



# **Application for resource consent or fast-track resource consent**

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — both available on the Council's web page.

1. Pre-Lodgement Meeting			
Have you met with a council Resource Consent representative to discuss this application prior to lodgement? <b>Yes No</b>			
2. Type of Consent being applied for			
(more than one circle can be t	icked):		
Land Use	<b>Discharge</b>		
Fast Track Land Use*	Change of Consent Notice (s.221(3))		
Subdivision	Extension of time (s.125)		
Consent under National E (e.g. Assessing and Managi			
Other (please specify)			
* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.			
3. Would you like to opt out of the Fast Track Process?			
Yes No			
4. Consultation			
Have you consulted with lwi/Hapū? Yes No			
If yes, which groups have you consulted with?			
Who else have you consulted with?			
For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz			

Name/s:	Wainui 2C3B Part Trust		
Email:			
Phone number:	Work	Home	
<b>Postal address:</b> (or alternative method of service under section 352 of the act)	1637 Wainui Road Kaeo	Postcode	
		1 0510000	
Address for Correspo		re (if using an Agent write their detai	ils here)
Name/s:	David Johnson		
Email:			
Phone number:	Work	Home	
<b>Postal address:</b> (or alternative method of	PO Box 191 Whangarei		
service under section 352			
•		Postcode	0140
service under section 352 of the act)  All correspondence will be ternative means of comm	e sent by email in the first nunication.	t instance. Please advise us if you wou	
service under section 352 of the act)  All correspondence will be ternative means of common ternative of Property Orame and Address of the	e sent by email in the first nunication. wner/s and Occupier/s	t instance. Please advise us if you wou	es
service under section 352 of the act)  All correspondence will be ternative means of common ternative means of the act of	e sent by email in the first nunication. wner/s and Occupier/s	t instance. Please advise us if you wou  S  land to which this application relate	es
service under section 352 of the act)  All correspondence will be ternative means of common parts of Property Of the and Address of the	e sent by email in the first nunication. wner/s and Occupier/s	t instance. Please advise us if you wou  S  land to which this application relate	es

8. Application Site Details		
Location and/or prope	erty street address of the proposed activity:	
Name/s:		
Site Address/		
Location:		
Postcode		
Legal Description:	Val Number:	
Certificate of title:		
	ch a copy of your Certificate of Title to the application, all ocumbrances (search copy must be less than 6 months o	
Site visit requirement	s:	
Is there a locked gate of	or security system restricting access by Council	staff? Yes No
Is there a dog on the	property? Yes No	
Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to rearrange a second visit.		
9. Description of the	Proposal:	
	scription of the proposal here. Please refer to 0 or further details of information requirements.	•
If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.		
10. Would you like to	request Public Notification?	
Yes No		

11. Other Consent required/being applied for under different legislation			
(more than one circle can be ticked):			
Building Consent Enter BC ref # here (if known)			
Regional Council Consent (ref # if known) Ref # here (if known)			
National Environmental Standard consent Consent here (if known)			
Other (please specify) Specify 'other' here			
12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:			
The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:			
Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know			
Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know			
Subdividing land Disturbing, removing or sampling soil			
Changing the use of a piece of land  Removing or replacing a fuel storage system			
Changing the use of a piece of land  Removing or replacing a fuel storage system			
Changing the use of a piece of land  Removing or replacing a fuel storage system  13. Assessment of Environmental Effects:  Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.			
Changing the use of a piece of land  Removing or replacing a fuel storage system  13. Assessment of Environmental Effects:  Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.			
Changing the use of a piece of land  Removing or replacing a fuel storage system  13. Assessment of Environmental Effects:  Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.  Your AEE is attached to this application  Yes			

# 14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)	Wainui Part 2C3B Trust - Sailor Morgan Trustee	
Email:		
Phone number:	Work Home	
<b>Postal address:</b> (or alternative method of service under section 352 of the act)	Wainui Valley Road, Wainui, Kaeo  Postcode 0478	

#### **Fees Information**

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

#### **Declaration concerning Payment of Fees**

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)	Sailor Morgan		
Signature:		Date	17/10/2025
(signature of bill payer	MANDATORY		

### 15. Important Information:

#### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

#### **Fast-track application**

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

#### **Privacy Information:**

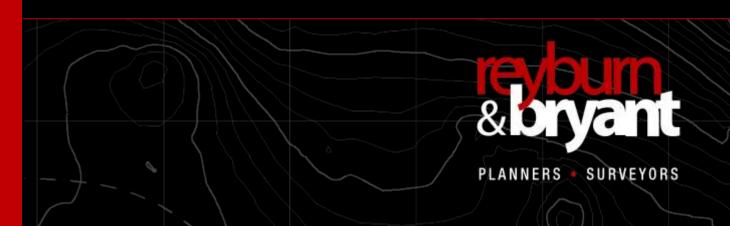
Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued  Declaration			
The information I have supplied with this application is true and complete to the best of my knowledge.			
Name: (please write in full)			
Signature:	A signature is not required if the application is made by electronic means	Date 20-Oct-2025	
Checklist (please tick if information is provided)			
Payment (cheques payable to Far North District Council)			
A current Certificate o	f Title (Search Copy not more than 6 months old)		
O Details of your consult	tation with lwi and hapū		
Copies of any listed en	cumbrances, easements and/or consent notices rele	evant to the application	
Applicant / Agent / Pro	perty Owner / Bill Payer details provided		
Location of property a	nd description of proposal		
Assessment of Enviror	nmental Effects		
Written Approvals / co	rrespondence from consulted parties		
Reports from technica	l experts (if required)		
Copies of other releva	nt consents associated with this application		
<b>V</b> Location and Site plan	s (land use) AND/OR		
Location and Scheme	Plan (subdivision)		
Elevations / Floor plan	s		
Topographical / conto	ur plans		
Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.			

# Land Use Consent Application

# WAINUI 2C3B PART TRUST

1637 Wainui Road, Te Ngaere, Kaeo



# Land Use Consent Application

# **WAINUI 2C3B PART TRUST**

1637 Wainui Road, Te Ngaere, Kaeo

Report prepared for: Wainui 2C3B Part Trust

Author David Johnson, *Planner* 

Reviewed by: Joseph Henehan, Associate

Consent Authority: Far North District Council

Report reference: 18658

Report Status: Final

Date: October 2025

© Reyburn and Bryant Limited

This document and its contents are the property of Reyburn and Bryant Limited. Any unauthorised reproduction, in full or in part, is forbidden

Reyburn and Bryant P.O. Box 191 Whangarei 0140 Telephone: (09) 438 3563

### FORM 9

# APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To: Far North District Council

Memorial Avenue

Private Bag 752

Kaikohe 0440

- Wainui 2C3B Part Trust applies for land use consent to relocate a residential unit onto the site.
- 2. The location of the proposed activity is 1637 Wainui Road, Te Ngaere, Kaeo.
- The legal description of the site is Part Wainui 2C3B Block. The title reference is RT 440278.
- 4. The applicant is the owner of the site.
- 5. There are no other activities to which this application relates.
- No additional resource consents or statutory approvals are needed for the activity to which this application relates that are not being applied for as part of this application.
- 7. We attach an assessment of effects on the environment that:
  - (a) includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
  - (b) addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
  - (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.
- 8. We attach an assessment of the proposed activity against the matters set out in Part2 of the Resource Management Act 1991.

- 9. We attach an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including information required by clause 2(2) of Schedule 4 of that Act.
- No other information is required to be included in the district or regional plan(s) or regulations.

Chingo April
David Johnson
9 October 2025
Date

A 1 1

Address for service: Reyburn and Bryant 1999 Ltd

PO Box 191, Whangarei

Telephone: (09) 438 3563

Email: david@reyburnandbryant.co.nz

Contact person: David Johnson

# **TABLE OF CONTENTS**

1.	INTRODUCTION	1
1.1	Report basis	1
1.2 1.3	Property details Proposal summary	1
1.4	Resource consents required	3
1.5	Relevant title memorials	5
1.6	Over approvals required	6
1.7	Processing requests	6
2.	THE SITE AND SURROUNDING ENVIRONMENT	7
2.1	The site	7
2.2	Surrounding environment	13
3.	THE PROPOSAL	14
3.1	General	14
3.2	The proposed residential unit	14
3.3	Access and parking	17
3.4 3.5	Earthworks Servicing	17 17
_		
4.	ASSESSMENT OF ENVIRONMENTAL EFFECTS	18
4.1	Existing environment	18
4.2	Permitted baseline	18
4.3 4.4	Scope of assessment  Matters of discretion	19 19
4.5	Adverse effects conclusion	22
5.	PLANNING ASSESSMENT	23
5.1	Relevant planning documents	23
5.2	Operative Far North District Plan objectives and policies assessment	23
5.3	Proposed Far North District Plan objectives and policies assessment	26
5.4	National Environmental Standard for Assessing and Managing Contaminants	
5.5	Protect Human Health Regulations 2011 Part 2 assessment	29 30
6.	NOTIFICATION	31
7.	CONCLUSION	32

# LIST OF TABLES

Table 1: Property details. 2 LIST OF FIGURES Figure 1: Location map (Source: GRIP). 7 Figure 2: The site in July 2022 (Source: Google Earth). 8 Figure 3: The site in October 2023 (Source: Google Earth). 8 Figure 4: Existing vehicle crossing to Part Wainui 2F4 Block (Source: Google Streetview). 9 Figure 5: The HNCA overlay in the PFNDP (green hatched area) (Source: FNDC ePlan). 10 Figure 6: The OL overlay in the OFNDP (peach area) (Source: FNDC GIS). 10 Figure 7: The ONL overlay in the PFNDP (dark green polygon) (Source: FNDC ePlan). 11 Figure 8: Extent of NRC Flood Hazard Zones (Source: NRC GIS). 11 Figure 9: The SCSM in the OFNDP (Source: FNDC GIS). 12 Figure 10: The SASM in the PFNDP (Source: FNDC ePlan). 12 Figure 11: The site in 2016 (Source: GRIP). 14 Figure 12: Proposed site plan (Sheet A1-01) (Source: Hawthorn Geddes). 15 Figure 13: External appearance of the residential unit (Source: Google Streetview). 16 Figure 14: External elevations (Sheet Al-11) (Source: Hawthorn Geddes). 16

#### **APPENDICES**

- 1. Hawthorn Geddes plans
- 2. Rule assessment
- 3. Record of title and associated memorials
- 4. NRC 'Selected Land-use Sites' database map

#### **ABBREVIATIONS**

AEE Assessment of Environmental Effects

CE Coastal Environment

CLZ Coastal Living Zone

CMA Coastal Marine Area

CRZ Coastal Residential Zone

FNDC Far North District Council

FNDP Far North District Plan

GFA Gross Floor Area

HAIL Hazardous Activities and Industries List

HG Hawthorn Geddes

HNCA High Natural Character Area

LNF Landscape and Natural Features Chapter

MPZ-R Māori Purpose Zone - Rural

NES-CS National Environmental Standard - Contaminated Soils

NFL Natural Features and Landscapes Chapter

OFNDP Operative Far North District Plan

OL Outstanding Landscape

ONL Outstanding Natural Landscape

PFNDP Proposed Far North District Plan

RMA Resource Management Act, 1991

SASM Site or Area of Significance to Māori

SCSM Site of Cultural Significance to Māori

# 1. INTRODUCTION

# 1.1 Report basis

This report has been prepared for the Wainui 2C3B Part Trust (the applicant) in support of an application to relocate a residential unit onto 1637 Wainui Road, Te Ngaere, Kaeo.

The application has been prepared in accordance with Section 88 and the Fourth Schedule of the Resource Management Act, 1991 (RMA). Section 88 of the RMA requires that resource consent applications be accompanied by an Assessment of Environmental Effects (AEE) in accordance with the Fourth Schedule.

The report also includes an analysis of the relevant provisions of the district, regional and national planning documents that are pertinent to the assessment and decision required under s104 of the RMA.

# 1.2 Property details

Applicant	Wainui 2C3B Part Trust
Landowners	The trustees of the Wainui 2C3B Part Trust:
	<ul><li>S Morgan (also known as A Morgan)</li><li>A Rudkin</li><li>K Mager</li><li>AM Davis</li></ul>
Site location	1637 Wainui Road, Te Ngaere, Kaeo
Legal description	Part Wainui 2C3B Block
Record of title	RT 440278
Site area	8,599m²
District Plan	Far North District Plan (FNDP)
Operative District Plan Zone	Coastal Living Zone
Proposed District Plan Zone	Māori Purpose Zone - Rural

Operative District Plan	Site of Cultural Significance to Māori
Notations	Outstanding Landscape
Proposed District Plan	Site or Area of Significance to Māori
Notations	Coastal Environment
	Outstanding Natural Landscape
	High Natural Character Area (partial)
	Coastal Flood Zones 1, 2, and 3 (partial)
	River Flood Hazard Zone (100 Year ARI
	Event) (partial)

Table 1: Property details.

# 1.3 Proposal summary

The applicant owns an 8,599m<sup>2</sup> title located at 1637 Wainui Road on the edge of Piapia Bay. Piapia Bay is at the north-western end of the coastal settlement of Te Ngaere, 12km north-east of Kaeo. The site is legally described as Part Wainui 2C3B Block. A Status Order<sup>1</sup> is recorded on the title determining it to be Māori Freehold Land.

The site is zoned 'Coastal Living' (CLZ) under the Operative Far North District Plan (OFNDP). It is part of a 'Site of Cultural Significance to Māori' (SCSM) and is within an 'Outstanding Landscape (OL).

Under the Proposed Far North District Plan (PFNDP) the site is proposed to be rezoned to the 'Māori Purpose Zone – Rural' (MPZ-R). It is part of a 'Site or Area of Significance to Māori' (SASM). It is also within the 'Coastal Environment' (CE), an 'Outstanding Natural Landscape' (ONL), and (partially) a 'High Natural Character Area' (HNCA). It is also partially subject to Coastal Flood Zones 0, 1, 2, and 3, and the 100-year River Flood Hazard Zone.

The applicant proposes to relocate a two-bedroom residential unit onto the site.

It will replace a Recreation Centre that was removed from the site between July

<sup>18227847.4</sup> 

2022 and October 2023. It will have two bedrooms and a Gross Floor Area (GFA) of 98m<sup>2</sup>.

Hawthorn Geddes (HG) has prepared a set of plans (see **Appendix 1**) showing the location of the residential unit on the site, its internal layout, and external appearance.

Overall, resource consent is required as a **restricted discretionary activity** from the Far North District Council (FNDC) under the OFNDP as the residential unit will have a GFA exceeding 50m<sup>2</sup>, will be located outside of a building envelope, and will be visible from Wainui Road and the foreshore without being painted in one of the permitted colours. The proposal would be a **non-complying activity** under the PFNDP if the rules had legal effect.

# 1.4 Resource consents required

#### Operative Far North District Plan rule assessment

Resource consent is required in accordance with the following rules of the OFNDP:

- Rule 10.7.5.3.1 The proposal does not comply with Rule 10.7.5.1.1 as the proposed residential unit will have a GFA in excess of 50m². It does not comply with Rule 10.7.5.2.2 as it is not located within a building envelope. Therefore, the proposal is a restricted discretionary activity under Rule 10.7.5.3.1. Council has restricted their discretion under this rule to the following matters:
  - i. the location of the building;
  - ii. the size, bulk, and height of the building or utility services in relation to ridgelines and natural features;
  - iii. the colour and reflectivity of the building;
  - iv. the extent to which planting can mitigate visual effects;
  - v. any earthworks and/or vegetation clearance associated with the building;
  - vi. the location and design of associated vehicle access, manoeuvring and parking areas:
  - vii. the extent to which the building will be visually obtrusive;
  - viii. the cumulative visual effects of all the buildings on the site;

- ix. the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;
- x. the extent to which private open space can be provided for future uses;
- xi. the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;
- xii. the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.
- Rule 12.1.6.2.1 The site is within an OL mapped under the District Plan. The proposal does not comply with Rule 12.1.6.1.5 as the proposed residential unit will have a GFA in excess of 25m², will be visible from a public place within 500m of the site, and the exterior is expected to have a reflectance value greater than 30%. Therefore, the proposal is a **restricted discretionary activity** under Rule 12.1.6.2.1. Council have restricted their discretion under this rule to the following matters:
  - i. the location of the building; and
  - ii. the size, bulk and height of the building in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees and other natural features; and
  - iii. the degree to which the landscape will retain the qualities that make it outstanding, including naturalness, and visual and amenity values; and
  - iv. the design of the building; and
  - v. the location and design of associated vehicle access, manoeuvring and parking areas; and
  - vi. the extent to which planting can mitigate visual effects; and
  - vii. the means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved, and
  - viii. the cumulative visual effects of all buildings on the site.
- Rule 12.5.6.2.2 Despite the site being part of a SCSM, Rule 12.5.6.2.2 does not apply as the applicant is the requesting party under Appendix IF of the OFNDP.

It is noted that no more than 300m<sup>3</sup> of earthworks are proposed in accordance with Rule 12.1.6.1.4 and Rule 12.3.6.1.2. No indigenous vegetation clearance is proposed.

A full assessment of the OFNDP rules is attached in Appendix 2.

#### Proposed Far North District Plan rule assessment

The PFNDP was publicly notified on 27 July 2022. The submission period closed on 21 October 2022, the further submission period closed on 4 September 2023, and the hearings are in progress. Given the stage of the process and pursuant to s86B of the RMA, the rules of the Plan Change do not have legal effect (expect for those specifically identified).

For completeness, an assessment has been made with respect to the rules of the PFNDP. This is attached in **Appendix 2**. Of the rules identified, the following have immediate legal effect:

- SASM-R1 The proposal is a permitted activity under SASM-R1 as the applicant is the requesting party under Schedule 3 of the PFNDP.
- EW-R12 The proposal is a permitted activity under EW-R12 as the earthworks
   will comply with EW-S3 Accidental Discovery Protocol.
- EW- R13 The proposal is a permitted activity under EW-R13 as the earthworks will comply with EW-S3 - Erosion and Sediment Control.

None of the other identified rules have immediate legal effect.

If the other rules of the PFNDP were to have legal effect, it would be a **non-complying activity** under NFL-R1 as the proposed residential unit will have a GFA in excess of 25m<sup>2</sup> and is located within an ONL that is within the CE.

#### 1.5 Relevant title memorials

Part Wainui 2C3B Block is held in a single record of title, RT 440278. It is Māori Freehold Land used for the purpose of "a Māori Reservation for the purpose of a recreation ground and community centre for the common use and benefit of the Ngatiruamahue subtribe." It is subject to the following memorials:

 8227847.1 – This Order revested Part Wainui 2C3B Block with the Māori landowners pursuant to Section 436 of the Māori Affairs Act 1953. It is unaffected by this application.

- 8227847.4 This Status Order determined the site to be Māori Freehold Land pursuant to Section 30(1)(i) of the Māori Affairs Act 1953. It is unaffected by this application.
- 8227847.5 This Order gives the owners of Part Wainui 2C3B Block the right to access their site over part of an adjacent title<sup>2</sup> pursuant to Sections 415 and 416 of the Māori Affairs Act 1953. This right is unaffected by this application.

The title and associated memorials attached in Appendix 3.

# 1.6 Over approvals required

A building consent will be required for the residential unit. This will be obtained in due course.

No other approvals are required to give effect to this proposal.

# 1.7 Processing requests

Prior to the issue of any decision for this consent, please forward the draft conditions for our review and comment.

-

<sup>&</sup>lt;sup>2</sup> Part Wainui 2F4 Block

# 2. THE SITE AND SURROUNDING ENVIRONMENT

#### 2.1 The site

#### Location

The site is located on the eastern side of Wainui Road on the edge of Piapia Bay at the north-western end of the coastal settlement of Te Ngaere, 12km north-east of Kaeo. The site is shown in red in **Figure 1** below.



Figure 1: Location map (Source: GRIP).

#### **Built development**

Until July 2022, there was a Recreation Centre on the site. This was removed between July 2022 and October 2023 (see **Figures 2** and **3** below). An ablution block and a water tank associated with the Recreation Centre are still present.



Figure 2: The site in July 2022 (Source: Google Earth).



Figure 3: The site in October 2023 (Source: Google Earth).

#### **Access**

The site is accessed from Wainui Road over Part Wainui 2F4 Block, the adjacent property to the north, via a vehicle crossing and a metal access (see **Figure 4** below). Order 8227847.5 provides the owners of the site with rights to use this access (see Section 1.5 of this report).



Figure 4: Existing vehicle crossing to Part Wainui 2F4 Block (Source: Google Streetview).

#### Topography

The site is located on a coastal bluff between Wainui Road (at RL30m – RL35m) and the Piapia Bay foreshore. The landform descends steeply from Wainui Road to a flat terrace that accommodates the ablution block. It sits at approximately RL20m. From the flat terrace the site continues to fall steeply eastward to the foreshore.

#### Ground cover and vegetation

The site is covered in a mix of grass, indigenous, and exotic vegetation. Grass covers the flat terrace and the adjacent slopes. Scattered vegetation is present on the slope between the flat terrace and Wainui Road. Indigenous vegetation is predominant on the steep slope between the flat terrace and the foreshore.

The indigenous vegetation on the steep slope between the flat terrace and the foreshore is marked as a HNCA in the PFNDP (see **Figure 5** below).



Figure 5: The HNCA overlay in the PFNDP (green hatched area) (Source: FNDC ePlan).

The OL and ONL overlays mapped in the OFNDP and PFNDP respectively cover the whole site (see **Figures 6** and **7** below).



Figure 6: The OL overlay in the OFNDP (peach area) (Source: FNDC GIS).



Figure 7: The ONL overlay in the PFNDP (dark green polygon) (Source: FNDC ePlan).

#### Natural hazards

The eastern part of the site adjacent to the foreshore is subject to the 100-year River Flood Hazard and Coastal Flood Hazard Zones 0, 1, 2, and 3 mapped by NRC (see **Figure 8** below). These overlays do not cover the flat terrace.



Figure 8: Extent of NRC Flood Hazard Zones (Source: NRC GIS).

#### Site of Significance to Māori

The site is part of a Māori Reserve in the coastal settlement of Te Ngaere, mapped as a SCSM under Appendix 1F of the OFNDP and as a SASM under the PFNDP. The SCSM and the SASM are identified as MS06-41 under both the OFNDP and the PFNDP.

The SCSM and the SASM are outlined in red in Figures 9 and 10 below.



Figure 9: The SCSM in the OFNDP (Source: FNDC GIS).



Figure 10: The SASM in the PFNDP (Source: FNDC ePlan).

# 2.2 Surrounding environment

The site is located on the north-eastern coastline of the Far North District 12km north-east of Kaeo and 25km north-west of Kerikeri. Indigenous vegetation is predominant. There are clusters of residential development interspersed along the coastline and limited rural production activities (grazing) in isolated areas.

The coastal settlement of Te Ngaere lies lkm south-east of the site. It is clustered on the Ngaere Stream valley and Taiaue Bay. Te Ngaere contains approximately 55 residential properties zoned 'Coastal Residential' (CRZ) under the OFNDP.

Intermittent residential development extends north-west from Te Ngaere through Piapia Bay to Wainui Bay 500m to the north-west of the site. This is reflected by the underlying CLZ. Residential units are typically positioned on steep slopes to maximise the views to the coastline. There are two residential properties in the immediate vicinity of the site, Part Wainui 2F4 Block to the north (adjacent), and Wainui 2C 2B5 Block to the west on the opposite side of Wainui Road.

# 3. THE PROPOSAL

#### 3.1 General

The proposal is to relocate a residential unit onto the site.

Hawthorn Geddes (HG) has prepared a set of plans (see **Appendix 1**) showing the location of the residential unit on the site, its internal layout, and external position.

# 3.2 The proposed residential unit

The proposed residential unit is currently located at 1779 Wainui Road. The first floor of that residential unit will be relocated to the centre of the site on the flat terrace approximately where the Recreation Centre was once positioned (see Figures 11 and 12<sup>3</sup> below). Once relocated, the residential unit will be approximately 12.7m long, 9.8m wide, and 4.4m high (excluding the chimney). It will have a GFA of approximately 98m<sup>2</sup>.



Figure 11: The site in 2016 (Source: GRIP).

\_

<sup>&</sup>lt;sup>3</sup> Figure 12 is a repeat of Sheet A1-01 of the HG plans.



Figure 12: Proposed site plan (Sheet A1-01) (Source: Hawthorn Geddes).

The proposed residential unit contains two bedrooms at its northern end, an open plan kitchen/dining/living room at its southern end, a bathroom and a toilet on the western side, and a sunroom on the eastern side accessed from one of the bedrooms. The main entry is to a hallway on the western side of the residential unit. A deck will be constructed on the eastern side of the residential unit facing Piapia Bay, accessed from the kitchen/dining/living room and the sunroom.

The exterior is clad in weatherboards with aluminium windows and doors. The weatherboards and aluminium windows are coloured cream/white (see **Figure 13**<sup>4</sup> below). The roofing is metal tiles with Colorsteel gutters. The exact colours and reflectance values of the exterior materials is not known, but it is assumed they will have a reflectance value greater than 30%.

-

<sup>&</sup>lt;sup>4</sup> The top floor of the residential unit will be relocated to the site. The ground floor will not be relocated to the site.



Figure 13: External appearance of the residential unit (Source: Google Streetview).

The external elevations of the residential unit are shown on Sheets A1-11 and A1-12 of the HG plans. Sheet A1-11 is repeated in **Figure 14** below.

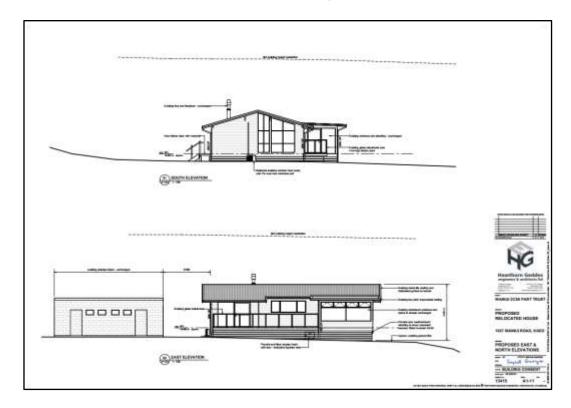


Figure 14: External elevations (Sheet A1-11) (Source: Hawthorn Geddes).

# 3.3 Access and parking

The existing vehicle crossing and metalled access over Part Wainui 2F4 Block will provide access to proposed residential unit. There will be no increase in the number of users, and therefore no upgrades are required. The area surrounding the residential unit is large enough for any vehicles to park and manoeuvre onsite.

#### 3.4 Earthworks

Earthworks will be only minor, confined to the construction pile foundations for the proposed residential unit. No more than 300m<sup>3</sup> of earthworks will be undertaken in accordance with Rule 12.1.6.1.4 and Rule 12.3.6.1.2.

# 3.5 Servicing

The proposed residential unit will be provided with on-site wastewater, stormwater, and water supply arrangements in accordance with the requirements of the building code and the FNDC Engineering Standards. These will be addressed through the building consent process.

Electricity and telecommunications will be provided to the proposed residential units via the existing connections associated with the site.

# 4. ASSESSMENT OF ENVIRONMENTAL EFFECTS

# 4.1 Existing environment

Section 104(1)(a) of the RMA requires a consideration of any actual and potential effects on the environment of allowing an activity. The existing environment has been described in Section 2 of this report. It includes the ablution block and the residential development on the properties in the surrounding environment.

#### 4.2 Permitted baseline

Section 104(2) of the RMA allows a consent authority to disregard an adverse effect of an activity on the environment if a plan permits an activity with that effect. This is commonly referred to as the permitted baseline.

The applicant can construct one residential unit on the site provided it complies with (1) and (2) below.

- (1) A maximum GFA of 25m<sup>2</sup>.
- (2) It is not visible from a public viewing point on a road, reserve, or the foreshore within 2km of the site.

The applicant can also construct any number of non-habitable buildings provided they comply with (1) and (2) below.

- (1) A maximum GFA of 25m<sup>2</sup>.
- (2) Coloured with the BS5252 standard colour palette range with a reflectance value of 30% or less when they are visible from a public viewing point on a road, reserve, the Coastal Marine Area (CMA) or the foreshore within 500m of the site.

The proposed residential unit requires consent due to the additional GFA (73m<sup>2</sup>), its visibility from public viewing points, the exterior finishing colour, and the reflectance value. Outside of these infringements, the effects fall within the permitted baseline and can be disregarded from the effects assessment.

# 4.3 Scope of assessment

The resource consent required from the FNDC is a restricted discretionary activity under Rule 10.7.5.3.1 and Rule 12.1.6.2.1 of the OFNDP. Therefore, the scope of this assessment of effects on the environment is confined to the matters over which the FNDC has restricted their discretion in Rule 10.7.5.3.1 and Rule 12.1.6.2.1.

#### 4.4 Matters of discretion

The matters over which the FNDC has restricted their discretion under Rule 10.7.5.3.1 and Rule 12.1.6.2.1 are identified and assessed below.

The location of the building (Rule 10.7.5.3.1 and Rule 12.1.6.2.1).

**Assessment** – The proposed residential unit is located on the flat, grassed terrace detailed in Section 2.1 of this report. It will not necessitate the modification of the landform or the removal of any indigenous vegetation.

The size, bulk, and height of the building or utility services in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees, and other natural features (Rule 10.7.5.3.1 and Rule 12.1.6.2.1).

Assessment – The proposed residential unit will be relocated onto the flat terrace that is positioned on a lower elevation than the adjacent road corridor, as detailed in Section 2.1 of this report. The separation between the flat terrace and Wainui Road (10m) and the height of the proposed residential unit (4.4m) ensures that it will not protrude above Wainui Road or the surrounding landform. The size, bulk and height of the proposed residential unit will not be prominent but will instead fit in with the surrounding landform.

The colour and reflectivity of the building (Rule 10.7.5.3.1).

Assessment – The exterior finish of the proposed residential unit will be in a cream colour (see Figure 13). There are several other prominent structures on the coastal bluff adjoining Piapia Bay, including the ablution block (blue and white) and the residential unit on Part Wainui 2F4 Block (white). Irrespective of its final exterior finish, the proposed residential will be no more prominent or visible than the existing development in the surrounding environment.

The extent to which planting can mitigate visual effects (Rule 10.7.5.3.1 and Rule 12.1.6.2.1).

Assessment – The existing vegetation will not be screened by the proposed residential unit as it is between the flat terrace and the foreshore, protected by the OL overlay in the OFNDP and the ONL and HNCA overlays in the PFNDP. There vegetation on the slope between the flat terrace and Wainui Road will sit above the proposed residential unit.

Any earthworks and/or vegetation clearance associated with the building (Rule 10.7.5.3.1).

**Assessment** – The proposed residential unit is located on the flat, grassed terrace. Relocating the residential unit onto the site will not require the modification of the existing landform or the removal of any indigenous vegetation.

The location and design of associated vehicle access, manoeuvring and parking areas (Rule 10.7.5.3.1 and Rule 12.1.6.2.1).

**Assessment** – The access to the site is existing. Any cars will park in close proximity to the proposed residential unit. There is sufficient area on the flat terrace for vehicles to manoeuvre and leave the site in a forward direction without requiring any modification of the landform.

The extent to which the building will be visually obtrusive (Rule 10.7.5.3.1).

Assessment – The natural character of the surrounding environment is highly influenced by the built development that is scattered throughout it, particularly south-east of the site towards the coastal settlement of Te Ngaere. The presence of development in the surrounding environment ensures that the proposed residential unit will not be out of place or visually obtrusive.

The cumulative visual effects of all the buildings on the site (Rule 10.7.5.3.1 and Rule 12.1.6.2.1).

**Assessment** – Any additional buildings constructed on the site will require resource consent as they will be visible from public places. The resource consent process will ensure that cumulative visual effects will be avoided, remedied, or mitigated.

The degree to which the landscape will retain the qualities that make it outstanding and give it its naturalness, including visual and amenity values (Rule 10.7.5.3.1 and Rule 12.1.6.2.1).

Assessment – The qualities that give the coastline of Piapia Bay its naturalness, visual and amenity values are the foreshore, the topography, and the indigenous vegetation. None of those features are affected by the relocation of the proposed residential unit to the site. The proposed residential unit will be positioned on a flat, grassed area of the site avoiding the need to modify the landform or remove any indigenous vegetation.

The extent to which private open space can be provided for future uses (Rule 10.7.5.3.1).

**Assessment** – Private open space is available for the proposed residential unit on the deck and around its periphery on the flat terraced area.

The extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment (Rule 10.7.5.3.1).

Assessment – The proposed residential unit will be relocated onto a flat area of the site sitting approximately 10m below Wainui Road, at least 18m from all site boundaries, and surrounded by vegetation on the slopes above and below it. It will not visually dominant the surrounding landscape as it will not protrude above the surrounding landform or screen any vegetation. It will not visually dominate adjoining properties due to its separation from them.

The extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites (Rule 10.7.5.3.1).

Assessment – The proposed residential unit is screened from adjoining residential sites to the west by the slope between the flat terrace and Wainui Road. The residential unit on Part Wainui 2F4 Block and its private open space is orientated north, away from the site. Indigenous vegetation screens the site to the south. The foreshore and the CMA adjoin the eastern side of the site.

The design of the building (Rule 12.1.6.2.1).

**Assessment** – The proposed residential unit is designed such that it will not protrude above the surrounding landscape or be any more prominent than surrounding development. With a GFA of 98m², the extent of the proposed

residential unit is noticeably smaller than other residential units in the surrounding environment. The low maximum height ensures that it will not protrude above the surrounding landform. The colour of the proposed residential unit is consistent with the closest residential unit to the site on Part Wainui 2F4 Block.

The means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved (Rule 12.1.6.2.1).

Assessment – The topography of the landform will screen the proposed residential unit from the public viewing points that are closest to the site. The 10m vertical separation from Wainui Road will screen the proposed residential unit from view. Vegetation between the flat terrace and the road will also assist with screening the proposed residential unit. At more distant public viewing points the proposed residential unit will be seen as part of a cluster of residential development.

#### 4.5 Adverse effects conclusion

Overall, the adverse effects associated with this proposal in the context of the matters to which Council has restricted its discretion will be less than minor relative to the existing environment and permitted baseline.

# 5. PLANNING ASSESSMENT

# 5.1 Relevant planning documents

Section 104(1) of the RMA sets out the matters that a consent authority must, subject to Part 2, have regard to when considering all applications for resource consent.

Given the hierarchical nature of planning documents under the RMA, and the requirement for lower order documents to "give effect to" higher order documents, the relevant documents that require assessment under s104(1) of the RMA are the FNDP and the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011 (NES-CS).

# 5.2 Operative Far North District Plan objectives and policies assessment

#### Context

The objectives and policies of the OFNDP are relevant to the extent that they can assist in clarifying any ambiguity in the restricted discretionary matters. There is no ambiguity in the restricted discretionary matters, so no specific consideration of the objectives and policies is required. Nonetheless, the following assessment has been undertaken for completeness.

#### Assessment

The objectives and policies of the OFNDP are zone specific. There are also other provisions that relate to district wide matters. Given the nature of this application, the objectives and policies in the CLZ (Chapter 10.7) and the Landscapes and Natural Features (LNF) Chapter (Chapter 12.1) are of most relevance and are assessed in the context of the proposal below.

# <u>Chapter 10.7 – Coastal Living Zone</u>

The overarching intent of the CLZ is to provide low density residential development in areas of the coastal environment that have a high level of amenity but have already been developed. The CLZ objectives and policies set out to achieve the stated purpose of the zone by enabling appropriate development,<sup>5</sup> preserving the natural character of the coastal environment,<sup>6</sup> engaging effectively with Māori,<sup>7</sup> and minimising adverse effects of development on the natural character and amenity values of the coastal environment.<sup>8</sup>

Regarding the provisions that enable appropriate development, the proposed residential unit will facilitate the development of a currently vacant site in amongst existing residential development. The design and external appearance of the proposed residential unit is similar to development within the surrounding environment, particularly on Part Wainui 2F4 Block. It will not require the modification of the landform or the removal of any indigenous vegetation as it is located on the flat, grassed terrace.

Regarding the provisions that seek to preserve the natural character of the coastal environment, the ecological values will be retained as no indigenous vegetation will be removed, nor will significant earthworks be required. The low profile of the proposed residential unit, its limited height, surrounding topography, and proximity to other residential properties that have a similar design ensure it will not be visually prominent or out of place in this coastal environment.

Regarding the provisions that direct effective engagement with Māori, this application is proposed by the Māori owners of the site. It recognises their

www.reyburnandbryant.co.nz

 $<sup>^{\</sup>rm 5}$  Objective 10.3.1, Policies 10.4.1 and 10.4.2

 $<sup>^{\</sup>rm 6}$  Objective 10.3.2, Policies 10.4.3 and 10.4.12

<sup>&</sup>lt;sup>7</sup> Objective 10.3.3, Policies 10.4.1(f), 10.4.5, and 10.4.8

<sup>&</sup>lt;sup>8</sup> Objectives 10.3.9, 10.7.3.1, and 10.7.3.2, Policies 10.4.12, 10.7.4.1, 10.7.4.2 and 10.7.4.3

relationship with the land by allowing them to develop it in accordance with their culture and traditions.

Regarding the provisions that seek to minimise adverse effects on the natural character and amenity values of the coastal environment, the proposal clusters the proposed residential unit amongst to other residential properties. The low profile and limited height of the proposed residential unit, and its placement below the road ensures that it will not dominate the landscape.

When considered overall, the proposal is consistent with the objectives and policies of the CLZ. The provides for the development of Māori owned site in a manner that preserves the natural character and amenity values of the coastal environment.

# <u>Chapter 12.1 - Landscapes and Natural Features Chapter</u>

The overarching intent of the LNF Chapter is to manage change in OLs to ensure that they retain the character of that particular landscape. The objectives and policies of the LFN Chapter set out to achieve the stated purpose by directing the protection of OLs from inappropriate development,<sup>9</sup> recognising the diversity of OLs across the district,<sup>10</sup> and avoiding, remedying or mitigating adverse effects.<sup>11</sup>

Regarding the provisions that direct the protection of OLs from inappropriate development, the coastline adjoining Piapia Bay and Taiaue Bay south of the site has been modified by residential development. The proposed residential unit has a similar built form and external appearance to the surrounding residential development. It has also been positioned on the flat, grassed terrace to avoid modification of the landform and the removal of indigenous vegetation associated with the OL.

Regarding the provisions that recognise the diversity of OLs across the district, the proposal recognises the unique characteristics of this OL by sensitively

<sup>11</sup> Objective 12.1.3.4, Policies 12.1.4.3, 12.1.4.5, 12.1.4.9, and 12.1.4.10

www.reyburnandbryant.co.nz

<sup>&</sup>lt;sup>9</sup> Objective 12.1.3.1, Policies 12.1.4.1 and 12.1.4.2

<sup>&</sup>lt;sup>10</sup> Objective 12.1.3.3, Policies 12.1.4.7 and 12.1.4.8

locating the proposed residential unit on a part of the site that has already been modified. The low profile of the building and its external appearance combined with surrounding topography and vegetation integrate it into the OL.

The proposed residential unit has been positioned and designed to avoid, remedy or mitigate adverse effects as far as is practical. It will not visually dominate the landscape or disrupt the natural character as it will have a low profile and similar colours to surrounding residential development. It will not screen any ridgelines or prominent landforms associated with the OL. The landform and indigenous vegetation associated with the OL will remain unmodified.

When considered overall, the proposal is consistent with the objectives and policies of the LFN Chapter. It facilitates development within a part of the OL modified by development without changing the landform or removing any of the indigenous vegetation associated with the OL.

# Conclusion

The assessment provided above confirms that the proposal is consistent with the policy direction of the OFNDP.

# 5.3 Proposed Far North District Plan objectives and policies assessment

# Context

The PFNDP was publicly notified on 27 July 2022. The submission period closed on 21 October 2022, and the further submission period closed on 4 September 2023. Given the stage of the process and pursuant to s86B(1)(c) of the RMA, the rules of the Plan Changes do not have legal effect (except for those specifically identified). Nevertheless, an assessment to determine the activity status that this proposal would have under the PFNDP provisions has been made in Section 4.3 of this report. While the majority of the rules do not have legal effect, the objectives and policies are a relevant consideration under s104(1)(b)(vi) of the RMA.

# Weighting

With regards to weighting, the hearings are still in progress. The Commissioners recommendations are still subject to the Council decision and the appeal process. Little weight should therefore be applied to the PFNDP when considering the application. Nonetheless, an assessment of the objectives and policies is provided below for completeness.

# Assessment

The objectives and policies of the PFNDP are zone specific. There are also other provisions that relate to district wide matters. This assessment considers the relevant objectives and policies in the district wide CE and Natural Features and Landscapes (NFL) Chapters. The proposal is inherently consistent with the objectives and policies of the MPZ-R and the SASM Chapter as it is a permitted activity under those chapters.

# **CE Chapter**

The relevant objectives and policies from the CE Chapter<sup>12</sup> are focused on ensuring that development is consistent and compatible with the natural character of the coastal environment. ONLs are to be preserved, and adverse effects are to be avoided, remedied or mitigated. The proposal aligns with these objectives and policies for the following reasons:

- Section 4 of this report confirms that the adverse effects associated with the proposal will be less than minor.
- The are several residential properties in the immediate vicinity of the site. The proposed residential unit will have a similar size and external appearance to those residential units, particularly the development on Part Wainui 2F4 Block immediately north of the site. The existing residential development in conjunction with the topography will integrate the proposed residential unit into the surrounding coastal environment.

-

<sup>&</sup>lt;sup>12</sup> CE-O1, CE-O2, CE-P2, CE-P3, CE-P4, CE-P10

 There will be no modification of the landform or removal of indigenous vegetation as the proposed residential unit will be established on a flat, grassed terrace.

In addition to the objectives and policies identified above, CE-P7 is particularly relevant as it enables development on MPZ land consistent with the ancestral use where it does not compromise any identified characteristics and qualities. In this regard, this application is proposed by the Māori owners of the site to facilitate the construction of a residential unit on their land. It recognises their relationship with the land by allowing them to develop it in accordance with their culture and traditions. It does so without compromising the identified characteristics and qualities of the CE.

Overall, the proposal is consistent with the objectives and policies of the CE Chapter.

# NFL Chapter

The relevant objectives and policies from the NFL Chapter<sup>13</sup> are focused on protecting ONL and Outstanding Natural Features for current and future generations. Adverse effects associated with the development of ONLs within the CE are to be avoided. The proposal aligns with these objectives and policies for the following reasons:

- Section 4 of this report confirms that the adverse effects associated with this proposal will be less than minor.
- The ONL is characterised by the intermittent scattering of residential development throughout the landscape. The proposed residential unit has been designed cognisant of the landscape by having a similar design and appearance to surrounding residential development, particularly on the adjacent title (Part Wainui 2F4 Block).

\_

<sup>&</sup>lt;sup>13</sup> NFL-O1, NFL-O2, NFL-P2, NFL-P3, NFL-P8

- The proposed residential unit has a low height, ensuring it will not screen views of ridgelines or landforms associated with the ONL.
- The proposed residential unit will be constructed on a flat, grassed terrace.
   This avoids modification of the landform and the removal of any indigenous vegetation associated with the ONL.

NFL-O3 and NFL-P5 are relevant to this application as they provide for the development of MPZ land in ONLs where it does not compromise any identified characteristics and qualities. As detailed previously in this report, the proposed development is being undertaken by the Māori owners of the site to facilitate the construction of a residential unit. It recognises their relationship with the land by allowing them to develop it in accordance with their culture and traditions without compromising the identified characteristics and qualities of the ONL.

Overall, the proposal is not contrary to the objectives and policies of the NFL Chapter.

# Conclusion

The assessment provided above confirms the proposal is not contrary to the policy direction of the PFNDP.

# 5.4 National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011

All applications that involve subdivision, an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NES-CS. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

A review of aerial photographs and the Northland Regional Council 'selected land-use sites' database was undertaken, which confirmed that no HAIL activities are present or have ever taken place on the subject 'piece of land' (see

the NRC Selected Land-use Register attached in **Appendix 4**). The NES-CS therefore has no relevance to this application.

# 5.5 Part 2 assessment

An assessment of Part 2 matters is not required unless there are issues of invalidity, incomplete coverage, or uncertainty in the planning provisions.<sup>14</sup> None of these apply to the relevant FNDP provisions and an assessment under Part 2 of the RMA is not required. However, for completeness, the proposal accords with the purpose of the RMA for the following reasons:

- 1. The proposal provides for the relationship of Māori with their ancestral land.
- 2. Any adverse effects will be less than minor.
- 3. The proposal has positive effect on future generations.
- 4. The proposal will not increase the risk associated with natural hazards.
- 5. There are no adverse effects on human health associated with the proposal.

The proposal does not offend any matters of national importance in Section 6, or any of the other matters set out in Section 7 and 8 of the RMA.

-

<sup>&</sup>lt;sup>14</sup> R J Davidson Family Trust the Marlborough District Council [2018] NZCA 316

# 6. NOTIFICATION

Pursuant to sections 95A and 95B of the RMA, Section 4 of this report concludes that any adverse effects associated with the proposal will be less than minor. Furthermore, there are no special circumstances associated with the application, the applicant has not requested notification, and there is no rule or national environmental standard that requires notification of this application. Consequentially, public notification is not necessary.

The assessment of environmental effects in Section 4 of this report confirms that no parties are considered to be adversely affected by the proposal. Consequentially, limited notification is not necessary.

Having considered the above, the proposal can proceed on a **non-notified** basis.

# 7. CONCLUSION

The proposal is to relocate a residential unit onto 1637 Wainui Road, Te Ngaere Bay, Kaeo.

The site is Māori Freehold Land. Relocating a residential unit onto the site enables the Māori owners to develop their land in accordance with their culture and traditions.

Although development of Māori Freehold Land is enabled and encouraged in the OFNDP and the PFNDP, it must still be designed cognisant of the underlying CLZ and the OL overlays in the OFNDP and the CE, HNCA, and ONL overlays in the PFNDP. To that end, the proposed residential unit is located on a flat grassed area of the site avoiding modification of the landform and the removal of indigenous vegetation. It is also designed similarly to residential development on surrounding properties, particularly on Part Wainui 2F4 Block to the north.

The environmental effects associated with the proposal have been assessed in Section 4 of this report and have been determined to be less than minor. Consequently, appropriate regard has been given to s104(1)(a) of the RMA.

Section 5 of this report considers the proposal in the context of the relevant planning documents. Section 5.2 confirms that the proposal is consistent with the objectives and policies of Chapters 10.7 and 12.1 of the OFNDP. Section 5.3 confirms that the proposal is not contrary to CE and NFL Chapters of the PFNDP and is inherently consistent with the MPZ-R and SASM Chapters. Section 5.4 confirm that the NES-CS regulations have no relevance to this application. Accordingly, appropriate regard has been given to s104(1)(b)(i) and s104(1)(b)(vi) of the RMA.

Having regard to the relevant matters in s104(1) and s104C of the RMA, the proposal can be approved subject to appropriate conditions of consent.



# PROPOSED RELOCATED HOUSE FOR WAINUI 2C3B PART TRUST 1637 WAINUI ROAD, TE NGAERE BAY, KAEO (Pt Wainui 2C3B)



# DRAWING INDEX

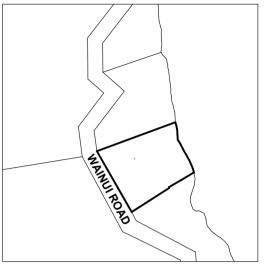
Sheet No.	Sheet Name	Rev. N
ARCHITECTURAL	-	
A1-01	LOCALITY AND SITE PLANS	-
A1-02	EXISTING AND DEMOLITION PLAN	-
A1-03	PROPOSED FLOOR PLAN	-
A1-04	PROPOSED ROOF PLAN	-
A1-11	PROPOSED EAST & NORTH ELEVATIONS	-
A1-12	PROPOSED WEST & SOUTH ELEVATIONS	-
A1-13	PROPOSED SECTIONS	-
A3-01	EXTERNAL JOINERY DETAILS	-
A3-02	WALL CLADDING DETAILS	-
STRUCTURAL		
S0-00	STRUCTURAL NOTES	-
S1-01	FOUNDATION PLAN	-
S1-02	DRAINAGE PLAN	-
S1-03	FLOOR FRAMING PLAN	-
S3-01	FOUNDATION DETAILS	-



NOTE:
SITE INFORMATION ADAPTED FROM DATA PROVIDED
BY LINZ.
AERIAL PHOTO PROVIDED BY FNDC LINZ MAPS AND
MAY SHOW DISTORTION.

ALL INFORMATION MUST BE CONFIRMED ON SITE.





# LOCALITY PLAN

1:5000

# SITE COVERAGE

Site Area: New Building area: Existing toilet block:

Total Site Coverage:

# SITE DATA

Wind: Very High Earthquake: Exposure: Zone 1 Zone D Climate: Zone 1 Rainfall: Hazards:

90-100mm/hr Refer to geotechnical report

# SUED FOR BUILDING CONSENT



# Hawthorn Geddes engineers & architects Itd

**WAINUI 2C3B PART TRUST** 

# **PROPOSED** RELOCATED HOUSE

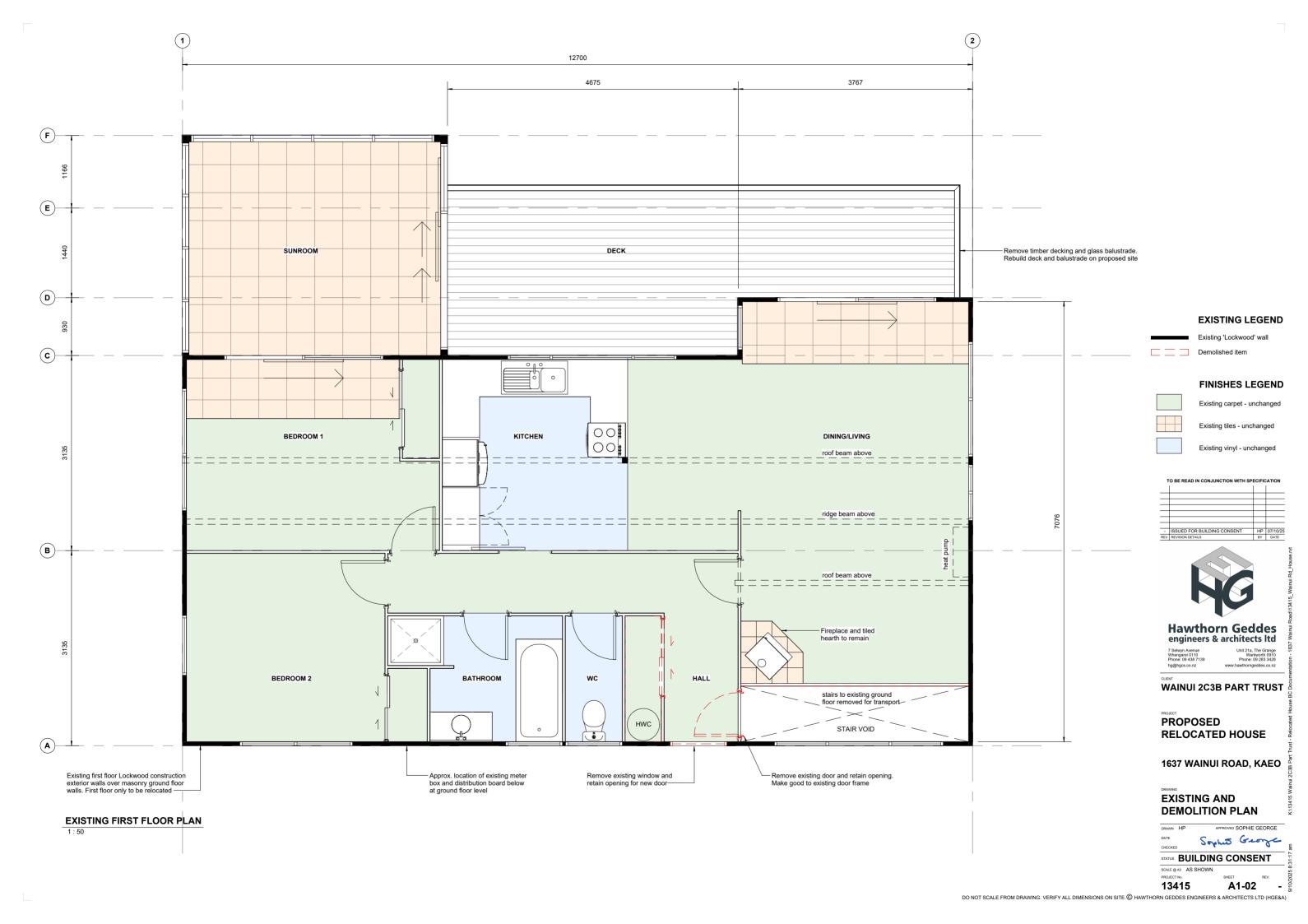
1637 WAINUI ROAD, KAEO

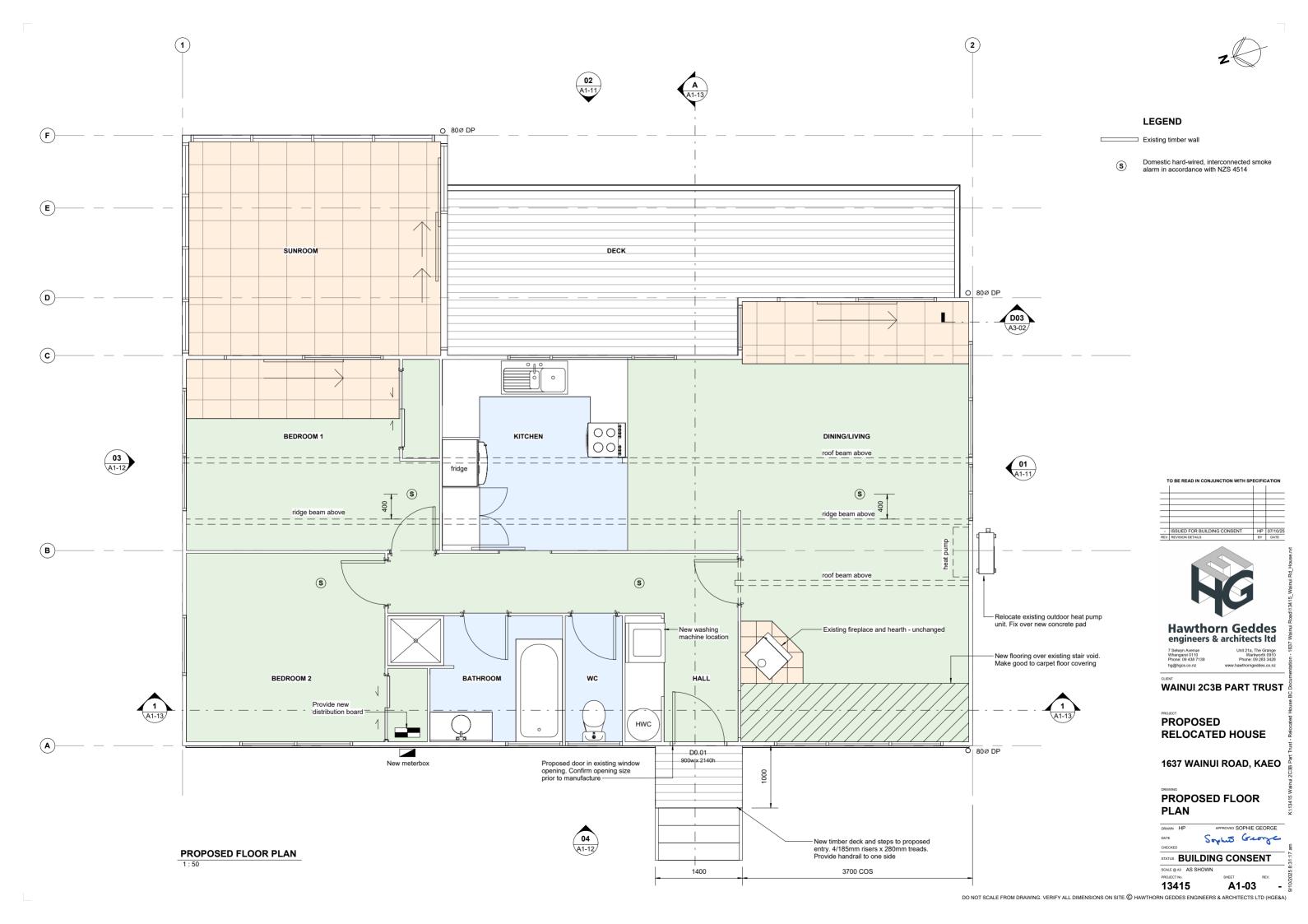
# **LOCALITY AND SITE PLANS**

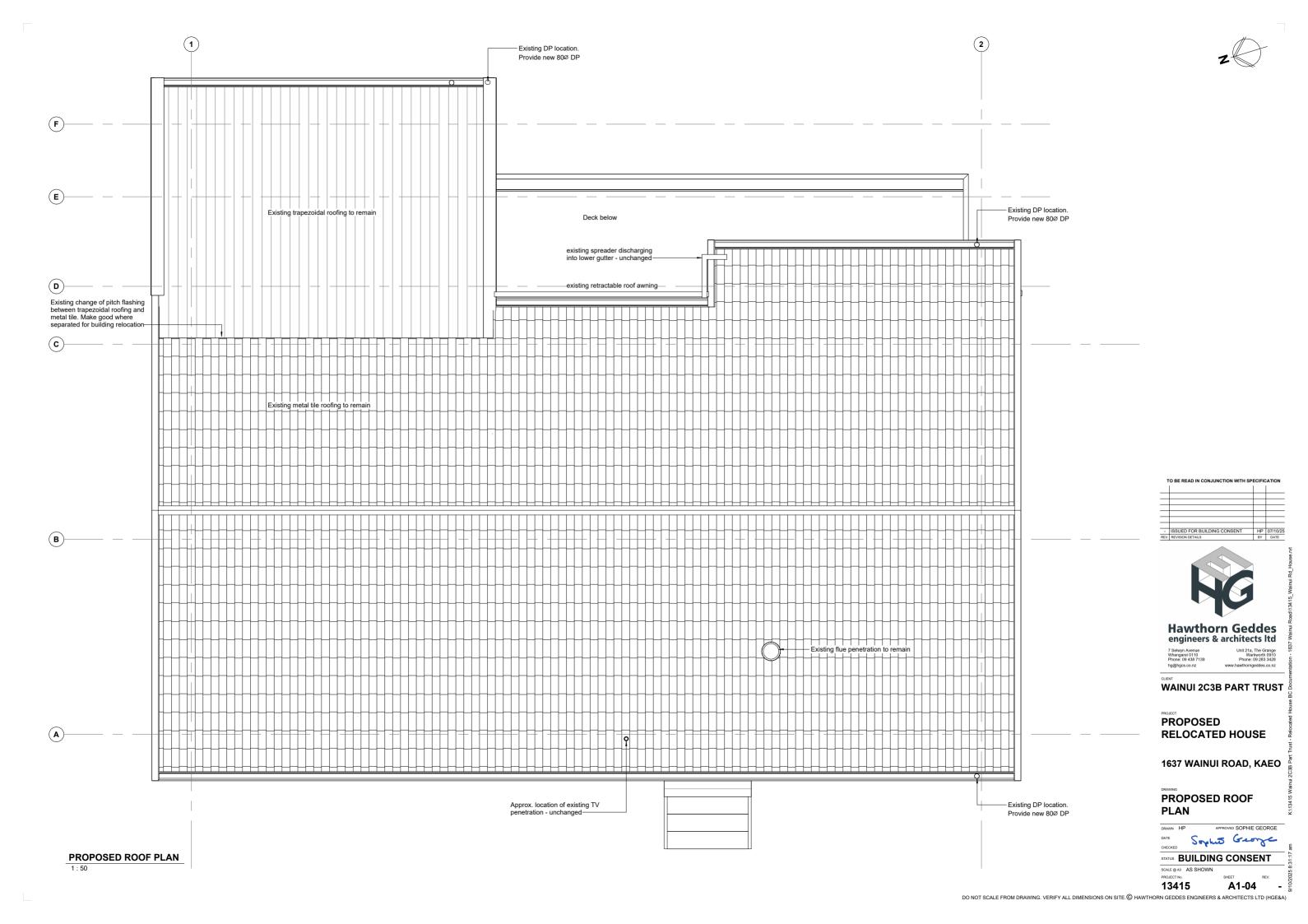
APPROVED SOPHIE GEORGE DATE SEPT 2025 South George STATUS BUILDING CONSENT

SCALE @ A3 AS SHOWN

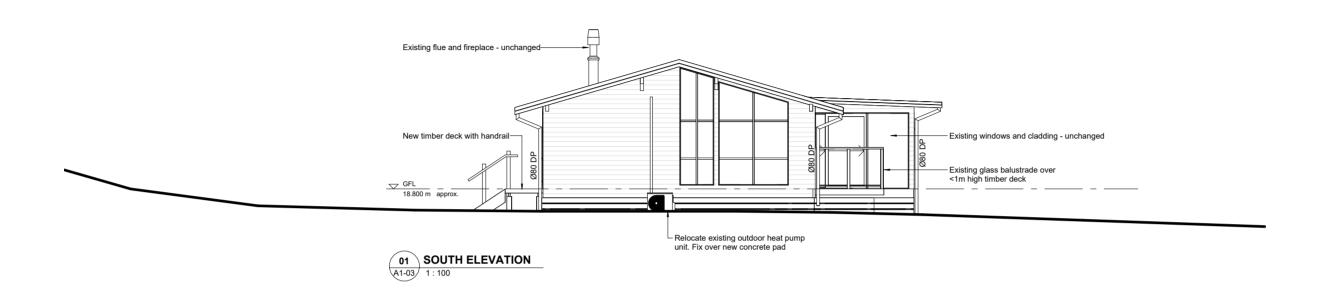
A1-01 -13415



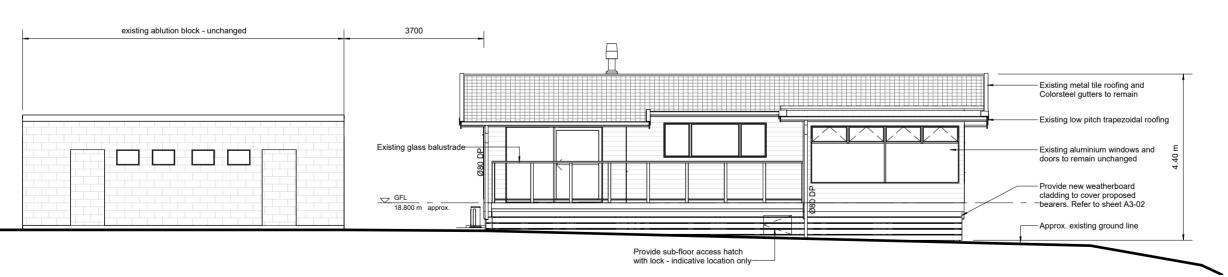




8m building height restriction



8m building height restriction



02 EAST ELEVATION 1:100



Hawthorn Geddes engineers & architects Itd

7 Selwyn Avenue Whangarei 0110 Phone: 09 438 7139 hg@hgcs.co.nz

CLIENT
WAINUI 2C3B PART TRUST

PROPOSED
RELOCATED HOUSE

1637 WAINUI ROAD, KAEO

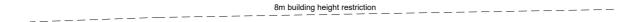
PROPOSED EAST & NORTH ELEVATIONS

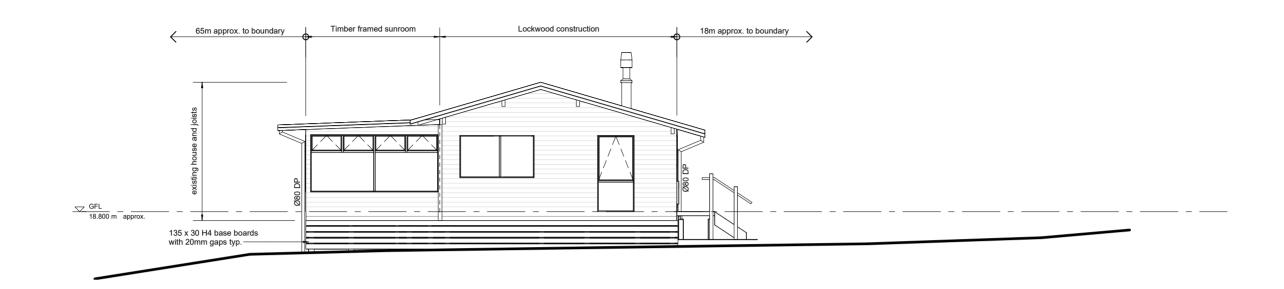
DRAWN HP APPROVED SOPHIE GEORGE
DATE
OHECKED

STATUS BUILDING CONSENT

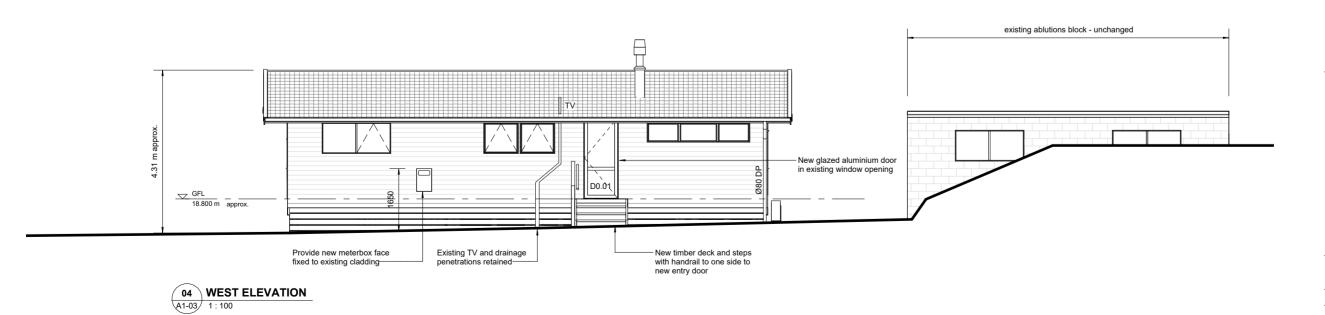
SCALE @ AS AS SHOWN

13415 A1-11 -

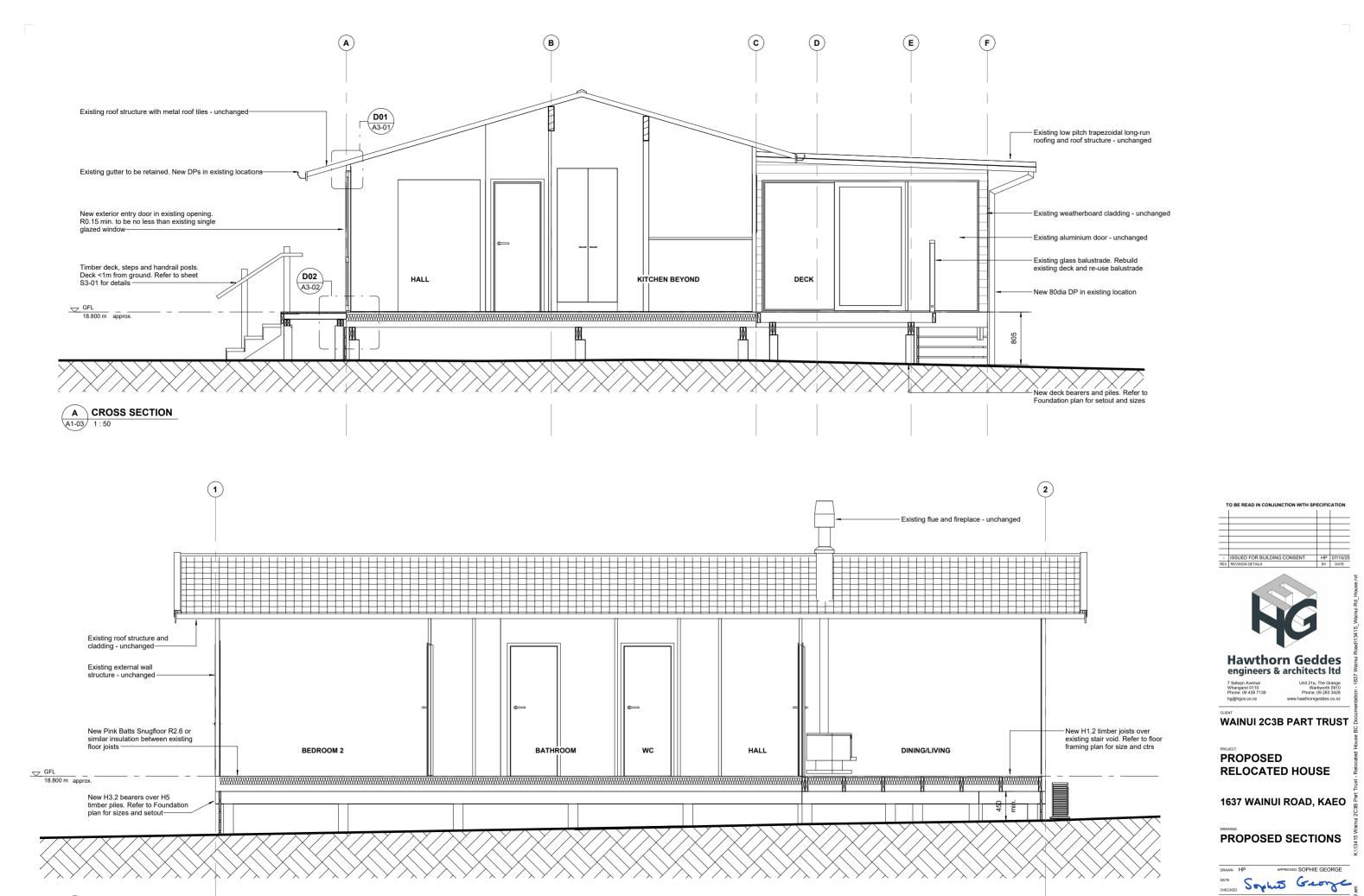




**03 NORTH ELEVATION** 1:100



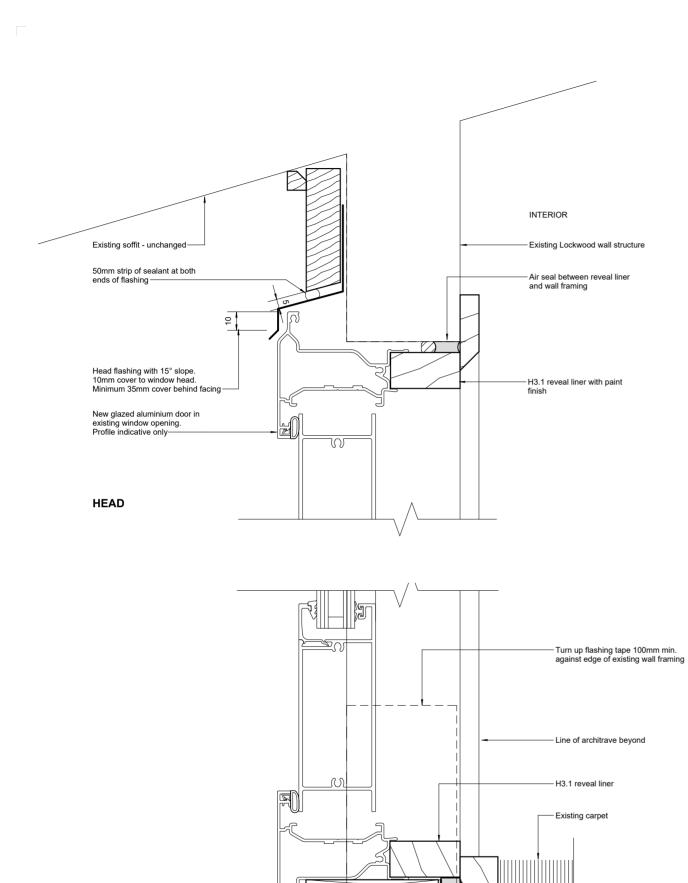




1 LONG SECTION 1:50

STATUS BUILDING CONSENT

SCALE @ A3 AS SHOWN



- Air seal

Flashing tape under sill and to front of structure

SILL

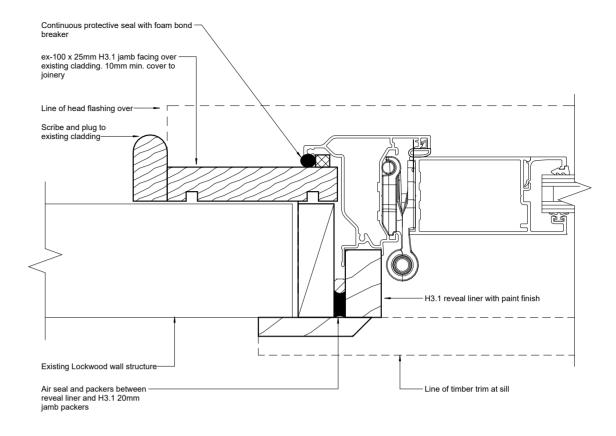
Sill tray with 8mm upstand and sloped

end dam. Flashing to extend back past last line of aluminium profile—

ex-100 x 25mm H3.1 facing over existing cladding

DOOR DETAILS

A1-13 1 : 2



**JAMB** 



Hawthorn Geddes engineers & architects Itd

7 Selwyn Avenue Whangarei 0110 Phone: 09 438 713 hg@hgcs.co.nz

www.hawthorngeddes.co.nz

WAINUI 2C3B PART TRUST

PROPOSED RELOCATED HOUSE

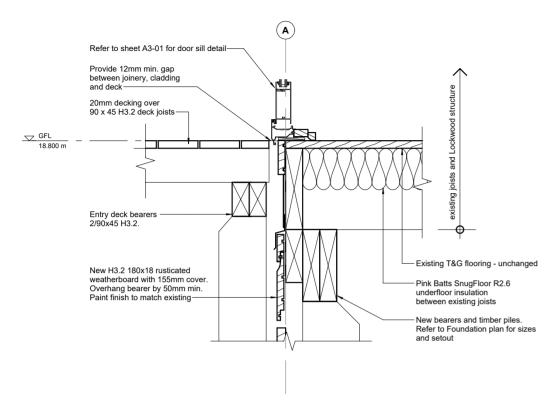
1637 WAINUI ROAD, KAEO

EXTERNAL JOINERY DETAILS

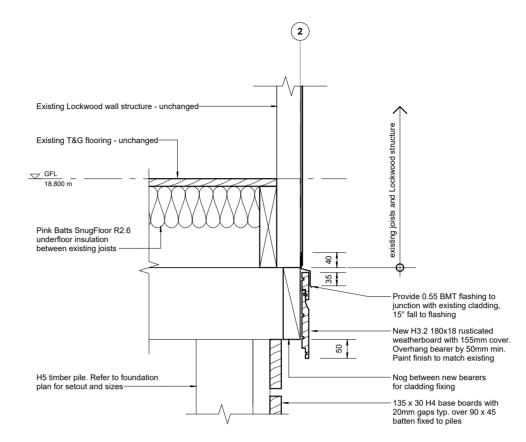


STATUS BUILDING CONSENT

SCALE @ A3 AS SHOWN
PROJECT No. SHEET REV. 13415 A3-01 - 016



D02 ENTRY DECK JUNCTION 1:10



D03 CLADDING COVER TO BEARERS
A1-03 1:10





7 Selwyn Avenue Whangarei 0110 Phone: 09 438 7139 hg@hgcs.co.nz

WAINUI 2C3B PART TRUST

DRO ISCT

PROPOSED RELOCATED HOUSE

1637 WAINUI ROAD, KAEO

WALL CLADDING
DETAILS



SCALE @ A3 AS SHOWN PROJECT No.

13415 A3-02 DO NOT SCALE FROM DRAWING, VERIFY ALL DIMENSIONS ON SITE. © HAWTHORN GEDDES ENGINEERS & ARCHITECTS LTD (HGE&A)

## GENERAL

This set of drawings is to be read in conjunction with the project specification and all other contract drawings. Refer to Architectural drawings for set out information. Notify engineer of any discrepancies.

All dimensions are in mm unless noted otherwise. All levels are expressed in

During the construction, the structure shall be maintained in a stable condition and no part shall be over-stressed. Temporary structures, propping, formwork, falsework, temporary bracing, shoring and equivalent shall be the responsibility of the contractor

All workmanship and materials shall be in accordance with NZS 3604 and NZBC clause B1 except where varied by contract documents

Where proprietary products are specified in the documents, the contractor may rnative for approval. Substitutions shall be made only with the approval of the Engineer.

All workmanship and materials shall be accordance with the requirements of current AS and NZS standards, the related by-laws and ordinances of local and

The contractor shall be responsible for co-ordinating all service penetrations chases, rebates, nibs, small holes, etc, and confirm with engineer before commencing fabrication

It is the responsibility of the contractor to locate and expose pipelines and services, prior to excavating works, drilling of piles or driving of piles on site. This is to ensure the minimum clearances between structural foundations and existing services will be achieved

ABBREV	IATIONS
CHS	circular hollow section
COS	confirm on site
crs	centres
db	reinforcing bar diamet
DPC	damp proof course
DPM	damp proof membrane
EA	equal angle
EF	each face
EW	each way
Ext.	external
FF	far face
FFL	finished floor level
FGL	finished ground level
Gr.	grade
HDG	hot dipped galvanised
Int	internal

maximum minimum near face not to scale O/A PFC overall parallel flange channel rectangular hollow section RI reduced level SHS TBC TFC TFB TOF square hollow section to be confirmed tapered flange channel tapered flange beam ton of foundation

top of slab Тур. Typical unequal angle universal beam universal column unless noted otherwise underside

# INSPECTION OF WORKS

Contractor shall be responsible for reviewing approved building consent documentation and arranging any and all required site visits for Construction Monitoring purposes. 48 hours minimum notice is required by the engineer for

The contractor must be satisfied that the works have been completed in accordance with the plans and specifications before confirming an inspection with

Refer to BCA conditions of Building Consent for the requirement of a PS4 Construction review Producer Statement. No PS4 will be issued unless the works are inspected and approved by the enginee

# STRUCTURAL TIMBER

All workmanship and materials shall comply with NZS 3602 and NZS 3603.

Unless otherwise specified on the project drawings light timber framed ruction shall be in accordance with NZS 3604. Structural timber shall be SG8 LINO

Anchor bolts for stud walls etc. Shall be Ø12mm. Minimum embedment shall be 75mm excluding upstands if used. Shot fired fixing to be used only if approved

Natural round, high density, small end diameter (SED) as stated.

All poles shall be H5 treated

Minimum embedment in concrete is ~m.

## STRUCTURAL STEELWORK

All materials and workmanship shall be in accordance with NZS 3404 and in accordance with AS/NZS 5131

Steel members shall be the following grades unless noted otherwise

RHS, SHS, CHS: Grade 350

- UB, UC, TFC, TFB, PFC, EA: Grade 300

The construction category of the steelwork shall be per AS/NZS 5131 and as the following table:

STEEL MEMBERS	CONSTRUCTION CATEGO	
All Steelwork UNO	CC~	

The contractor is to supply an inspection and testing plan"ITP" in accordance with AS/NZS 5131 Section 13. Weld failure consequence and seismic weld categories in accordance with Appendix I are as follows:

	WELD CATEGORY & CONSEQUENCE	SEISMIC WELD DEMAND CATEGORY	
All Steelwork UNO	~	~	

This set of structural steelwork drawings shows the design intent. Production of shop drawings remains the responsibility of the contractor. The contractor is to allow for all holes, cleats, fixings etc necessary for the completion of the works and are to be indicated on shop fabrication drawings.

No steelwork shall be fabricated until designers approval of the workshop drawings have been received.

The contractor shall check and verify all dimensions, levels and details on site (including HD bolts as constructed) before commencing fabrication of any steel

Non-shrink grout shall be used to fill all spaces between concrete or masonry. and steel bearing plates. All dry pack mortar/grout shall have a compressive strength of at least 50MPa at 28 days.

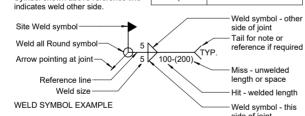
All steel work shall be surface protective treated after fabrication. All cases of damage to the protective coating of steelwork shall be brought to the attention of

Padded slings shall be used to handle all corrosion-protected steelwork.

## WELDS

All structural steel welding shall comply with AS/NZS 1554 class SP. Welded connections between structural members shall be full penetration butt welds unless noted otherwise

BASIC WELD SYMBOLS			SUPPLEMENTARY WELD SYMBOLS		
	Fillet		<u></u>	Weld All Round	
	Bead		Ā	Flush Contour	
	Square Butt			Weld On Site	
	Single Vee Butt			Backing Strip or Bar	
	Double Vee Butt			Flush Surface Finish	
一丁	Stud			Convex Surface Finish	
FSBW	Full Strength Butt Weld		-V-	Concave Surface Finish	
Symbol shown below reference line indicates weld this side (same side			Backing Weld Run		
as arrow). Symbol shown above reference line		──⟨TYP.	Tail - for Notes		



# BOLTS

Bolt types (and designations where used) shall be as follows:

- Commercial bolts AS 1111, snug tightened. High strength structural bolts, nuts and hardened washers to AS 1252, snug tightened only.
- High strength structural bolts, nuts and hardened washers to AS 1252, fully tensioned to AS 1511 in a bearing type joint. 8.8/TB High strength structural bolts, nuts and hardened washers to AS 1252, fully tensioned to AS 1511 in a friction type joint and 8 8/TF

unless noted otherwise, with facing surfaces left uncoated. M12 and smaller bolts to be commercial grade (4.6/S) unless noted otherwise M16 and larger bolts to be High Strength snug tightened (8.8/S) unless noted

Approved washers are to be provided under all nuts and turning bolt heads, after tightening, exposed faces of bolts, nuts and washers shall be prepared and coated as specified or as for adiacent steelwork

Bolt holes shall be thermally cut or drilled. Diameter of holes to be as follows unless required to be different for specific types of fixing:

	BOLT	STANDARD	ANCHOR
≤12mm Diameter + 1mm		Diameter + 1mm	Diameter + 2mm
	≥16mm	Diameter + 2mm	Diameter + 4mm

Bolts, nuts, washers, straps and holding down bolts shall be hot dipped galvanised unless noted otherwise

## CONCRETE

All concrete works shall be in accordance with NZS 3101 and NZS 3109 subject

No concrete shall be placed until the designer has had the opportunity to observe that the drawings and specifications have been complied with

# CONCRETE STRENGTH

Minimum concrete strengths specified as 28-day compressive strength, UNO, shall be as follows:

- Pre-cast, prestressed floor unit topping
- Foundations beams and columns
- Floor slab and external paving 10MPa

All concrete supply and production shall be in accordance with NZS 3104.

Sizes of concrete elements do not include thickness of applied finishes

No penetrations, chases or embedments of pipes other than those shown on the structural drawings shall be made in concrete members without the prior approval

All concrete shall have 15mm x 15mm chamfers to all exposed edges unless

Unless noted otherwise on the structural drawings or shown on other project drawings, surface finishes shall in accordance with NZS 3114 as follows:

- Formed foundation surfaces Underside slabs Formed surfaces of beams, columns, walls
- panels, slab edges etc which will be concealed
- Formed surfaces of heams, columns, walls
- panels, slab edges etc which will be exposed F5E (slip resistant) Formed surfaces of exposed stairs
- Unformed interior slab finishes U3 power float Unformed exterior slab finishes
- (refer to other documents for Architectural exposed finishes) Precast walls (refer to other documents for Architectural exposed finishes)

All surface roughening at construction joints interfaces to have an amplitude of

Contractor to submit shop drawings of precast units, at least 5 working days before fabrication. Dimensional accuracy remains the contractors responsibility Approval from the engineers shall be obtained prior to manufacture of the units.

Precast concrete tolerances: Dimensional +/-5mm, straightness 1 in 100

Standard splice lap lengths for deformed bars are as follows:

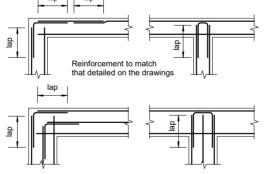
# IN-SITU AND PRE-CAST CONCRETE REINFORCEMENT LAPS

BAR	GRADE 300 (D)			GRADE 500 (HD)		(HD)
fc (MPa)	20	25	30	20	25	30
10d <sub>b</sub>	340	300	270	560	500	460
12d <sub>b</sub>	400	360	330	670	600	550
16d <sub>b</sub>	540	480	440	900	800	730
20d <sub>b</sub>	670	600	550	1100	1000	910
25d <sub>b</sub>	1000	750	690	1600	1250	1140
32d <sub>b</sub>	1200	960	880	2000	1600	1460

Allow for 30% lap length increase for top reinforcing in beams with 300mm or

Where laps are not shown on the drawings, reinforcement in walls and slabs may only be lapped at random. Conform lap splice requirements for all other reinforced concrete elements.

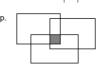
# Typical laps as shown:



# FOOTING INTERSECTIONS

Laps to reinforcing mesh as shown. Overlap measured between outermost cross wires of each mesh sheet is not to be less than the spacing of cross wires plus 50mm, nor less than 150mm except where manufacturer's requirements govern.

Stagger concrete floor mesh sheets to ensure a maximum 3 sheet thickness at each mesh lap.



## MASONRY BLOCKWORK

All materials and workmanship shall be in accordance with NZS 4210. All nasonry units shall be manufactured in accordance with AS/NZS 4455.

All blockwork to be nominally 200mm thick and laid in stretcher bond, unless

Blockwork to be all cells grouted construction. Refer to specification for grouting

# procedure.

GROUT STRENGTH Minimum grout strength specified as 28-day compressive strength, UNO, shall be

as follows:

Mortar

Grout

This project uses Grade ~ masonry. Contractor to ensure appropriate notification for inspection is provided

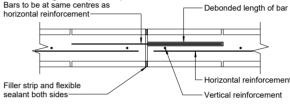
All block retaining walls tied to a slab on grade at top of wall rely on the slab for top support and hence hall be propped during backfilling and until 7 days after slab on grade has been poured. Compacting machinery used adjacent to the walls shall be operated such that the wall is not damaged.

# CONTROL JOINTS

Unless noted otherwise, vertical control joints shall be installed in accordance with NZS 4229 and NZS 4230 as follows At 6.0m max centres and:

- Within 600mm of return angles in T and U-shaped floor structures Within 600mm of L-shaped corners OR by restricting the spacing to the
- next control joint to 3.2m max.
- At changes in wall height exceeding 600mm
- At changes in wall thickness.

R16 bars 800mm long, debonded one side with grease or plastic tape.



CONTROL JOINT

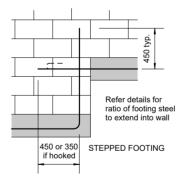
# REINFORCING

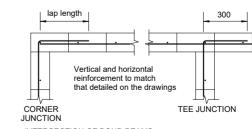
Standard minimum splice lengths are as follows

# MASONRY BLOCKWORK REINFORCEMENT LAPS

BAR	GRADE 300 (R)	GRADE 300 (D)	GRADE 500 (HD)
10d <sub>b</sub>	800	400	700
12d₀	960	480	840
16d₀	1280	640	1120
20d <sub>b</sub>	1600	800	1400
25d <sub>b</sub>	2000	1000	1750

Typical construction details are as follows:





INTERSECTION OF BOND BEAMS

# REINFORCEMENT

All grade 300E and 500E reinforcement shall comply with AS/NZS 4671. All Grade 500 reinforcement bars shall be manufactured using the microalloy (MA) process, unless specifically approved otherwise by the engineer. Quench and npered steel shall not be used

## Reinforcement bar notations shall be as follows:

- Grade 300E round bar
- Grade 300E deformed bar
- Grade 500E round bar Grade 500E deformed ba
- RR Grade 500F Reid bar

Grade 500E reinforcing shall not be straightened or re-bent

Reinforcement shall be free from mud, loose rust / mill scale, concrete laitance oil, etc at the time concrete is placed.

Welding of reinforcement is not permitted unless shown on the drawings or approved by the engineer

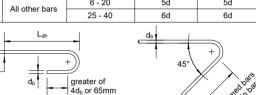
# COVER

Where not specifically noted, clear cover to reinforcement shall be as follows:

EXPOSURE	INSITU	PRECAST
Formed or free surface - not exposed to weather	30mm	20mm
Formed or free surface - exposed to weather	50mm	40mm
Cast on or against DPM on ground	50mm	-
Cast directly on or against ground	75mm	-

All hooks, laps and bends are to be in accordance with NZS 3109 unless noted otherwise. All reinforcing bars shall be cold bent using proper bending tools of the correct diameter to guard against notching of bars

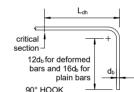
f <sub>v</sub> (MPa)	BAR TYPE	BAR DIAMETER	MIN. DIAMETER OF BEND (mm)		
ly (IVIFa)	DAKTIFE	d (mm)	Plain Bars	Deformed Bars	
	Stirrups & Ties	6 - 20	2d	4d	
300 or		25	3d	6d	
500	All other bars	6 - 20	5d	5d	
	All other bars	25 - 40	6d	6d	



STIRRUP HOOK

SEMI-CIRCULAR HOOK

critical



UED FOR BUILDING CONSENT



# **Hawthorn Geddes** engineers & architects ltd

**PROPOSED** 

**WAINUI 2C3B PART TRUST** 

RELOCATED HOUSE

1637 WAINUI ROAD, KAEO

STRUCTURAL NOTES



SCALE @ A3 AS SHOWN 13415 S0-00

DO NOT SCALE FROM DRAWING, VERIFY ALL DIMENSIONS ON SITE. @ HAWTHORN GEDDES ENGINEERS & ARCHITECTS LTD (HGE&A)

Unless otherwise specified or detailed on the

drawings, these standard details and notes

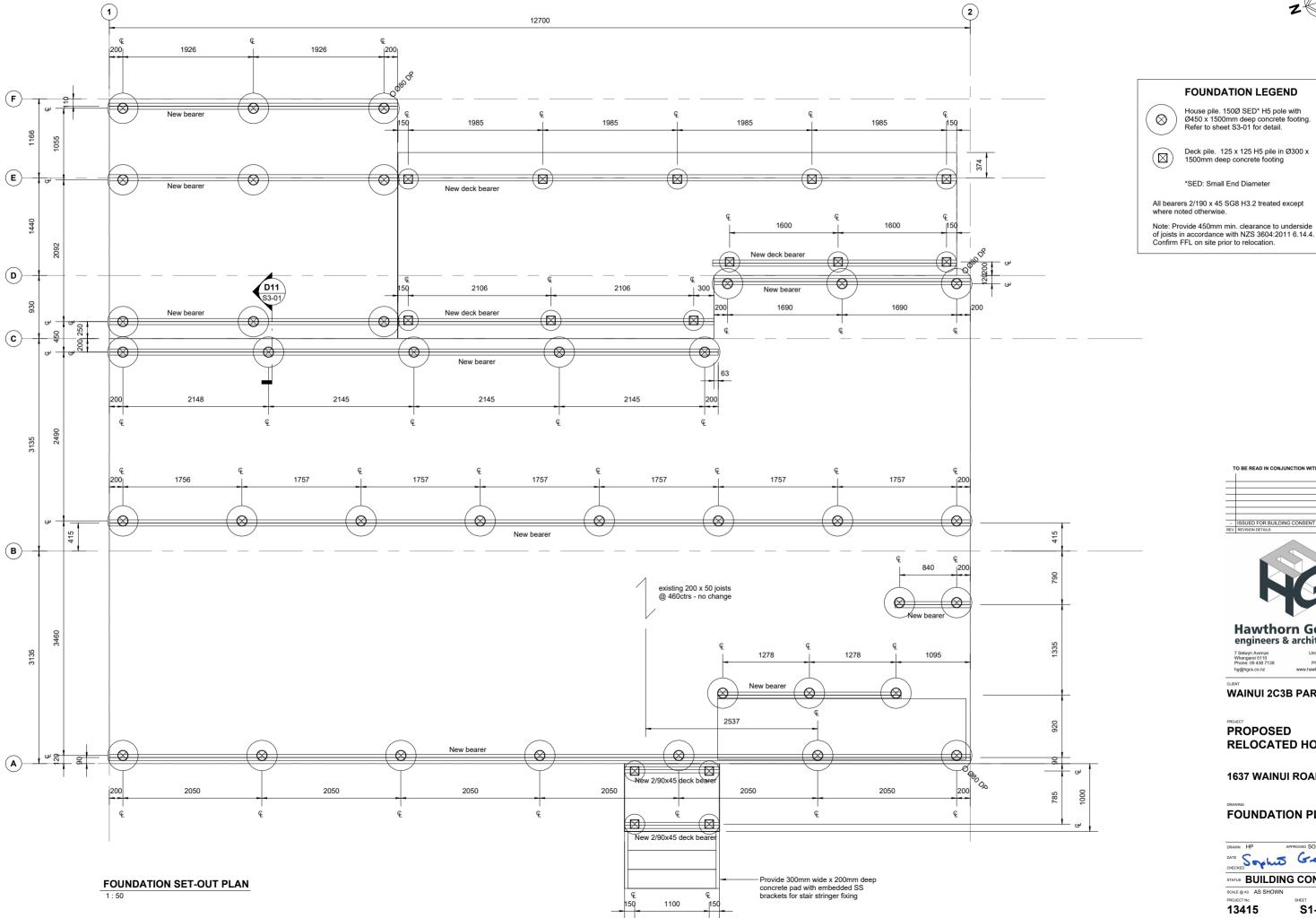
Inclusion of this sheet does not imply that al

the details occur in the project.

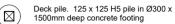
NOTE:

shall apply.





House pile. 150Ø SED\* H5 pole with Ø450 x 1500mm deep concrete footing. Refer to sheet S3-01 for detail.



Confirm FFL on site prior to relocation.





# engineers & architects Itd

**WAINUI 2C3B PART TRUST** 

**PROPOSED** RELOCATED HOUSE

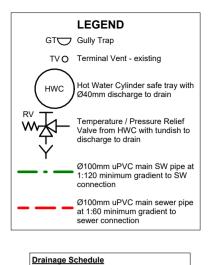
1637 WAINUI ROAD, KAEO

**FOUNDATION PLAN** 



S1-01





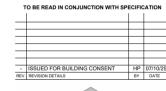
Fixture Pipe	Size	Gradient
Basin	40Ø min	1:20 min
Sink	40Ø min	1:40 min
Tub	40Ø min	1:40 min
Shower	40Ø min	1:40 min
Bath	40Ø min	1:40 min
wc	100Ø min	1:60 min

Notes: Fixture discharge pipes sized in accordance with AS/NZS 3500.2.

Unvented length of fixture waste pipes not to exceed 2.5m.

Unvented branch drain and fixture waste pipe combined lengths not to exceed 10m.

Overflow relief gullies (ORG) to be at least 150mm below the lowest fixture. Allow for concrete surround to prevent stormwater entering trap.





# Hawthorn Geddes engineers & architects Itd

7 Selwyn Avenue Whangarei 0110 Phone: 09 438 71: hg@hgcs.co.nz

Phone: 09 283 3426 ww.hawthorngeddes.co.nz

WAINUI 2C3B PART TRUST

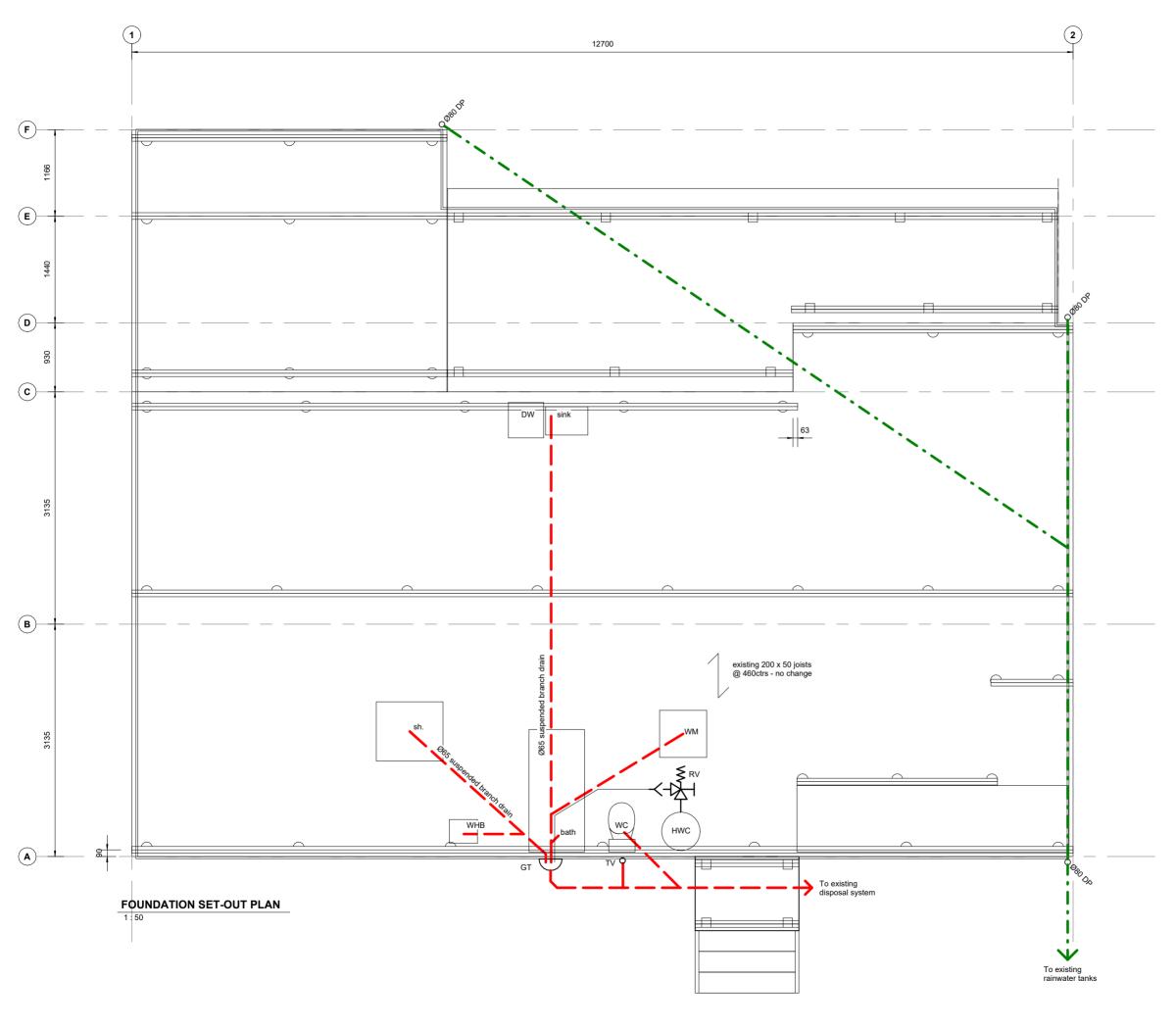
PROPOSED
RELOCATED HOUSE

1637 WAINUI ROAD, KAEO

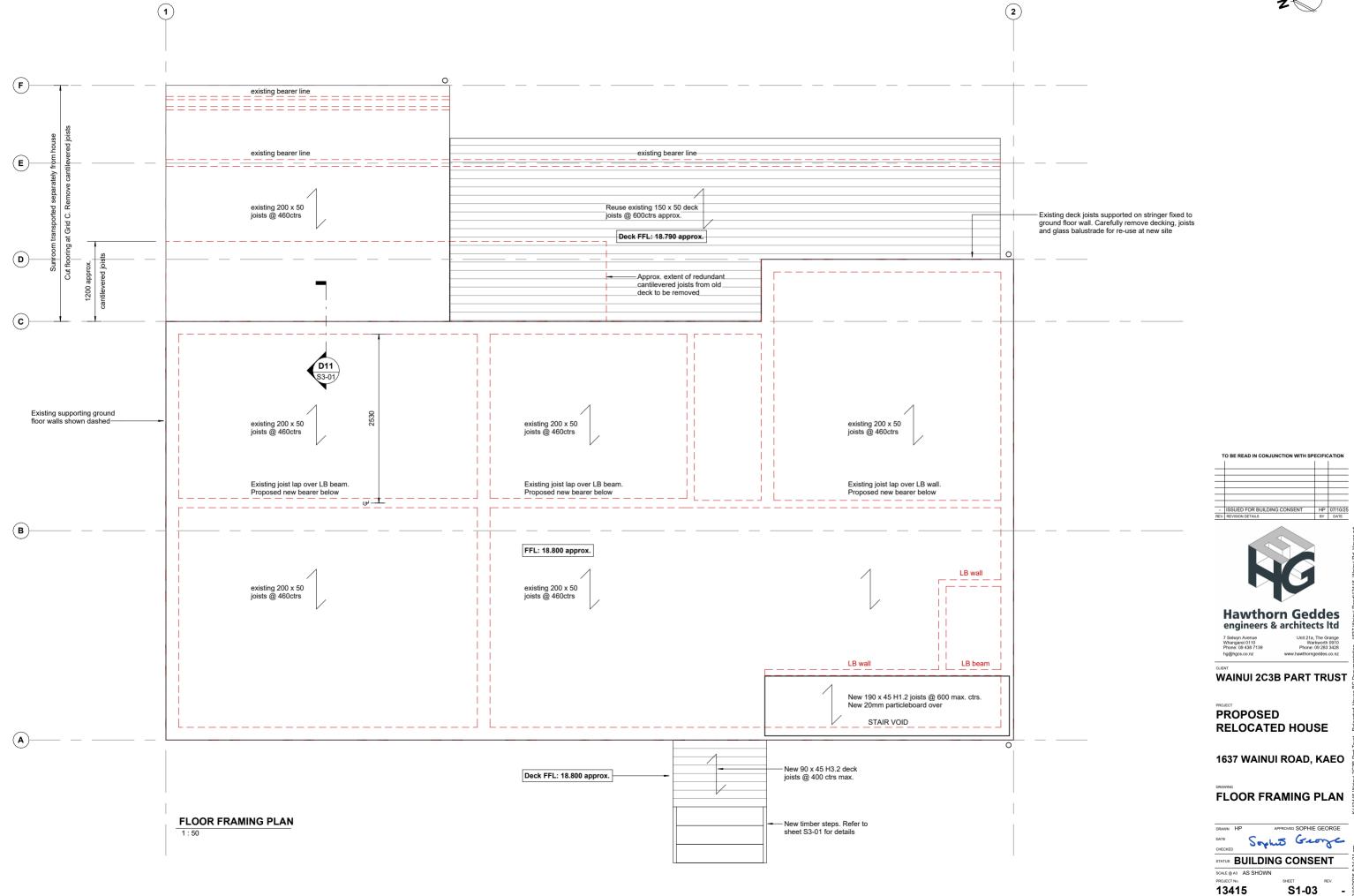
**DRAINAGE PLAN** 

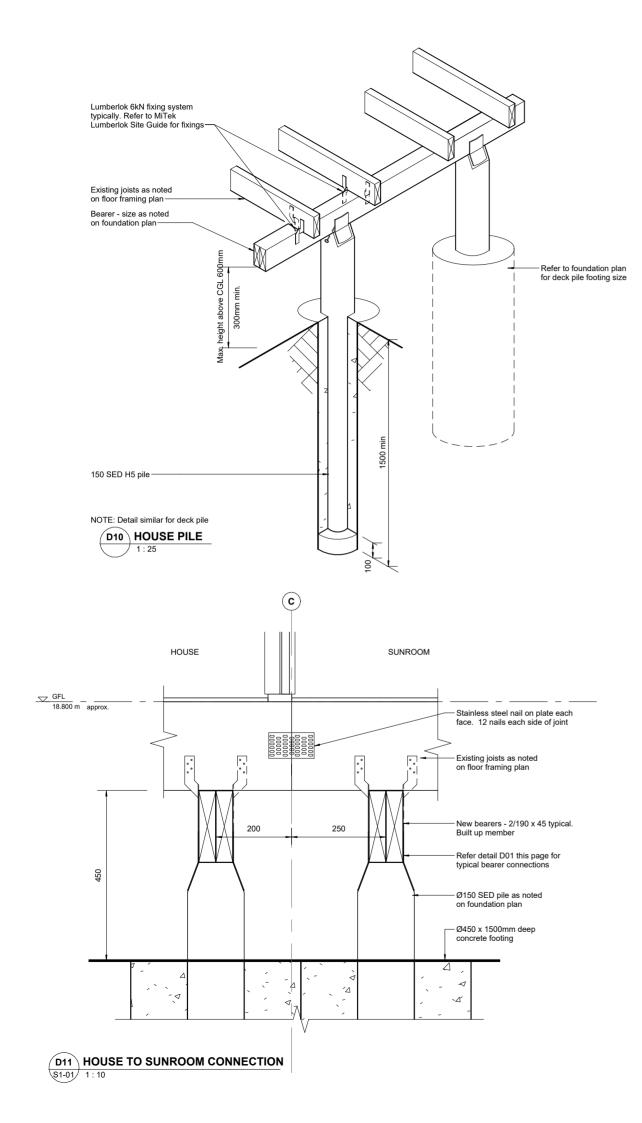
DRAWN HP APPROVED SOPHIE GEORGE
DATE Sophia George
CHECKED

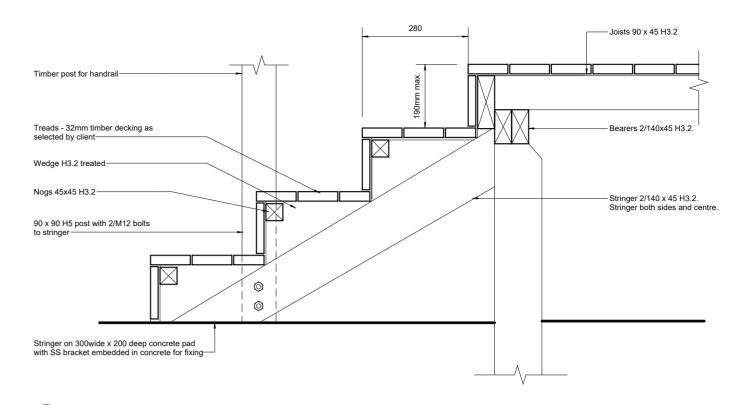
STATUS **BUILDING CONSENT**SCALE @ A3 AS SHOWN



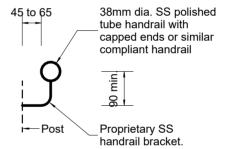






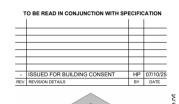


D12 TIMBER STAIR
1:10



Handrail to be located on one side of the stair, 900mm above pitchline of the stair.







7 Selwyn Avenue Whangarei 0110 Phone: 09 438 713: hg@hgcs.co.nz

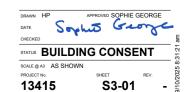
Warkworth 0910 Phone: 09 283 3428 www.hawthorngeddes.co.nz

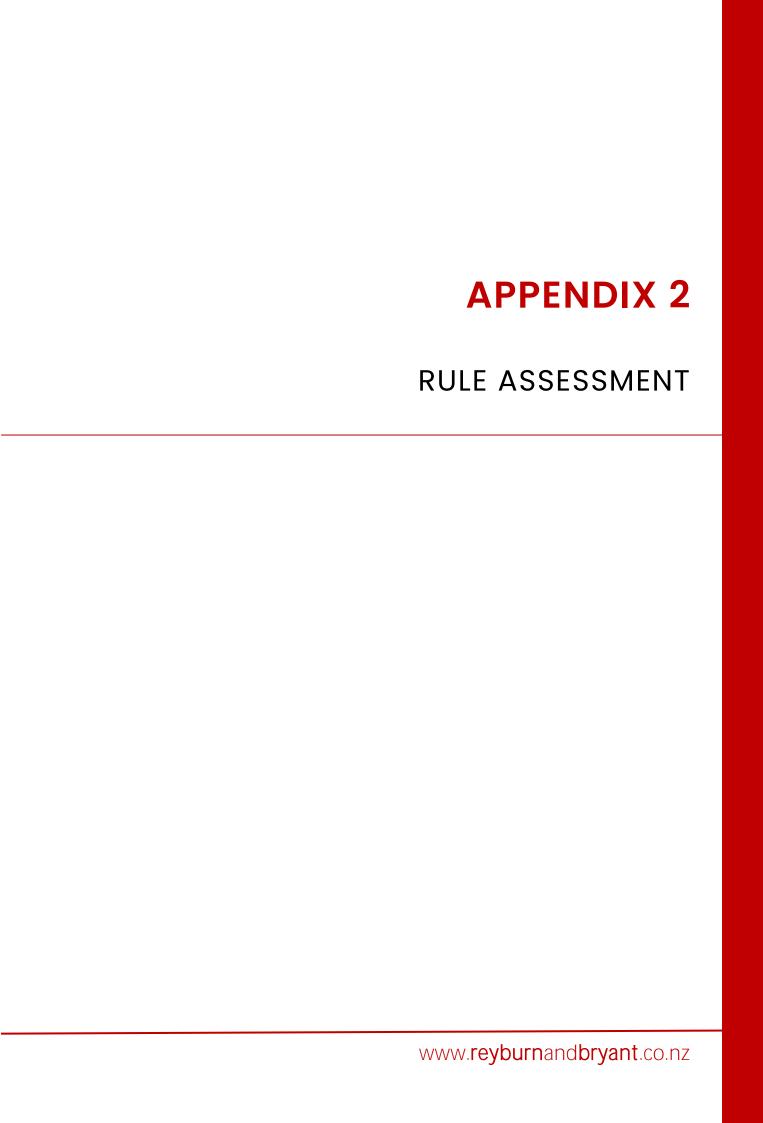
WAINUI 2C3B PART TRUST

PROPOSED
RELOCATED HOUSE

1637 WAINUI ROAD, KAEO

FOUNDATION DETAILS





# **Operative District Plan Provisions**

Chapter 10.7 Coastal Living Zone						
Rule	Status	Comment				
10.7.5.1 Permitted Activities						
10.7.5.1.1 – Visual Amenity	Restricted discretionary	The proposed residential unit will have a GFA in excess of 50m <sup>2</sup> .				
10.7.5.1.2 – Residential Intensity	Permitted	The proposed residential unit will be the only residential unit on the site.				
10.7.5.1.3 – Scale of Activities	Permitted	Less than 4 people will be engaged in activities on-site. This excludes any persons residing in the residential unit.				
10.7.5.1.4 - Building Height	Permitted	The maximum height of the proposed residential unit will not exceed 8m.				
<b>10.7.5.1.5</b> – Sunlight	Permitted	The proposed residential unit will not exceed the 45° degree recession plane measured from a height of 2m from the external boundaries.				
10.7.5.1.6 – Stormwater Management	Permitted	The total impermeable surfaces will be less than 600m².				
10.7.5.1.7 – Setback from Boundaries	Permitted	The proposed residential unit will be setback at least 10m from any site boundary.				
10.7.5.1.8 – Screening for Neighbours Non-Residential Activities	N/A	The site will be used for residential activities				
10.7.5.1.9 – Transportation	N/A	Refer to the assessment of Chapter 15 below.				
10.7.5.1.10 – Hours of Operation Non- Residential Activities	N/A	No non-residential activities are proposed.				
10.7.5.1.11 – Keeping of Animals	N/A	The proposed residential unit will not be used to keep animals.				
10.7.5.1.12 - Noise	Permitted	The proposed residential unit will not create noise that exceeds the permitted standards.				
10.7.5.1.13 – Helicopter Landing Area	N/A	The proposal does not involve the need for a helicopter landing area.				
10.7.5.2 Controlled Activities						
10.7.5.2.1 – Papakāinga Housing	N/A	Not proposed				

10.7.5.2.2 – Visual Amenity	Restricted discretionary	The proposed residential unit is not proposed within a building envelope.
10.7.5.3 Restricted Discretionary Activ	ities	
10.7.5.3.1 – Visual Amenity	Restricted discretionary	The proposed residential unit is a new building that does not comply with Rule 10.7.5.1.1 or Rule 10.7.5.2.2 as detailed above.
10.7.5.3.2 – Building Height	Permitted	The maximum height of the proposed residential unit will not exceed 8m.
<b>10.7.5.3.3</b> – Sunlight	Permitted	The proposed residential unit will not exceed the 45° degree recession plane measured from a height of 2m from the external boundaries.
10.7.5.3.4 – Transportation	N/A	Refer to the assessment of Chapter 15 below.
10.7.5.3.5 – Scale of Activities	Permitted	Less than 4 people will be engaged in activities on-site. This excludes any persons residing in the residential unit.
10.7.5.3.6 – Setback from Boundaries	Permitted	The proposed residential unit will be setback at least 10m from any site boundary.
<b>10.7.5.3.7</b> – Noise	Permitted	The proposed residential unit will not create noise that exceeds the permitted standards.
10.7.5.3.8 – Stormwater Management	Permitted	The total impermeable surfaces will be less than 600m².
Overall Status	Restricted discretionary	

Chapter 12.1 Landscapes and Natural Features		
Rule	Status	Comment
12.1.6.1 Permitted Activities		
12.1.6.1.1 – Protection of Outstanding Landscape Features	N/A	The site does not contain an Outstanding Landscape Feature.
12.1.6.1.2 – Indigenous vegetation clearance in Outstanding Landscapes	N/A	No indigenous vegetation clearance is proposed.
12.1.6.1.3 – Tree planting in Outstanding Landscapes	N/A	No tree planting is proposed.
12.1.6.1.4 – Excavation and/or filling within and Outstanding Landscape	Permitted	<ul> <li>a. Less than 300m³ of earthworks are proposed.</li> <li>b. The maximum cut or filled face height will be less than 1.5m.</li> </ul>

		c. Any cut and fill areas will be screened by the proposed residential unit.	
12.1.6.1.5 – Buildings within Outstanding Landscapes	Restricted discretionary	<ul> <li>a. Not within the General Coastal Zone.</li> <li>b. The proposed residential unit will be visible from a public place and may not be coloured with the BS5252 standard colour palette range or have a reflectance value of 30% or less.</li> <li>c. Not proposed.</li> <li>d. The proposed residential unit will be visible from a public place within 2km.</li> <li>e. The proposed residential unit will have a GFA in excess of 25m².</li> </ul>	
12.1.6.1.6 – Utility Services in Outstanding Landscapes	Permitted	Any utility services will be underground.	
12.1.6.2 Restricted Discretionary Activities			
12.1.6.2.1 – Buildings within Outstanding Landscapes	Restricted discretionary	<ul> <li>a. The proposed residential unit will have a GFA in excess of 25m².</li> <li>b. No alterations are proposed to existing buildings.</li> </ul>	
12.1.6.2.2 – Excavation and/or filling within and Outstanding Landscape	Permitted	The earthworks are permitted under Rule 12.1.6.1.4	
12.1.6.3 Discretionary Activities			
12.1.6.3.1 – Development Bonus	N/A	Not proposed.	
12.1.6.3.2 – Buildings within Outstanding Landscape Features	N/A	Not proposed.	
12.1.6.3.3 – Development on an Outstanding Natural Feature	N/A	Not proposed.	
Overall Status	Restricted discret	ionary	

Chapter 12.3 Soils and Minerals		
Rule	Status	Comment
12.3.6.1.1 – Excavation and/or filling, excluding mining and quarrying, in the Rural Production Zone or Kauri Cliffs Zone	N/A	The site is not within one of these zones.

12.3.6.1.2 – Excavation and/or filling, including obtaining roading material but excluding mining and quarrying, in the Rural Living, Coastal Living, South Kerikeri Inlet, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones	Permitted	<ul> <li>a. Less than 300m³ of earthworks are proposed.</li> <li>b. The maximum cut or filled face height will be less than 1.5m.</li> </ul>
12.3.6.1.3 – Excavation and/or filling, excluding mining and quarrying, in the Residential, Industrial, Horticultural Processing, Coastal Residential and Russell Township Zones	N/A	The site is not within one of these zones.
12.3.6.1.4 – Nature of filling material in all zones.	Permitted	<ul> <li>a. Any fill material will not contain putrescible, pollutant, inflammable or hazardous components.</li> <li>b. The fill material will only consist of soil, rock, stone, aggregate, gravel, sand, silt or demolition material.</li> <li>c. The fill material will comprise of no more than 5% vegetation.</li> </ul>
12.3.6.1.5 – Excavation and/or filling, including mining and quarrying within the National Grid Yard in all zones	N/A	Not proposed.
Overall Status	Permitted	

Chapter 12.5 Heritage			
Rule	Status	Comment	
12.5.6.1 Permitted Activities			
<b>12.5.6.1.1</b> – Notable Trees	N/A	The site does not contain a Notable Tree.	
12.5.6.1.2 – Alterations to/and Maintenance of Historic Sites, Buildings and Objects	N/A	The site does not contain historic sites, buildings, or objects.	
<b>12.5.6.1.3</b> – Registered Archaeological Sites	N/A	The proposed works will not involve the disturbance of a registered archaeological site listed in Appendix 1G.	
12.5.6.2 Restricted Discretionary Activities			
12.5.6.2.1 – Heritage Resources – Permanent Protection	N/A	The site does not contain one or more of the heritage resources listed in Appendices 1D, 1E, 1F, and 1G.	

12.5.6.2.2 – Activities which could affect sites of Cultural Significance to Māori	N/A	The site contains a Site of Cultural Significance to Māori listed in Appendix 1F. However, the activity is proposed by the requesting party. Therefore, this rule does not apply.
12.5.6.3 Discretionary Activities		
12.5.6.3.1 – Development Bonus	N/A	Not proposed.
Overall Status	N/A	

Chapter 12.7 Lakes, Rivers, Wetlands and the Coastline		
Rule	Status	Comment
12.7.6.1 Permitted Activities		
12.7.6.1.1 – Setback from Lakes, Rivers and the Coastal Marine Area	Permitted	The proposed residential unit and any impermeable surfaces are setback at least 30m from the CMA.
12.7.6.1.2 – Setback from Smaller Lakes, Rivers and Wetlands	N/A	The site does not contain or adjoin a lake, river, or wetland.
12.7.6.1.3 – Preservation of Indigenous Wetlands	N/A	The site does not contain or adjoin a wetland.
12.7.6.1.4 – Lane Use Activities involving discharges of Human Sewage Effluent	Permitted	The on-site effluent disposal system will be at least 30m from the CMA.
12.7.6.1.5 – Motorised Craft	N/A	Not proposed.
12.7.6.1.6 - Noise	Permitted	The proposed development will not generate any noise that exceeds the permitted standards.
12.7.6.2 Restricted Discretionary Activi	ties	
12.7.6.2.1 – Development Bonus	N/A	The proposed development is permitted under Rule 12.7.6.1.1.
12.7.6.3 Discretionary Activities		
12.7.6.3 – Discretionary Activities	N/A	The proposed development is permitted under Rule 12.7.6.1.1.
12.7.6.4 Non-Complying Activities		
12.7.6.4 - Non-Complying Activities	N/A	The proposed development is permitted under Rule 12.7.6.1.1 and Rule 12.7.6.1.2.

Overall Status	Permitted
----------------	-----------

Chapter 15 Transportation		
Rule	Status	Comment
15.1.6A Traffic Intensity		
15.1.6A.2.1 – Permitted Activities	Permitted	The proposal involves ten (10) one-way traffic movements where a maximum of twenty (20) one-way traffic movements is a permitted activity.
15.1.6A.3.1 - Controlled Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.4.1 – Restricted Discretionary Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.5.1 – Discretionary Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.6.1 – Non-Complying Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.7.1 – Assessment Criteria	N/A	This criteria is not relevant as the proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6B Parking		
15.1.6B.1.1 – On-site car parking spaces	Permitted	Two (2) car parks will be provided on-site.
15.1.6B.1.2 – Williams Road on-site car parking spaces	N/A	The subject site is not one of the listed sites.
15.1.6B.1.3 – Kerikeri Road on-site car parking spaces	N/A	The site is not located on Kerikeri Road.
15.1.6B.1.4 – Accessible car parking spaces	N/A	The proposal involves the construct of a residential unit.
15.1.6B.1.5 – Car park standards	Permitted	The car parks will be provided with sufficient manoeuvring to comply with Appendix 3D.
15.1.6B.1.6 – Loading spaces	N/A	No loading spaces are required as the proposed development involves a residential activity.
15.1.6B.2 – Restricted Discretionary Activities	N/A	The proposal is a permitted activity under Rule 15.1.6B.1
15.1.6B.3 – Discretionary Activities	N/A	The proposal is a permitted activity under Rule 15.1.6B.1

	ı	
15.1.6B.4 – Non-Complying Activities	N/A	The proposal is a permitted activity under Rule 15.1.6B.1
15.1.6B.5 – Assessment Criteria	N/A	This criteria is not relevant as the proposal is a permitted activity under Rule 15.1.6B.1
15.1.6C Access		
15.1.6C.1.1 – Private accessway in all zones	N/A	No new private access is proposed.
15.1.6C.1.2 – Private accessways in urban zones	N/A	The site is not within an urban zone.
15.1.6C.1.3 – Passing bays on private accessways in all zones	N/A	No new private access is proposed.
15.1.6C.1.4 – Access over footpaths	N/A	There is no footpath on Wainui Road.
15.1.6C.1.5 – Vehicle crossing standards in rural and coastal zones	N/A	No new vehicle crossing is proposed.
15.1.6C.1.6 – Vehicle crossing standards in urban zones	N/A	No new vehicle crossing is proposed.
15.1.6C.1.7 – General access standards	Permitted	<ul> <li>a. Vehicles will be able to leave the site in a forward direction.</li> <li>b. There are no bends on the access.</li> <li>c. Any areas not covered by the buildings, accesses, or outdoor living areas will be grassed.</li> <li>d. Runoff will be managed to reduce the volume and rate of stormwater runoff and contaminant loads.</li> </ul>
15.1.6C.1.8 – Frontage to existing roads	N/A	<ul><li>a. A subdivision is not proposed.</li><li>b. A subdivision is not proposed.</li><li>c. The site only has frontage to one road.</li><li>d. A subdivision is not proposed.</li></ul>
<b>15.1.6C.1.9</b> – New roads	N/A	No new roads are to be vested.
15.1.6C.1.10 – Service lanes, cycle and pedestrian accessways	N/A	No new service lanes, cycle or pedestrian accesses are proposed.
15.1.6C.1.11 - Road designations	N/A	The site does not front an existing road which is subject to a designation for road acquisition and widening purposes.

# **Proposed District Plan Provisions**

Māori Purpose Zone (MPZ)		
Rule	Status	Comment
MPZ-R1 – New buildings or structures, or extensions or alterations to existing buildings or structures	Permitted	The proposed residential unit will accommodate a permitted activity and will comply with MPZ-S1 – MPZ-S7.
MPZ-R2 – Impermeable surface coverage	Permitted	The total impermeable surface coverage will be less than 25% of the site area.
MPZ-R3 – Farming activity	N/A	Not proposed
MPZ-R4 – Residential activity (except for papakāinga)	Permitted	The proposed residential unit will be the only residential unit on the site.
MPZ-R5 – Papakāinga	N/A	Not proposed
MPZ-R6 – Visitor accommodation	Permitted	The occupancy will not exceed six guests per night.
MPZ-R7 - R25	N/A	Not proposed
MPZ-S1 - Maximum height	Permitted	The maximum height of the buildings will not exceed 12m.
MPZ-S2 – Height in relation to boundary	Permitted	The proposed residential unit will not exceed the recession planes measured from a height of 2m from the external site boundaries.
MPZ-S3 – Setback (excluding from MHWS or wetland, lake and river margins)	Permitted	The proposed residential unit will be setback at least 10m from all site boundaries.
MPZ-S4 – Setback from MHWS	Permitted	The proposed residential unit will be at least 26m from the Mean High Water Springs.
MPZ-S5 – Building or structure coverage	Permitted	The total building and structure coverage on the site will be less than 50%.
MPZ-S6 – On-site services	Permitted	<ol> <li>Wastewater will be disposed of on-site in accordance with these standards.</li> <li>There will be a 45,000 L on-site potable water supply.</li> <li>Stormwater will be disposed of in accordance with the FNDC Engineering Standards 2022.</li> </ol>
MPZ-S7 – Sensitive activities setback from boundaries of a Mineral Extraction overlay	N/A	The buildings are not a sensitive activity.
Overall Status	Permitted	

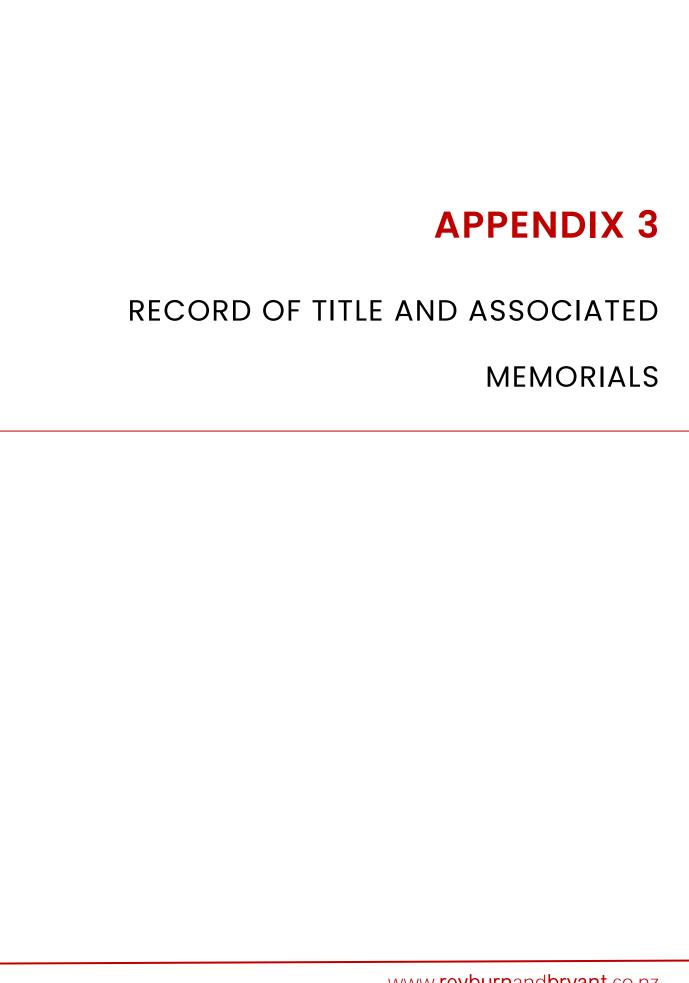
Sites and Areas of Significance to Māori (SASM) Chapter		
SASM-R1 – New buildings or structures, extensions or alterations to an existing building or structure, earthworks or indigenous vegetation clearance	Permitted	<ol> <li>The activity is undertaken by the requesting party listed in Schedule 3.</li> <li>Not proposed.</li> </ol>
SASM-R2 - R7	N/A	Not proposed.
Overall Status	Permitted	

Coastal Environment (CE) Chapter		
CE-R1 – New buildings or structures, and extensions or alterations to existing buildings or structures	Discretionary	<ol> <li>The site is not located in an urban zone.</li> <li>The proposed residential unit will have a GFA in excess of excess of 25m² and is outside of an Outstanding Natural Character Area.</li> <li>Not proposed.</li> <li>The proposed residential unit will comply with CE-S1, but may not comply with CE-S2.</li> </ol>
CE-R2 - Repair or maintenance	N/A	Not proposed.
CE-R3 – Earthworks or indigenous vegetation clearance	Permitted	The earthworks comply with CE-S3.  No indigenous vegetation clearance is proposed.
CE-R4 - R9	N/A	Not proposed.
CE-S1 - Maximum height	Permitted	The maximum height of the proposed residential unit will not exceed 5m.
CE-S2 – Colours and materials	Permitted	The proposed residential unit may have a reflectance value greater than 30% and an exterior finish outside of groups A, B or C of the BS5252 standard colour palette range.
CE-S3 - Earthworks or indigenous vegetation clearance	Permitted	The earthworks:  1. Are not proposed within an Outstanding Natural Character Area.  2. Will not exceed 400m².  3. Will not exceed a cut height or fill depth of 1m.  4. Any exposed faces will be screened.  No indigenous vegetation clearance is proposed.
CE-R10 - R19	N/A	Not proposed.
Overall Status	Discretionary	

Natural Features and Landscapes (NFL) Chapter			
NFL-R1 – New buildings or structures, and extensions or alterations to existing buildings or structures	Non- complying	<ol> <li>The site is within the CE.</li> <li>The proposed residential unit has a GFA in excess of 25m² and is within the CE.</li> <li>The proposal does not involve an existing building or structure.</li> <li>The proposed residential unit will comply with NFL-S1, but may not comply with NFL-S2.</li> </ol>	
NFL-R2 - R9	N/A	Not proposed.	
NFL-S1 - Maximum height	Permitted	The maximum height of the proposed residential unit will not exceed 5m.	
NFL-S2 – Colours and materials	Permitted	The proposed residential unit may have a reflectance value greater than 30% and an exterior finish outside of groups A, B or C of the BS5252 standard colour palette range.	
NFL-S3 – Earthworks or indigenous vegetation clearance	N/A	No earthworks or indigenous vegetation clearance is proposed.	
Overall Status	Non-complying		

Earthworks (EW) Chapter		
<b>EW-R1</b> – Earthworks for buildings or structures, and extensions to existing buildings or structures	Permitted	The earthworks comply with EW-S1, EW-S2, EW-S4, and EW-S6 – EW-S9.
EW-R2 - R11	N/A	Not proposed.
<b>EW-R12</b> – Earthworks and the discovery of suspected sensitive material	Permitted	The earthworks will comply with EW-S3 – Accidental Discovery Protocol.
EW-R13 – Earthworks and erosion sediment control	Permitted	The earthworks will comply with EW-S5 – Erosion and Sediment Control.
EW-R14 - R15	N/A	Not proposed.
<b>EW-S1</b> – Maximum earthworks thresholds.	Permitted	Less than 5,000m³ of earthworks are proposed over an area of less than 2,500m².
EW-S2 – Maximum depth and slope	Permitted	The maximum depth of any cut height of fill will not exceed 1.5m.
EW-S3 - Accidental Discovery Protocol	Permitted	Should any suspected sensitive material be discovered during the course of undertaking earthworks the requirements of this standard will be adhered to.

EW-S4 – Site reinstatement	Permitted	The site will be reinstated within six months following the completion of the proposed works.	
EW-S5 – Erosion and Sediment Control	Permitted	The earthworks will be controlled in accordance with the GD2016/005.  The earthworks will be implemented in a manner to prevent silt or sediment from entering waterbodies, any stormwater system, overland flowpath or road.	
EW-S6 - Setback	Permitted	The earthworks will be sufficiently setback from the site boundaries.	
EW-S7 – Land stability	Permitted	The earthworks will not result in any instability of land at or beyond the property boundary.	
EW-S8 – Nature of filling material	Permitted	Any fill material will not contain the listed material.	
EW-S9 – Flood and coastal hazards	N/A	Earthworks are not proposed in these areas.	
Overall Status	Permitted		





# RECORD OF TITLE UNDER LAND TRANSFER ACT 2017 QUALIFIED





of Land

Identifier 440278

Land Registration District North Auckland

Date Registered 16 July 2009 09:00 am

**Prior References** 

DI1H/775

**Type** Fee Simple

Area 8599 square metres more or less

**Legal Description** Part Wainui 2C3B Block

**Purpose** a Maori Reservation for the purpose of a

recreation ground and community centre for the common use and benefit of the

Ngatiruamahue subtribe

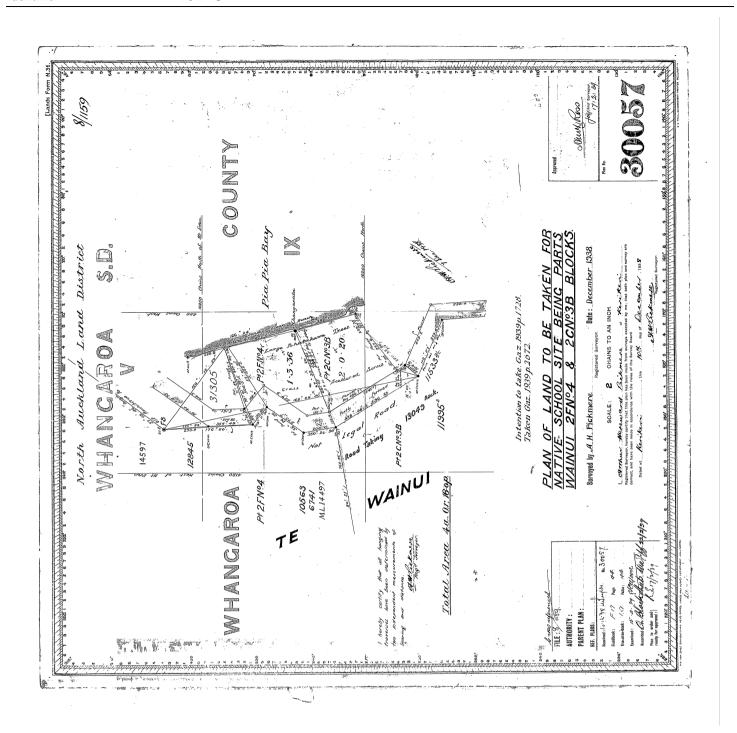
# **Registered Owners**

Sailor Morgan (also known as Aperehama Morgan), Athlene Rudkin, Kera Mager and Agnes May Davis as responsible trustees jointly, no survivorship

# **Interests**

The within Order has been embodied in the register pursuant to Section 124(1) Te Ture Whenua Maori Act 1993. It will not be finally constituted a folium of the register until a plan has been deposited pursuant to Section 167(5) Land Transfer Act 1952

8227847.4 Status Order determining the status of the within land to be Maori Freehold Land - 16.7.2009 at 9:00 am Appurtenant hereto is a laying out of restricted roadway created by Order 8227847.5 - 16.7.2009 at 9:00 am



440278



# Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

440278

Identified as potentially Maori Freehold Land

\*\*\* End of Report \*\*\*

MFCO 8227847.1 Maori I Cpy-01/02.Pgs-005,24/07/09,14:24 DUPLICATE Order KT10/138-141 ORDER REVESTING LAND ACCUIRED FOR A PUBLIC PURPOSE C The Maori Affaire Act, 1953 Section 436 LAND COURT IN THE MATTER of the land known as

PART WAIRUI 203B situated
in Block IX of the Whangaroa
Survey District and containing an area of 8599 square metres as is more particularly delineated on S.O. Plan 30057. SITTIME of the Court held at Kaeo on the 7th day of February before William Collinson Micholson, Esquire, Judge WHEREAS the land known as Part Vainui 2038 was acquired by the Orown as a Native School site ( AND WHEREAS the said land is no longer required for the purpose of the school site and application has now been made by the Winister of Lands to revest the said land in the persons entitled NOW THERSFORE upon hearing the evidence adduced before it in support of the said application this Court under the provisions of Section 436 of the Maori Affairs Act 1955 DOTH HERSEY OFFER that the said land known as Part Vainui 2038 be and is hereby vested in the persons whose names appear in the schedule of the court of the shares shown next to their respective names AND DOTH FURTHER ORDER that the land so vested shall be and be deemed to be Maori freehold land AS WITHESS the hand of the Judge and the seed of the Court. Tamati Pera Akinihi Mita Vati Hare Kiri Kuka Mita Keeps Moongaros Mita Tuhia Mita Kare Mita Viniata Mita Duplicate issued pursuant to Rule 67 of the Maori Land Court Rules 1994 for registration purposes.

# FIRST SCHEDULE.

LAND PROCLAIMED AS ROAD.

APPROXYMATE areas of the pieces of land proclaimed as road :--

Being Portion of Part Allotment 6, Mangawai Parish; coloured 4. R. P. 2 0 39

art Allotment 17, Mangawai Parish; coloured yellow. 0 0 22 Part

# SECOND SCHEDULE.

# ROAD CLOSED.

APPROXIMATE area of the piece of road closed: 2 acres 0 roods 30 perches.

Mangawai Parish; coloured green.

All situated in Block II, Mangawai Survey District (Auckland R.D.). (S.O. 29073.)

All in the North Auckland Land District; as the same are more particularly delineated on the plan marked P.W.D. 102747, deposited in the office of the Minister of Public Works at Wellington, and thereon coloured as above

Given under the hand of His Excellency the Governor-General of the Dominion of New Zealand, and issued under the Seal of that Dominion, this 6th day of October, 1939.

R. SEMPLE, Minister of Public Works.

GOD SAVE THE KING!

(P.W. 33/239/1.)

Land taken for Waterworks Purposes in the City of Wellington.

## GALWAY, Governor-General. [1.8.]

# A PROCLAMATION.

IN pursuance and exercise of the powers and authorities vested in me by the Public Works Act, 1928, and of every other power and authority in anywise enabling me in this behalf, I, George Vere Arundell, Viscount Galway, Governor-General of the Dominion of New Zealand, do hereby proclaim and declare that the land described in the Schedule hereto is hereby taken for waterworks purposes and shall vest in the Mayor, Councillors, and Citizens of the City of Wellington as from the date hereinafter mentioned; and i do also declare that this Proclamation shall take effect on and after the sixteenth day of October, one thousand nine hundred and thirty-nine.

# SCHEDULE.

APPROXIMATE areas of the pieces of land taken:

Being Portion of

0 0 0 96 Lot 69, D.P. 1301, being part Section 1.

3 0 3 96 Lot 70, D.P. 1301, being part Section 1.

Estimated in Block VII, Port Nicholson Survey District City of Wellington) (Evans Bay R.D.). (S.O. 20153.)

District Survey District (S.O. 20153.)

Color Wellington Land District; as the same are more Cartfularly delineated on the plan marked P.W.D. 103734, Septement of Public Works at Wellington, and thereon coloured rod.

Gyen under the hand of His Excellency the Governor-Cheneral of the Dominion of New Zealand, and issued Spinder the Seal of that Dominion, this 6th day of Dotober, 1939.

R. SEMPLE, Minister of Public Works.

GOD SAVE THE KING!

W. 50/857.)

ರ

B

Land taken for the Purposes of a Native School in Block IX, Whangaroa Survey District.

## GALWAY, Governor-General. [L.B.] A PROCLAMATION.

In pursuance and exercise of the powers and authorities vested in me by the Public Works Act, 1928, and of every other power and authority in anywise enabling me in this behalf. I, George Vere Arundell, Viscount Galway, Governor-General of the Dominion of New Zesland, do hereby proclaim and doclare that the land described in the Schedule hereto is hereby taken for the purposes of a Native school; and I do also declare that this Proclamation shall take effect on and after the aixteenth day of October, one thousand nine bundred and thirty-nine.

# SCHEDULE.

APPROXIMATE areas of the pieces of land taken :-

A. B. P. Being Portion of
1 3 36 Wainui 27 No. 4 Block; coloured yellow.
2 0 20 Wainui 2c No. 38 Block; coloured red.

Situated in Block IX, Whangaroa Survey District (Auckland R.D.). (S.O. 30057.)

In the North Auckland Land District; as the same are more particularly delineated on the plan marked P.W.D. 102540, deposited in the office of the Minister of Public Works at Wellington, and thereon coloured as above mentioned.

Given under the hand of His Excellency the Governor-General of the Dominion of New Zealand, and issued under the Scal of that Dominion, this 6th day of October, 1939.

R. SEMPLE, Minister of Public Works.

GOD SAVE THE KING!

(P.W. 31/852/1.)

Land taken for the Purposes of a Road in Block III, Paekakariki Survey District.

## [.8.] GALWAY, Governor-General. A PROCLAMATION.

N pursuance and exercise of the powers and authorities vested in me by the Public Works Act, 1928, and of every other power and authority in anywise enabling me in this behalf, I, George Vere Arundell, Viscount Galway, Governor-General of the Dominion of New Zealand, do heroby proclaim and declare that the land described in the Schedule hereto is hereby taken for the purposes of a road; and I do also declare that this Proclamation shall take effect on and offer the pittenth large of October was thousand significant. after the sixteenth day of October, one thousand nine bundred and thirty-nine.

# SCHEDULE

APPROXIMATE areas of the pieces of land taken :-

- A. B. P. Being 2 1 8 Packakariki No. 2s No. 1 Block; coloured
- blue.
  5 2 35 Part Packakariki No. 2B No. 2 Block; coloured red.

Situated in Block III, Packskariki Survey District. (8.0, 20383.)

In the Wellington Land District; as the same are more particularly delineated on the plan marked P.W.D. 105388, deposited in the office of the Minister of Public Works at Wellington, and thereon coloured as above mentioned.

Given under the hand of His Excellency the Governor-General of the Dominion of New Zealand, and issued under the Seal of that Dominion, this 9th day of October, 1939.

W. LEE MARTIN.
For the Minister of Public Works.

GOD SAVE THE KING!

(P.W. 41/187/1.)



# **MEMORANDUM** TAITOKERAU DISTRICT

Date:

9 July 2009

From:

**Sharlene Cribb** 

To:

Land Information New Zealand

Private Bag 3028

Hamilton

Attention: Arthur Rickit

Subject:

Wainui 2C3B (North Auckland Land Registry)

LINZ Title Reference: Nil

Parcel ID:

5009146

File Reference: E20080007103

Registration Request: Wainui 2C3B

# Attached are the following orders for registration:

No.	Order	Court Order Ref. And Date.
1.	Order for New Certificate of Title	
2.	Revesting Land Acquired for Public Purpose	10 KT 138-141 dated 7/02/1977
3.	Gazette Notice	9 TNTOK 995 dated 11 August 1977
4.	Vesting Land in Trustees	10 KT 138-141 dated 7/02/1977 and 11 KT 117 dated 30/04/1979
5.	Order Declaring Land Mäori Freehold Land	61 WH 147 dated 6 December 1984
6.	Order Laying out a roadway	14 KT 288 dated 3 November 1986

# **SUPPORTING ORDERS/PLANS:**

No.	Order	Court Order Ref.
}		And Date.
7.	Gazette Notice taken land for Native School	NZG No 125 pg 2672 dated
_		6 October 1939

# DETERMINATION OF STATUS OF LAND

The Maori Affairs Act 1953 Section 30(1)(i)

IN THE MAORI LAND COURT
OF NEW ZEALAND
TOKERAU DISTRICT



IN THE MATTER of the land known as

PART WAINUI 203B

AT A SITTING of the Court held at Whangarei on the 6 day of December 1984 before Heta Kenneth Hingston, Esquire, Judge.

WHEREAS upon hearing evidence adduced in support of an application to determine the status of land and being satisfied on all matters on which it is by law required to be satisfied this Court DOTH HEREBY ORDER pursuant to the provisions of Section 30(1)(i) of the Maori Affairs Act 1953, that the land known as

PART WAINUI 203B

be and is hereby determined to be Maori freehold land.

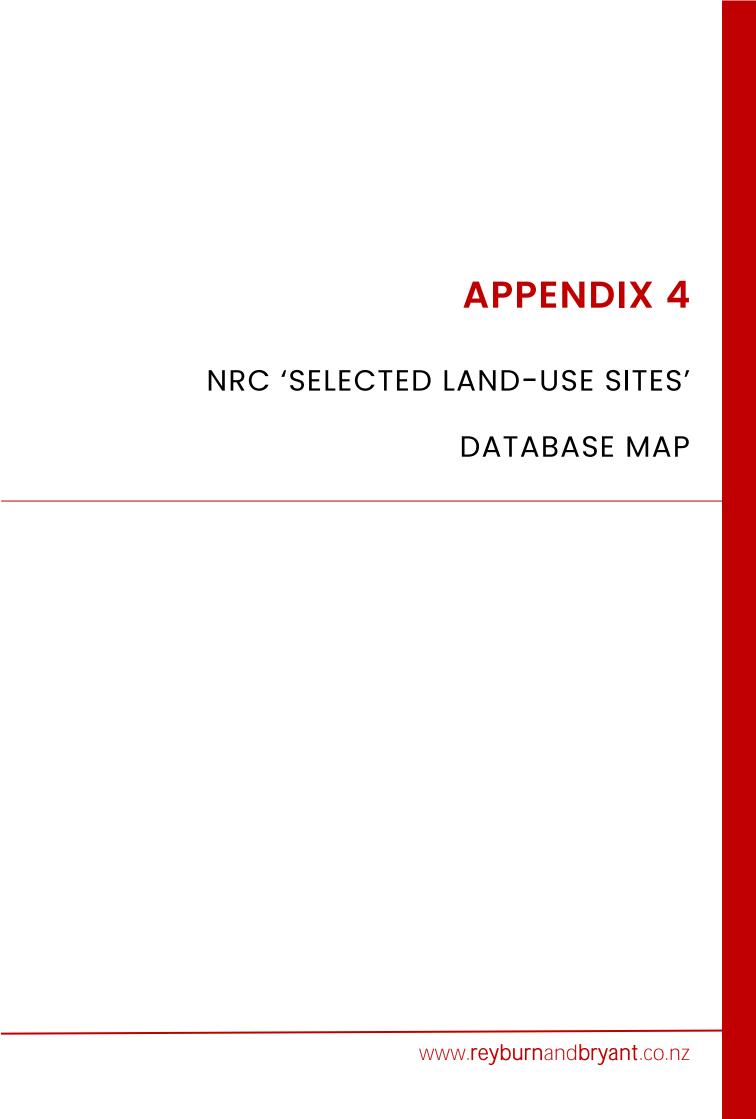
AS WITNESS the hand of the Judge and the seal of the Court.

Judge.

Duplicate issued pursuant to Rule 67 of the Waori Land Court Rules 1994 for registration purposes.

Certified a correct copy.









Northland Regional Council Selected Land-use Register

Crown Copyright Reserved
Projection NZTM. Datum NZTM2000.
DISCI AIMER:

DISCLAIMER:
The Northland Regional Council cannot guarantee that the information shown is accurate and should not be roused in any manner without proper consultation with its owner.

0.010.03 0.05 0.08 0.1 0.13