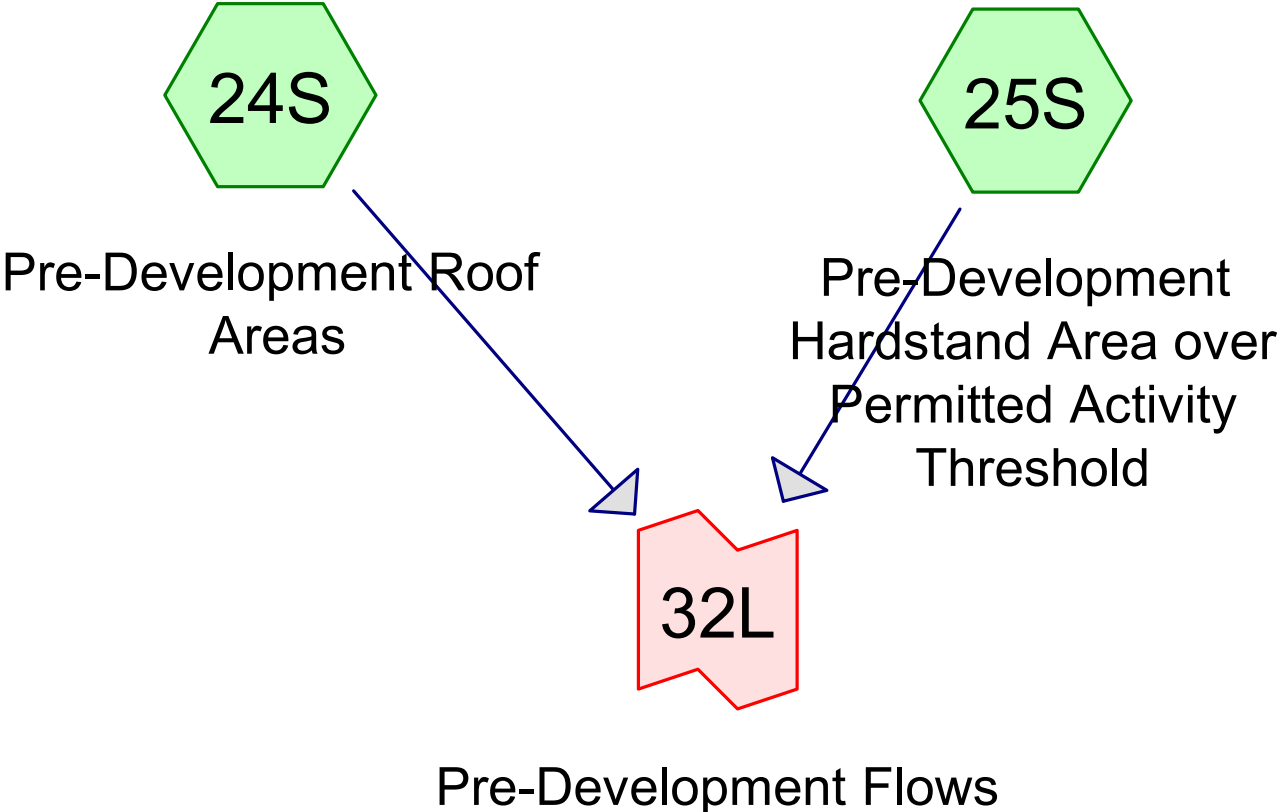
DRAWING TITLE:
SITE PLAN

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**TE KAO 71A1 BLOCK
6652 FAR NORTH ROAD
TE KAO
NORTHLAND**

ORIGINAL DRAWING SIZE:	OFFICE:
A3	OREWA
DRAWING SCALE:	CO-ORDINATE SYSTEM:
1:200	NOT COORDINATED
DRAWING NUMBER:	ISSUE:
138387-C201	01
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Pre-Development



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 24S: Pre-Development Runoff Area=618.0 m² 0.00% Impervious Runoff Depth>65 mm
Tc=10.0 min CN=79 Runoff=2.67 L/s 40.1 m³

Subcatchment 25S: Pre-Development Runoff Area=382.4 m² 0.00% Impervious Runoff Depth>65 mm
Tc=10.0 min CN=79 Runoff=1.65 L/s 24.8 m³

Link 32L: Pre-Development Flows Inflow=4.32 L/s 65.0 m³
Primary=4.32 L/s 65.0 m³

Summary for Subcatchment 24S: Pre-Development Roof Areas

Runoff = 2.67 L/s @ 8.01 hrs, Volume= 40.1 m³, Depth> 65 mm

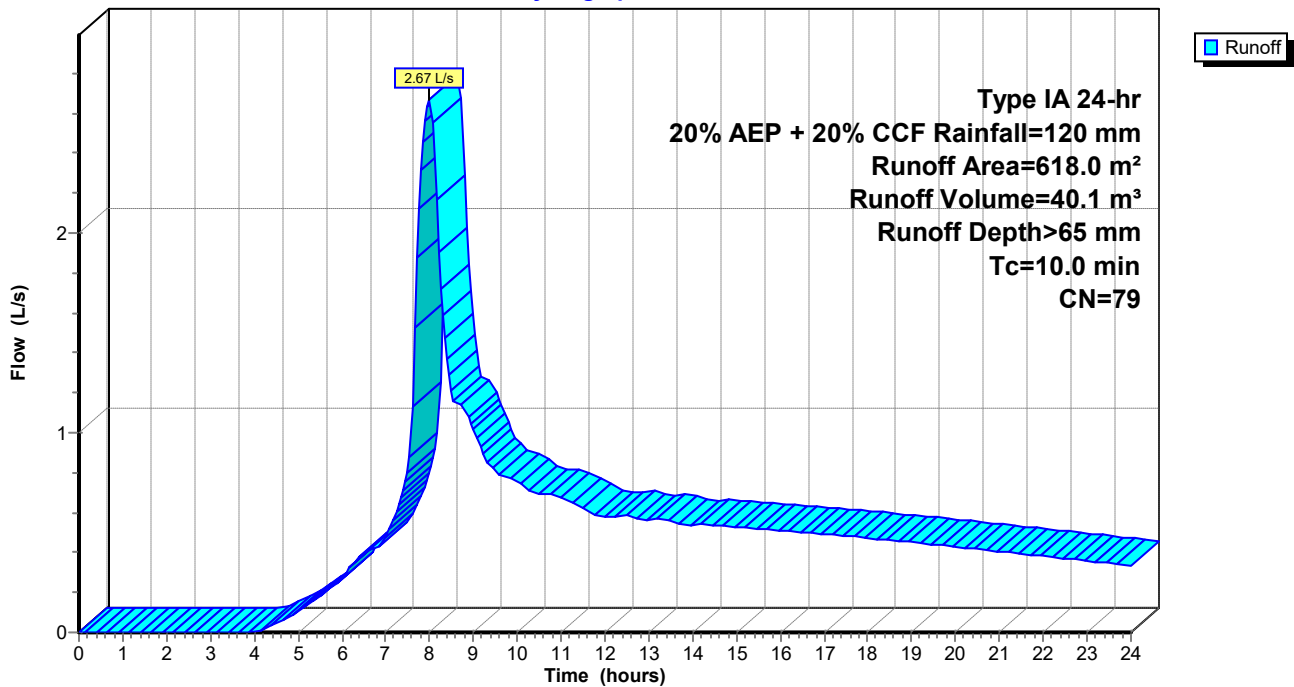
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=120 mm

Area (m ²)	CN	Description
618.0	79	50-75% Grass cover, Fair, HSG C
618.0		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Pre-Development Roof Areas

Hydrograph



Summary for Subcatchment 25S: Pre-Development Hardstand Area over Permitted Activity Threshold

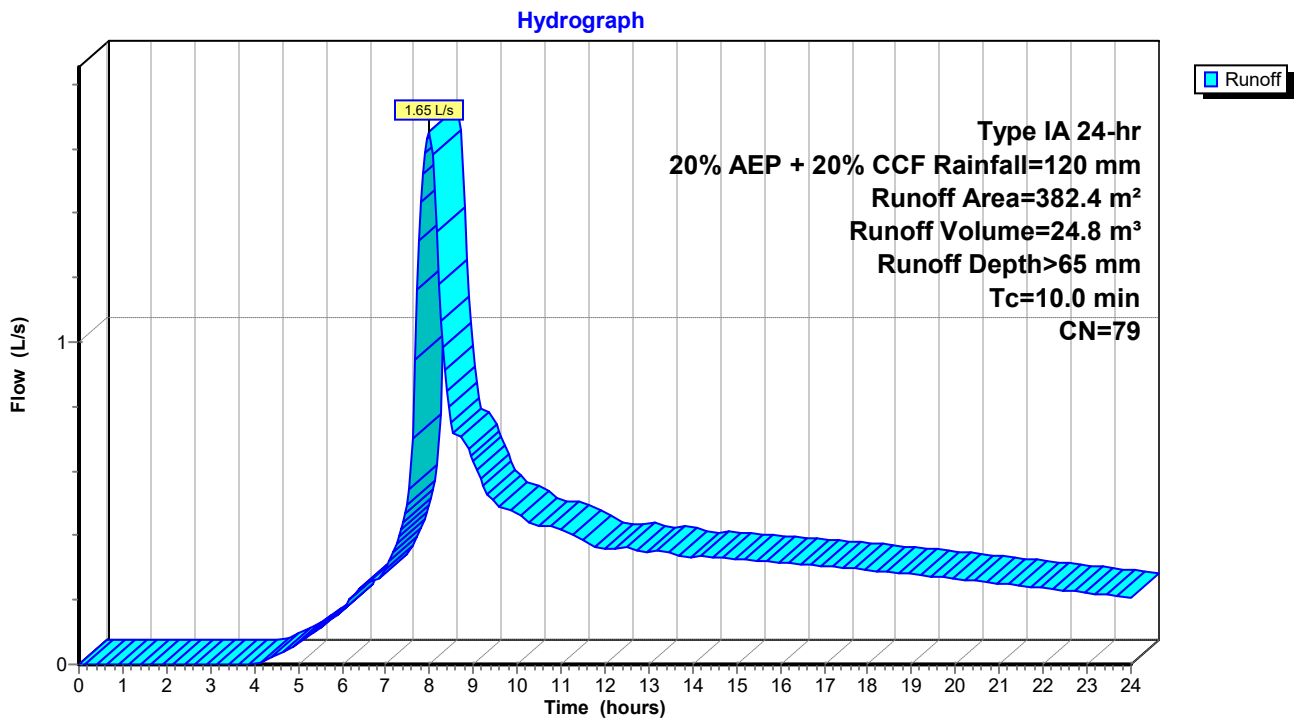
Runoff = 1.65 L/s @ 8.01 hrs, Volume= 24.8 m³, Depth> 65 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=120 mm

Area (m ²)	CN	Description
382.4	79	50-75% Grass cover, Fair, HSG C
382.4		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 25S: Pre-Development Hardstand Area over Permitted Activity Threshold



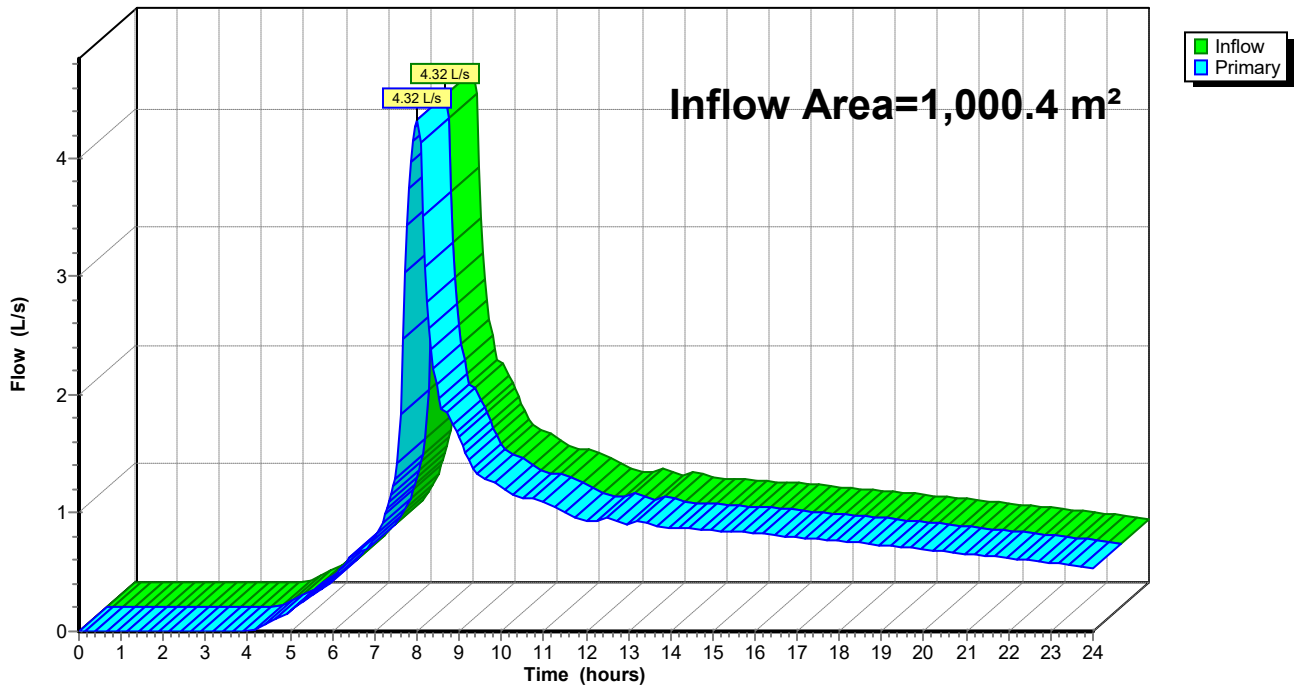
Summary for Link 32L: Pre-Development Flows

Inflow Area = 1,000.4 m², 0.00% Impervious, Inflow Depth > 65 mm for 20% AEP + 20% CCF event
Inflow = 4.32 L/s @ 8.01 hrs, Volume= 65.0 m³
Primary = 4.32 L/s @ 8.01 hrs, Volume= 65.0 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 32L: Pre-Development Flows

Hydrograph



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 24S: Pre-Development Runoff Area=618.0 m² 0.00% Impervious Runoff Depth>42 mm
Tc=10.0 min CN=79 Runoff=1.62 L/s 26.0 m³

Subcatchment 25S: Pre-Development Runoff Area=382.4 m² 0.00% Impervious Runoff Depth>42 mm
Tc=10.0 min CN=79 Runoff=1.00 L/s 16.1 m³

Link 32L: Pre-Development Flows Inflow=2.62 L/s 42.0 m³
Primary=2.62 L/s 42.0 m³

Summary for Subcatchment 24S: Pre-Development Roof Areas

Runoff = 1.62 L/s @ 8.02 hrs, Volume= 26.0 m³, Depth> 42 mm

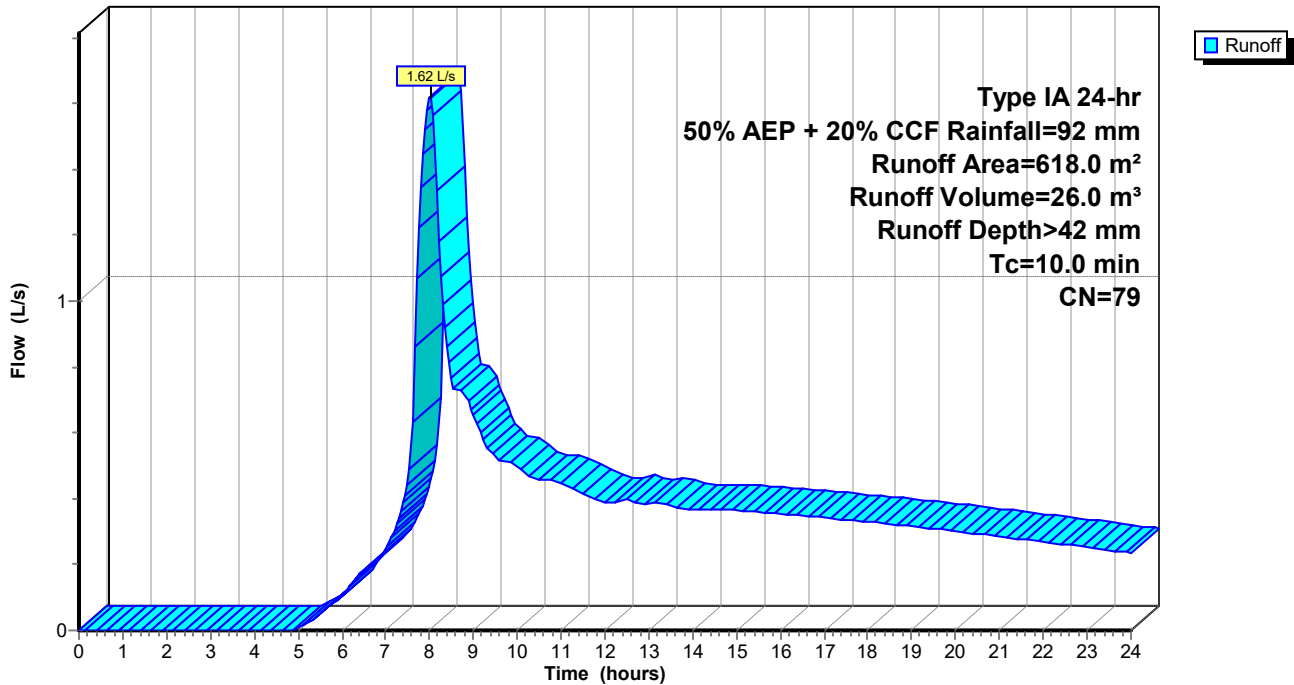
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 50% AEP + 20% CCF Rainfall=92 mm

Area (m ²)	CN	Description
618.0	79	50-75% Grass cover, Fair, HSG C
618.0		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Pre-Development Roof Areas

Hydrograph



Summary for Subcatchment 25S: Pre-Development Hardstand Area over Permitted Activity Threshold

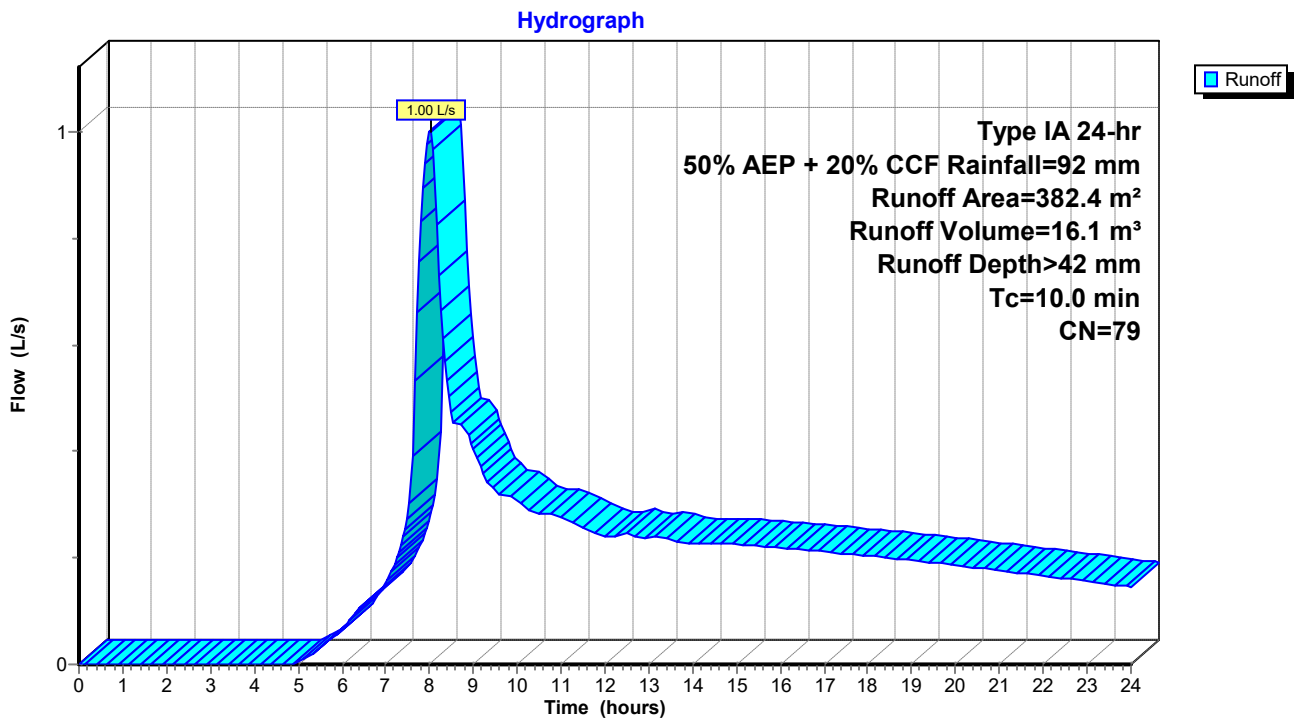
Runoff = 1.00 L/s @ 8.02 hrs, Volume= 16.1 m³, Depth> 42 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 50% AEP + 20% CCF Rainfall=92 mm

Area (m ²)	CN	Description
382.4	79	50-75% Grass cover, Fair, HSG C
382.4		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 25S: Pre-Development Hardstand Area over Permitted Activity Threshold



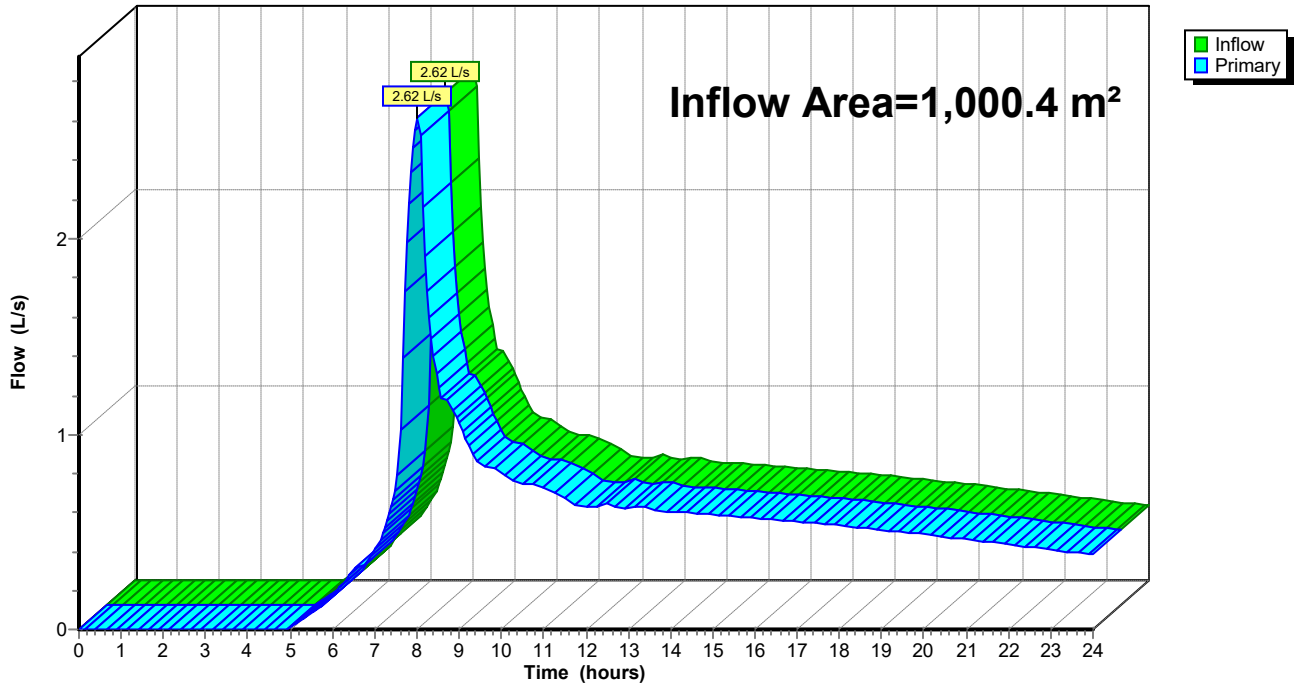
Summary for Link 32L: Pre-Development Flows

Inflow Area = 1,000.4 m², 0.00% Impervious, Inflow Depth > 42 mm for 50% AEP + 20% CCF event
Inflow = 2.62 L/s @ 8.02 hrs, Volume= 42.0 m³
Primary = 2.62 L/s @ 8.02 hrs, Volume= 42.0 m³, Atten= 0%, Lag= 0.0 min

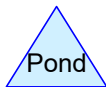
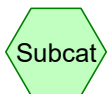
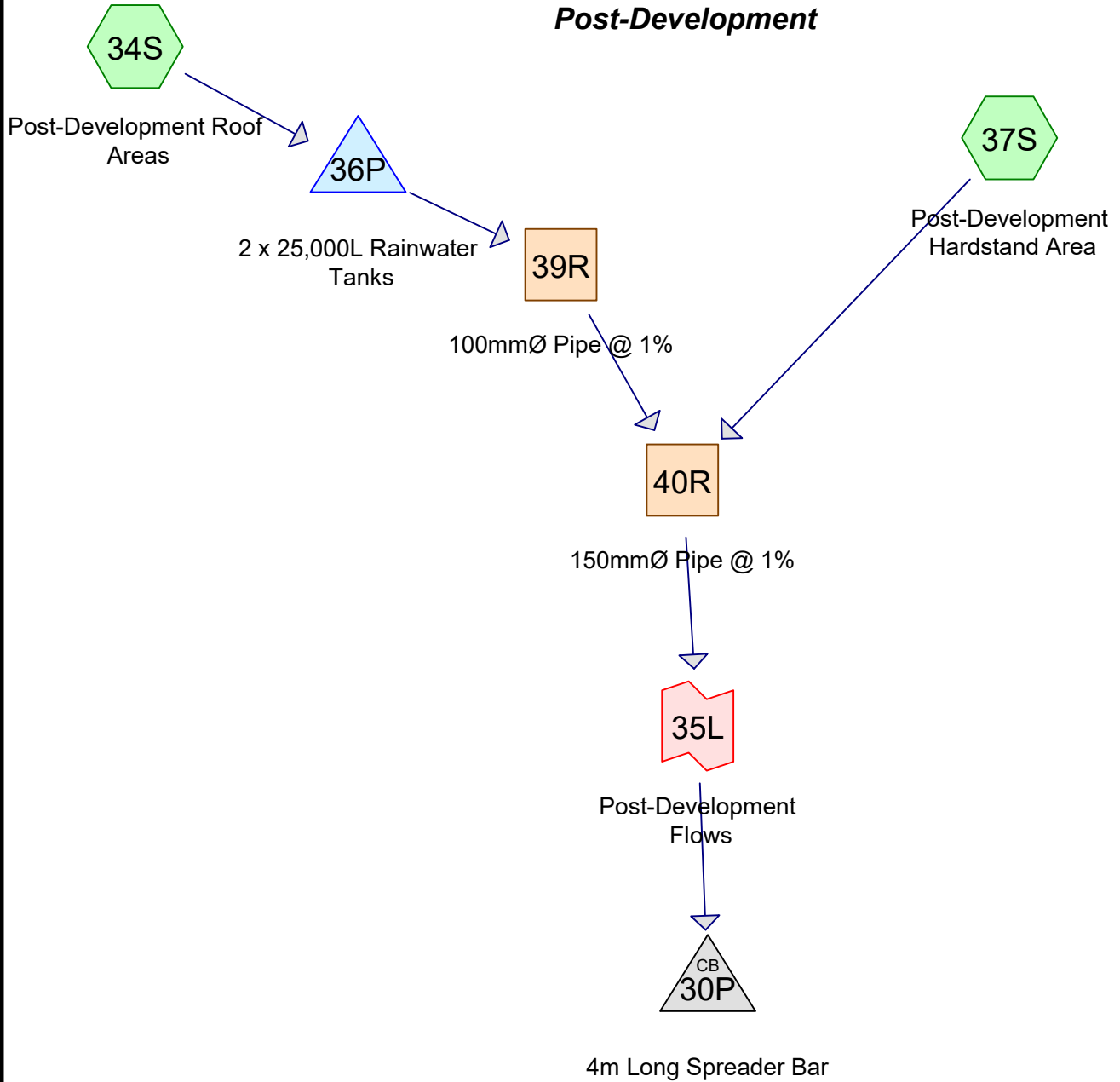
Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 32L: Pre-Development Flows

Hydrograph



Post-Development



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 34S: Post-Development Runoff Area=618.0 m² 100.00% Impervious Runoff Depth>114 mm
 Tc=10.0 min CN=98 Runoff=4.84 L/s 70.3 m³

Subcatchment 37S: Post-Development Runoff Area=382.4 m² 100.00% Impervious Runoff Depth>114 mm
 Tc=10.0 min CN=98 Runoff=3.00 L/s 43.5 m³

Reach 39R: 100mmØ Pipe @ 1% Avg. Flow Depth=0.04 m Max Vel=0.66 m/s Inflow=1.63 L/s 45.2 m³
 100 mm Round Pipe n=0.011 L=10.00 m S=0.0100 m/m Capacity=6.10 L/s Outflow=1.63 L/s 45.2 m³

Reach 40R: 150mmØ Pipe @ 1% Avg. Flow Depth=0.04 m Max Vel=0.78 m/s Inflow=3.40 L/s 88.7 m³
 150 mm Round Pipe n=0.011 L=10.00 m S=0.0100 m/m Capacity=18.00 L/s Outflow=3.40 L/s 88.7 m³

Pond 30P: 4m Long Spreader Bar Peak Elev=-0.144 m Inflow=3.40 L/s 88.7 m³
 Outflow=3.40 L/s 88.7 m³

Pond 36P: 2 x 25,000L Rainwater Tanks Peak Elev=1.280 m Storage=26.1 m³ Inflow=4.84 L/s 70.3 m³
 Outflow=1.63 L/s 45.2 m³

Link 35L: Post-Development Flows Inflow=3.40 L/s 88.7 m³
 Primary=3.40 L/s 88.7 m³

Summary for Subcatchment 34S: Post-Development Roof Areas

Runoff = 4.84 L/s @ 7.94 hrs, Volume= 70.3 m³, Depth> 114 mm

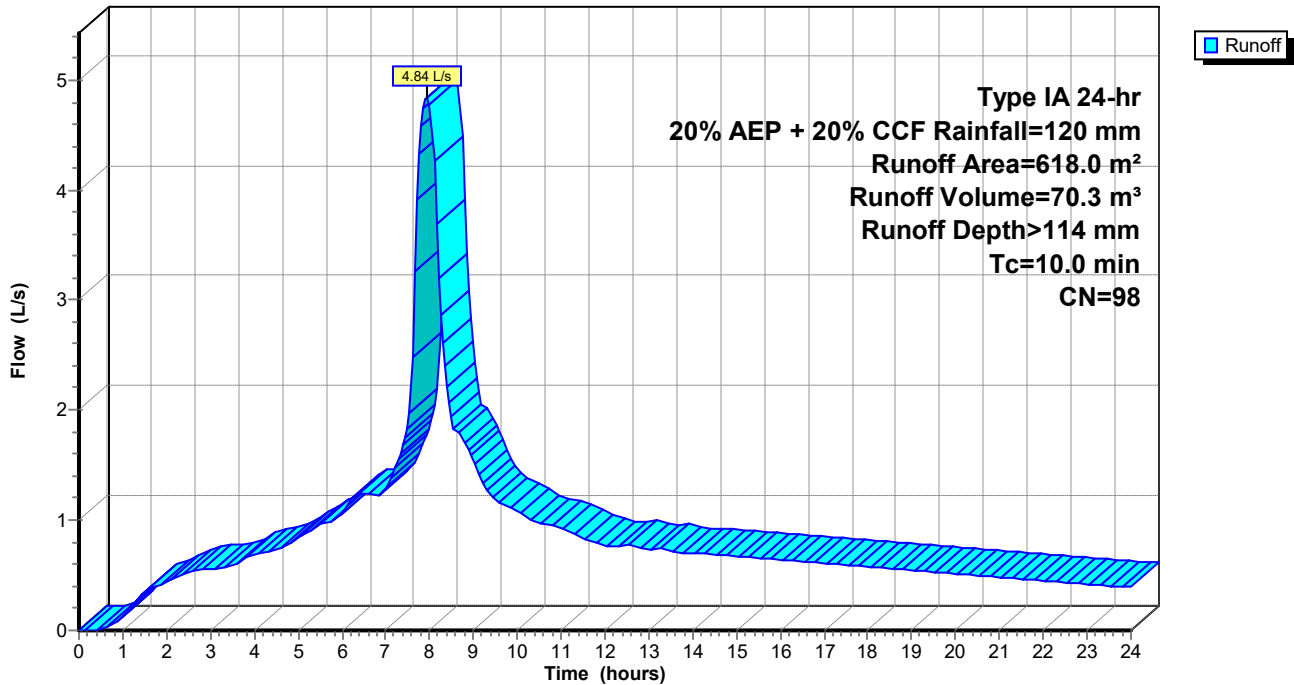
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=120 mm

Area (m ²)	CN	Description
618.0	98	Roofs, HSG C
618.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 34S: Post-Development Roof Areas

Hydrograph



Summary for Subcatchment 37S: Post-Development Hardstand Area

Runoff = 3.00 L/s @ 7.94 hrs, Volume= 43.5 m³, Depth> 114 mm

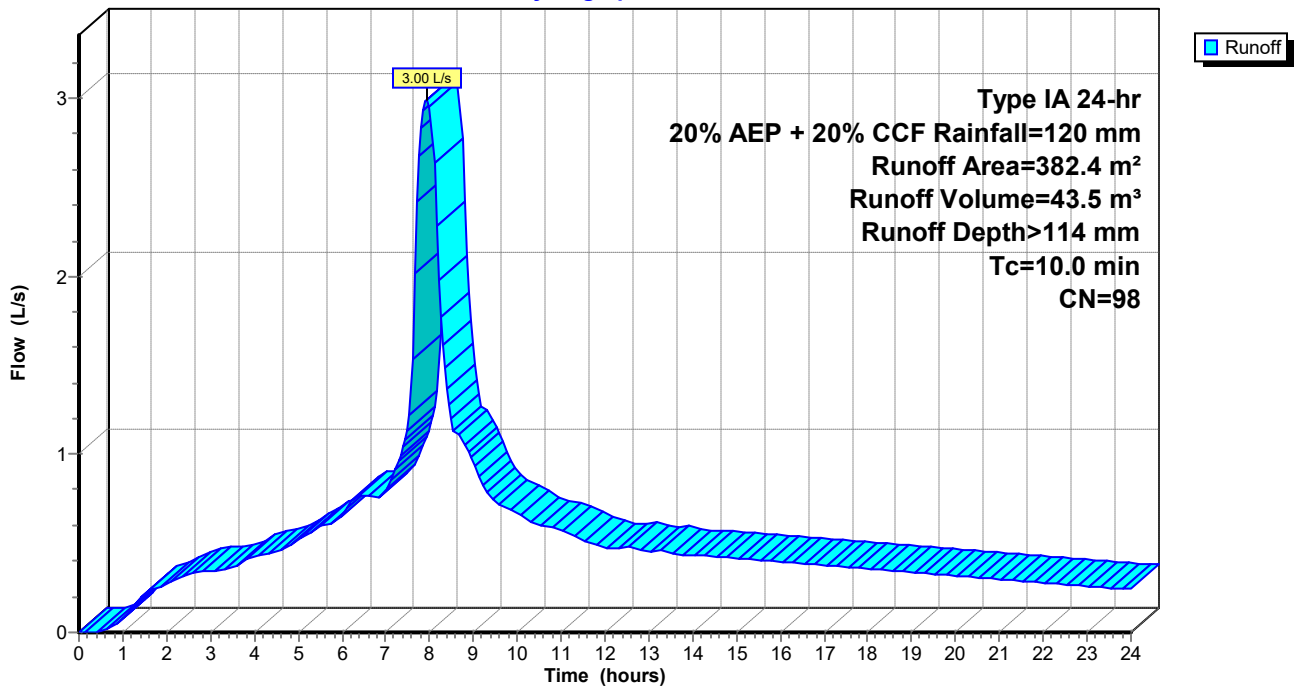
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=120 mm

Area (m ²)	CN	Description
382.4	98	Paved parking, HSG C
382.4		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 37S: Post-Development Hardstand Area

Hydrograph



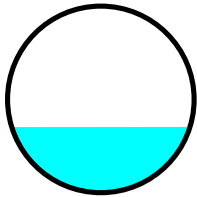
Summary for Reach 39R: 100mmØ Pipe @ 1%

Inflow Area = 618.0 m², 100.00% Impervious, Inflow Depth > 73 mm for 20% AEP + 20% CCF event
 Inflow = 1.63 L/s @ 8.91 hrs, Volume= 45.2 m³
 Outflow = 1.63 L/s @ 8.91 hrs, Volume= 45.2 m³, Atten= 0%, Lag= 0.3 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 0.66 m/s, Min. Travel Time= 0.3 min
 Avg. Velocity = 0.46 m/s, Avg. Travel Time= 0.4 min

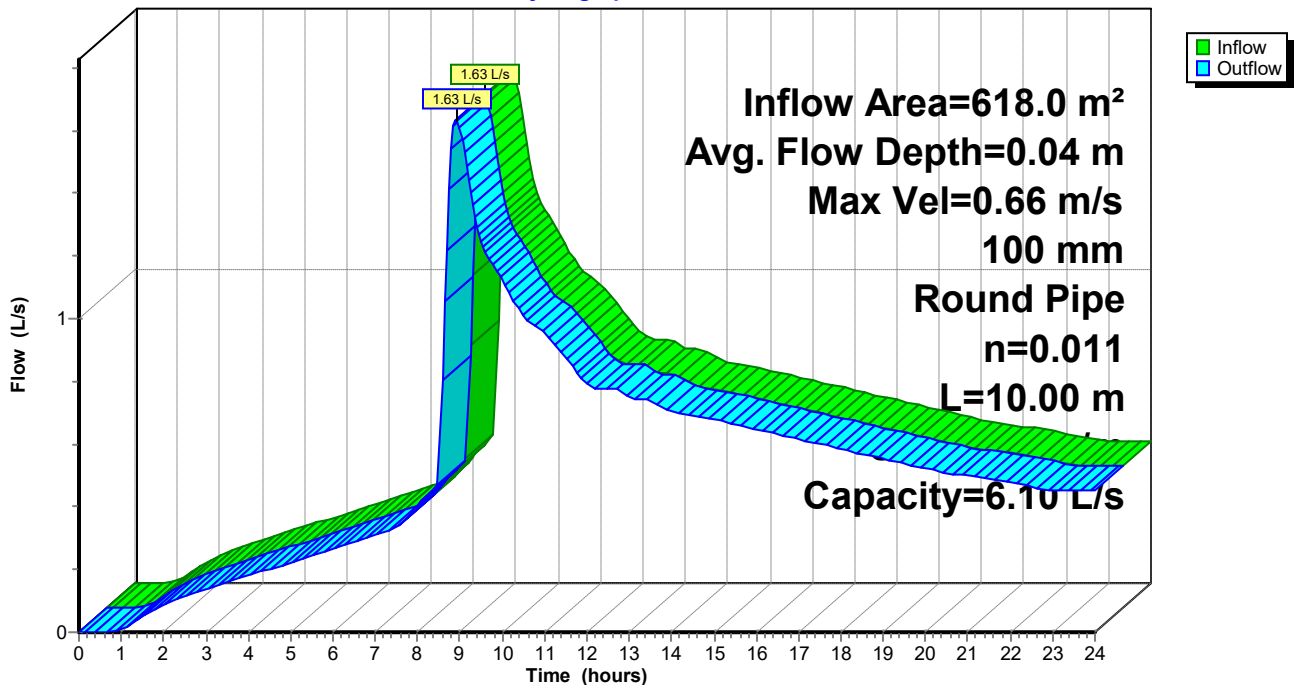
Peak Storage= 0.0 m³ @ 8.91 hrs
 Average Depth at Peak Storage= 0.04 m
 Bank-Full Depth= 0.10 m Flow Area= 0.01 m², Capacity= 6.10 L/s

100 mm Round Pipe
 n= 0.011 PVC, smooth interior
 Length= 10.00 m Slope= 0.0100 m/m
 Inlet Invert= 0.000 m, Outlet Invert= -0.100 m



Reach 39R: 100mmØ Pipe @ 1%

Hydrograph



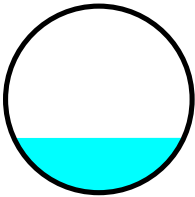
Summary for Reach 40R: 150mmØ Pipe @ 1%

Inflow Area = 1,000.4 m², 100.00% Impervious, Inflow Depth > 89 mm for 20% AEP + 20% CCF event
 Inflow = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³
 Outflow = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³, Atten= 0%, Lag= 0.2 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 0.78 m/s, Min. Travel Time= 0.2 min
 Avg. Velocity = 0.54 m/s, Avg. Travel Time= 0.3 min

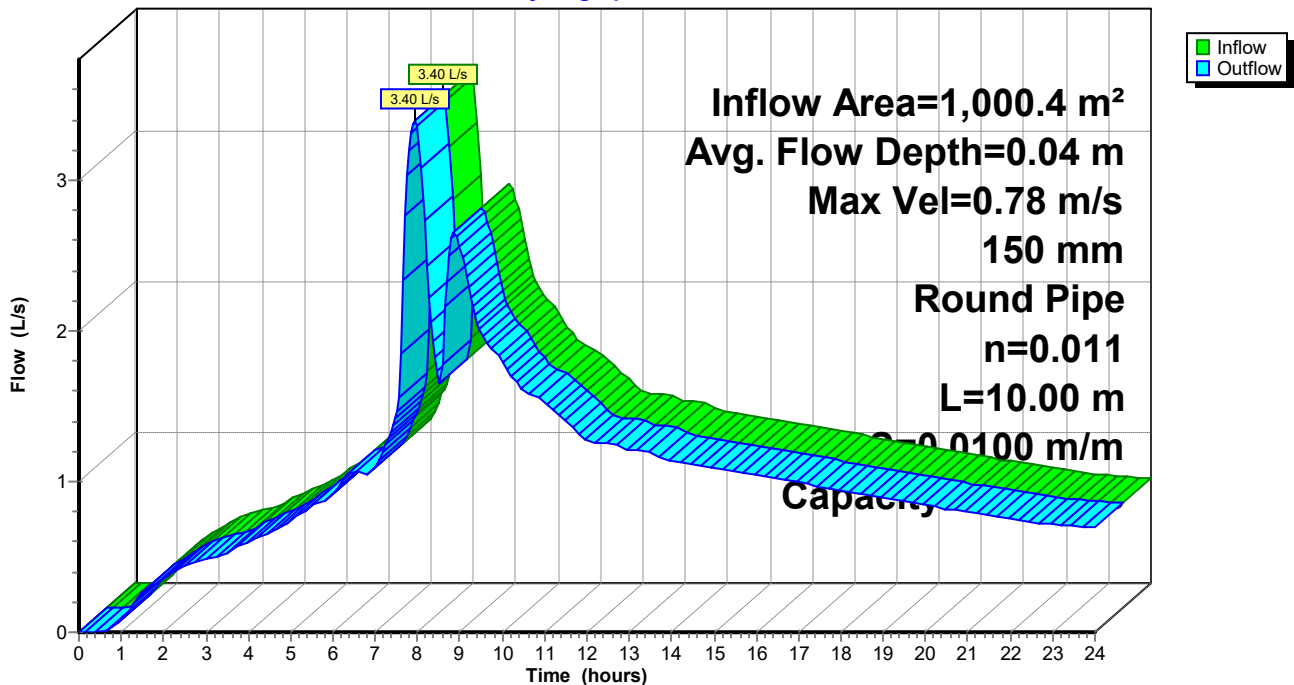
Peak Storage= 0.0 m³ @ 7.95 hrs
 Average Depth at Peak Storage= 0.04 m
 Bank-Full Depth= 0.15 m Flow Area= 0.02 m², Capacity= 18.00 L/s

150 mm Round Pipe
 n= 0.011 PVC, smooth interior
 Length= 10.00 m Slope= 0.0100 m/m
 Inlet Invert= -0.100 m, Outlet Invert= -0.200 m



Reach 40R: 150mmØ Pipe @ 1%

Hydrograph



Summary for Pond 30P: 4m Long Spreader Bar

Inflow Area = 1,000.4 m², 100.00% Impervious, Inflow Depth > 89 mm for 20% AEP + 20% CCF event
 Inflow = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³
 Outflow = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³, Atten= 0%, Lag= 0.0 min
 Primary = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³

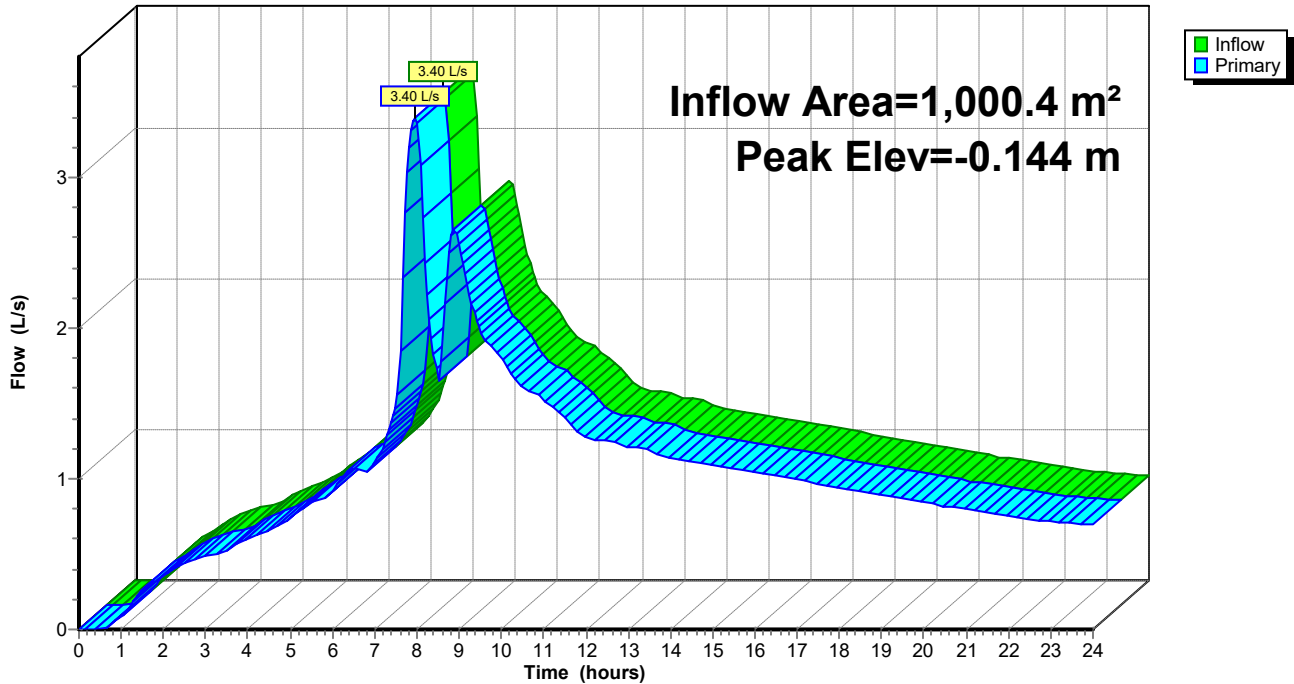
Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= -0.144 m @ 7.95 hrs

Device #	Routing	Invert	Outlet Devices	C
1	Primary	-0.200 m	20 mm Vert. Orifice/Grate X 19.00	0.600

Primary OutFlow Max=3.39 L/s @ 7.95 hrs HW=-0.144 m (Free Discharge)
 ← 1=Orifice/Grate (Orifice Controls 3.39 L/s @ 0.57 m/s)

Pond 30P: 4m Long Spreader Bar

Hydrograph



Summary for Pond 36P: 2 x 25,000L Rainwater Tanks

Inflow Area = 618.0 m², 100.00% Impervious, Inflow Depth > 114 mm for 20% AEP + 20% CCF event
 Inflow = 4.84 L/s @ 7.94 hrs, Volume= 70.3 m³
 Outflow = 1.63 L/s @ 8.91 hrs, Volume= 45.2 m³, Atten= 66%, Lag= 58.1 min
 Primary = 1.63 L/s @ 8.91 hrs, Volume= 45.2 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 1.280 m @ 8.91 hrs Surf.Area= 20.4 m² Storage= 26.1 m³

Plug-Flow detention time= 376.6 min calculated for 45.2 m³ (64% of inflow)
 Center-of-Mass det. time= 164.0 min (821.8 - 657.8)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	52.9 m ³	3.60 mD x 2.60 mH Vertical Cone/Cylinder x 2

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	14 mm Vert. Orifice/Grate C= 0.600
#2	Primary	1.240 m	100 mm Vert. Orifice/Grate C= 0.600

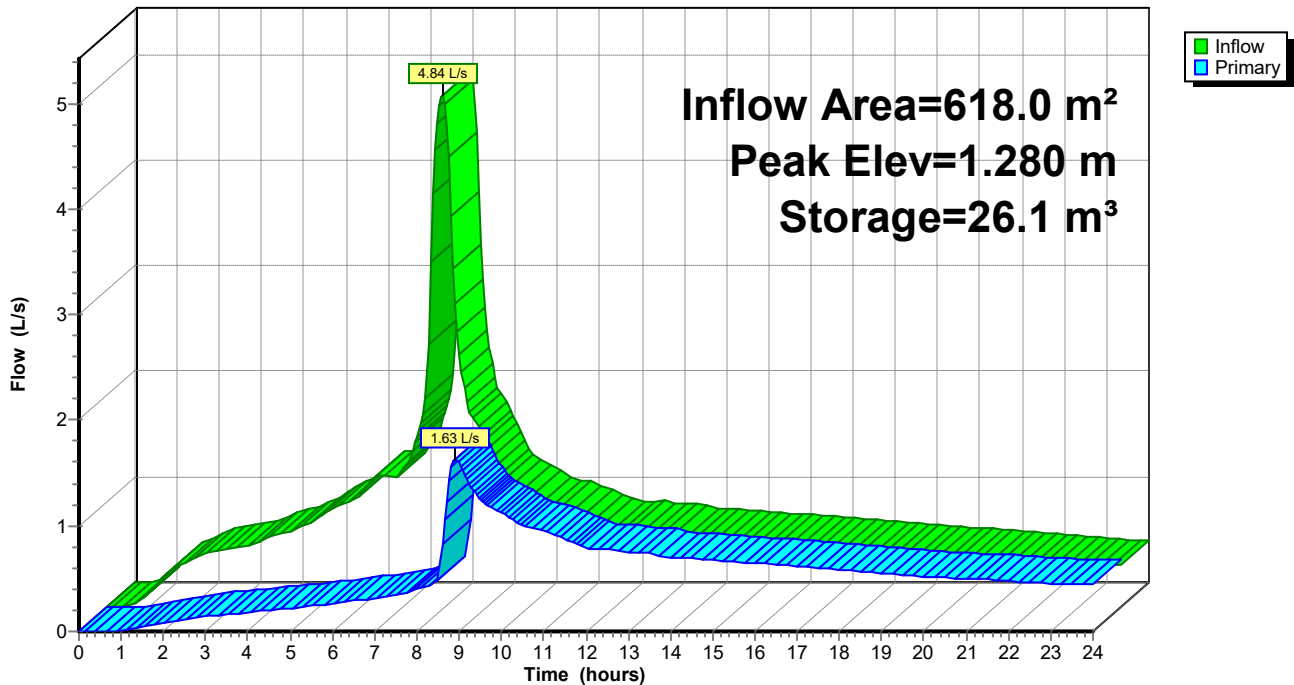
Primary OutFlow Max=1.58 L/s @ 8.91 hrs HW=1.280 m (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.46 L/s @ 3.00 m/s)

2=Orifice/Grate (Orifice Controls 1.12 L/s @ 0.38 m/s)

Pond 36P: 2 x 25,000L Rainwater Tanks

Hydrograph



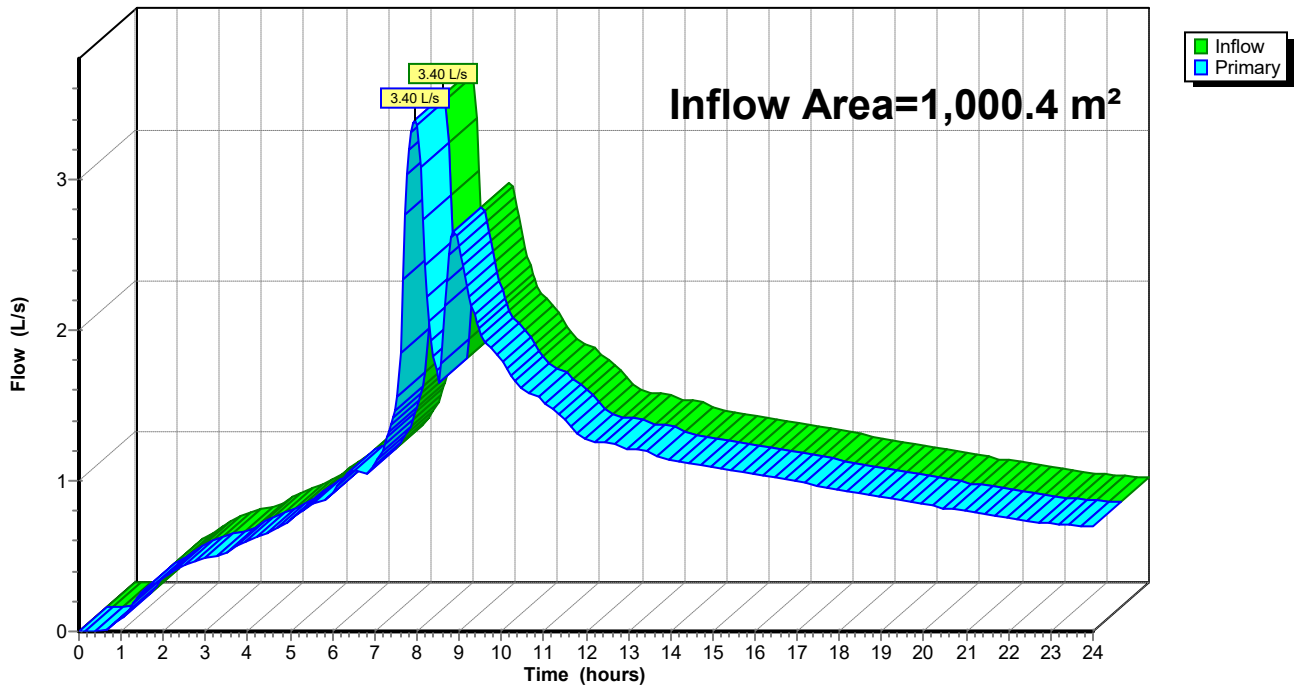
Summary for Link 35L: Post-Development Flows

Inflow Area = 1,000.4 m², 100.00% Impervious, Inflow Depth > 89 mm for 20% AEP + 20% CCF event
Inflow = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³
Primary = 3.40 L/s @ 7.95 hrs, Volume= 88.7 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 35L: Post-Development Flows

Hydrograph



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 34S: Post-Development Runoff Area=618.0 m² 100.00% Impervious Runoff Depth>86 mm
 Tc=10.0 min CN=98 Runoff=3.69 L/s 53.0 m³

Subcatchment 37S: Post-Development Runoff Area=382.4 m² 100.00% Impervious Runoff Depth>86 mm
 Tc=10.0 min CN=98 Runoff=2.28 L/s 32.8 m³

Reach 39R: 100mmØ Pipe @ 1% Avg. Flow Depth=0.02 m Max Vel=0.46 m/s Inflow=0.45 L/s 29.5 m³
 100 mm Round Pipe n=0.011 L=10.00 m S=0.0100 m/m Capacity=6.10 L/s Outflow=0.45 L/s 29.5 m³

Reach 40R: 150mmØ Pipe @ 1% Avg. Flow Depth=0.04 m Max Vel=0.73 m/s Inflow=2.62 L/s 62.3 m³
 150 mm Round Pipe n=0.011 L=10.00 m S=0.0100 m/m Capacity=18.00 L/s Outflow=2.62 L/s 62.3 m³

Pond 30P: 4m Long Spreader Bar Peak Elev=-0.163 m Inflow=2.62 L/s 62.3 m³
 Outflow=2.62 L/s 62.3 m³

Pond 36P: 2 x 25,000L Rainwater Tanks Peak Elev=1.238 m Storage=25.2 m³ Inflow=3.69 L/s 53.0 m³
 Outflow=0.45 L/s 29.5 m³

Link 35L: Post-Development Flows Inflow=2.62 L/s 62.3 m³
 Primary=2.62 L/s 62.3 m³

Summary for Subcatchment 34S: Post-Development Roof Areas

Runoff = 3.69 L/s @ 7.94 hrs, Volume= 53.0 m³, Depth> 86 mm

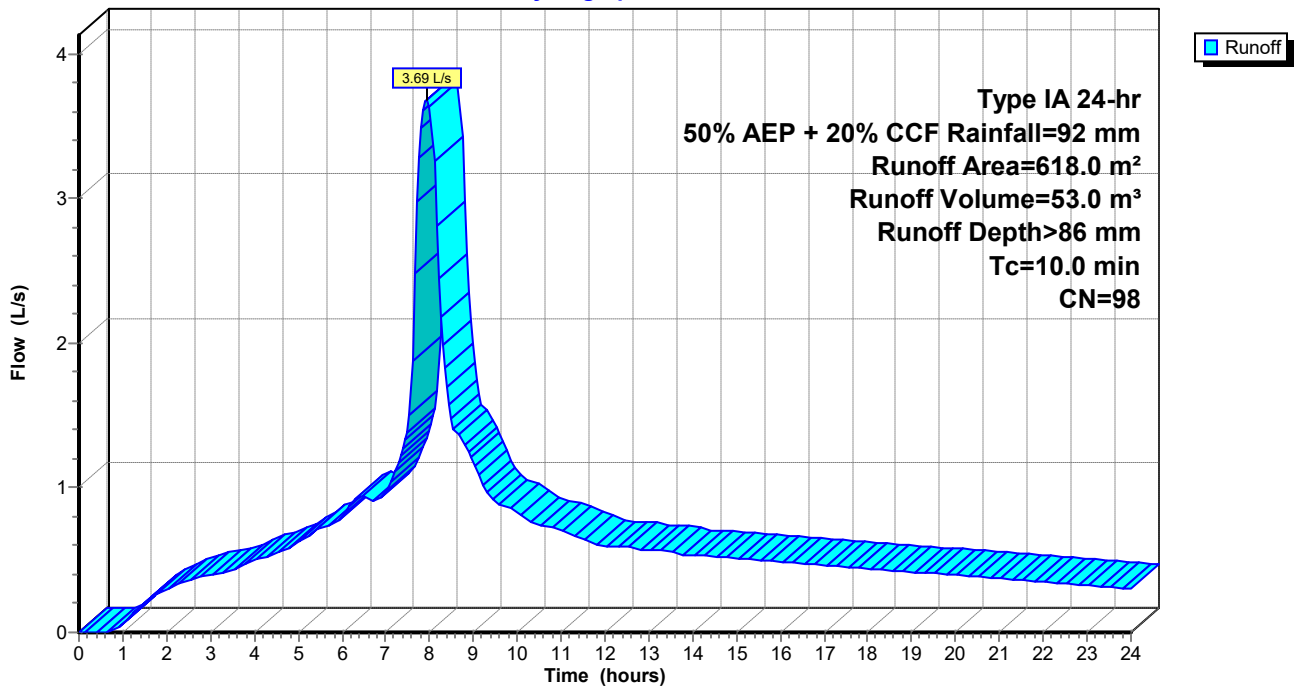
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 50% AEP + 20% CCF Rainfall=92 mm

Area (m ²)	CN	Description
618.0	98	Roofs, HSG C
618.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 34S: Post-Development Roof Areas

Hydrograph



Summary for Subcatchment 37S: Post-Development Hardstand Area

Runoff = 2.28 L/s @ 7.94 hrs, Volume= 32.8 m³, Depth> 86 mm

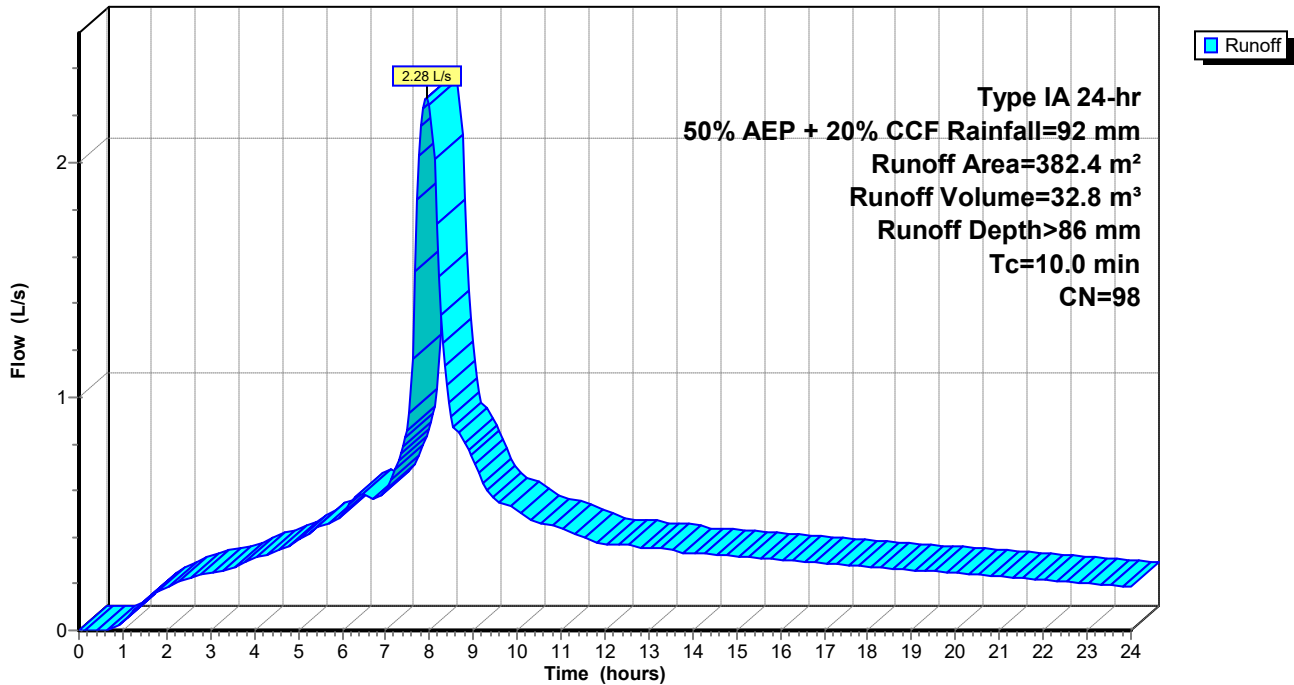
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 50% AEP + 20% CCF Rainfall=92 mm

Area (m ²)	CN	Description
382.4	98	Paved parking, HSG C
382.4		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 37S: Post-Development Hardstand Area

Hydrograph



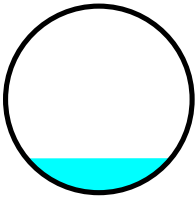
Summary for Reach 39R: 100mmØ Pipe @ 1%

Inflow Area = 618.0 m², 100.00% Impervious, Inflow Depth > 48 mm for 50% AEP + 20% CCF event
 Inflow = 0.45 L/s @ 17.54 hrs, Volume= 29.5 m³
 Outflow = 0.45 L/s @ 17.54 hrs, Volume= 29.5 m³, Atten= 0%, Lag= 0.3 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 0.46 m/s, Min. Travel Time= 0.4 min
 Avg. Velocity = 0.42 m/s, Avg. Travel Time= 0.4 min

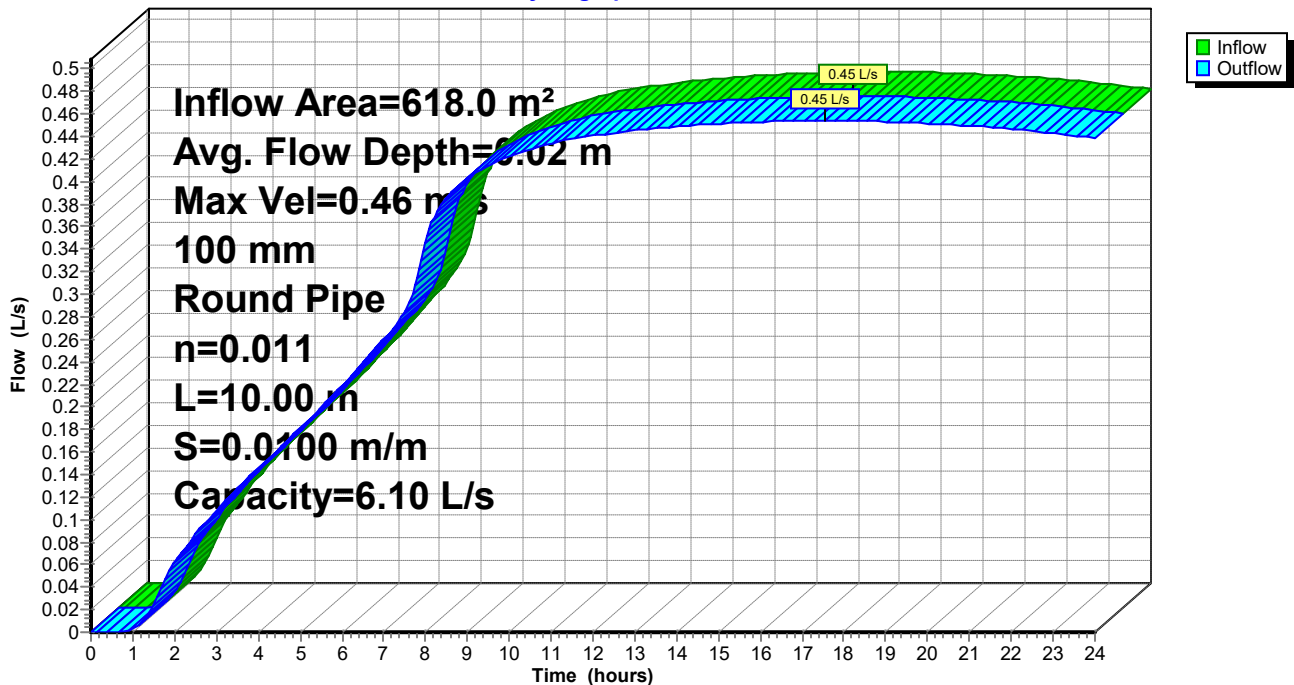
Peak Storage= 0.0 m³ @ 17.54 hrs
 Average Depth at Peak Storage= 0.02 m
 Bank-Full Depth= 0.10 m Flow Area= 0.01 m², Capacity= 6.10 L/s

100 mm Round Pipe
 n= 0.011 PVC, smooth interior
 Length= 10.00 m Slope= 0.0100 m/m
 Inlet Invert= 0.000 m, Outlet Invert= -0.100 m



Reach 39R: 100mmØ Pipe @ 1%

Hydrograph



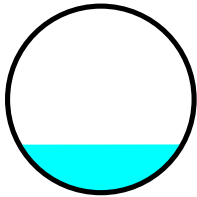
Summary for Reach 40R: 150mmØ Pipe @ 1%

Inflow Area = 1,000.4 m², 100.00% Impervious, Inflow Depth > 62 mm for 50% AEP + 20% CCF event
 Inflow = 2.62 L/s @ 7.95 hrs, Volume= 62.3 m³
 Outflow = 2.62 L/s @ 7.96 hrs, Volume= 62.3 m³, Atten= 0%, Lag= 0.2 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 0.73 m/s, Min. Travel Time= 0.2 min
 Avg. Velocity = 0.49 m/s, Avg. Travel Time= 0.3 min

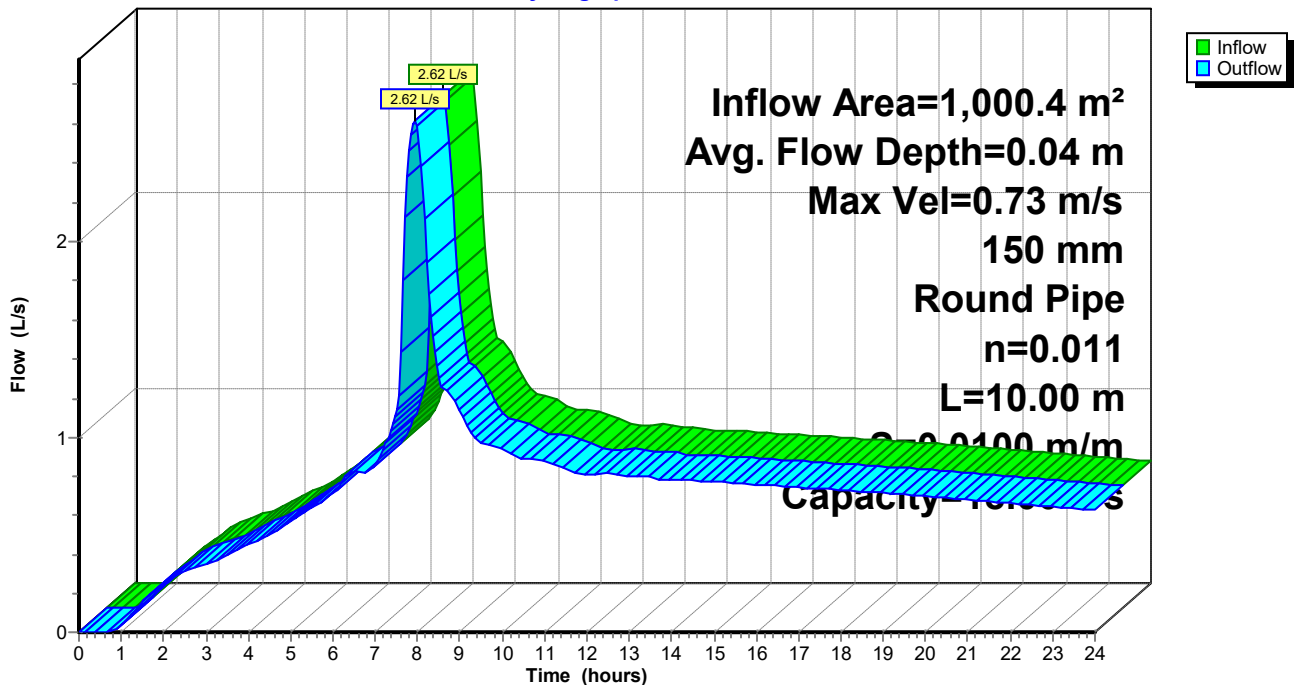
Peak Storage= 0.0 m³ @ 7.96 hrs
 Average Depth at Peak Storage= 0.04 m
 Bank-Full Depth= 0.15 m Flow Area= 0.02 m², Capacity= 18.00 L/s

150 mm Round Pipe
 n= 0.011 PVC, smooth interior
 Length= 10.00 m Slope= 0.0100 m/m
 Inlet Invert= -0.100 m, Outlet Invert= -0.200 m



Reach 40R: 150mmØ Pipe @ 1%

Hydrograph



Summary for Pond 30P: 4m Long Spreader Bar

Inflow Area = 1,000.4 m², 100.00% Impervious, Inflow Depth > 62 mm for 50% AEP + 20% CCF event
 Inflow = 2.62 L/s @ 7.96 hrs, Volume= 62.3 m³
 Outflow = 2.62 L/s @ 7.96 hrs, Volume= 62.3 m³, Atten= 0%, Lag= 0.0 min
 Primary = 2.62 L/s @ 7.96 hrs, Volume= 62.3 m³

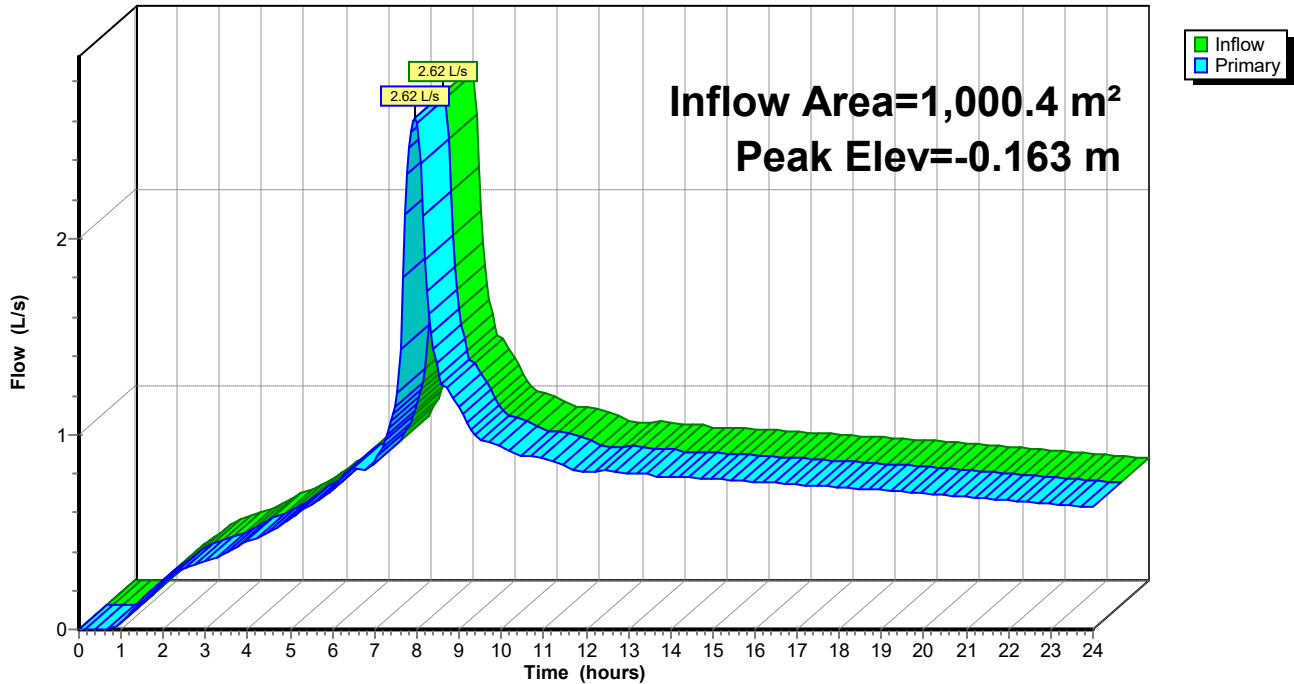
Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= -0.163 m @ 7.96 hrs

Device #	Routing	Invert	Outlet Devices	C
1	Primary	-0.200 m	20 mm Vert. Orifice/Grate X 19.00	0.600

Primary OutFlow Max=2.62 L/s @ 7.96 hrs HW=-0.163 m (Free Discharge)
 ←1=Orifice/Grate (Orifice Controls 2.62 L/s @ 0.44 m/s)

Pond 30P: 4m Long Spreader Bar

Hydrograph



Summary for Pond 36P: 2 x 25,000L Rainwater Tanks

Inflow Area = 618.0 m², 100.00% Impervious, Inflow Depth > 86 mm for 50% AEP + 20% CCF event
 Inflow = 3.69 L/s @ 7.94 hrs, Volume= 53.0 m³
 Outflow = 0.45 L/s @ 17.54 hrs, Volume= 29.5 m³, Atten= 88%, Lag= 575.7 min
 Primary = 0.45 L/s @ 17.54 hrs, Volume= 29.5 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 1.238 m @ 17.54 hrs Surf.Area= 20.4 m² Storage= 25.2 m³

Plug-Flow detention time= 461.8 min calculated for 29.5 m³ (56% of inflow)
 Center-of-Mass det. time= 216.2 min (880.1 - 663.9)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	52.9 m ³	3.60 mD x 2.60 mH Vertical Cone/Cylinder x 2

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	14 mm Vert. Orifice/Grate C= 0.600
#2	Primary	1.240 m	100 mm Vert. Orifice/Grate C= 0.600

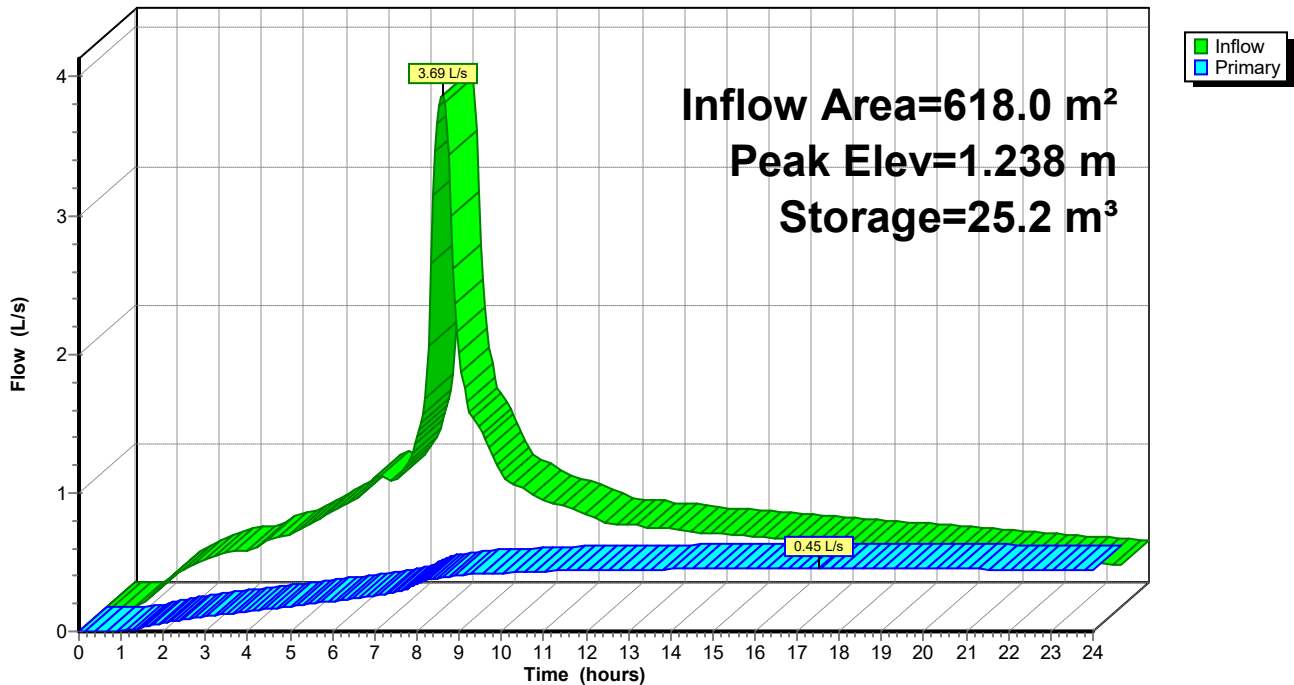
Primary OutFlow Max=0.45 L/s @ 17.54 hrs HW=1.238 m (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.45 L/s @ 2.95 m/s)

2=Orifice/Grate (Controls 0.00 L/s)

Pond 36P: 2 x 25,000L Rainwater Tanks

Hydrograph



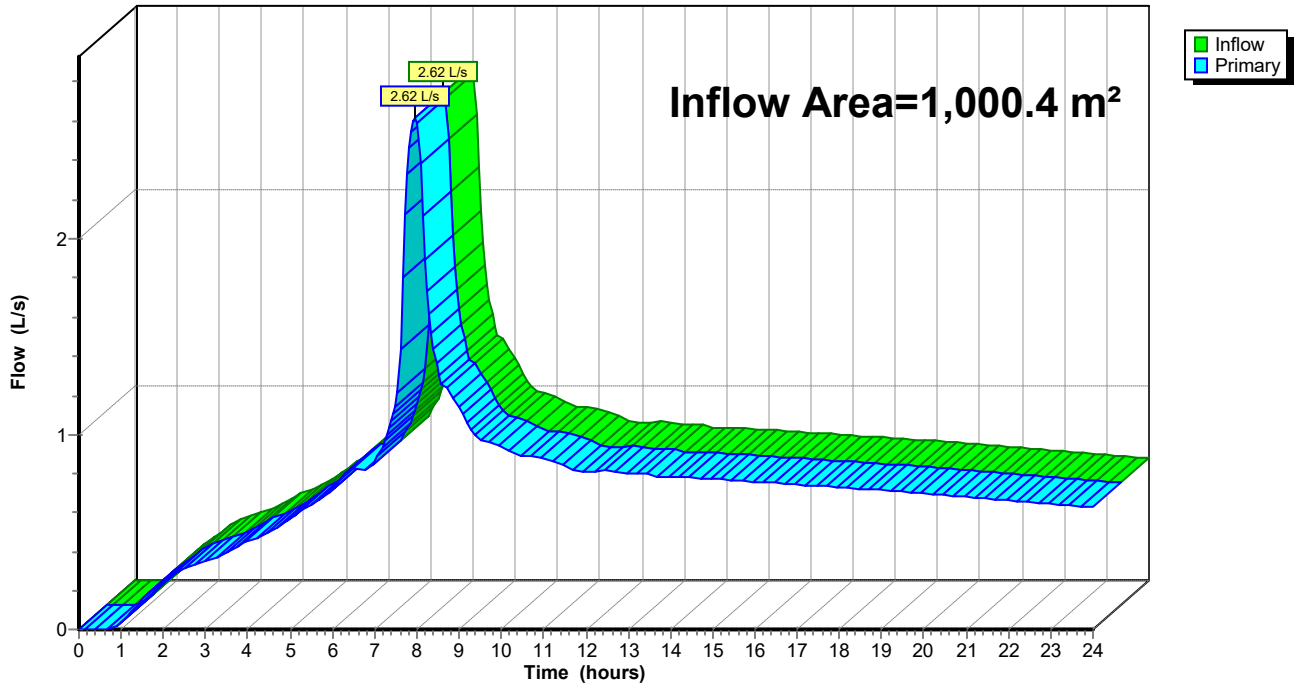
Summary for Link 35L: Post-Development Flows

Inflow Area = 1,000.4 m², 100.00% Impervious, Inflow Depth > 62 mm for 50% AEP + 20% CCF event
Inflow = 2.62 L/s @ 7.96 hrs, Volume= 62.3 m³
Primary = 2.62 L/s @ 7.96 hrs, Volume= 62.3 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 35L: Post-Development Flows

Hydrograph



Appendix E – Written Approvals

Decisions Register

Te Rūnanga Nui o Te Aupōuri Trust

Between: 5 Sept 2024 and 4 Mar 2025

The Board approved the property proposal from Whakawhiti Ora Pai:...

The Board approved the property proposal from Whakawhiti Ora Pai:

- a. That Whakawhiti Ora Pai will remove the building from their site to a site of our choice within a 20km radius of Te Kao, at their own cost.
- b. To extend the Whakawhiti Ora Pai lease for another 25 years.

Mover: Dr Hinemoa Elder PhD

Seconder: Peter-Lucas Jones

Outcome: Approved

Decision Date: 27 Feb 2025

Meeting: 27 Feb 2025 Te Rūnanga Nui o Te Aupōuri hui ā Marama, 2.8 Pou Whakarae Report



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Whakawhiti Ora Pai Society Incorporated C/- Errol Murray
Address of proposed activity:	6652 SH1, Te Kao
Legal description:	Te Kao 71A1
Description of the proposal (including why you need resource consent):	Proposed extension to existing health clinic breaching rules relating to sunlight, setback, stormwater management, building coverage, scale of activities, traffic intensity and activities within sites of cultural significance.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none">1. Site, floor and elevation plans2. _____3. _____4. _____5. _____6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

POTAHU MARAE TRUSTEES

Address of affected property including legal description

2 POTAHU RD TE KAO
RD 4 KAITAIA

Contact Phone Number/s and email address

Daytime:

021607393

email:

rosie@rad2021@
outlook.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature



Date

16-1-2025

Signature



Date

17/01/2025

Signature



Date

16/1/2025

Signature



Date

16/1/2025

See attached letter for written approval from all trustees.



10th December 2024

**APPROVAL TO UTILISE
PART OF TE KAO 7ID3**

We, the owners of Te Kao 7ID3 grant our approval for Whakawhiti Ora Pai to utilise that part of Te Kao 7ID3 marked as a "Right of Way" between Te Kao 7ID1 and Te Kao 7ID2 for the Te Kao Clinic rebuild, as agreed and detailed in the "Proposed Extension/Alterations to Existing Building for Whakawhiti Ora Pai 6652 Far North Road, Te Kao" plans.

Signed by the owners, Potahi Marae Trustees.

Mark Nathan

Handwritten signature of Mark Nathan in blue ink, written over a horizontal line.

Rosie Conrad

Handwritten signature of Rosie Conrad in blue ink, written over a horizontal line.

Anaru Rieper

Handwritten signature of Anaru Rieper in blue ink, written over a horizontal line.

Bridgett Ruane

Handwritten signature of Bridgett Ruane in blue ink, written over a horizontal line.

Maquita Lia

Handwritten signature of Maquita Lia in blue ink, written over a horizontal line.

Robert Brown

Handwritten signature of Robert Brown in blue ink, written over a horizontal line.

Tutangiora Nathan

Handwritten signature of Tutangiora Nathan in blue ink, written over a horizontal line.

Emu Kaipu-Dunn

Handwritten signature of Emu Kaipu-Dunn in blue ink, written over a horizontal line.

Francis Harawira (Hetaraka)

Handwritten signature of Francis Harawira in blue ink, written over a horizontal line.

Earl Murray

Handwritten signature of Earl Murray in blue ink, written over a horizontal line.

Chair: Mark Nathan
022 154 6207
Marknathan117@gmail.com

Treasurer/Bookings: Rosie Conrad
021 607 393
rosieconrad2021@outlook.com

Secretary: Anaru Rieper
027 417 4176
anaru.rieper@gmail.com

Trustees: Tutangiora Nathan, Frances Harawira, Emu Kaipu-Dunn, Bridgett Ruane,
Earl Murray, Maquita Lia & Robert Brown



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Whakawhiti Ora Pai Society Incorporated C/- Errol Murray
Address of proposed activity:	6652 SH1, Te Kao
Legal description:	Te Kao 71A1
Description of the proposal (including why you need resource consent):	Proposed extension to existing health clinic breaching rules relating to sunlight, setback, stormwater management, building coverage, scale of activities, traffic intensity and activities within sites of cultural significance.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none">1. Site, floor and elevation plans2. _____3. _____4. _____5. _____6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

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2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Te Rūnanga Nui o Te Aupōuri

Address of affected property including legal description

24 Te Ahu Road, Te Kao

Contact Phone Number/s and email address

Daytime:

email: **tipene@teaupouri.iwi.nz**

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

*Please note: in most instances the approval of **all** the legal owners and the occupiers of the affected property will be necessary.*

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature



Date

5 December 2024

Signature

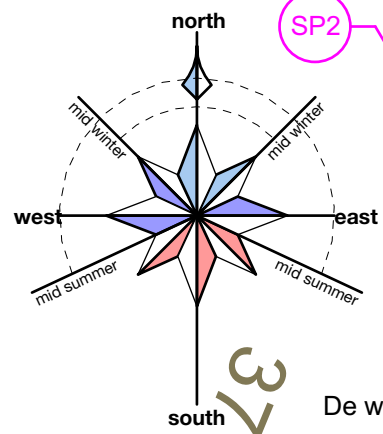
Date

Signature

Date

Signature

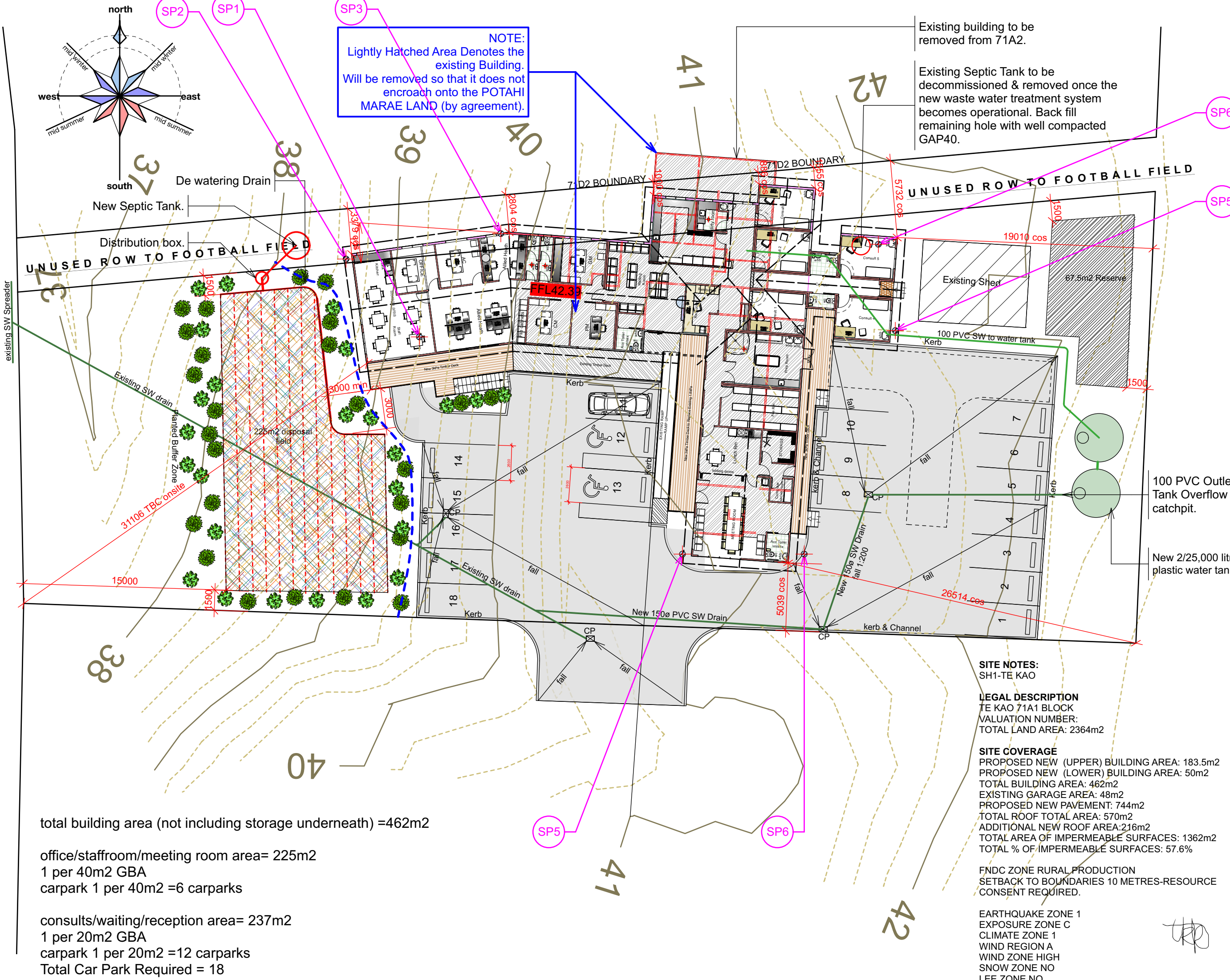
Date



NOTE:
Lightly Hatched Area Denotes the existing Building. Will be removed so that it does not encroach onto the POTAHU MARAE LAND (by agreement).

Existing building to be removed from 71A2.

Existing Septic Tank to be decommissioned & removed once the new waste water treatment system becomes operational. Back fill remaining hole with well compacted GAP40.



total building area (not including storage underneath) = 462m²

office/staffroom/meeting room area = 225m²
1 per 40m² GBA
carpark 1 per 40m² = 6 carparks

consults/waiting/reception area = 237m²
1 per 20m² GBA
carpark 1 per 20m² = 12 carparks
Total Car Park Required = 18

SITE NOTES:
SH1-TE KAO

LEGAL DESCRIPTION
TE KAO 71A1 BLOCK
VALUATION NUMBER:
TOTAL LAND AREA: 2364m²

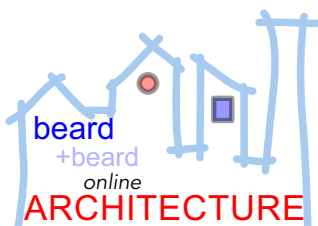
SITE COVERAGE
PROPOSED NEW (UPPER) BUILDING AREA: 183.5m²
PROPOSED NEW (LOWER) BUILDING AREA: 50m²
TOTAL BUILDING AREA: 462m²
EXISTING GARAGE AREA: 48m²
PROPOSED NEW PAVEMENT: 744m²
TOTAL ROOF TOTAL AREA: 570m²
ADDITIONAL NEW ROOF AREA: 216m²
TOTAL AREA OF IMPERMEABLE SURFACES: 1362m²
TOTAL % OF IMPERMEABLE SURFACES: 57.6%

FNDC ZONE RURAL PRODUCTION
SETBACK TO BOUNDARIES 10 METRES-RESOURCE
CONSENT REQUIRED.

EARTHQUAKE ZONE 1
EXPOSURE ZONE C
CLIMATE ZONE 1
WIND REGION A
WIND ZONE HIGH
SNOW ZONE NO
LEE ZONE NO

ISSUE AMENDMENTS	DATE	ISSUE	REV

NOTES
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
DRAWINGS ARE NOT TO BE SCALED.
USE ONLY FIGURED DIMENSIONS.



Address -106 Arawhata Road,
Kaingaroa 0483
Work - 09 408 7123
Doug Cell - 021 125 8866
Tyler Cell - 021 247 7232

Client
**WHAKAWHITI ORA
PAI-TE KAO**
Project
**EXTENSION
PROPOSED NEW
MEDICAL FACILITY**

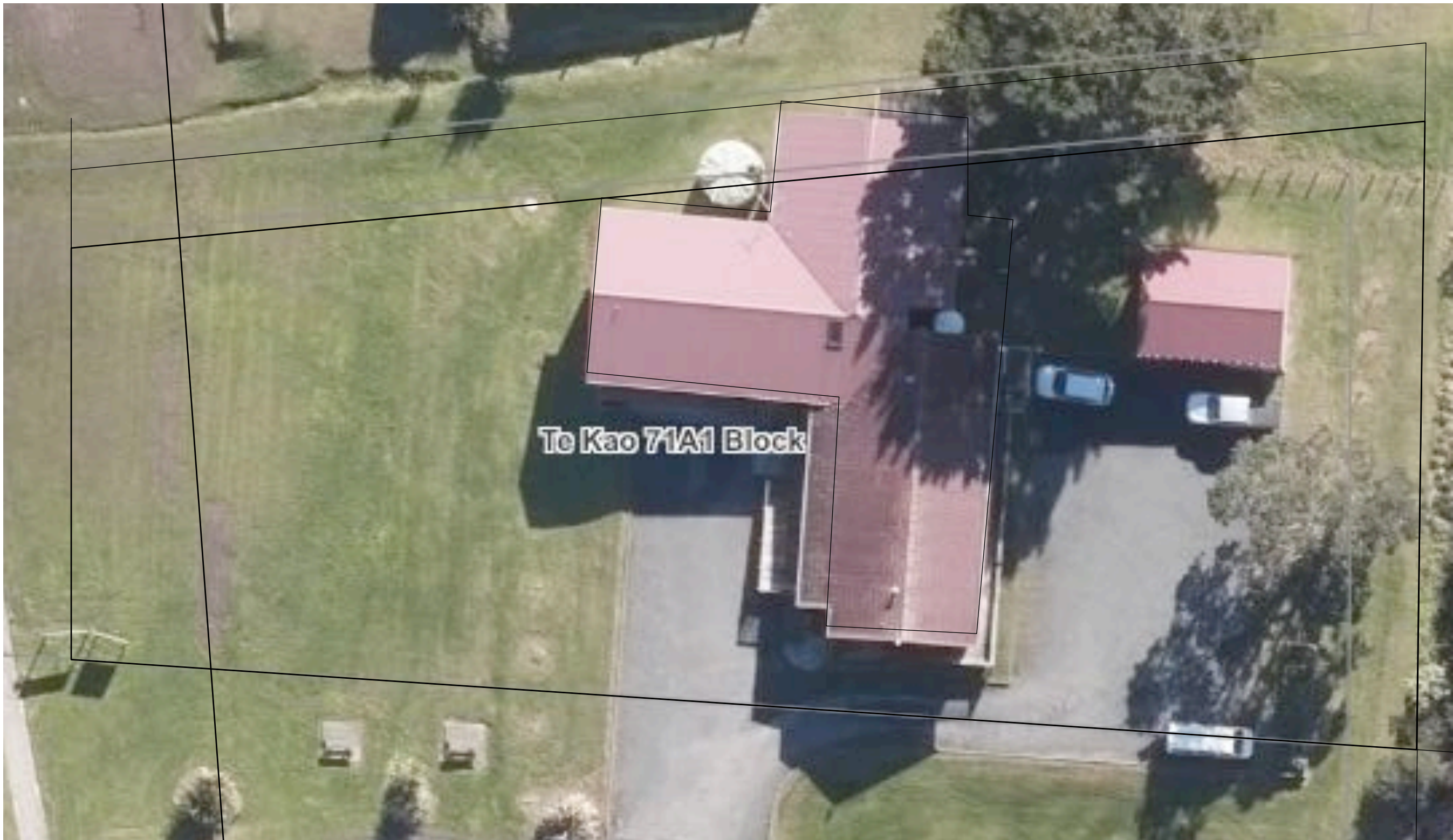
Sheet Name:
SITE PLAN

Date: 31/10/2024

Drawn By: TB/DB Scale: 1:250

Sheet: A01

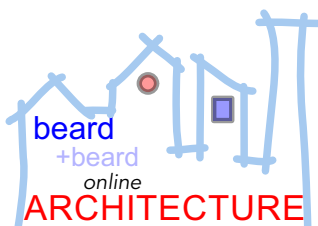
Total Sheets: 135



Te Kao 71A1 Block

ISSUE AMENDMENTS	BY	DATE	ISSUE	REV

NOTES
 ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
 DRAWINGS ARE NOT TO BE SCALED.
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Client
WHAKAWHITI ORA
PAI-TE KAO

Project
EXTENSION
PROPOSED NEW
MEDICAL FACILITY

Sheet Name:
LOCALITY PLAN

Date: 31/10/2024

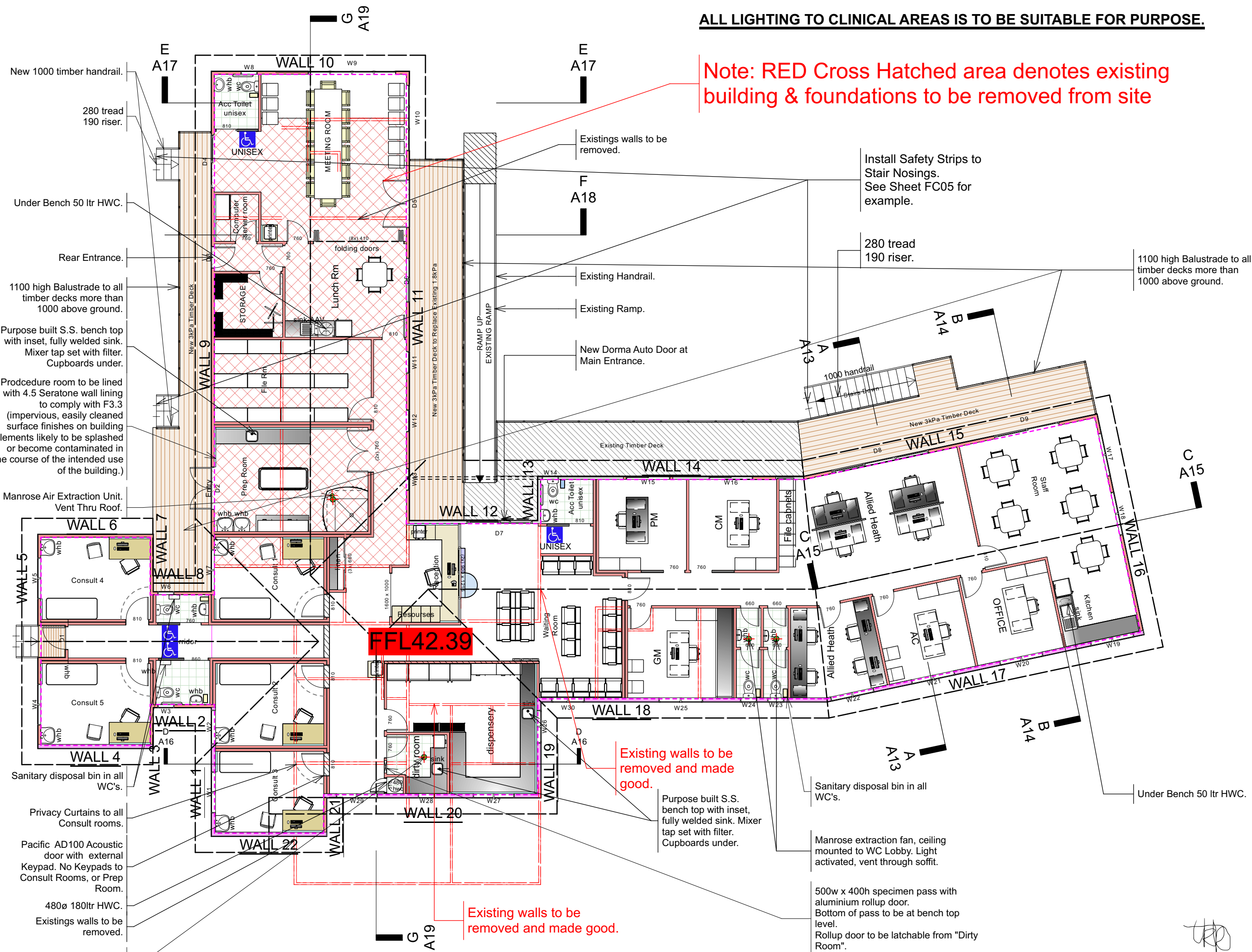
Drawn By: TB/DB Scale: 1:250

Sheet: A01.1

Total Sheets: 135

ALL LIGHTING TO CLINICAL AREAS IS TO BE SUITABLE FOR PURPOSE.

Note: RED Cross Hatched area denotes existing building & foundations to be removed from site



ISSUE AMENDMENTS	ISSUE	REV
	DATE	DATE
	BY	BY

NOTES

ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

DRAWINGS ARE NOT TO BE SCALED.

USE ONLY FIGURED DIMENSIONS.

beard + beard online ARCHITECTURE

Address -106 Arawhata Road, Kaingaroa 0483
 Work - 09 408 7123
 Doug Cell - 021 125 8866
 Tyler Cell - 021 247 7232

Client **WHAKAWHITI ORA PAI-TE KAO**

Project **EXTENSION PROPOSED NEW MEDICAL FACILITY**

Sheet Name: **FLOOR PLAN**

Date: 31/10/2024

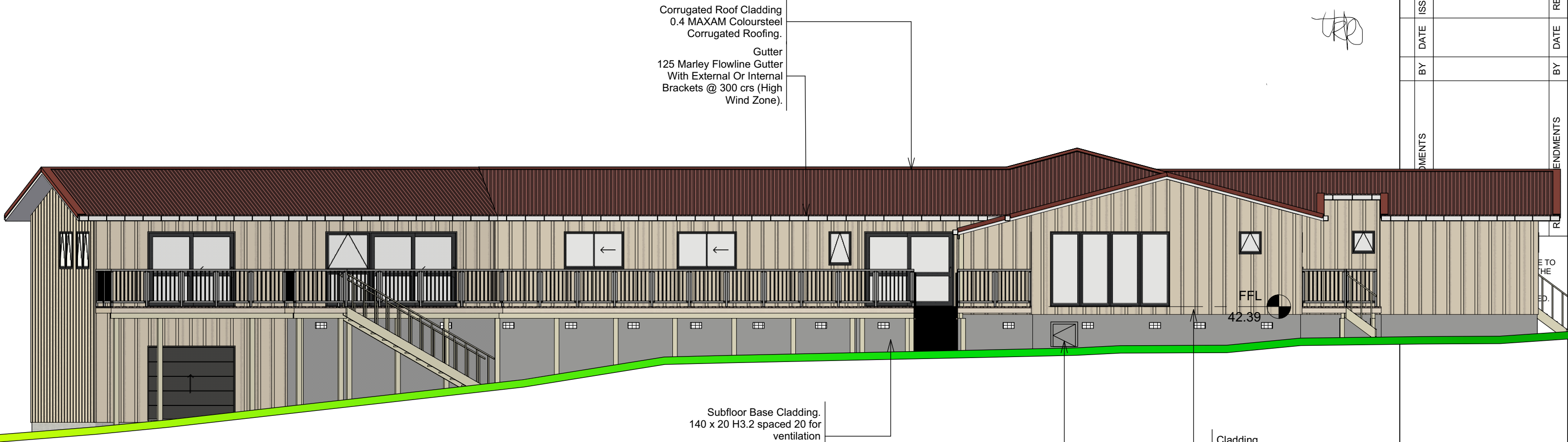
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Total Sheets: 135

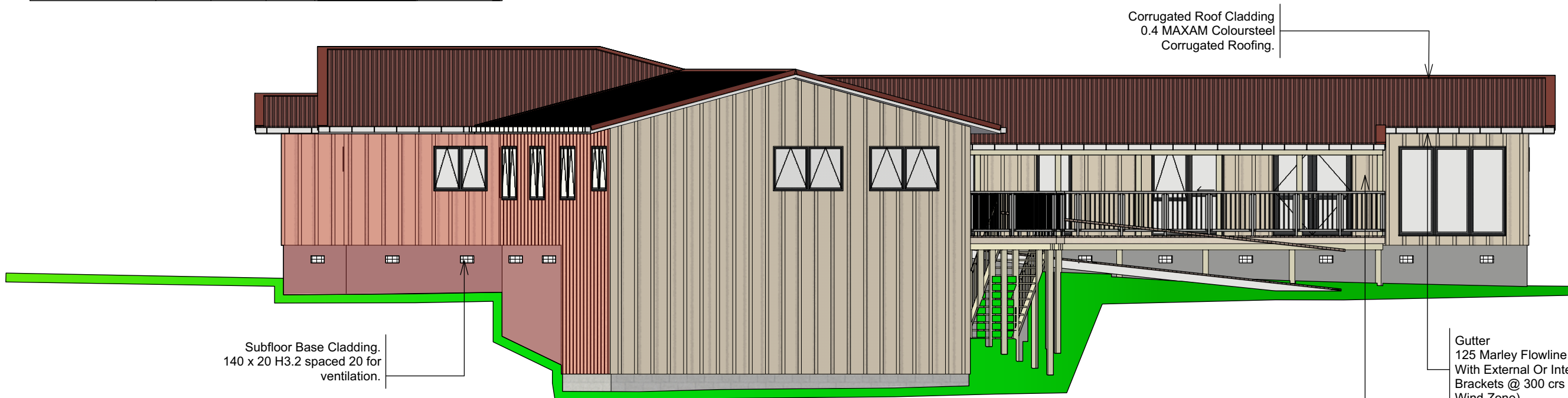
TOTAL FLOOR AREA = 462.3723m²

ISSUE	DATE	BY	REVISIONS



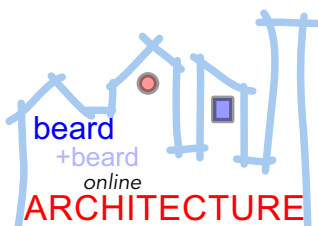
South Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	1
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	0
Envelope complexity	0	1	3	6	2
Decks	0	2	4	6	0
Total Risk Factor					3

B SOUTH WALL ELEVATION



West Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	1
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	0
Envelope complexity	0	1	3	6	2
Decks	0	2	4	6	0
Total Risk Factor					3

A WEST WALL ELEVATION



Address -106 Arawhata Road,
Kaingaroa 0483
Work - 09 408 7123
Doug Cell - 021 125 8866
Tyler Cell - 021 247 7232

Client
**WHAKAWHITI ORA
PAI-TE KAO**
Project
**EXTENSION
PROPOSED NEW
MEDICAL FACILITY**

Sheet Name:
ELEVATIONS

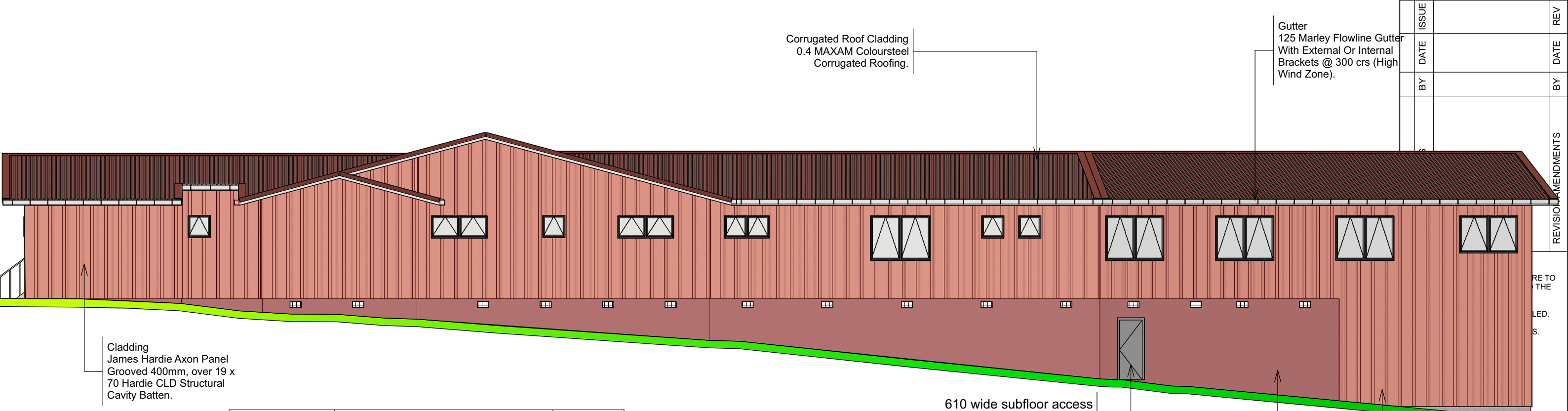
Date: 31/10/2024

Drawn By: TB/DB Scale: 1:100

Sheet: **A10**

Total Sheets: **135**

ISSUE	DATE	BY	REV	DATE	BY



Cladding
James Hardie Axon Panel
Grooved 400mm, over 19 x
70 Hardie CLD Structural
Cavity Batten.

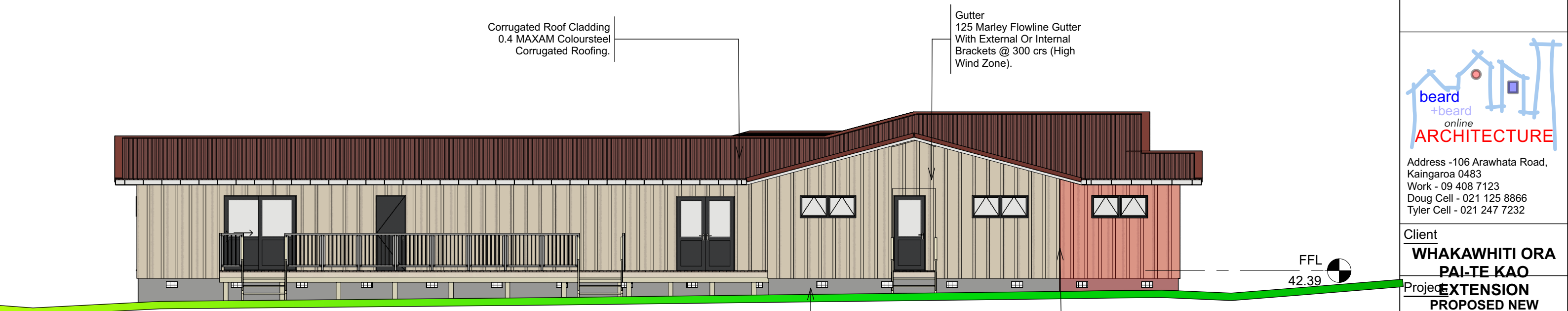
North Wall	Risk Severity				Sub Totals	
	Low	Medium	High	Very High		
Wind Zone	0	0	1	2	1	
Number of Storeys	0	1	2	4	0	
Roof/Wall junctions	0	1	3	5	0	
Eave width	0	1	2	5	0	
Envelope complexity	0	1	3	6	2	
Decks	0	2	4	6	0	
Total Risk Factor					3	

D NORTH
WALL ELEVATION

610 wide subfloor access door

Subfloor Base Cladding.
140 x 20 H3.2 spaced 20 for ventilation.

Cladding
James Hardie Axon Panel
Grooved 400mm, over 19 x
70 Hardie CLD Structural
Cavity Batten.

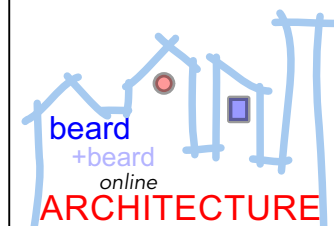


Corrugated Roof Cladding
0.4 MAXAM Coloursteel
Corrugated Roofing.

Gutter
125 Marley Flowline Gutter
With External Or Internal
Brackets @ 300 crs (High
Wind Zone).

Subfloor Base Cladding.
140 x 20 H3.2 spaced 20 for ventilation.

Cladding
James Hardie Axon Panel
Grooved 400mm, over 19 x
70 Hardie CLD Structural
Cavity Batten.



Address -106 Arawhata Road,
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Client
**WHAKAWHITI ORA
PAI-TE KAO**
Project
**EXTENSION
PROPOSED NEW
MEDICAL FACILITY**

Sheet Name:
ELEVATIONS

Date: 31/10/2024

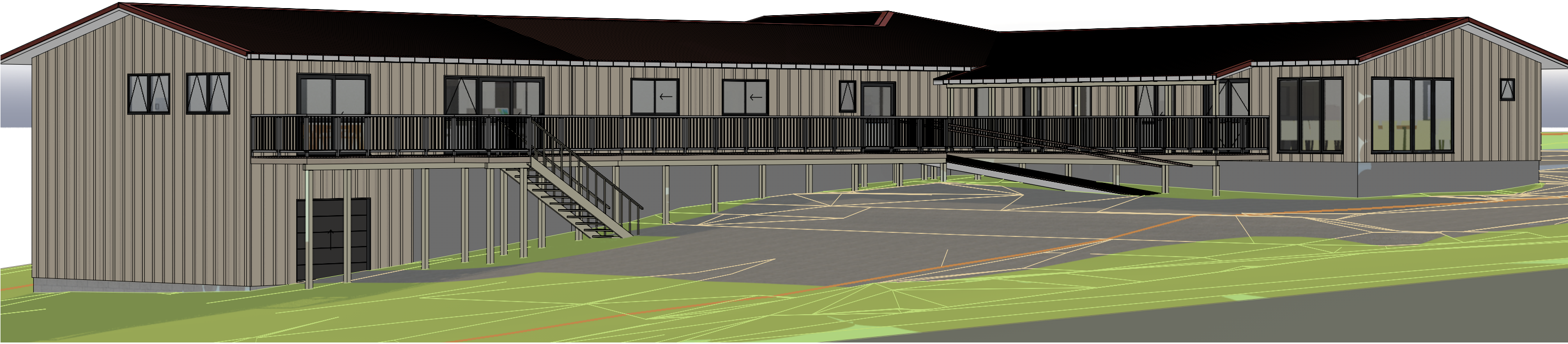
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Sheet: **A11**

Total Sheets: **135**

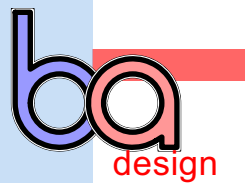
C EAST
WALL ELEVATION

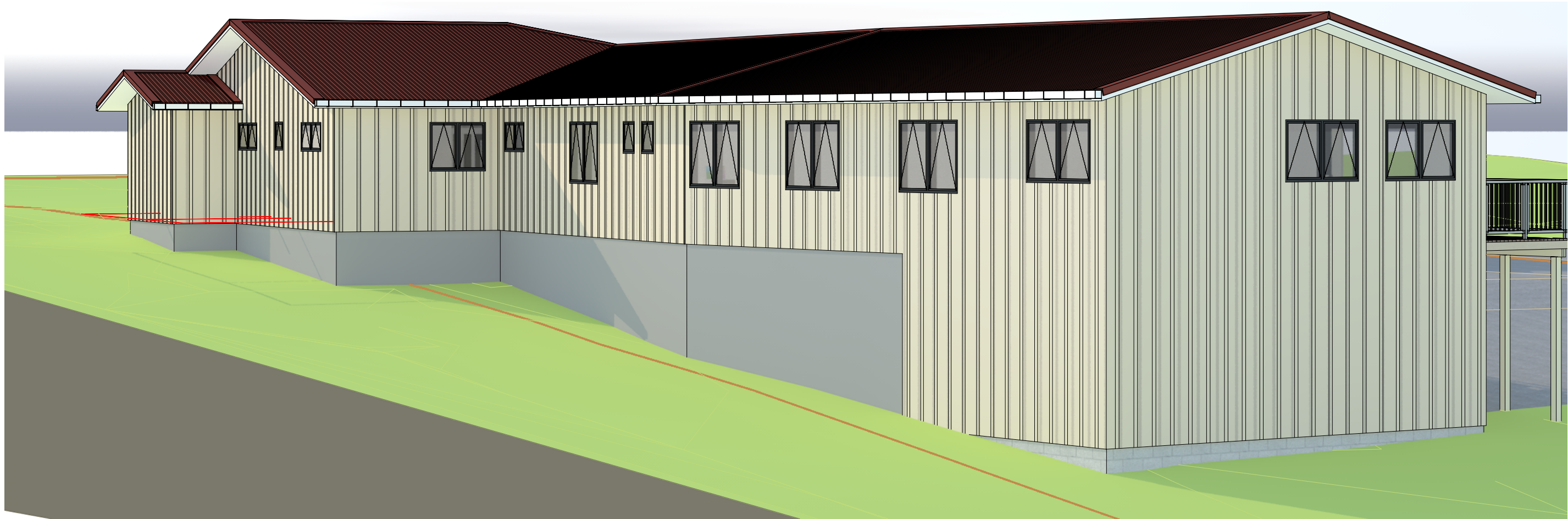
East Wall	Risk Severity				Sub Totals	
	Low	Medium	High	Very High		
Wind Zone	0	0	1	2	1	
Number of Storeys	0	1	2	4	0	
Roof/Wall junctions	0	1	3	5	0	
Eave width	0	1	2	5	0	
Envelope complexity	0	1	3	6	2	
Decks	0	2	4	6	0	
Total Risk Factor					3	



PERSPECTIVES

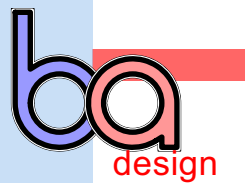
WHAKAWHITI ORA PAI-TE KAO EXTENSION





PERSPECTIVES

WHAKAWHITI ORA PAI-TE KAO EXTENSION



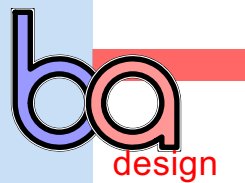


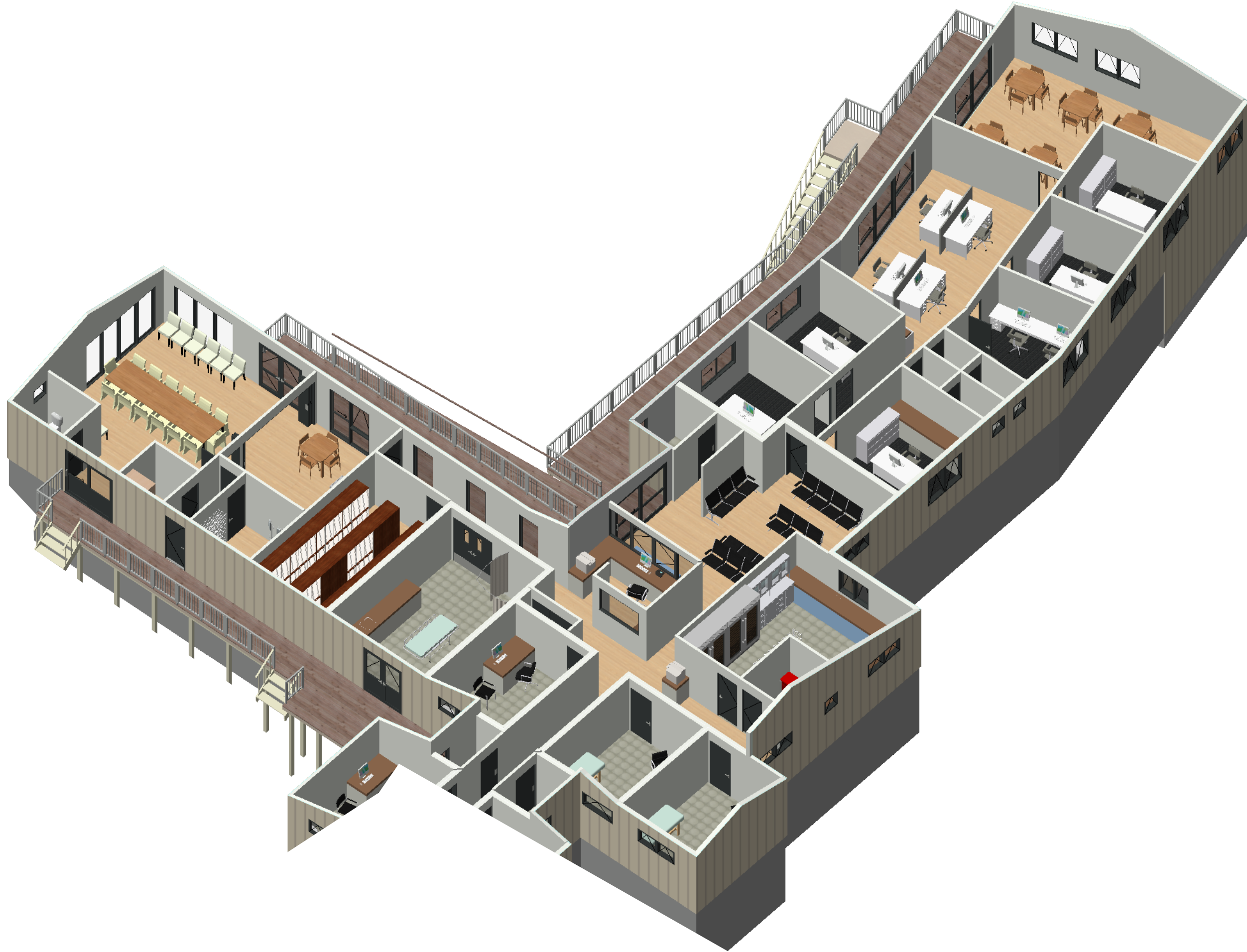
PERSPECTIVES-OVERVIEW
WHAKAWHITI ORA PAI-TE KAO EXTENSION





PERSPECTIVES-OVERVIEW
WHAKAWHITI ORA PAI-TE KAO EXTENSION





PERSPECTIVES-OVERVIEW

WHAKAWHITI ORA PAI-TE KAO EXTENSION

