

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with?

2. Type of consent being applied for

(more than one circle can be ticked):

- Land Use
- Discharge
- Fast Track Land Use*
- Change of Consent Notice (s.221(3))
- Subdivision
- Extension of time (s.125)
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tuhonosupport@fndc.govt.nz

5. Applicant details

Name/s:	Chris Cresswell
Email:	
Phone number:	
Postal address:	(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? Yes No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:	Chris Cresswell
Email:	
Phone number:	
Postal address:	(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:	Maxwell Holdings Limited
Property address/ location:	Darch Point Road R.D.4 Whangarei
	Postcode _____

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent Enter BC ref # here (if known)

Regional Council Consent (ref # if known) Ref # here (if known)

National Environmental Standard Consent Consent here (if known)

Other (please specify) Specify 'other' here

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

CMCC Limited

Email:

Phone number:

Postal address:
(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Chris Cresswell

Signature:

(signature of bill payer)

Date 20/01/2026

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Chris Cresswell

Signature

Date 20/01/2026

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



Planning Department
Far North District Council
Private Bag 752, Kaikohe 0440

Re: Resource Consent Application – Noise Mitigation for Residential Activities
24 Kings Road, Paihia

To whom it may concern:

Please find enclosed a resource consent application submitted in response to the PIM associated with Building Consent EBC-2025-1033/0,

The application seeks consent for breach of Rule 7.7.5.1.5 (Noise Mitigation for Residential Activities) arising from the creation of four residential units at 24 Kings Road, Paihia within the Commercial / Sub Zone Paihia Commercial Zone: A3.

An acoustic design report prepared by Marshall Day Acoustics Limited (Report No. Rp 001 20250718, dated 30 September 2025) is enclosed. The report confirms that the proposal will comply with the District Plan noise attenuation standards subject to implementation of the recommended construction upgrades.

All acoustic recommendations have been incorporated into the proposed building consent plans accompanying this application with confidence that the proposed development will achieve full compliance with the internal noise standards once constructed.

We trust the enclosed information is sufficient for assessment purposes. Please contact me directly should any further information be required.

Yours faithfully,

Chris Cresswell
Applicant – Project Manager
chris@countryandcoast.nz
0274254553
Country and Coast Construction

Assessment for Environmental Effects – Noise Mitigation for Residential Activities (Rule 7.7.5.1.5)

Site Address: 24A Kings Road, Paihia 0200

Property ID: 3357626

Legal Description: Lot 4 DP 36692

Building Consent: EBC-2025-1033/0

Zone: Commercial / Sub Zone Paihia Commercial Zone: A3

Owner: Maxwell Holdings Limited

Applicant: Chris Cresswell – Project Manager

1. Background

The property comprises two single-story buildings on a flat site: one building is situated at the front of the site and one located at the rear.

- The **front building** was previously utilised as a commercial restaurant and an ancillary residential flat.
- The **rear building** served as communal facilities (common room and bathrooms) for the neighbouring backpacker accommodation.

Both businesses have ceased or moved operations, a situation understood to be a consequence of the economic pressures associated with the COVID-19 pandemic on the local Paihia community. As a direct result, both structures have remained largely unoccupied for the past 24 months.

2. Proposal

The proposal involves the renovation and conversion of two existing buildings on the site to create four residential units. The rear building will be converted into two self-contained residential units, and the front building will also be converted into two self-contained residential units. No increase in building footprint or height is proposed.

3. District Plan Rule Breach

Resource consent is required for breach of Rule 7.7.5.1.5 – Noise Mitigation for Residential Activities, as the site is zoned Commercial / Sub Zone Paihia Commercial Zone: A3 and the proposal introduces new residential accommodation.

No other rule breaches proposed.

4. Acoustic Assessment and Mitigation

An acoustic design report titled “Noise Insulation Certificate – 24A Kings Road, Paihia” (Report No. Rp 001 20250718, prepared by Marshall Day Acoustics Limited and dated 30 September 2025) has been prepared by a suitably qualified and experienced acoustic consultant and is submitted with this application.

The report assesses the proposal against Rule 7.7.5.1.5 of the Far North District Plan and confirms that, subject to the implementation of the recommended construction upgrades, the development will achieve the required minimum noise attenuation of:

- Not less than 20 dB between any boundary and living rooms; and
- Not less than 30 dB between any boundary and rooms used for sleeping.

The report identifies specific building fabric upgrades including glazing, doors, wall linings, ceiling linings, sealing of building elements, and the provision of forced ventilation or air-conditioning where required. All recommended measures have been incorporated into the amended consent plans submitted with this application.

5. Assessment of Effects

(a) Effects on Residential Amenity

The acoustic report confirms that, with the proposed modifications, the residential units will achieve the required internal noise levels, ensuring a reasonable level of internal amenity for future occupants consistent with expectations for mixed-use environments.

(b) Effects on Commercial Activities

The proposal ensures that future occupants of the residential units will not be adversely affected by lawful activities within the surrounding Commercial Zone, avoiding reverse sensitivity complaints.

(c) Positive Effects

- Enables the efficient reuse of existing buildings.
- Provides four additional residential units in a high-demand location in Paihia.
- Supports the vitality of the town centre by introducing a mix of uses.

(d) Mitigation Proposed

- The applicant has engaged a qualified acoustic consultant to assess the existing buildings and recommend mitigation measures.
- A building consent application is sought in relation to this Resource Consent
- The building consent plans include all recommended acoustic treatments to achieve compliance.
- Construction will be monitored to ensure the specified treatments are implemented.

(e) Precedent

Granting consent does not undermine the integrity of the Plan because the proposed activity is anticipated in the zone and full compliance with the internal noise standards will be achieved.

6. Objectives and Policies

The proposed development is consistent with the objectives and policies of the District Plan that seek to:

- Enable activities contributing to the everyday needs and well-being of the communities they serve.
- Enable residential activities in Commercial Zones while ensuring internal noise standards are maintained.
- Support the viability of town centres and make efficient use of urban land and infrastructure.
- Minimising the adverse effects on communities of under-utilised buildings and infrastructure.

7. Consultation

No other parties are considered to be adversely affected beyond the future occupants (who benefit from the mitigation proposed). No formal consultation has been undertaken.

8. National Environmental Standards

The proposal does not trigger any National Environmental Standards.

9. Conclusion

The acoustic report demonstrates that compliance with Rule 7.7.5.1.5 will be achieved through the proposed construction methodology. With all mitigation measures incorporated into the associated building consent drawings, the proposal is consistent with the objectives and policies of the Far North District Plan and is appropriate for approval.

Resource Consent Application – Noise Mitigation for Residential Activities (Rule 7.7.5.1.5)

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Property ID: 3357626

Legal Description: Lot 4 DP 36692

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**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **NA985/179**

Land Registration District **North Auckland**

Date Issued 13 December 1950

Prior References

NA347/196 NA439/204

Estate Fee Simple

Area 809 square metres more or less

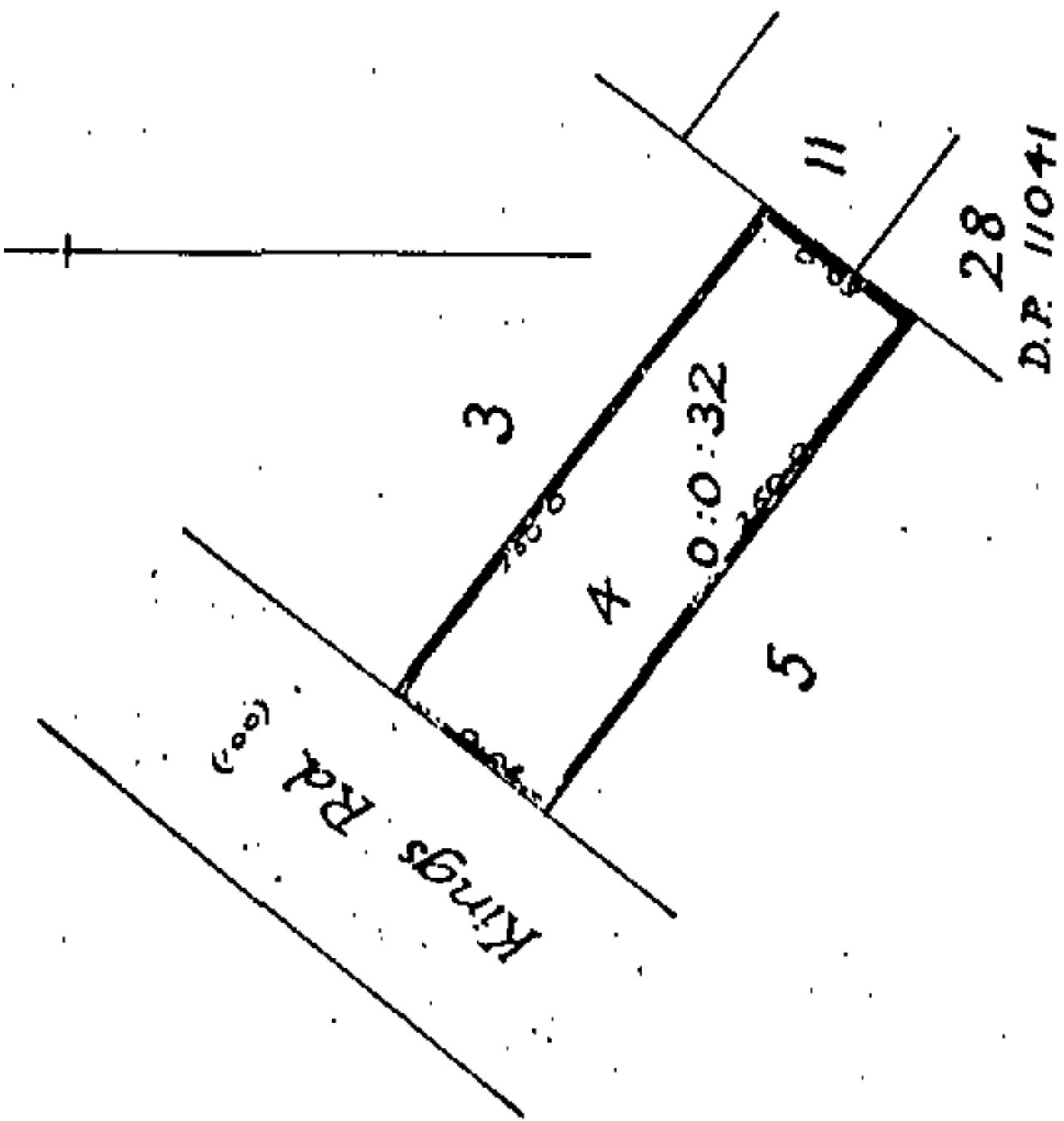
Legal Description Lot 4 Deposited Plan 36692

Registered Owners

Maxwell Holdings Limited

Interests

11427372.2 Mortgage to Bank of New Zealand - 7.5.2019 at 1:05 pm



Project Name:

Building Alterations

Address:

24 Kings Road, Paihia

Client:

C Cresswell

Index:

- 01 Location & Site Plans
- 02 Existing Ground Floor Plan 1
- 03 Existing Ground Floor Plan 2
- 04 Proposed Site Plan
- 05 Proposed Ground Floor Plan 1
- 06 Proposed Ground Floor Plan 2
- 07 Proposed Plumbing Plan
- 08 Proposed Elevations
- 09 Fire Wall Details
- 10 Fire Wall Details 2
- 11 New Window Joinery in Extg Concrete Block Opening
- 12 New Door Joinery in Brick Veneer Opening
- 13 New Window Joinery In Plywood Cladding
- 14 Bathroom & Roof Penetration Details
- 15 Verandah Details
- 16 Miscellaneous Details

DESIGN CRITERIA:

Exposure zone: D
Wind zone: H
Earthquake zone: 1
Climate zone: 1
Rainfall range: 90 - 100mm

LEGAL DESCRIPTION:

Address: 24 Kings Road, Paihia, Northland 0200
Legal Description.: Lot 4, DP 36692
Site area: 808.56 m²
Current zoning: commercial

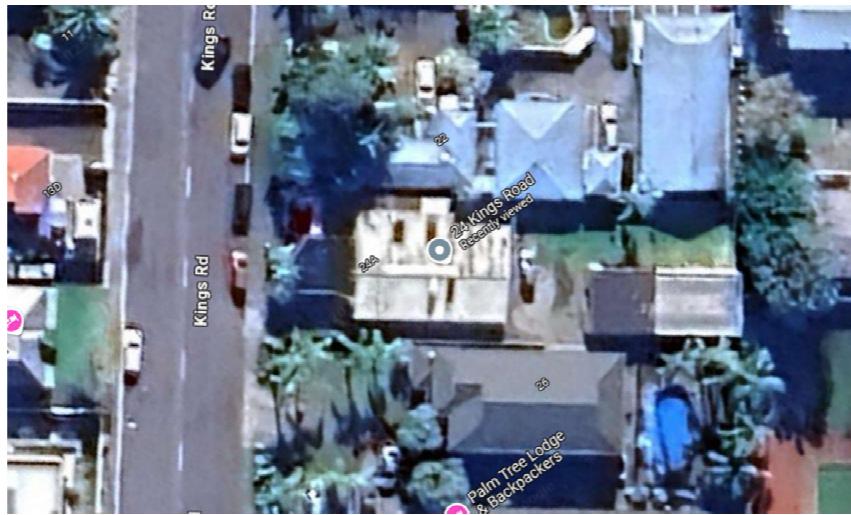
Issue: Building Consent

January 2025

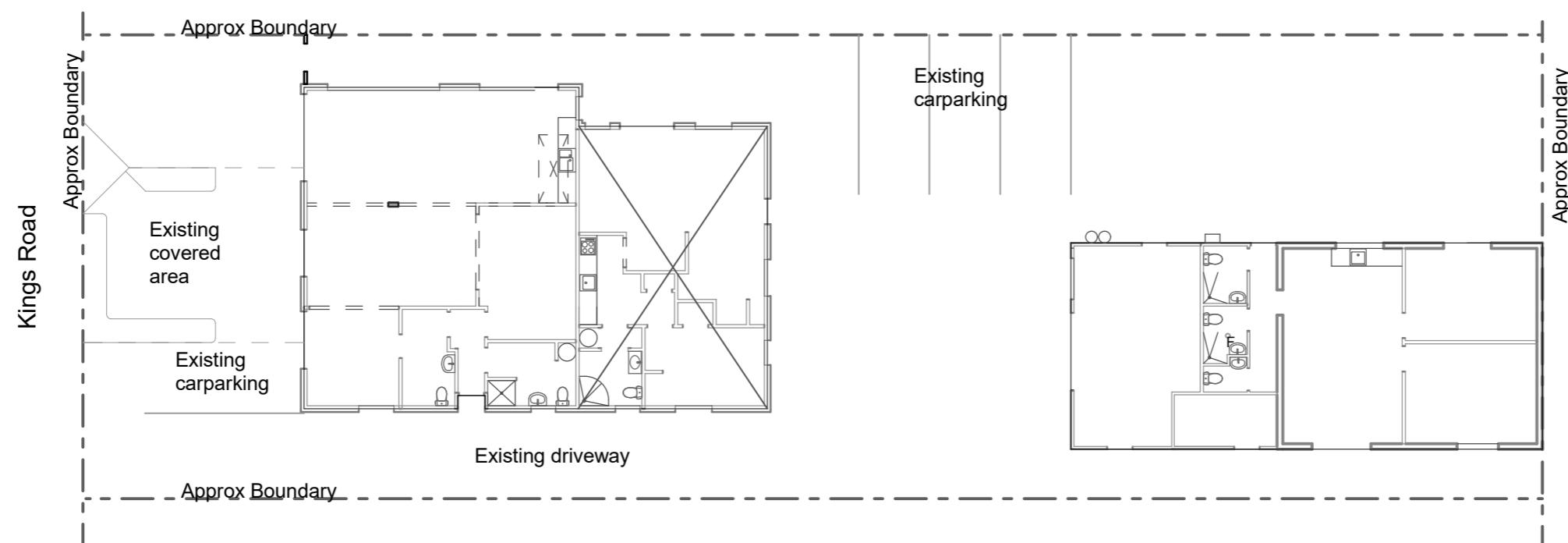
CS Plan Solutions Ltd

Phone 021 1082715

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26



Location Plan



1:200

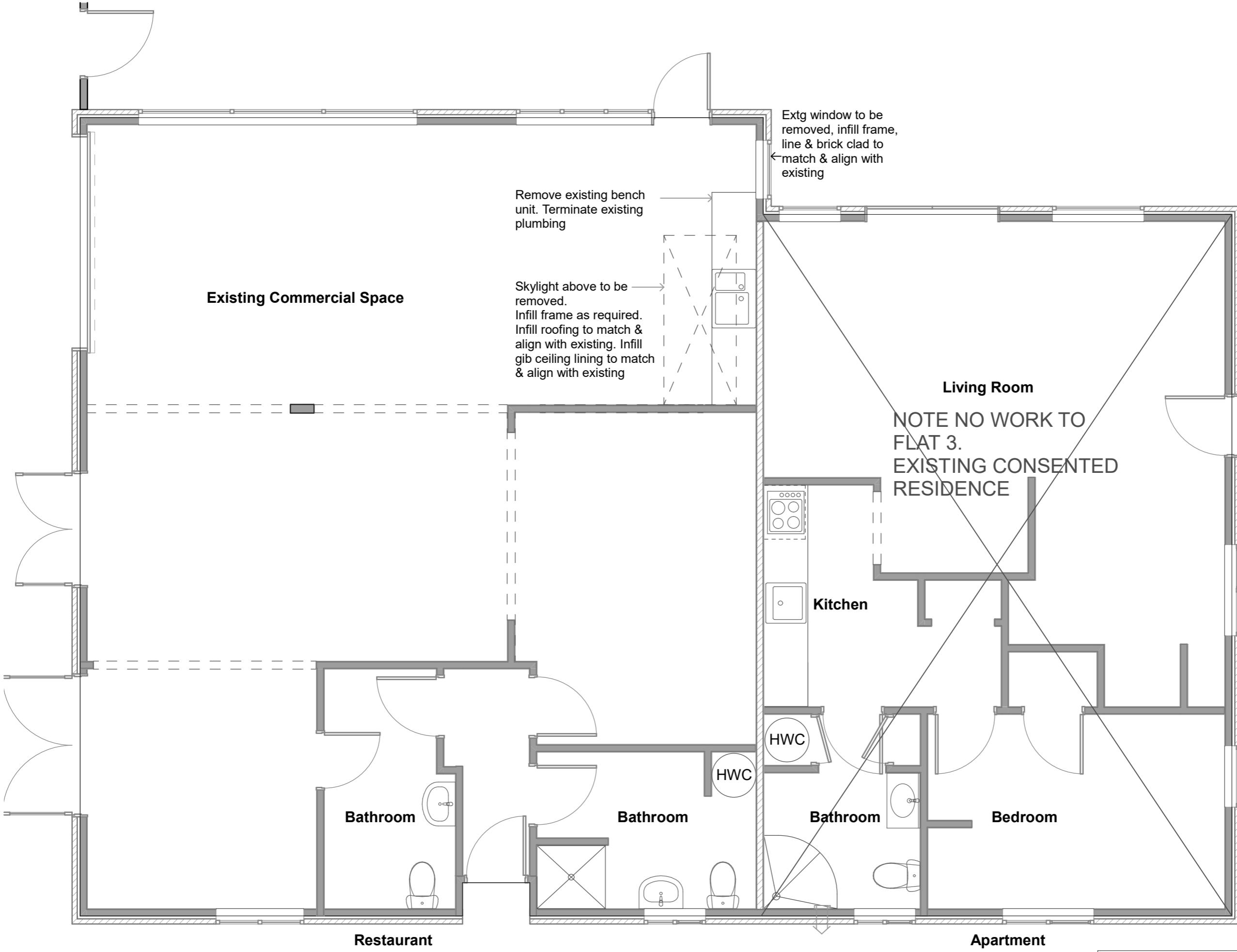
Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

Scale @ A3: 1:200
Date: May 2025 Project No: 055-25 Drawing No: 01 Revision: F

CS Plan Solutions Ltd
Phone 021 1082715
Client:
C Cresswell
Project Name:
Building Alterations
24 Kings Road, Paihia
Drawing Name:
Location & Site Plans
Scale @ A3: 1:200
Date: May 2025 Project No: 055-25 Drawing No: 01 Revision: F

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
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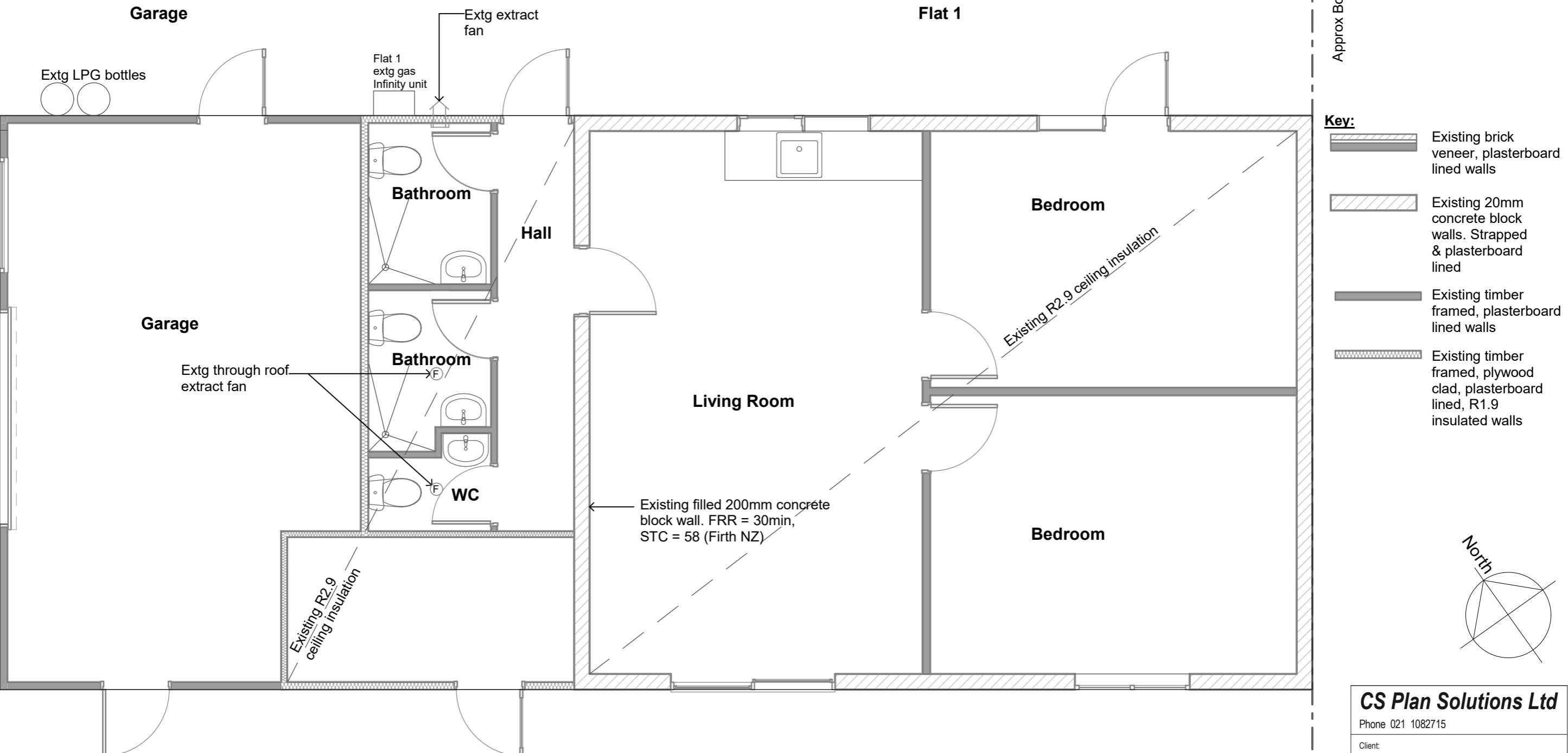
Key:	
	Existing brick veneer, plasterbd lined walls
	Existing 20mm concrete block walls. Strapped & plasterboard lined
	Existing plasterbd brick intertencany wall
	Existing timber framed, plasterbd lined walls
	Existing timber framed,plywood clad, plasterbd lined, R1.9 insulated walls



CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Existing Ground Floor Plan 1
Scale @ A3: 1:50
Date: May 2025 Project No: 055-25 Drawing No: 02 Revision: F

Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
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CS Plan Solutions Ltd

Phone 021 1082715

Client:
C Cresswell

Project Name:
Building Alterations
24 Kings Road, Paihia

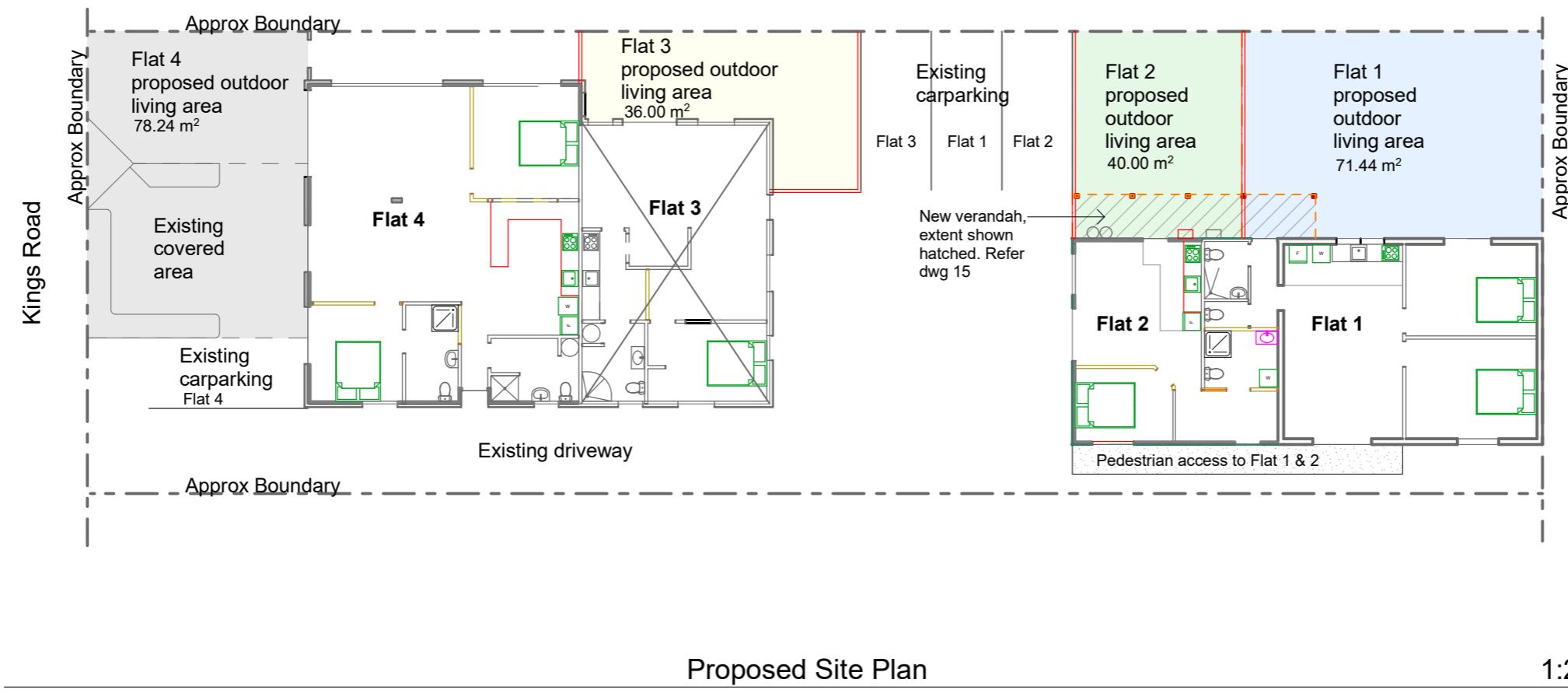
Drawing Name:
Existing Ground Floor Plan 2

Scale @ A3: **1:50**

Date: May 2025	Project No: 055-25	Drawing No: 03	Revision: F
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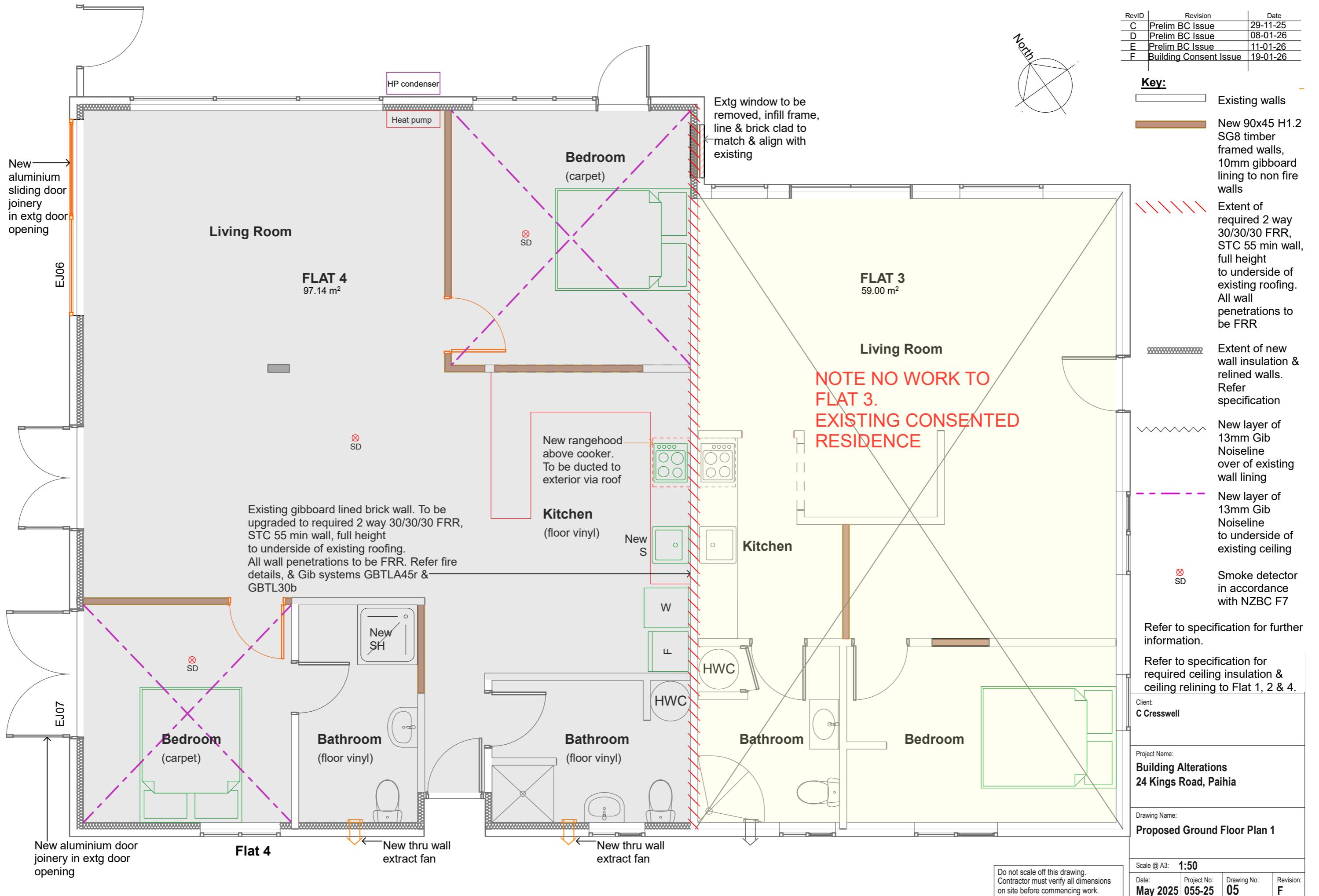
Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26



Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Proposed Site Plan
Scale @ A3: 1:200
Date: May 2025 Project No: 055-25 Drawing No: 04 Revision: F



RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
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Key:

Existing walls

New 90x45 H1.2
SG8 timber
framed walls,
10mm gibboard
lining to non fire
walls

Extent of required 2 way 30/30/30 FRR, STC 55 min wall, full height to underside of existing roofing. All wall penetrations to be FRR

Extent of new wall insulation & relined walls.
Refer specification

New layer of
13mm Gib
Noiseline
over of existing
wall lining

New layer of
13mm Gib
Noiseline
to underside of
existing ceiling

Smoke detector
in accordance
with NZBC E7

Refer to specification for further information.

Refer to specification for required ceiling insulation & ceiling relining to Flat 1, 2 & 4.

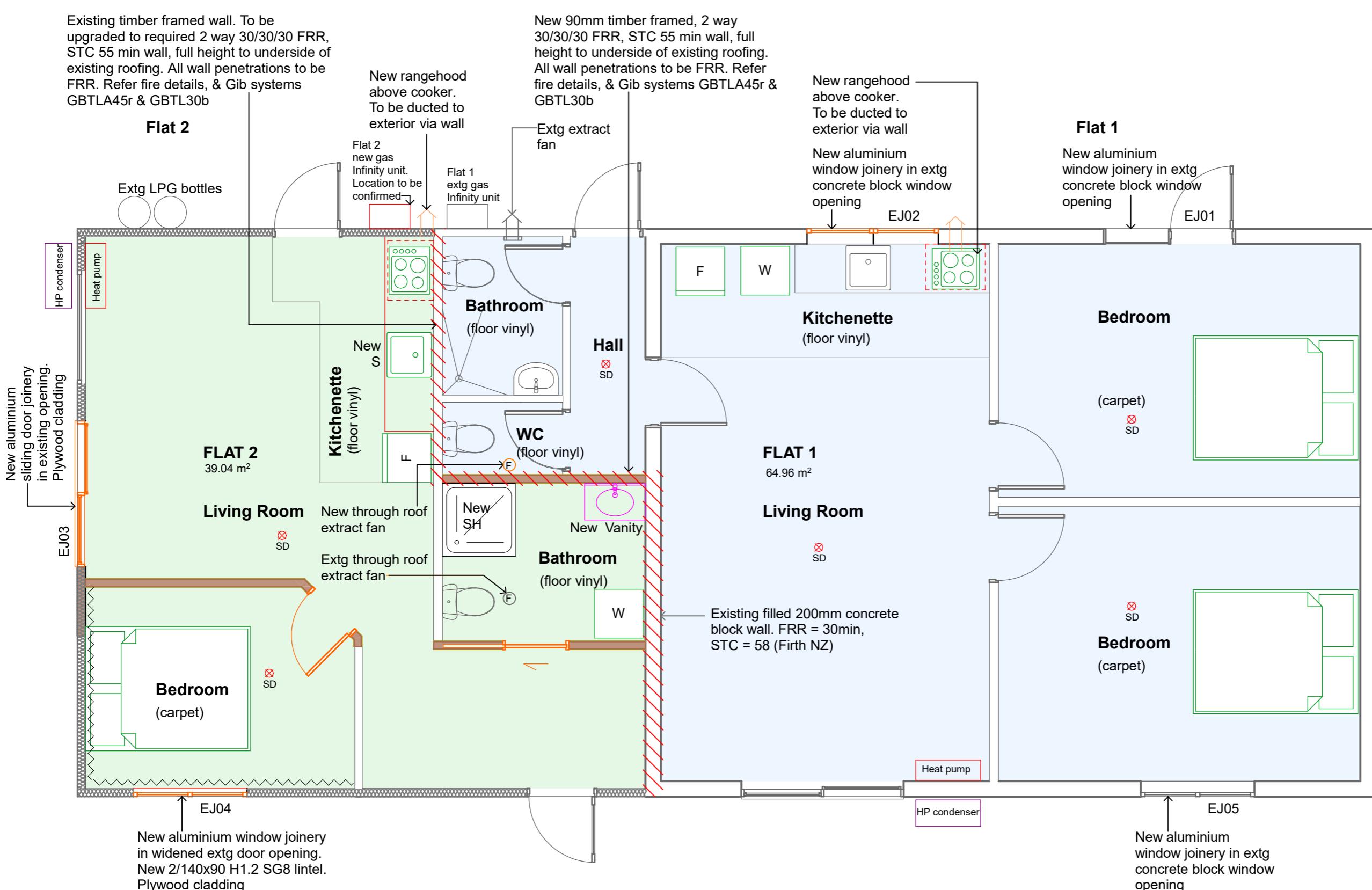
Client:

Project Name:
Building Alterations
24 Kings Road, Paihia

Drawing Name:

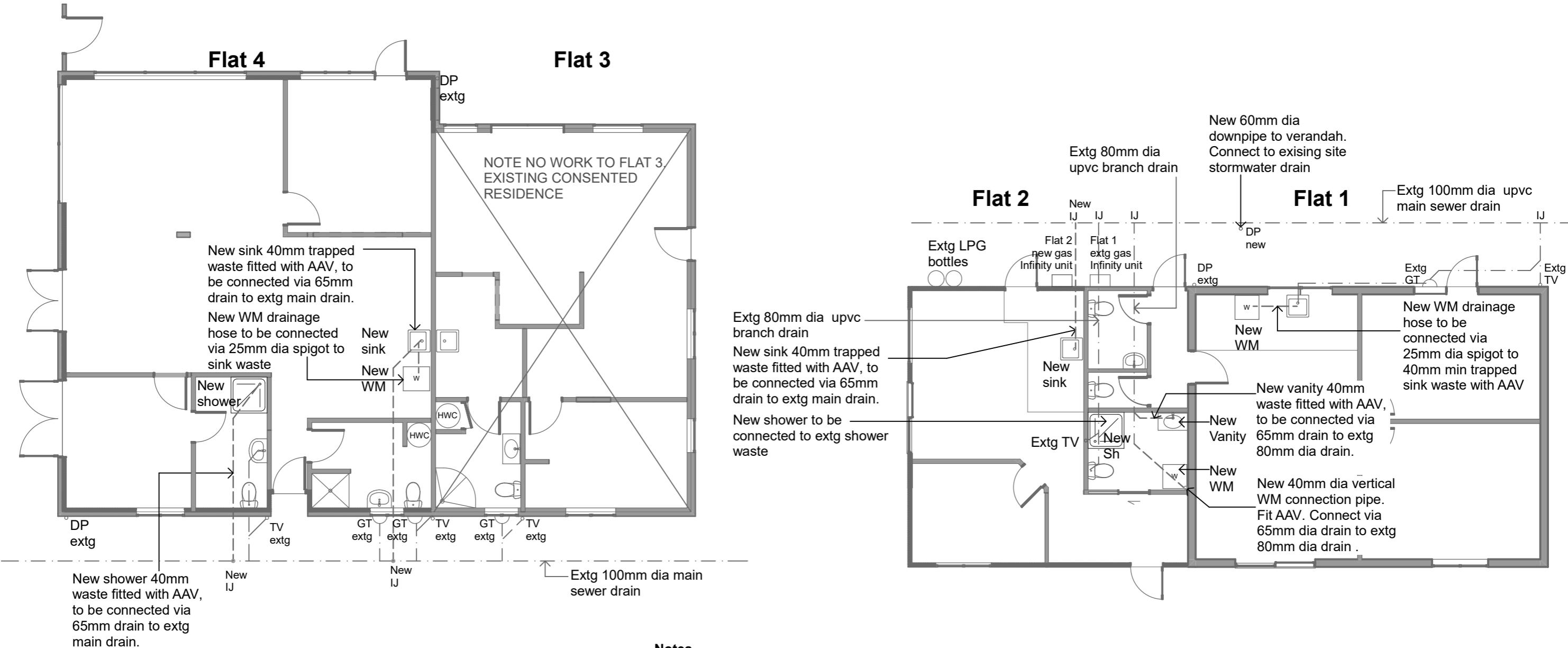
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Date: May 2025	Project No: 055-25	Drawing No: 06	Revision: F
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Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

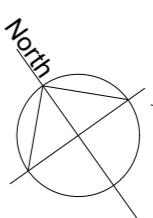
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Notes

1. Refer dwg 16 for formation of chases in existing concrete floor slab.

**REFER TO GIB FIRE RATED SYSTEMS
MANUAL (SEPT 2024) FOR THE REQUIRED
FIRE RATING DETAILS OF PENETRATIONS
THROUGH A FIRE WALL**



CS Plan Solutions Ltd

Phone 021 1082715

Client:
C Cresswell

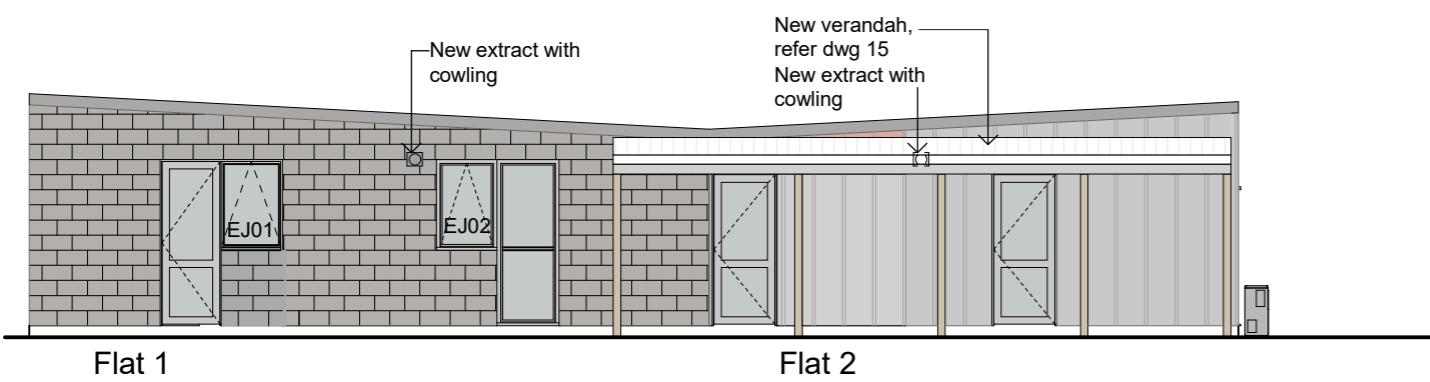
Project Name:
**Building Alterations
24 Kings Road, Paihia**

Drawing Name:
Proposed Plumbing Plan

Scale @ A3: **1:100**
Date: **May 2025** Project No: **055-25** Drawing No: **07** Revision: **F**

Do not scale off this drawing.
Contractor must verify all dimensions
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RevID	Revision	Date
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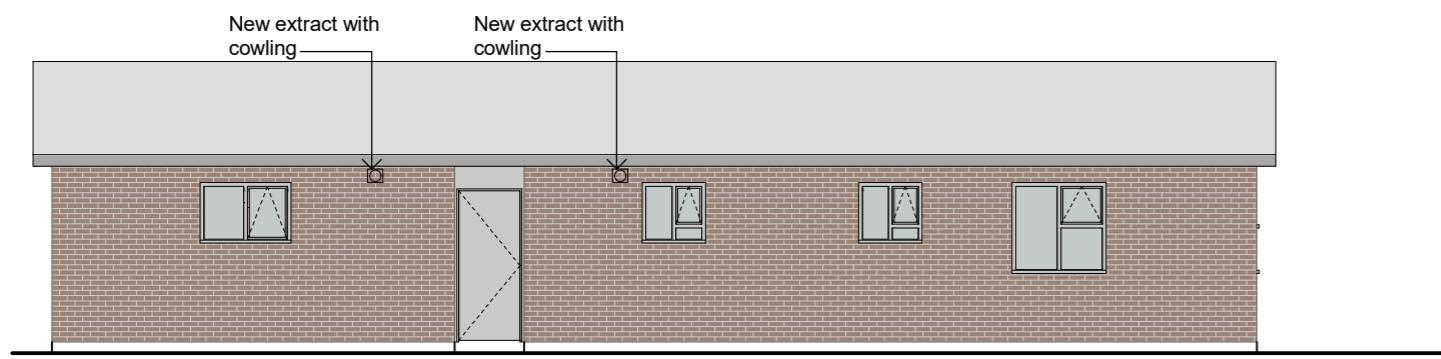
North Elevation

1:100



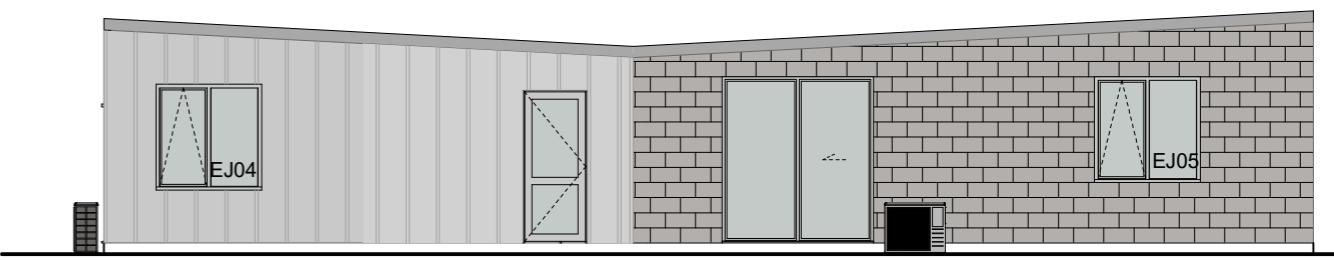
Flat 3

Flat 4



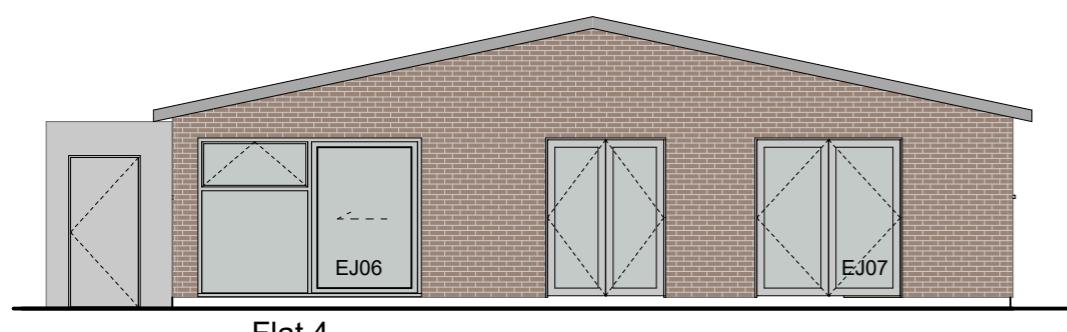
South Elevation

1:100



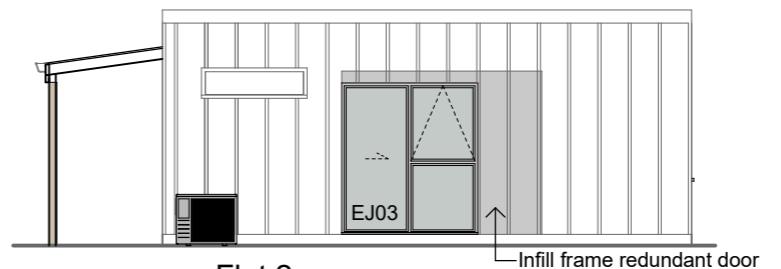
Flat 2

Flat 1



West Elevation 1

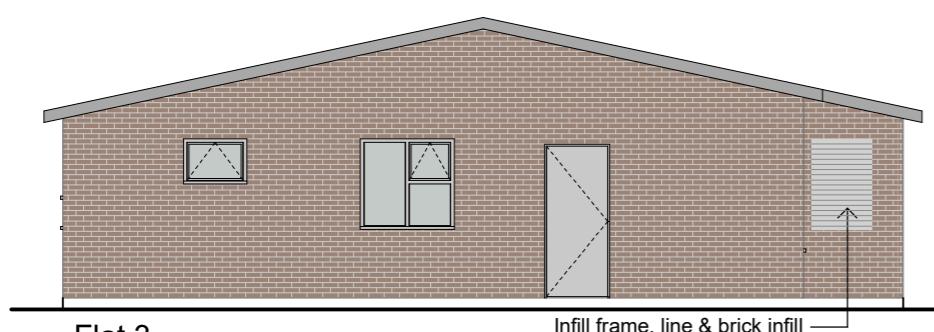
1:100



Flat 2

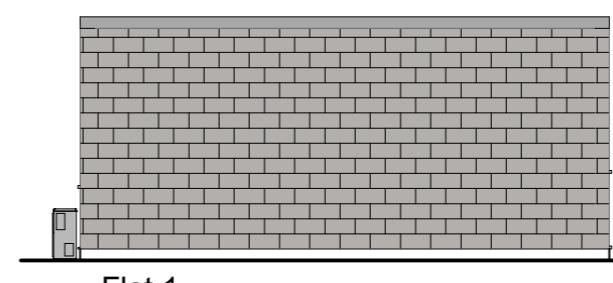
West Elevation 2

1:100



East Elevation 1

1:100



Flat 1

East Elevation 2

1:100

Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

CS Plan Solutions Ltd

Phone 021 1082715

Client:
C Cresswell

Project Name:
Building Alterations
24 Kings Road, Paihia

Drawing Name:
Proposed Elevations

Scale @ A3: **1:100**
Date: **May 2025** Project No: **055-25** Drawing No: **08** Revision: **F**



NOISE CONTROL SYSTEMS – INTERFENANCY

Two way FRR — timber frame wall — GIB Rail®

Specification number	Performance	Specifications
GBTLA 45r	STC 55 Rw 54 FRR 45/45/45	Lining 2 x 13mm GIB® Standard Plasterboard each side LB/NLB Load bearing Partition 155mm wide

FRAMING

Stud size	Space between frames
90mm	N/A

Framing to comply with:

- NZBC B1 — Structure: AS1 Clause 3 — Timber (NZS 3604) or VM1 Clause 6 — Timber (NZS 3603).
- NZBC B2 — Durability: AS1 Clause 3.2 — Timber (NZ 3602).
- Studs at 600mm centres maximum.
- Nogs at 1350mm centres maximum.

Height as determined by NZS 3604 stud and top plate tables for load-bearing walls.

SOUND CONTROL INFILL

Pink® Batts® R2.2 (90mm) glass wool insulation installed between the studs and nogs.

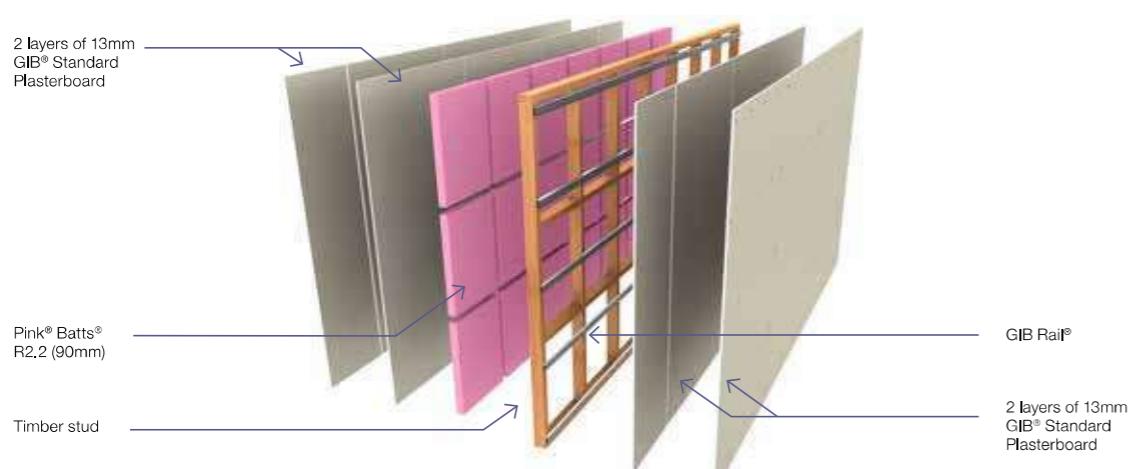
FASTENING THE GIB RAIL®

The rail shall be fixed horizontally at 600mm centres using 32mm x 8g GIB® Grabber® Wafer Head Self Tapping Screws through the base flange into each stud. The base flange shall point downwards and the open edge upwards. The top rail shall be fastened with its upper edge below the top plate but no more than 75mm below the ceiling line. The bottom rail 50mm from the floor line. The bottom rail only may be fixed with its base flange up or down for ease of attachment. Splice rails directly over the studs by nestling (not butting) with no more than a 20mm overlap. Drive the fastener through both flanges into the stud.

WALL LINING

2 layers of 13mm GIB® Standard Plasterboard fixed vertically each side of the frame.

Vertical joints of the outer layer are offset 600mm from those of the inner layer. Use full height sheets where possible. Sheet joints



FIRE RATED WALL SYSTEMS

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26

Specification number	Performance	Specifications
GBTL 30b	FRR 30/30/30 STC 35 Rw 35	Lining 1 layer 13mm GIB® Standard each side LB/NLB Loadbearing
GBTL 30c	FRR 30/30/30 STC 33 Rw 34	Lining 1 layer 10mm GIB® Standard each side LB/NLB Loadbearing Framing Minimum 90mm stud depth

FRAMING

Framing to comply with:

- NZBC B1 — Structure: AS1 Clause 3 — Timber (NZS 3604) or VM1 Clause 6 — Timber (NZS 3603)
- NZBC B2 — Durability: AS1 Clause 3.2 — Timber (NZS 3602)
- Studs at 600mm centres maximum
- Nogs at 1200mm centres maximum

WALL HEIGHTS AND FRAMING DIMENSIONS

Non-loadbearing — Framing dimensions and height as determined by NZS 3604 stud tables for non-loadbearing partitions.

Loadbearing — Framing dimensions and height as determined by NZS 3604 stud and top plate tables for loadbearing walls.

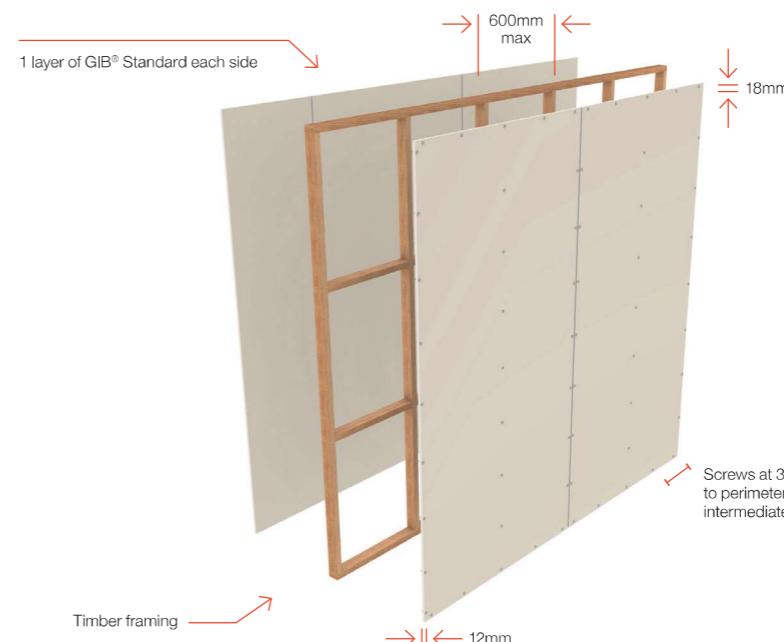
LINING

GBTL 30b — 1 layer of 13mm GIB® Standard each side of the frame.

GBTL 30c — 1 layer of 10mm GIB® Standard each side of the frame.

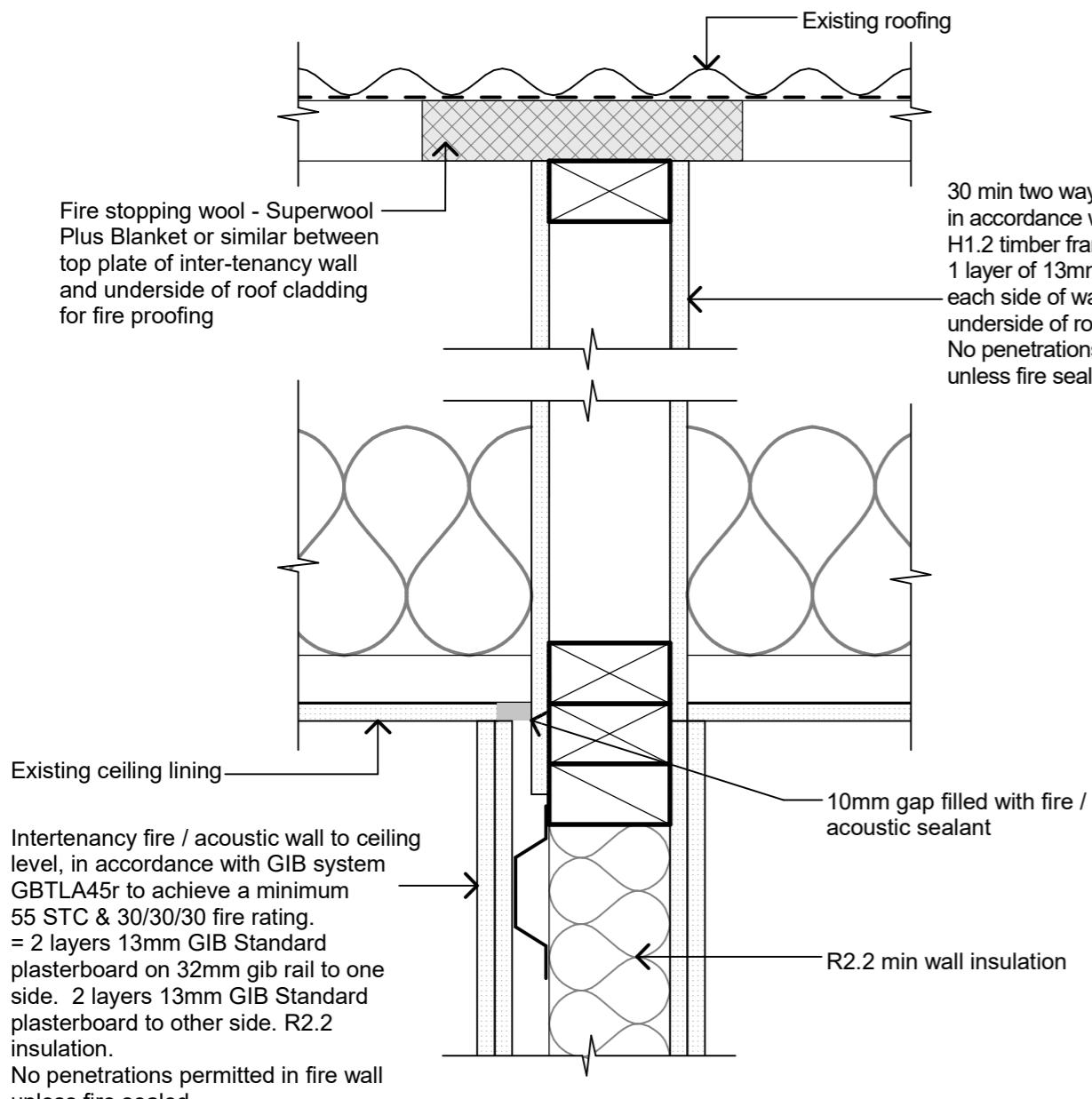
Vertical or horizontal fixing permitted. All sheet joints must be formed over solid timber framing. Sheets shall be touch fitted.

Vertical fixing — Stagger longitudinal sheet joints on opposite sides of the wall. When sheet end butt joints are unavoidable, they



CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Fire Wall Details
Scale @ A3:
Date: May 2025 Project No: 055-25 Drawing No: 09 Revision: F

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26



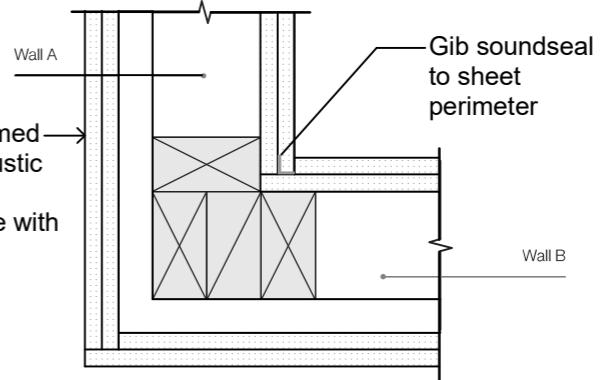
1

FIRE WALL ROOF JUNCTION DETAIL

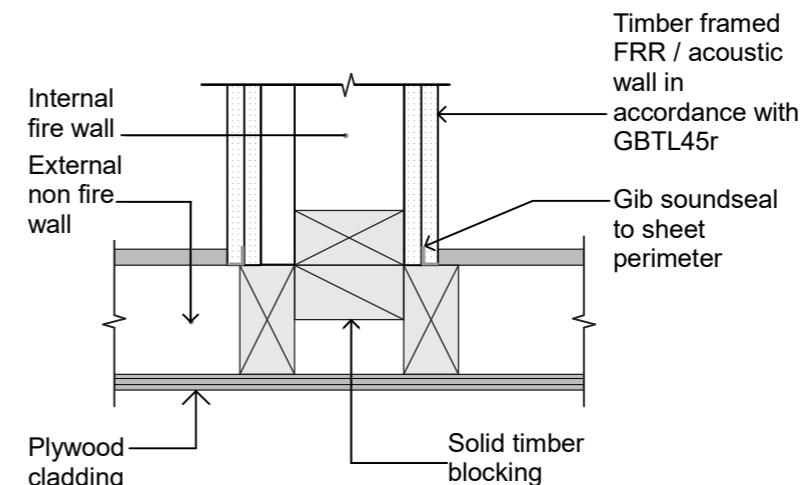
1:5

TIMBER FRAME (PLAN VIEW)

Walls A and B have equal FRR



2 FIRE WALL CORNER DETAIL



3 FIRE WALL JUNCTION DETAIL

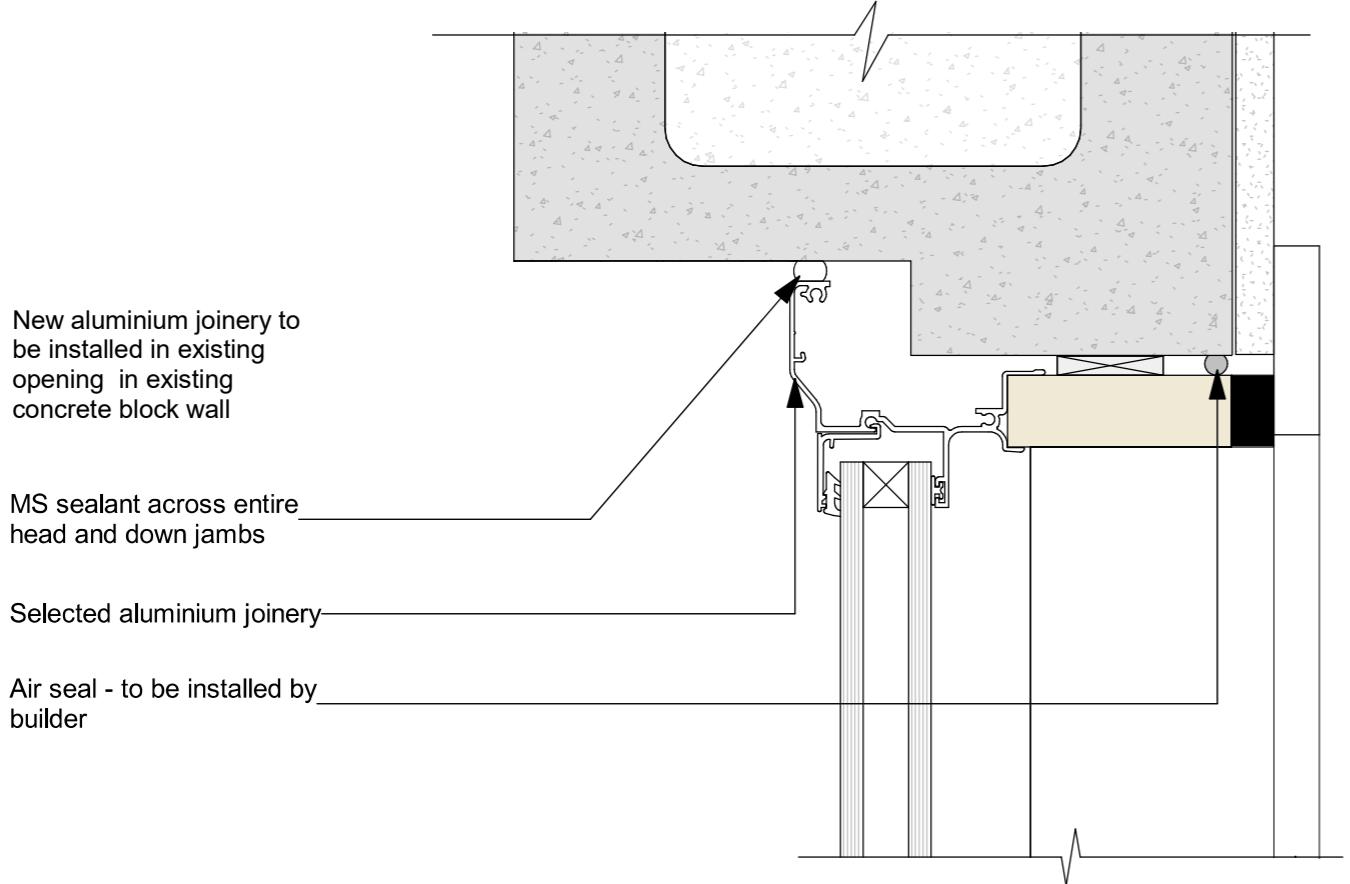
**REFER TO GIB FIRE RATED SYSTEMS
MANUAL (SEPT 2024) & GIB NOISE CONTROL
SYSTEMS MANUAL (SEPT 2027) FOR:
- INSTALLATION REQUIREMENTS
- DETAILS OF PENETRATIONS THROUGH A
FIRE / ACOUSTIC WALL.**

**Note - 13mm std gib maybe substituted by
13mm Aqualine gib in fire walls.**

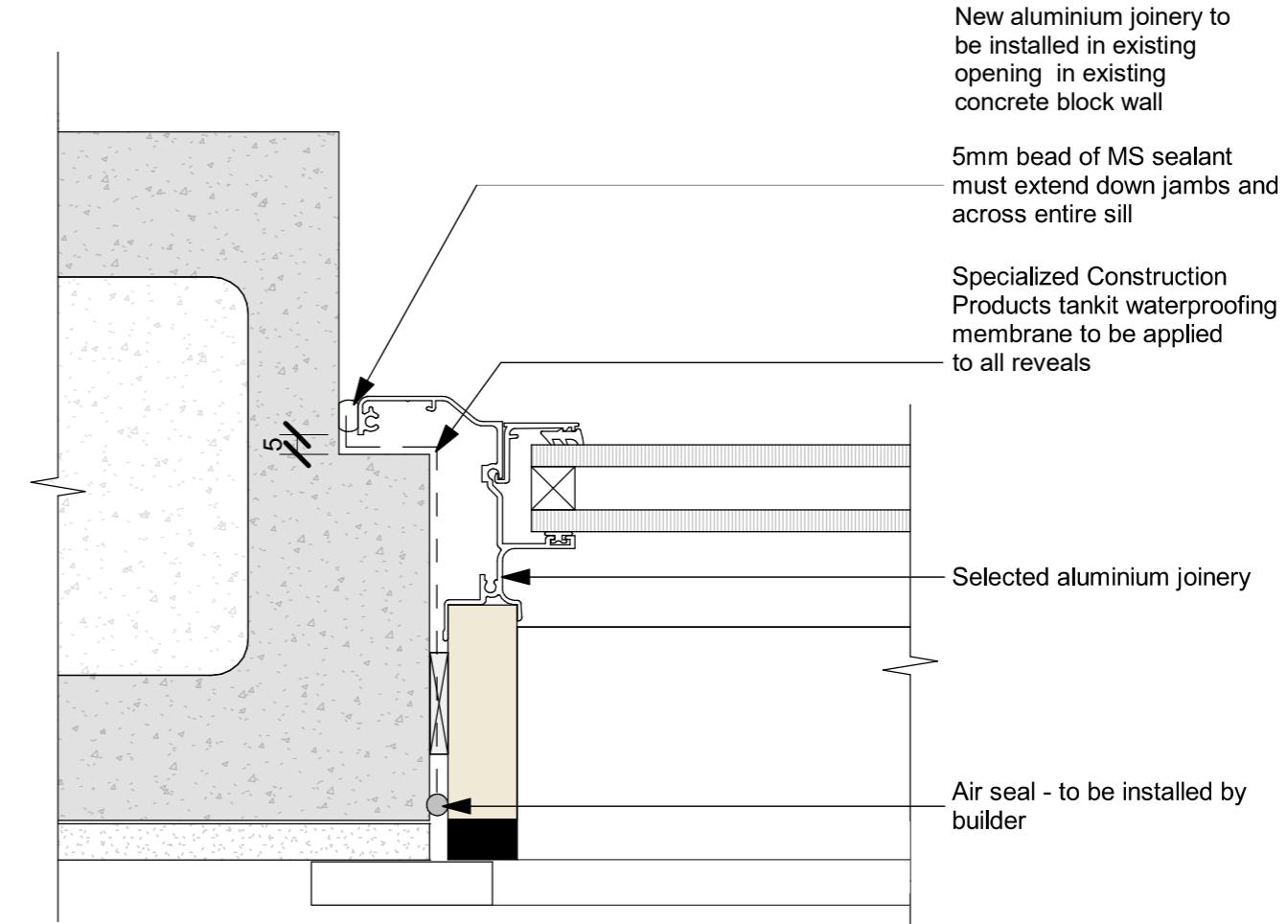
Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Fire Wall Details 2
Scale @ A3: 1:1, 1:5
Date: May 2025 Project No: 055-25 Drawing No: 10 Revision: F

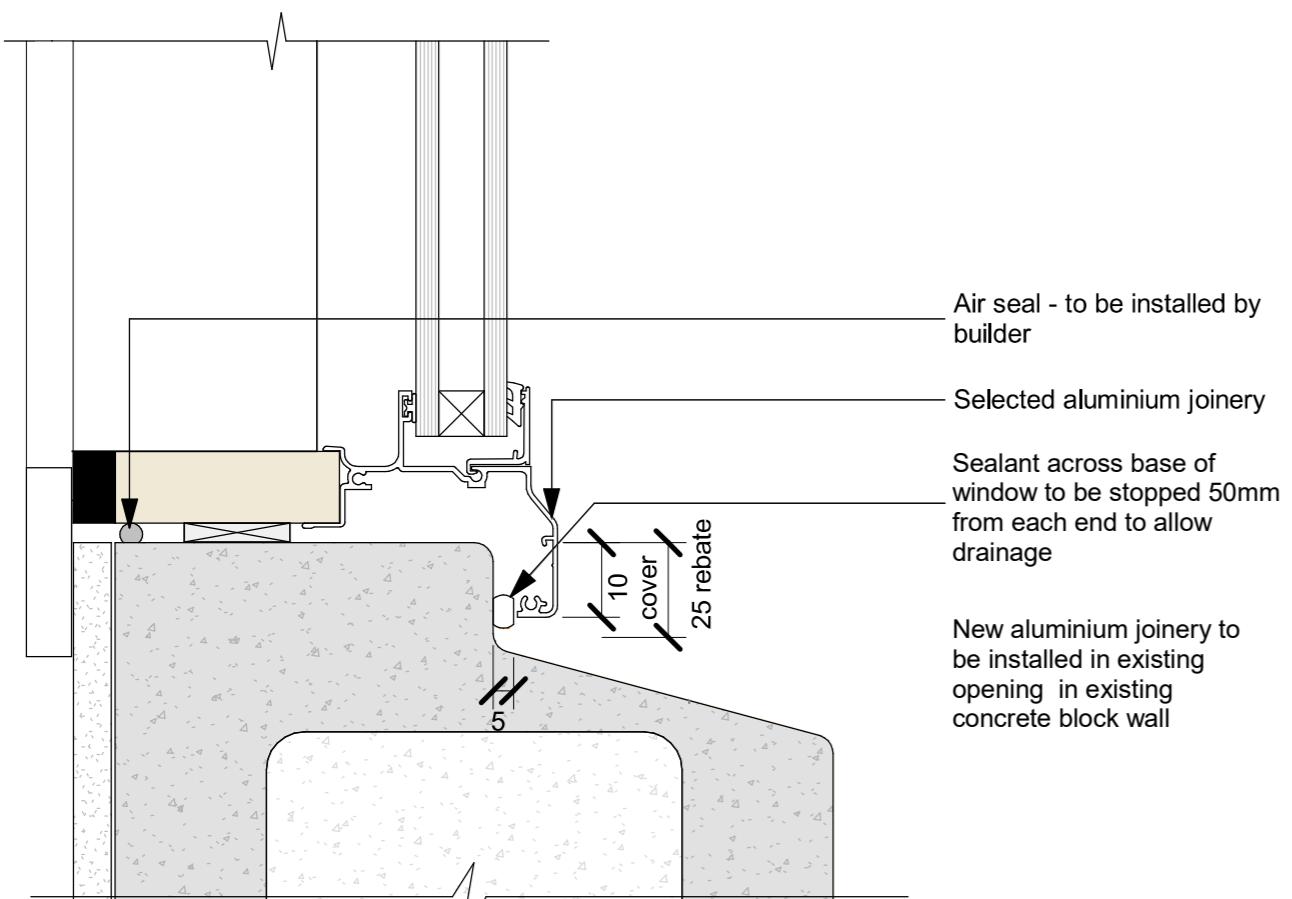
RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26



Head Detail



Jamb Detail



CS Plan Solutions Ltd

Phone 021 1082715

Client:
C Cresswell

Project Name:
Building Alterations
24 Kings Road, Paihia

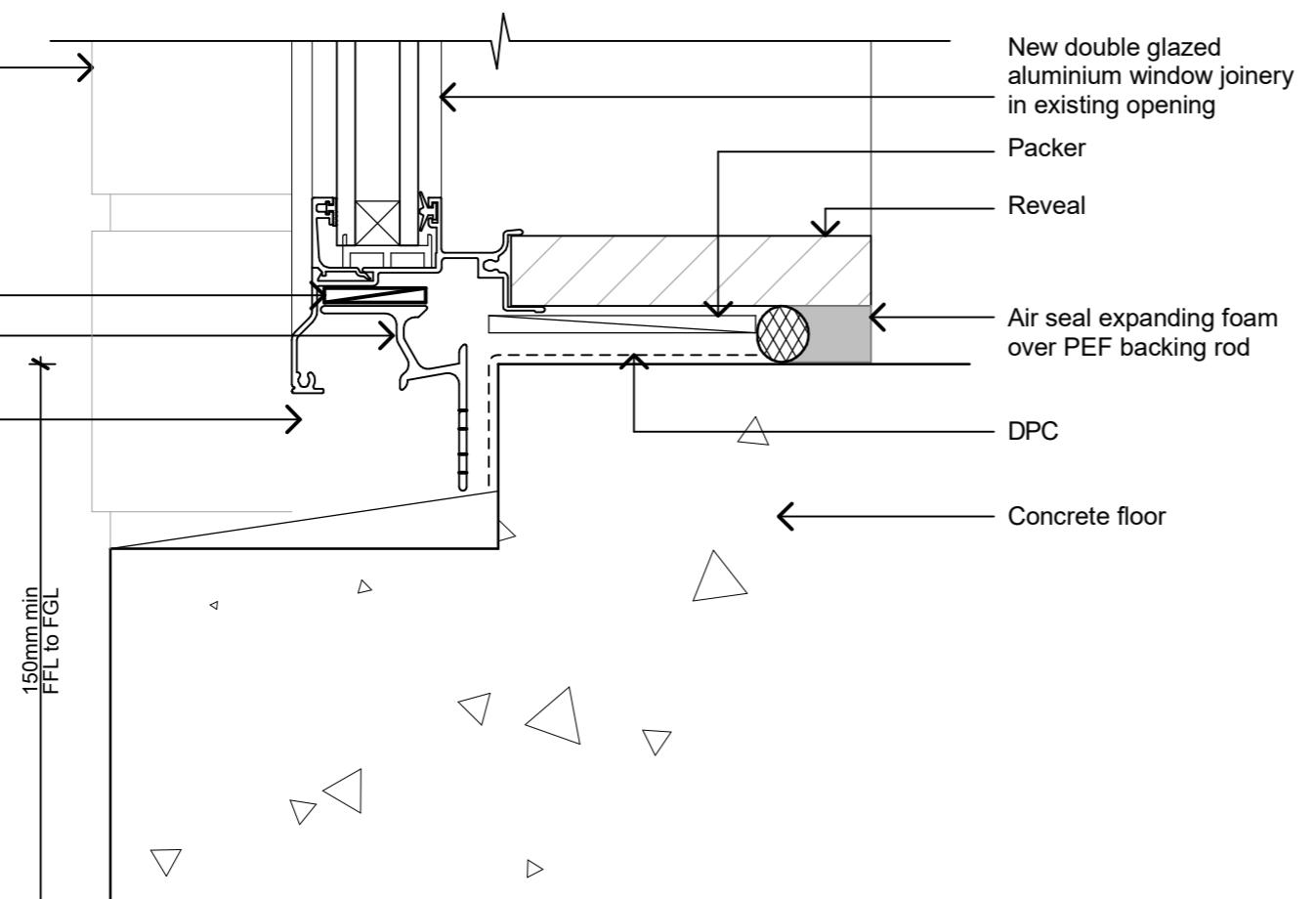
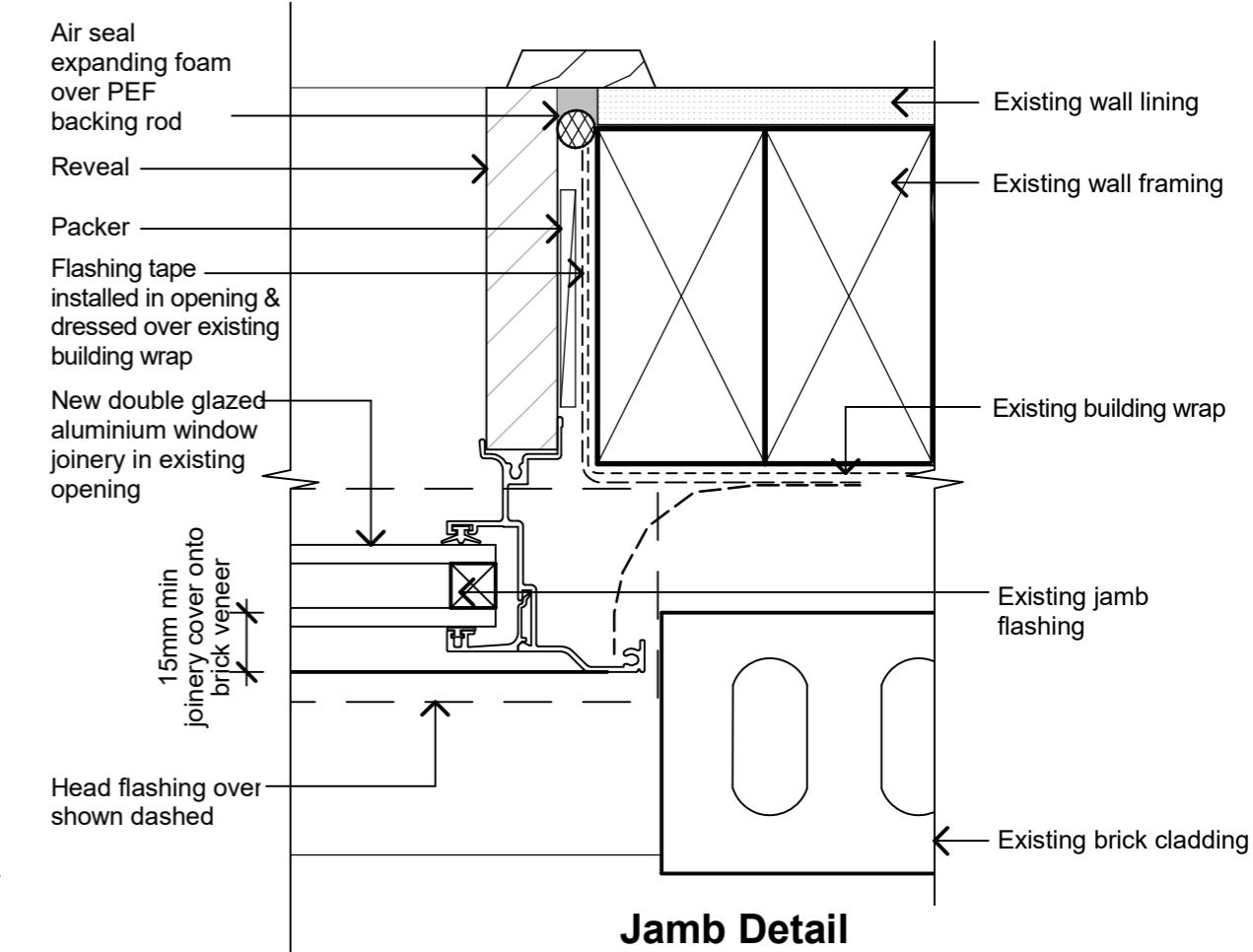
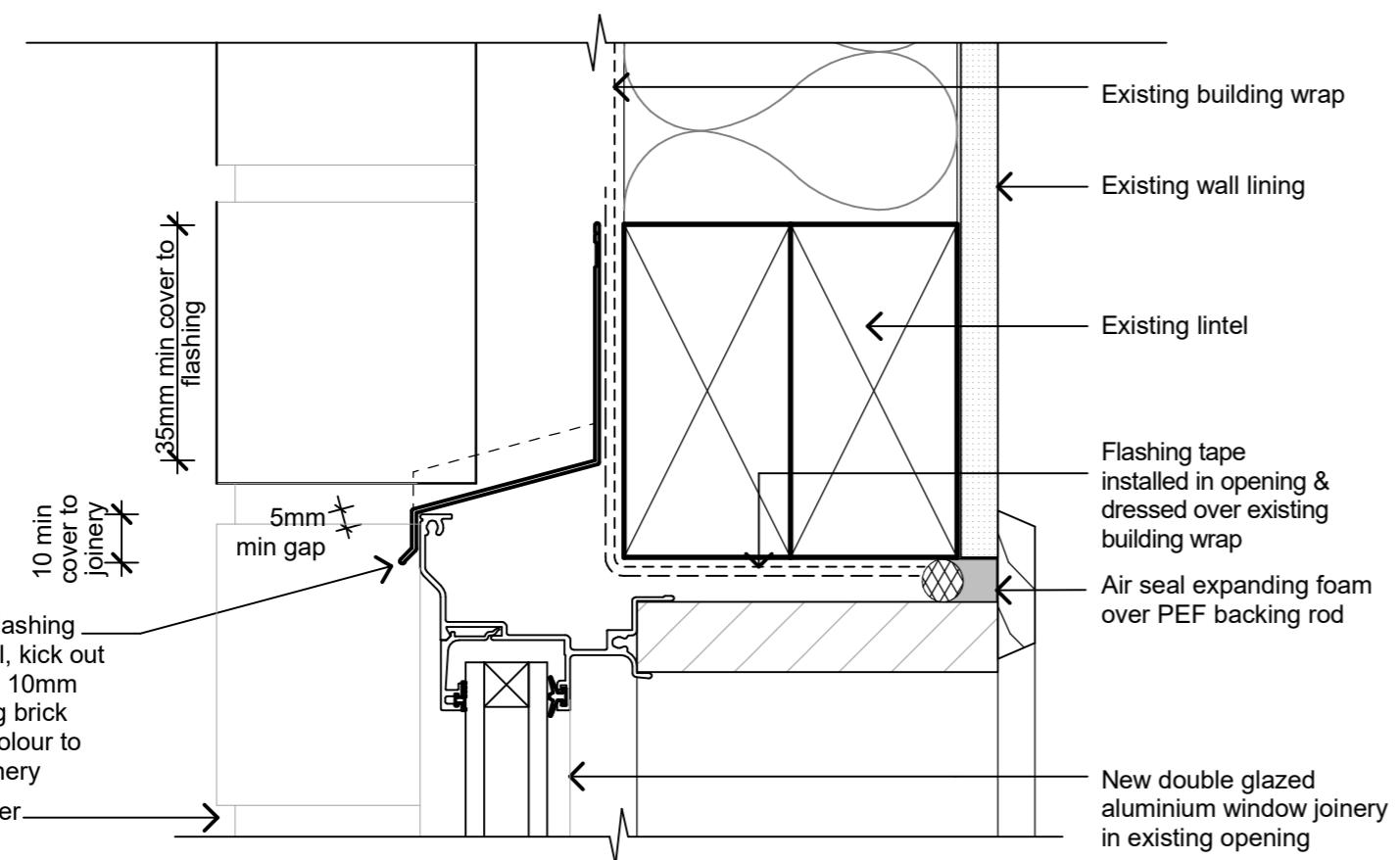
Drawing Name:
New Window Joinery in Extg
Concrete Block Opening

Scale @ A3: **NTS**

Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

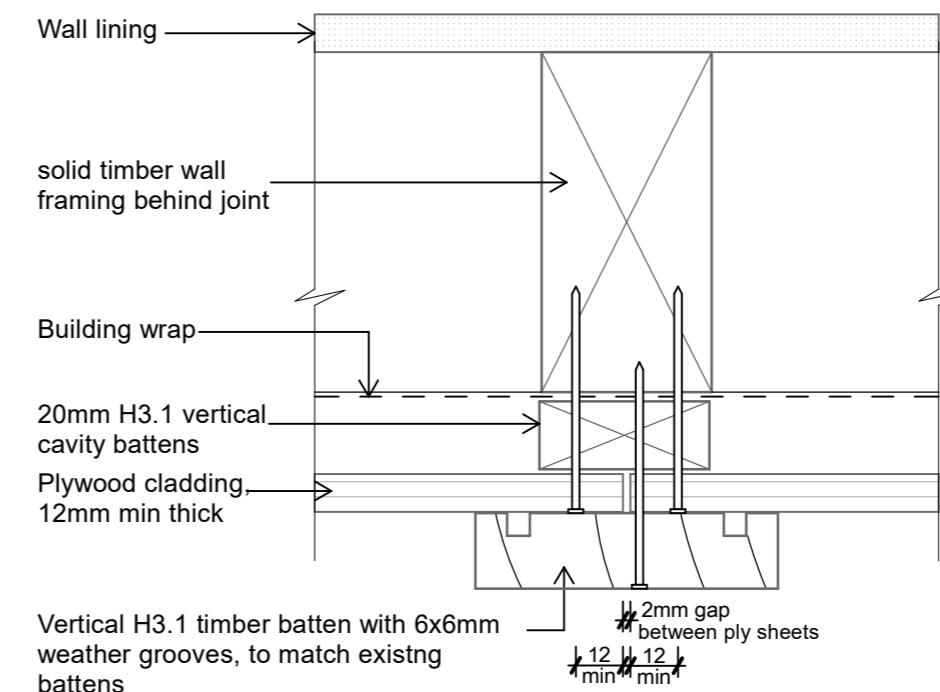
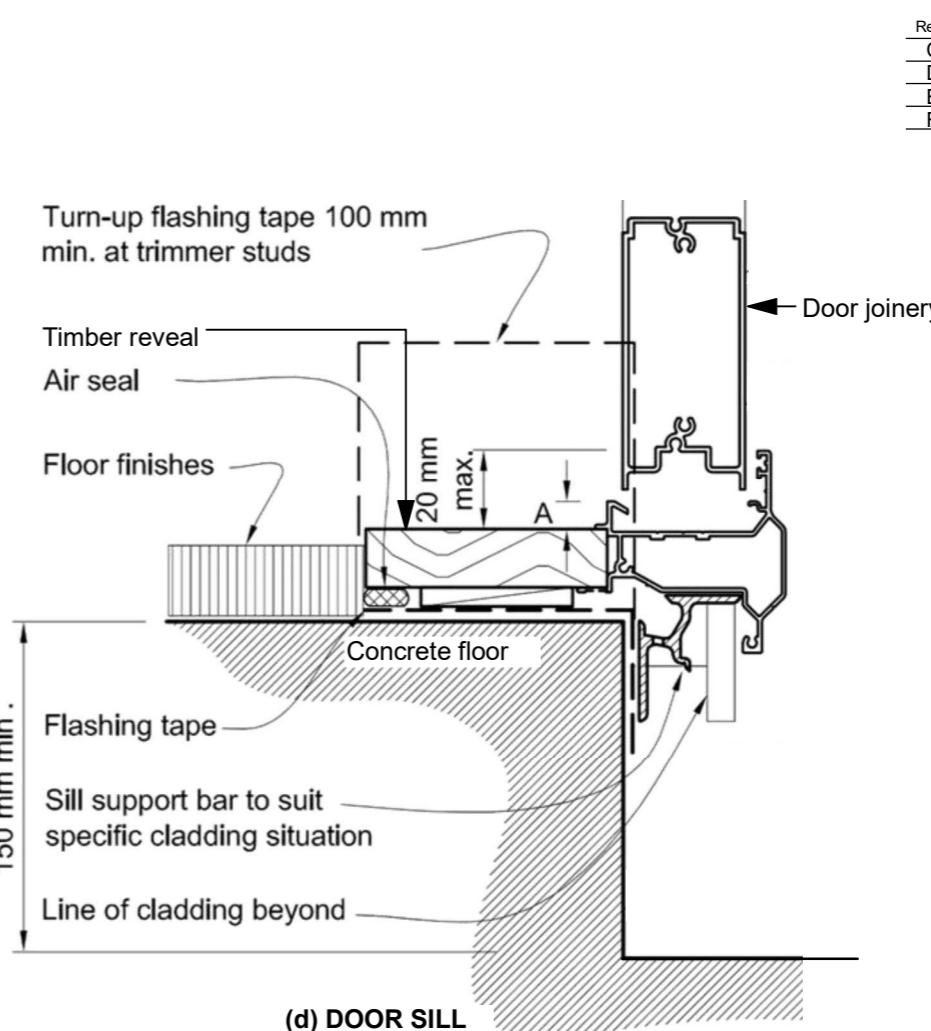
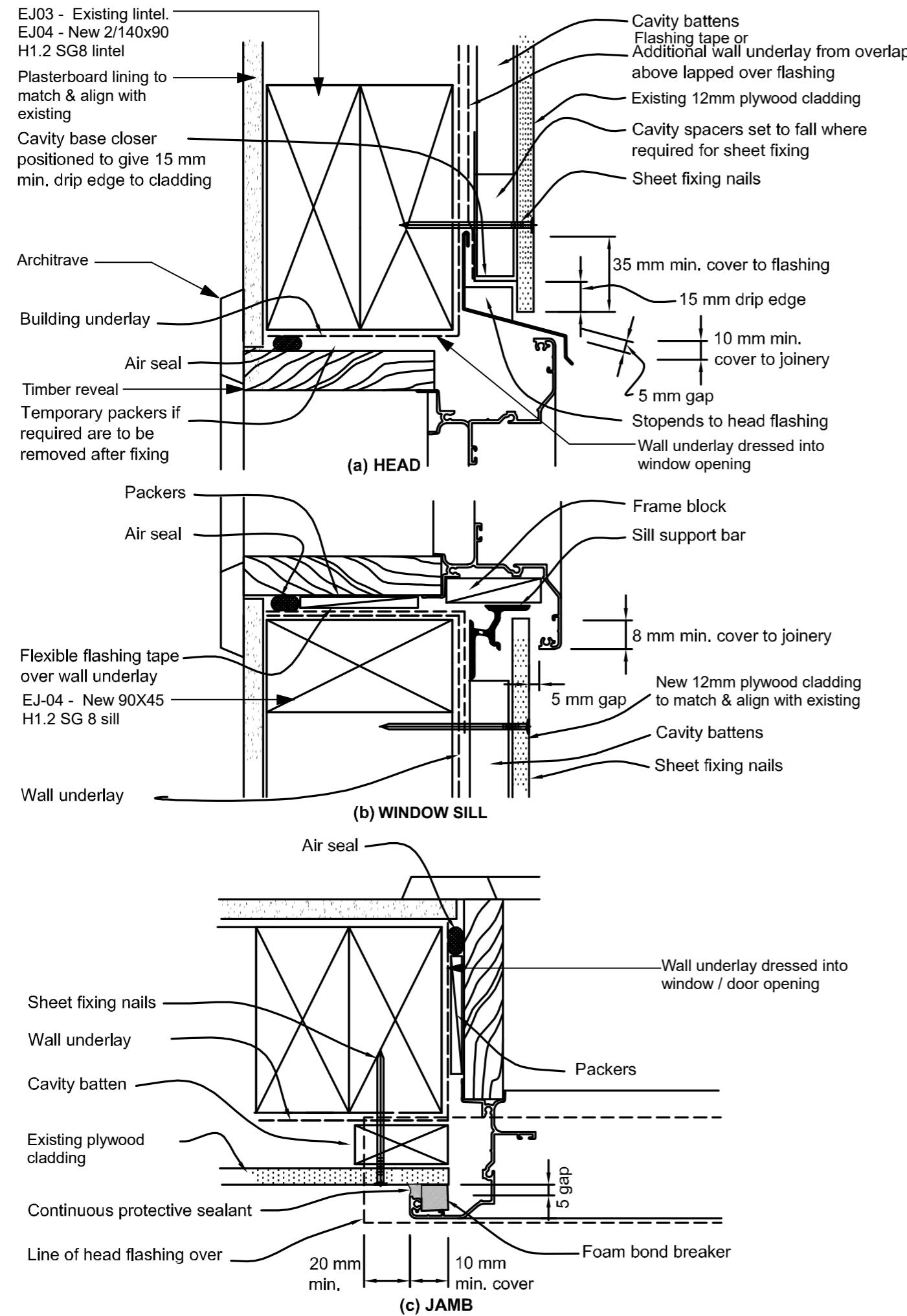
Date: **May 2025** Project No: **055-25** Drawing No: **11** Revision: **F**

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26



Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: New Door Joinery in Brick Veneer Opening
Scale @ A3: 1:2
Date: May 2025 Project No: 055-25 Drawing No: 12 Revision: F



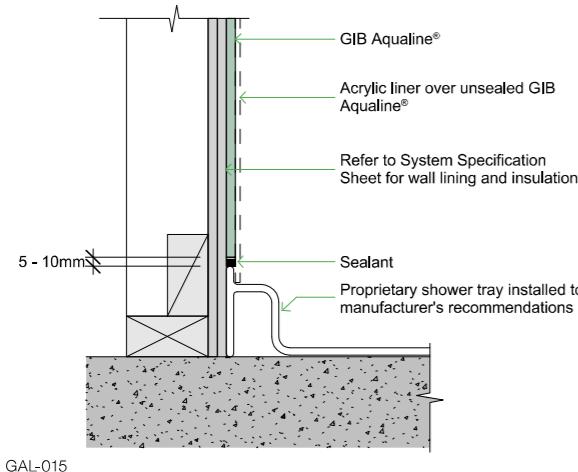
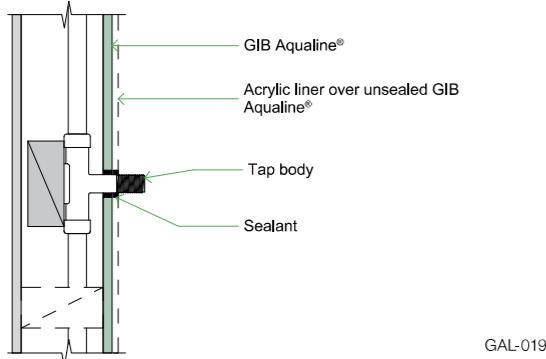
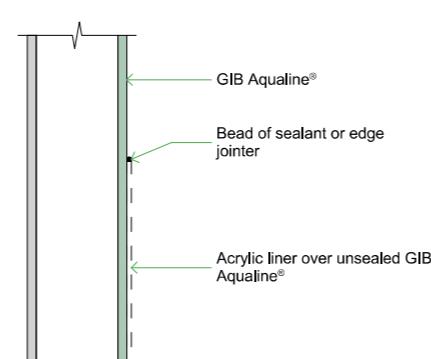
VERTICAL JOINT IN PLYWOOD CLADDING

Do not scale off this drawing.
Contractor must verify all dimensions on site before commencing work.

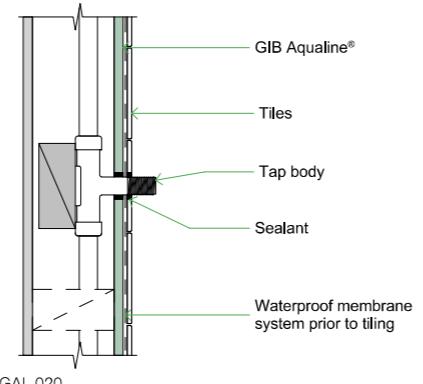
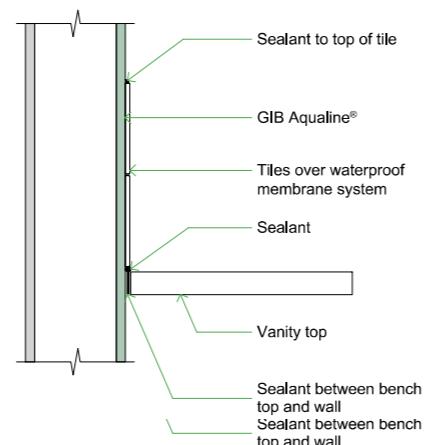
RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: New Window Joinery In Plywood Cladding
Scale @ A3: NTS
Date: May 2025 Project No: 055-25 Drawing No: 13 Revision: F

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26

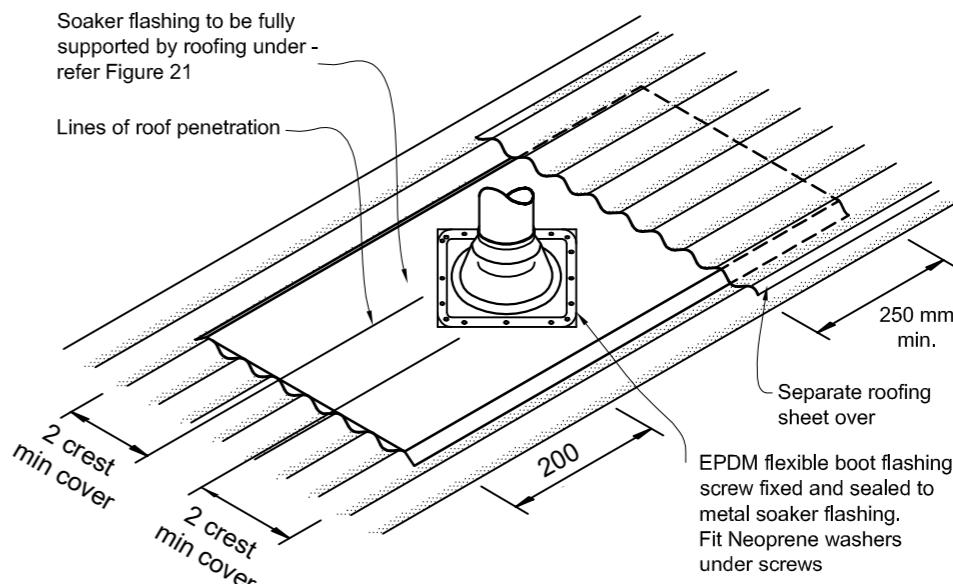
A: MOULDED SHOWER TRAY DOUBLE LINING JUNCTION**B: SEALING SEMI WET AREA PENETRATION****C: UNSEALED PLASTERBOARD LINING****D: SHOWER MIXER PENETRATION IN WET WALL LININGS**

Refer to the shower mixer manufacturer for shower mixer installation detailing including the use of proprietary products to prevent water or moisture ingress behind the wet wall lining.

B: SEALING SEMI WET AREA PENETRATION**E: VANITY TOP LINING JUNCTION**

NOTE: (1) Suitable for pipes from 86 mm to 500 mm diameter.

(2) Suitable only for roof pitches of 10° or more.



1 Roof Penetration Detail (New through roof extract fan)

**REFER TO GIB FIRE RATED SYSTEMS
MANUAL (SEPT 2024) & GIB NOISE CONTROL
SYSTEMS MANUAL (SEPT 2027) FOR:
- INSTALLATION REQUIREMENTS
- DETAILS OF PENETRATIONS THROUGH A
FIRE / ACOUSTIC WALL.**

**Note - 13mm std gib maybe substituted by
13mm Aqualine gib in fire walls.**

Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Bathroom & Roof Penetration Details
Scale @ A3: NTS
Date: May 2025 Project No: 055-25 Drawing No: 14 Revision: F

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26

140x45 H3 SG8 rafters at 900mm max crs, 2.2m max span. 8 degree min fall. Fixings at each end 2/90 x 3.5mm skew nails & 2 wire dogs (alternative fixing 4.7kN)

140x45 H3 SG8 purlins fixed between rafters at 900mm max crs. Fixings at each end 2/90 x 3.5mm skew nails & 2 wire dogs (alternative fixing 4.7kN)

Spouting with 60mm dia downpipe connected into existing site stormwater drain

Verandah beam 240x45 H3 SG8, 2.4m max span. Fixing 2 no. M12 bolts & 50X50 washers as per NZS 3604 fig 9.3 (C), alternative fixings 6.8kN

Minimum 90x90 H3 SG8 post. (Recommended for straightness 125x125 post or 90x90 laminated post)

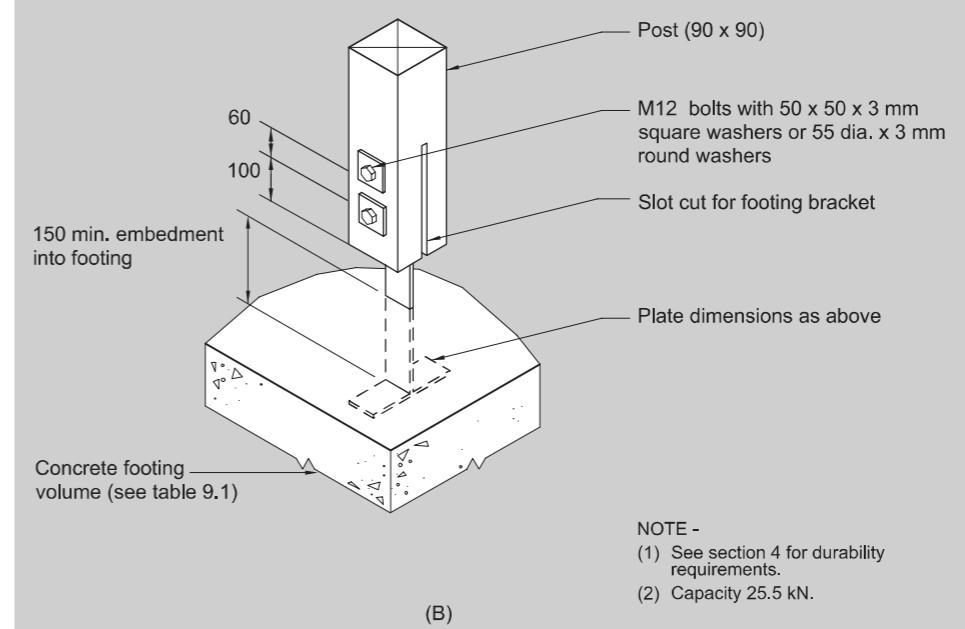
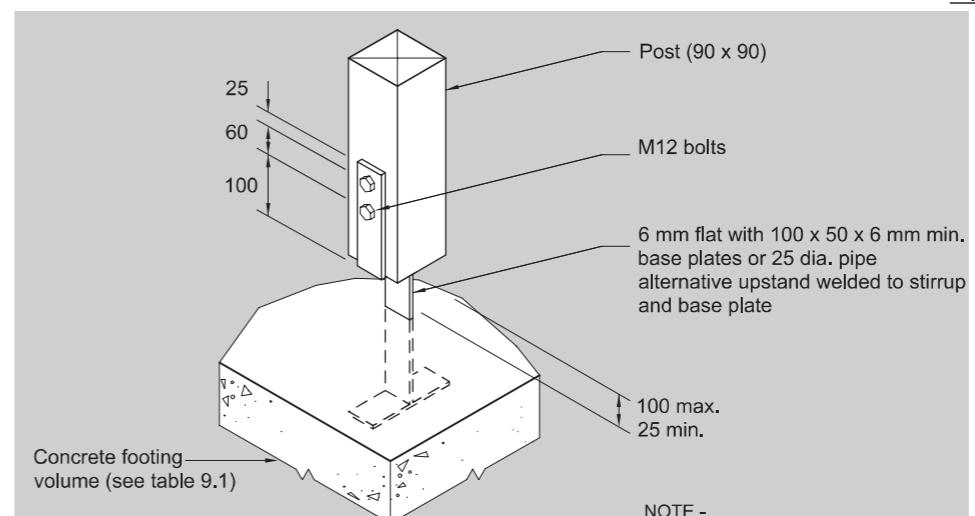
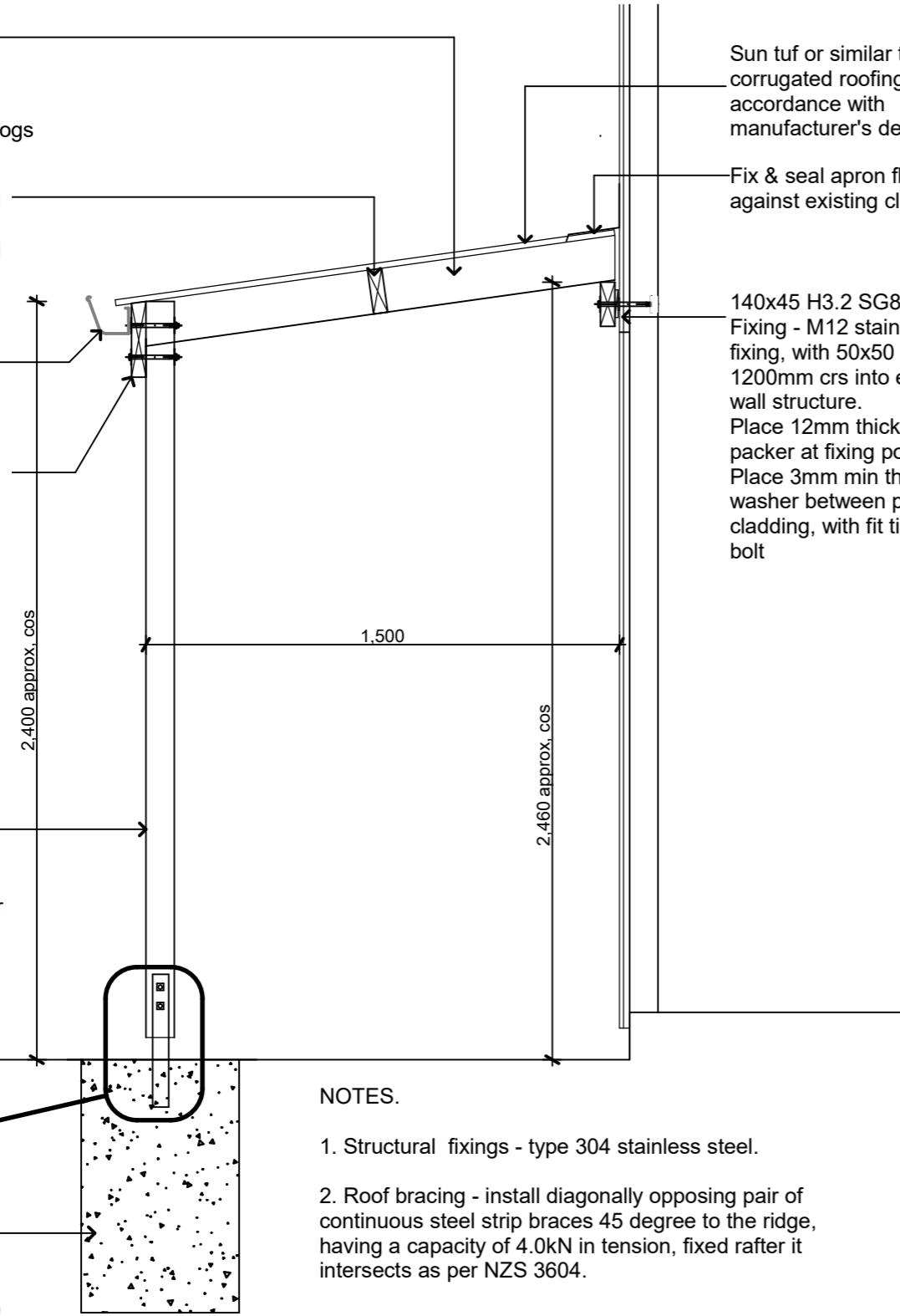
500x500x800 concrete footing minimum (Max supported roof area = 2m², conc vol req = 0.10m³)

Note - check position of existing drains.

Sun tuf or similar transparent corrugated roofing fixed in accordance with manufacturer's detail

Fix & seal apron flashing up against existing cladding

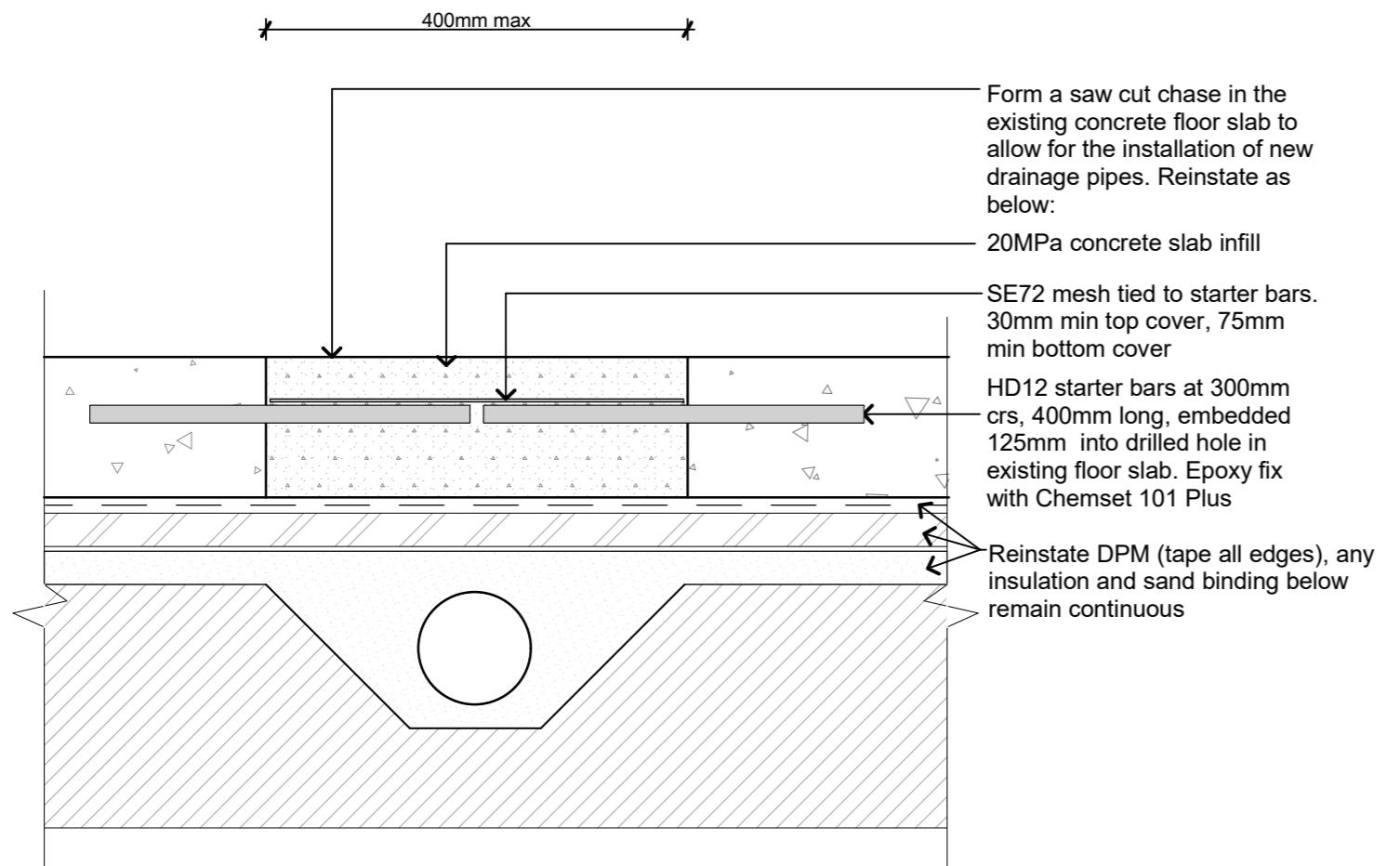
140x45 H3.2 SG8 stringer. Fixing - M12 stainless steel bolt fixing, with 50x50 washer, at 1200mm crs into existing solid wall structure. Place 12mm thick H3.2 timber packer at fixing points. Place 3mm min thick EDPM washer between packer & cladding, with fit tight around bolt



2 NZS 3604 Fig 9.2 Post Footing Detail

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Verandah Details
Scale @ A3: 1:1.1765, 1:20
Date: May 2025 Project No: 055-25 Drawing No: 15 Revision: F

RevID	Revision	Date
C	Prelim BC Issue	29-11-25
D	Prelim BC Issue	08-01-26
E	Prelim BC Issue	11-01-26
F	Building Consent Issue	19-01-26



1

Existing Concrete Floor Chase Repair

1:5

CS Plan Solutions Ltd
Phone 021 1082715
Client: C Cresswell
Project Name: Building Alterations 24 Kings Road, Paihia
Drawing Name: Miscellaneous Details
Scale @ A3: 1:5
Date: May 2025 Project No: 055-25 Drawing No: 16 Revision: F

Do not scale off this drawing.
Contractor must verify all dimensions
on site before commencing work.



MARSHALL DAY
Acoustics 

24A KINGS ROAD PAIHIA
SOUND INSULATION ASSESSMENT

Rp 001 20250718 | 30 September 2025

Project: **24A KINGS ROAD PAIHIA
NOISE INSULATION CERTIFICATE**

Prepared for: **Country and Coast Construction
9/453 Hutt Road
Alicetown
Lower Hutt 5010**

Attention: **Chris Cresswell**

Report No.: **Rp 001 20250718**

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Document Control

Status:	Rev:	Comments	Date:	Author:	Reviewer:
Approved	-	-	30 Sept 2025	Peter Ibbotson	Lancy Paea

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3.0	DISTRICT PLAN REQUIREMENTS.....	4
4.0	PROPOSED CONSTRUCTION	7
5.0	RECOMMENDED COPNSTRUCTION	5
6.0	CONCLUSION.....	12

APPENDIX A SCREENSHOTS OF DRAFT DRAWINGS – NOT TO SCALE

1.0 INTRODUCTION

Country and Coast Construction has requested that Marshall Day Acoustics provide an assessment of sound insulation for 24A Kings Road, Paihia in accordance with Rule 7.7.5.1.5 of the Far North District Plan.

This is not a report for building consent purposes. It does not discuss sound insulation under Section G6 of the Building Code. This is a report for resource consent associated with the use of the residential use of a *Commercially* zoned site.

2.0 PROPOSED WORKS

The project involves a site (24A Kings Road) with two existing buildings on it:

- **Building 1:** an existing brick building which has recently been used as a commercial premise. The eastern part of this building has been used as a one-bedroom flat.

It is proposed to convert the Building 1 commercial space to a residential unit. The 1-bedroom flat would be renovated but largely kept as constructed. It is proposed to consent the use of the building as two separate dwellings.

Note we have been advised that the 1-bedroom flat may have consent to be used as a dwelling already – this should be reviewed by others. If no such consent exists, upgraded façade elements may be required as per this report.

- **Building 2:** an existing building containing a garage and associated flat. The garage is clad with ply on timber frames, and the associated flat is constructed from blockwork.

It is proposed to convert this building to two separate flats (a 1-bedroom flat within the existing garage and a 2-bedroom flat within the existing flat).

The existing building envelopes will be retained, no external works are proposed.

We have reviewed the following documents as part of this project:

- EBC-2025-1033_0 Approved Stamped Plans
- Kings Road 2014 Consent plans
- FNDC PIM Assessment – “Requirement for Resource Consent” Letter dated 1 July 2025

3.0 DISTRICT PLAN REQUIREMENTS

The site is located at 24A Kings Road, Paihia which is zoned *Commercial / Sub zone Paihia Commercial Zone: A3*.

Rule 7.7.5.1.5 of the Far North District Plan requires permanent and non-permanent accommodation to comply with the following clause:

7.7.5.1.5 NOISE MITIGATION FOR RESIDENTIAL ACTIVITIES

“Any new residential activity involving permanent accommodation shall be developed in such a way that the attenuation of noise between any boundary and living room is no less than 20 dB, and between any boundary and any room used for sleeping is no less than 30 dB. In the absence of forced ventilation or air-conditioning, these reductions shall be achieved with any exterior windows open.

The council will require an acoustic design report prepared by a suitably qualified and experienced person demonstrating compliance with this requirement prior to issuing any Certificate of Compliance under s139 of the Act.”

As the above rules applies "...between any boundary and any room used for sleeping..." the attenuation between the site boundary and the dwelling location should be taken into account. This would mean that a dwelling located close to a boundary would generally require a greater amount of sound insulation than a dwelling located some distance from a boundary. However, the plan rule does not state where the noise source should be assumed to be located with respect to the boundary, which makes the calculation of this attenuation difficult. For this reason, the attenuation between the boundary and the building façade has not been taken into account for design; rather a conservative method has been used whereby the noise level difference between the level near the façade and the internal reverberant level has been considered.

4.0 RECOMMENDED CONSTRUCTION

4.1 Required Improvements

The following table (overleaf) shows the existing constructions, together with the required building improvements to achieve compliance with the FNDC rule. It is important to note that due to the retrofit nature of the project, builder's work solutions are required in some situations. In the event that the builder cannot make good on some elements (e.g. the fitting of adequate seals to timber doors) an alternative solution may be required (e.g. the replacement of that element with a new aluminium joinery glazing solution). The applicant shall accept all risk for this.

4.2 General (all areas)

In addition to the matters set out in the report, the following general matters shall also apply:

- **New aluminium joinery and framing** must include compressible seals that provide a complete perimeter seal to doors and windows. This is required to glazing in all areas.
- **All existing joinery, doors or other building elements** must be well sealed. All sound leakage must be made good.
- **Mechanical ventilation** shall be as per the rule that states:

...In the absence of forced ventilation or air-conditioning, these reductions shall be achieved with any exterior windows open...

Mechanical ventilation **or** air-conditioning is required for this project as the criteria cannot be achieved unless windows are closed.

It is noted that the rule states forced ventilation **or** air-conditioning is required, suggesting that **either** can be used to fulfil the criteria. In our view the rule would be fulfilled by any solution that is in accordance with the NZBC ventilation requirements irrespective of whether air-conditioning is provided, however we note that ventilation solutions alone may not necessarily ensure that the temperature of the apartments can be maintained in summer to avoid windows needing to be open for passive cooling¹.

We expect that the provision of highwall air-conditioning systems would allow windows to be closed while maintaining a suitable temperature for sleeping / living, however these are not typically connected to ventilation systems. Windows may therefore need to be open at times to ventilate the units with fresh air and to reduce condensation².

Both of the above solutions may comply with the way the FNDC rule is drafted. We generally consider a superior solution in critical sound insulation cases would be to provide ventilation and air-conditioning. However, this does not appear to be required by the rule.

¹ This may require the consideration of a mechanical engineer specialising in HVAC.

² This also may require the consideration of a mechanical engineer specialising in HVAC

We recommend that noise from any ventilation and air-conditioning is designed to achieve noise levels that would not cause sleep disturbance. A level of NC 25 to 30 is normally recommended in bedrooms, although this can be challenging to achieve with high-wall units. Most good quality domestic high-wall units have a “quiet mode” which generates acceptable noise to most people, especially when the heat pump is located in a living area. The plan rule does not specify a maximum noise level from services.

5.0 PROPOSED CONSTRUCTION

The following table summarises the construction of the units based on our site inspection and review on site with the builder. The existing construction information provided is indicative only:

Table 1: Proposed Dwelling Construction

Building Element	Existing Construction	Required Improvements
Building 1, Flat 4 Existing Commercial Tenancy Adjacent to Kings Road		
<i>Bedroom (external wall bedroom)</i>		
Windows	Aluminium glazing in fixed frame, thickness unknown	Retain small fixed window on south façade if desired. Ensure window is well sealed with no leaks. If not, make good.
Walls	Brickwork on c. 100mm cavity with 10mm plasterboard internal lining, insulation unlikely.	No changes required
Roof/Ceiling	Corrugated iron on truss with likely 13mm plasterboard ceiling, insulation in cavity unlikely.	Add one layer of 13mm dense plasterboard (e.g. Gib Noiseline) below existing ceiling (to comprise two layers of plasterboard). If insulation is required, remove ceiling, install fibrous insulation (polyester or fibreglass) and install two layers of 13mm dense plasterboard below (e.g. Gib Noiseline)
Doors	Timber windows in timber frames, no seals, large gaps noted	Replace existing window with new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 6mm . Retaining the existing timber door would require it to be fixed closed and fully sealed around door frame, door bottom and door meeting stile. Additionally, a secondary single glazing system (c. 6mm) would need to be installed internally to form a cavity of around 50mm. The secondary system would need to be fully sealed when closed. This option would require significant attention to detail and is not recommended. Contact Marshall Day Acoustics if this option needs to be considered to retain the existing timber doors insitu.
<i>Bedroom (internal)</i>		
Windows	Skylight proposed	Install skylight of up to 3m ² area using a with performance equivalent or better than 4mm / 12mm / 4mm . This assumes a plasterboard aperture will be created to the roof penetration.
Walls	No external walls	None

Building Element	Existing Construction	Required Improvements
Roof/Ceiling	Corrugated iron on truss with likely 13mm plasterboard ceiling, insulation in cavity unlikely.	<p>Add one layer of 13mm dense plasterboard (e.g. Gib Noiseline) below existing ceiling (to comprise two layers of plasterboard). If insulation is required, remove ceiling, install fibrous insulation (polyester or fibreglass) and install two layers of 13mm dense plasterboard (e.g. Gib Noiseline).</p> <p>Create the skylight aperture using two layers of 13mm dense plasterboard (e.g. Gib Noiseline).</p>
External Doors	None	None

Living Room

Windows	<p>Aluminium glazing in fixed frame, thickness unknown. Note that there are several windows behind the kitchen / rangehood that cannot be observed</p> <p>Proposed new glazing in garage door opening</p>	<p>All glazing must be well sealed. Ensure any operable glazing units have fully compressible seals in good condition. Any glazing units that cannot be closed with an adequate seal due to the condition of hinges shall be replaced with new units. Make good any leakage around glazing frames.</p> <p>If new glazing is used in existing garage door opening it shall be a new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 6mm. Otherwise, make the penetration good using system equivalent to the existing façade.</p>
Walls	Brickwork on c. 100mm cavity with 10mm plasterboard internal lining, insulation unlikely.	No changes required
Roof/Ceiling	Corrugated iron on truss with likely 13mm plasterboard ceiling, insulation in cavity unlikely.	No changes required
Doors	Timber windows in timber frames, no seals, large gaps noted	<p>The timber door represents the most significant area of weakness due to leakage around the perimeter and door meeting stile. We expect it may be possible to install door seals to ensure a full and complete seal when closed and to result in the 20 dB noise reduction being achieved. However this will require a builders work solution to provide the required level of seal. Use of door seal systems such as the equivalent of Raven RP10 may provide a seal around the perimeter. Additional systems would be required to the door bottom and meeting stile.</p> <p>If a builder's work solution to seal the door cannot be achieved, replace the door with a modern fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 6mm.</p>

Building Element	Existing Construction	Required Improvements
Building 1, Flat 3 Brick Building, rear unit *Note that owner has advised that this unit may have consent, check with others – this section assumes that upgrades are required		
<i>Bedroom</i>		
Windows	Existing single glazed windows in aged aluminium joinery, glass thickness unknown, seals hard and perished, leaks observed	Replace existing glass (both windows) with new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 4mm.
Walls	Brickwork on c. 100mm cavity with 10mm plasterboard internal lining, insulation unlikely.	No changes required
Roof/Ceiling	Corrugated iron on truss with likely 13mm plasterboard ceiling, insulation in cavity unlikely.	Add one layer of 13mm dense plasterboard (e.g. Gib Noiseline) below existing ceiling (to comprise two layers of plasterboard). If insulation is required, remove ceiling, install fibrous insulation (polyester or fibreglass) and install two layers of 13mm dense plasterboard (e.g. Gib Noiseline)
Door	none	No changes required
<i>Living Room</i>		
Windows	Existing single glazed windows in aged aluminium joinery, glass thickness unknown, seals hard and perished, leaks observed, sliding door in door poor sliding condition	Replace existing ranch slider with new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 4mm. Retrofit seals to existing hinged windows and ensure they can be closed with a full and complete seal. If a seal cannot be achieved, replace the window joinery unit with suitable double glazing system with performance equivalent or better than 4mm / 14mm / 4mm.
Walls	Brickwork on c. 100mm cavity with 10mm plasterboard internal lining, insulation unlikely.	No changes required
Roof/Ceiling	Corrugated iron on truss with likely 13mm plasterboard ceiling, insulation in cavity unlikely.	No changes required
Door	Timber door in timber frame, below average condition, no seals	Retrofit full seal system to door frame and door bottom. Ensure door can be closed to create a full and effective seal. If an effective seal cannot be achieved due to the condition of the door or frame, replace with a system that can achieve an adequate seal.

Building Element	Existing Construction	Required Improvements
Building 2, Flat 2 [Existing Garage - Plywood Façade]		
<i>Bedrooms</i>		
Windows	Long window in aluminium joinery in good condition. Glazing thickness unknown (single glazed) Proposed window on west façade	Retain existing long, high-level window if desired. Or replace with below window specification (better). Replace existing door with new fully sealed non-operable double glazed system with performance equivalent or better than 4mm / 14mm / 4mm. Construct new window on west façade (if required) with new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 4mm (or replace this with area of wall to specification below)
Walls	12mm thick ply cladding on battens and 90mm timber studs (likely paper wrap), insulation unknown (will be required and installed), 10mm standard plasterboard cladding.	Add at least one layer of 13mm dense plasterboard (Gib Noiseline or equivalent) to existing wall (making two layers total). If plasterboard needs to be removed to insulate walls (required), replace with two layers of 13mm Gib Noiseline.
Roof/Ceiling	Probable Trimline skillion steel roofing or similar Probable 190x45 mm rafters with 70x45mm purlins and 70x35mm ceiling battens 13mm plasterboard ceiling Probable insulation in cavity	No improvement required. If removal of plasterboard is required to install insulation (required), replace with one layer of 13mm Gib Noiseline.
Door	Existing door, aluminium joinery, glazing in poor condition (break/hole). Joinery in fair condition.	As above - replace existing door with new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 4mm.
<i>Living Room</i>		
Windows	Proposed new windows (sliding door) to existing garage door penetration	New glazing to be well sealed double glazed units of any standard aluminium joinery glazing solution (e.g. 3/12/3mm glass or thicker)
Walls	Existing 12mm thick ply cladding on battens and 90mm timber studs (likely paper wrap), insulation unknown (will be required and installed), 10mm standard plasterboard cladding.	No improvement required
Roof/Ceiling	Probable Trimline skillion steel roofing or similar Probable 190x45 mm rafters with 70x45mm purlins and 70x35mm ceiling battens	No improvement required

Building Element	Existing Construction	Required Improvements
	13mm plasterboard ceiling Probable insulation in cavity	
External door	Existing door, aluminium joinery	No replacement required. Recommendation: ensure suitable seals are in place, or retrofit suitable seals to obtain best possible seal between frame and door.
Building 2, Flat 1 [Blockwork Flat]		
<i>Bedrooms</i>		
Windows	Existing single glazed windows in aged aluminium joinery, glass thickness unknown, seals hard and perished, leaks very likely	Replace glazing with new fully sealed double glazed system with performance equivalent or better than 4mm / 14mm / 4mm.
Walls	20 or 25 series concrete block, likely core filled, potentially hit and miss.	No change required
Roof/Ceiling	Probable Trimline skillion steel roofing or similar in fair condition Probable 190x45 mm rafters with 70x45mm purlins and 70x35mm ceiling battens (from drawings) 13mm plasterboard ceiling Pink batts in cavity observed	No improvement required
Doors	Glazed door to one bedroom, poor condition with significant leaks in joinery and at door frame.	Replace door with new fully sealed double glazed system (no door) with performance equivalent or better than 4mm / 14mm / 4mm.
<i>Living room</i>		
Windows	Main hinged door on south façade, modern aluminium joinery in fair condition. Single glazed door with glazing thickness unknown. Fair seals noted. Secondary glazing on north façade, aged joinery in poorer condition. Single glazed with glass thickness unknown.	<ul style="list-style-type: none"> • Main hinged doors on south façade do not require replacement • Builder proposes to replace windows on north façade - replace with performance equivalent or better than 4mm / 14mm / 4mm.

Building Element	Existing Construction	Required Improvements
Walls	20 or 25 series concrete block, likely core filled potentially hit and miss	No change required
Roof/Ceiling	Probable Trimline skillion steel roofing or similar in fair condition Probable 190x45 mm rafters with 70x45mm purlins and 70x35mm ceiling battens (from drawings) 13mm plasterboard ceiling Pink batts in cavity observed	No improvement required

6.0 CONCLUSION

Marshall Day Acoustics has been engaged to provide an opinion on the sound insulation of the proposed dwellings at 24A Kings Road, Paihia in accordance with 7.7.5.1.5 of the Far North District Council District Plan.

Calculations have shown that the building can achieve compliance with the District Plan rule subject to the recommendation contained in this report. The habitable areas will need to conform to the FNDC requirement which requires *forced ventilation or air-conditioning* as the reductions cannot be achieved with windows opened.