

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☒ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input checked="" type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☒ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Carey & Sandy Fuller

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 Ltd c/o Rochelle Jacobs

Email:

Phone number:

Home

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

PM Trustee (2012) Limited and Carey William Fuller

**Property Address/
Location:**

Postcode

0200

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Carey and Sandy Fuller

Site Address/
Location:

0200

Legal Description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☒ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please contact Carey to arrange a site visit

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Landuse consent to establish a second dwelling on the site underneath the existing house.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☒ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☒ Yes ☐ No ☐ Don't know

- ☐ Subdividing land
- ☒ Changing the use of a piece of land
- ☐ Disturbing, removing or sampling soil
- ☐ Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Carey Fuller

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Carey William Fuller

Signature:

(signature of bill payer)

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Rochelle Jacobs

Signature:

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Land-Use Consent for
Carey Fuller
30a Davis Crescent, Paihia

Date: 12/09/2025

Attention: Liz Searle and Whitney Peat – Team Leader(s) Resource Consents

Please find attached:

- A land use consent application and assessment of environmental effects for a second residential dwelling within the lower ground floor footprint of an existing dwelling at 30 Davis Crescent, Paihia.

The land use application has been assessed as a **Restricted Discretionary Activity** under the Far North Operative District Plan and **Permitted Activity** under the Proposed District Plan.

Resource consent(s) for the constructed dwelling and new retaining walls (including earthworks) 2230181-RMALUC and 2250476-RMAPBA were granted on 9 June 2023 and 4 July 2025. The proposed dwelling would be located within the ground level footprint of the existing house. Other than the construction of an engineered concrete foundation, no other structural changes to the building or site layout are proposed.

If you require further information, please do not hesitate to contact me.

Regards,

Rochelle Jacobs



Director / Senior Planner

NORTHLAND PLANNING & DEVELOPMENT (2020) LIMITED



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Attachments

1. Application Form
2. Record of Title – LINZ
3. Consent Notice 12041009.2 – LINZ
4. Previous Resource Consents - 2230181-RMALUC and 2250476-RMAPBA
5. Site Plan, Floor Plan and Elevations – O’Brien Design Consulting



Assessment of Environment Effects Report

1.0 Description of the Proposed Activity

- 1.1 The Applicant is seeking a resource consent to construct a second residential unit within the lower ground floor footprint of a recently constructed dwelling on a site at 30A Davis Crescent, Paihia. The new dwelling would contain two separate bedrooms, a single bathroom and an open plan living area that includes a small kitchenette. A copy of the application plans prepared by O'Brien Design Consulting A01A – A12, Rev E dated 10 June 2025 are attached as **Appendix 3**. Other than an engineered concrete floor foundation, no other structural changes to the building or site layout are proposed.
- 1.2 Resource consent(s) 2230181-RMALUC and 2250476-RMAPBA for the constructed dwelling and new retaining walls (including 120m³ of earthworks) were granted on 9 June 2023 and 4 July 2025, respectively. Copies of the consents are attached as **Appendix 4**.

2.0 Site Description

- 2.1 The site is located at 30a Davis Crescent, Paihia, which is legally described as Lot 1 DP 557011. The site area is 1068m². The site contains a recently constructed dwelling that was consented on 9 June 2023. Retaining walls and earthworks at the southern and eastern boundaries that were consented in July 2025 have not been constructed.

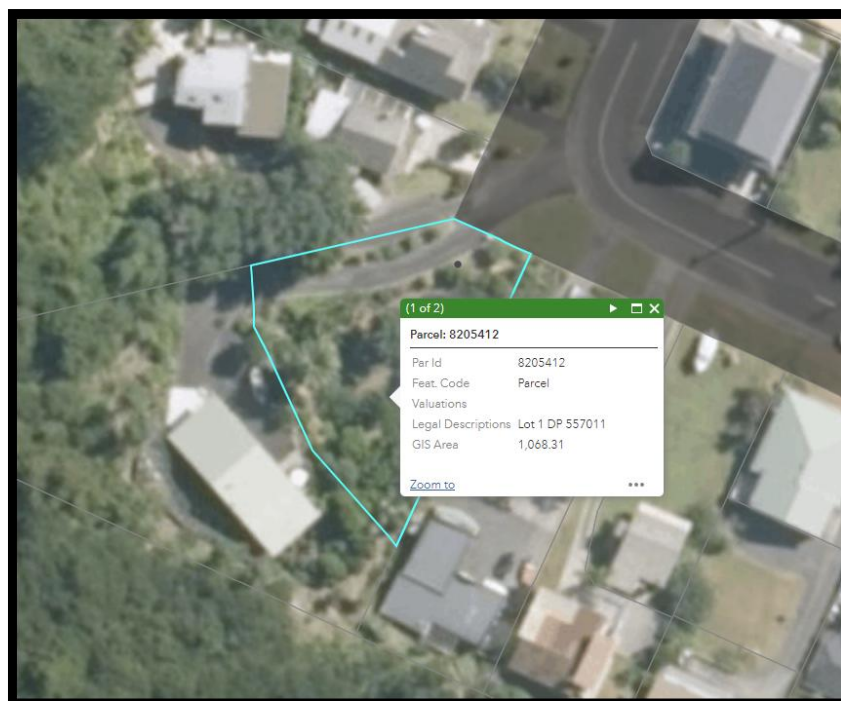


Figure 1 - Location of the subject site

- 2.2 The site has vehicle access from Davis Crescent at its western corner with 34A Davis Crescent and Nihonui Scenic Reserve located directly behind it. The surrounding environment is urban.



residential that is located behind the existing commercial land that has frontage to Pahia beach and State Highway 11.

Record of Title

- 2.3 The subject site is held in Record of Title 974240 and is dated 25 June 2021. The title is subject to the following interests.

<p>Interests</p> <p>12041009.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 25.6.2021 at 11:41 am</p> <p>Subject to a right (in gross) to convey telecommunications over part marked A on DP 557011 in favour of Chorus New Zealand Limited created by Easement Instrument 12041009.3 - 25.6.2021 at 11:41 am</p> <p>Subject to a right of way, a right to convey telecommunications, electricity and water over part marked A and a right to drain water over parts marked A and B and a right to drain sewage over parts marked A and C all on DP 557011 created by Easement Instrument 12041009.4 - 25.6.2021 at 11:41 am</p> <p>The easements created by Easement Instrument 12041009.4 are subject to Section 243 (a) Resource Management Act 1991</p>

Figure 2 - Interests registered on the title

Cono 12041009.2

- 2.4 Consent notice 12041009.2 stipulates the following -

<p style="text-align: center;">SCHEDULE</p> <p><u>Lot 1 DP 557011</u></p> <ol style="list-style-type: none"> i. Any building erected on the lot shall have foundations specifically designed by a suitably qualified chartered professional engineer in accordance with the report prepared by Wilton Joubert Limited, referenced: Geotechnical Investigation Report Proposed Lot 1 of Subdivision of Lot 30 DP 15984, 30 Davis Crescent, Pahia, job reference: #90442, and dated: 31 October 2019, provided with RC2200483 – RMACOM. The foundation design details shall be submitted in conjunction with the Building Consent application. ii. Any earthworks and retaining carried out for the erection of any building on the lot shall be in accordance with the the report prepared by Wilton Joubert Limited, referenced: Geotechnical Investigation Report Proposed Lot 1 of Subdivision of Lot 30 DP 15984, 30 Davis Crescent, Pahia, job reference: #90442, and dated: 31 October 2019, provided with RC2200483 – RMACOM. The designs and details shall be submitted in conjunction with the Building Consent application. iii. At the time of building, on-site stormwater attenuation for roof areas is to be designed and installed in accordance with the report prepared by Wilton Joubert Limited, referenced: Stormwater Report To support
<p><i>Subdivision, Lot 30 DP 15984, 30 Davis Crescent, Pahia, job reference: #93930 R03, and dated: 12th February 2019, provided with RC2200483 – RMACOM.</i></p> <ol style="list-style-type: none"> iv. The existing drain with easement B along the eastern boundary shall be upgraded to a fully piped system in accordance with Building Consent requirements at time of construction for the dwelling. Connection to this line is be utilised for the attenuated stormwater discharge from the roof areas on the lot. <p><u>Lots 1 & 2 DP 557011</u></p> <ol style="list-style-type: none"> v. The lot is identified as being within a kiwi present zone. Any cats and/or dogs kept onsite must be kept inside and/or tied up at night to reduce the risk of predation of North Island brown kiwi by domestic cats and dogs.



- 2.5 The recently constructed dwelling was consented in accordance with the above consent notice conditions. The proposed lower floor of the proposed unit foundation will be engineered concrete designed to comply with the consent notice condition (i) requirements (Refer **Appendix 3** - 'Foundation Plan' A06 Rev E and T & A Structures Ltd Partial Foundation Plan S04 Rev 1).

Other relevant interests

- 2.6 There are a number of easement instruments relating to telecommunications, right of way, electricity and water over Easement 'A' and 'C'.
- 2.7 The easement Instrument over easement 'B' relates to rights to drain water along the eastern boundary.

Site Features

- 2.8 The site is zoned 'Residential' under the Operative District Plan (ODP) and General Residential zone under the Proposed District Plan (PDP). The site is within the PDP Coastal Environment overlay. The site is not within any outstanding landscapes or other resource features.

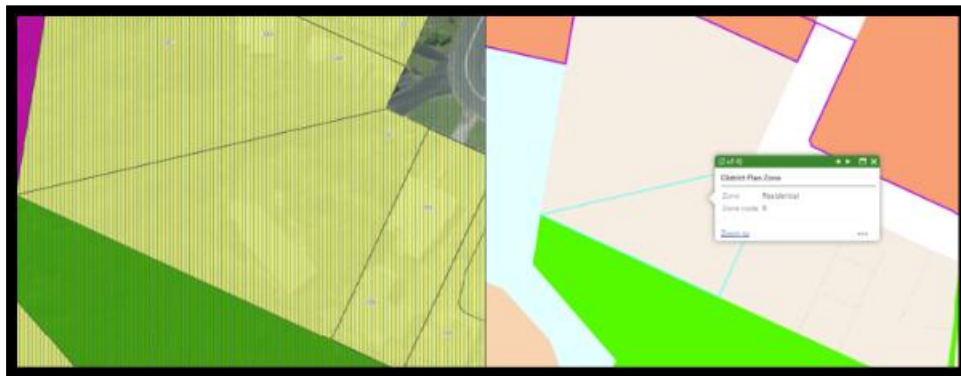


Figure 3 - Proposed DP Zoning (Left) and Operative DP Zoning (Right)

- 2.9 The site is not identified or mapped as HAIL, nor does any information on the property file indicate that the site is HAIL.
- 2.10 The site has existing connections to reticulated services for wastewater and water supply. The site is not located within a surface water protection zone for reticulated water supply.





Figure 4 - Aerial of site showing Councils reticulation.

- 2.11 The site is not located within any mapped natural hazard area.
- 2.12 NZAA has not identified the site as being subject to any archaeology and no sites are identified within the immediate vicinity.
- 2.13 The site is located within the 'Kiwi Present' Area as mapped by the Department of Conservation.



Figure 5 – Aerial of subject site with Kiwi Present overlay.

- 2.14 The site is not mapped as containing a PNA or SEA, however, the land to the southwest of the subject site is identified as being High Natural Character – Opua forest.



2.15 The site is not located within a Statutory Acknowledgement Area.

2.16 With regard to the Regional Policy Statement for Northland, the site is located within the Coastal Environment but is not identified as containing any areas of High Natural Character.

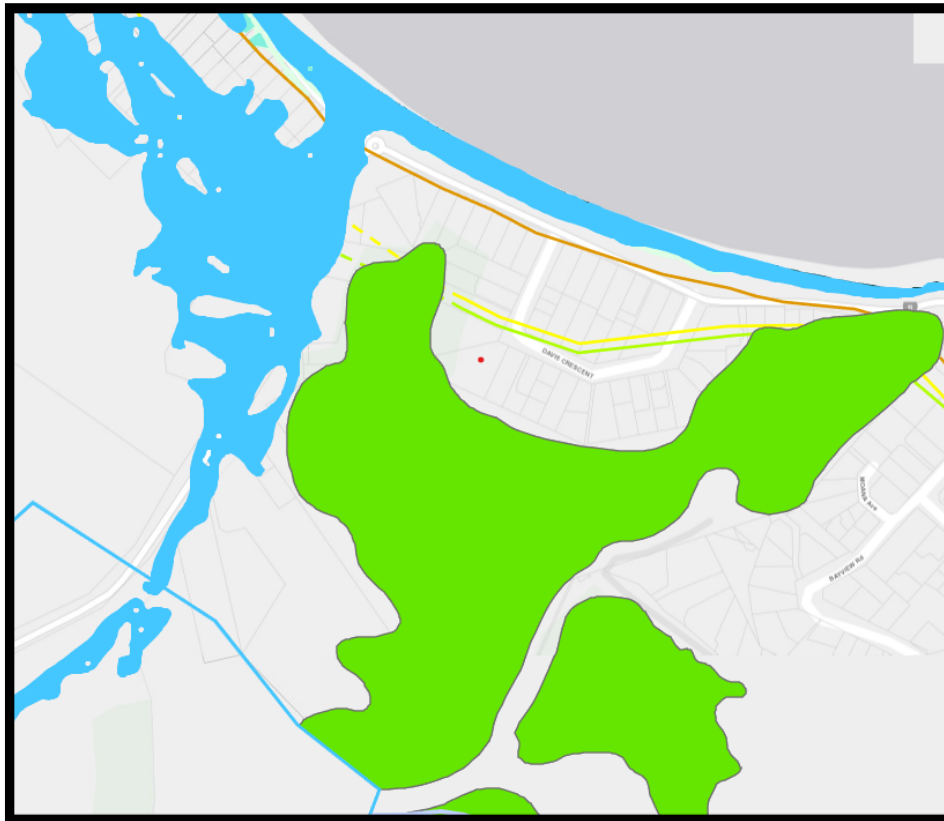


Figure 6 - Maps showing the subject site within the Coastal Environment, outside CH1 and 2 and River Flood Hazard.

2.17 There are no wetlands located within 100m of the subject site as such consideration of the NES Freshwater Management is not necessary.

2.18 The site is not mapped as containing erosion prone land and is not located within a Priority Catchment Area.

3.0 Activity Status of the proposal

Operative District Plan

3.1 An assessment of the relevant Residential zone and district wide rules of the District Plan is set out in the tables below.



ASSESSMENT OF THE PERMITTED RESIDENTIAL ZONE RULES:		
PERFORMANCE STANDARDS		
Plan Reference	Rule	Performance of Proposal
7.6.5.1.1	RELOCATED BUILDINGS	Not applicable
7.6.5.1.2	RESIDENTIAL INTENSITY	Restricted Discretionary The proposal is for an additional residential unit (as defined by the ODP) on the site. A second residential unit on the site which meets the minimum density requirement of 1 unit / 300m ² (on a sewered site) is a restricted discretionary activity.
7.6.5.1.3	SCALE OF ACTIVITIES	Not applicable
7.6.5.1.4	BUILDING HEIGHT	Permitted. The second residential unit will be located within the existing building.
7.6.5.1.5	SUNLIGHT	Permitted.
7.6.5.1.6	STORMWATER MANAGEMENT	Permitted. The area of consented impermeable surface on the site will remain unchanged.
7.6.5.1.7	SETBACK FROM BOUNDARIES	Permitted.
7.6.5.1.8	SCREENING FOR NEIGHBOURS - NON-RESIDENTIAL ACTIVITIES	Not applicable.
7.6.5.1.9	OUTDOOR ACTIVITIES	Not applicable
7.6.5.1.10	VISUAL AMENITY	Not applicable
7.6.5.1.11	TRANSPORTATION	Assessed below
7.6.5.1.13	SITE INTENSITY – NON-RESIDENTIAL ACTIVITIES	Not applicable
7.6.5.1.14	KEEPING OF ANIMALS	Not applicable
7.6.5.1.15	NOISE	Not applicable



7.6.5.1.16	HELICOPTER LANDING AREA	Not applicable
7.6.5.1.17	BUILDING COVERAGE	Permitted. The area of consented building coverage on the site will remain unchanged.

ASSESSMENT OF THE APPLICABLE PERMITTED DISTRICT WIDE RULES:		
PERFORMANCE STANDARDS		
Plan Reference	Rule	Performance of Proposal
12.2.6.1.2	INDIGENOUS VEGETATION CLEARANCE IN THE RURAL PRODUCTION AND MINERALS ZONES	Not Applicable
12.3.6.1.1	EXCAVATION AND FILLING IN THE RESIDENTIAL ZONE	Permitted 120m ³ of cut / fill earthworks in association with proposed retaining walls has been previously consented.
12.4.6.1.2	FIRE RISK TO RESIDENTIAL UNITS	Permitted There will be an increase in the number of residential units on the site but no change to the location of the consented building where the second unit will be located.
12.7.6.1.2	SETBACK FROM SMALLER LAKES, RIVERS AND WETLANDS	Permitted.
14.6.1	ESPLANADE AREAS	Not applicable.
15.1.6A	TRAFFIC	Permitted The existing residential unit on the site is exempt in accordance with Traffic Intensity Rule 15.1.6A.2.1 (exemptions)



15.1.6B	PARKING	Permitted. The proposal can provide for two carparks on site.
15.1.6C.1.1	ACCESS	Permitted

3.2 The proposal is a **Restricted Discretionary Activity** under the ODP in accordance with the Residential Intensity Rule 7.6.5.1.2.

Proposed District Plan

3.3 The Council notified the PDP on 27 July 2022. The period for public submissions closed on the 21 October 2022. A summary of submissions was notified on the 4 August 2023. The further submission period closed on the 5 September 2023. District Plan hearings on submissions are currently underway and are scheduled to finish later this year. No decision on the PDP or any sections within the PDP has been made. For this reason, little weight is given to the PDP provisions.

Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	<p>The following rules have immediate legal effect:</p> <p>Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource</p> <p>Rules HS-R5, HS-R6, HS-R9</p>	<p>Not applicable.</p> <p>The site does not contain any hazardous substances to which these rules would apply.</p>
Heritage Area Overlays	<p>All rules have immediate legal effect (HA-R1 to HA-R14)</p> <p>All standards have immediate legal effect (HA-S1 to HA-S3)</p>	<p>Not applicable.</p> <p>The site is not located within a Heritage Area Overlay.</p>
Historic Heritage	All rules have immediate legal effect (HH-R1 to HH-R10)	Not applicable.



	Schedule 2 has immediate legal effect	The site does not contain any areas of mapped historic heritage.
Notable Trees	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any notable trees.</p>
Sites and Areas of Significance to Māori	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any mapped sites or areas of significance to Māori.</p>
Ecosystems and Indigenous Biodiversity	All rules have immediate legal effect (IB-R1 to IB-R5)	<p>Not applicable.</p> <p>The site does not contain any ecosystems or indigenous biodiversity to which these rules would apply.</p>
Subdivision	<p>The following rules have immediate legal effect:</p> <p>SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17</p>	<p>Not applicable.</p> <p>The proposal is not for a subdivision.</p>
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	<p>Not applicable.</p> <p>The proposal does not involve activities on the surface of water.</p>
Earthworks	The following rules have immediate legal effect:	Permitted.



	EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Earthworks as part of this proposal will proceed under the guidance of an ADP in accordance with Rule EW-R12 and EW-S3.
Signs	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Not applicable. No signs are proposed as part of this application.
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not applicable. The site is not located in the Orongo Bay Zone.

3.4 The proposed residential activity is a Permitted Activity under the ODP.

National Environmental Standards

3.5 There are no National Environmental Standards or Regulations that would apply to the proposed residential activity.

4.0 Statutory Assessment

Section 104C of the Resource Management Act

4.1 Section 104C governs the determination of applications for Restricted Discretionary Activities. A consent authority must consider only those matters over which –

- (a) *a discretion is restricted in national environmental standards or other regulations:*
- (b) *it has restricted the exercise of its discretion in its plan or proposed plan.*

4.2 ODP Residential Intensity Rule 7.6.5.3.1 states that in assessing an application under this provision, the Council will restrict the exercise of its discretion to the following matters:



- (a) the character and appearance of building(s) and the extent to which they will be compatible with the principal activity on the site and with other buildings in the surrounding area;*

No changes to the exterior of the existing building are proposed other than the northern façade to construct the entrance to the ground floor dwelling. This area is beneath the deck which will obscure any discernible changes to the building.

- (b) the siting of the building(s), decks and outdoor areas relative to adjacent properties in order to avoid visual domination and loss of privacy and sunlight to those properties;*

No change to the consented footprint or building height is proposed.

- (c) the size, location and design of open space and the extent to which trees and garden plantings are utilised for mitigating adverse effects;*

No change to the consented site layout is proposed. The addition of the residential unit to accommodate an elderly family member does not change the demand for additional private open space or the need for landscaping to mitigate adverse effects.

- (d) the ability of the immediate environment to cope with the effects of increased vehicular and pedestrian traffic;*

The existing environment is suburban residential located behind the commercial strip that runs parallel to Paihia beach and State Highway 11. The additional dwelling will have no effect on the capacity of the road to accommodate additional vehicles.

- (e) the location and design of vehicular and pedestrian access, on site vehicle manoeuvring and parking areas and the ability of those to mitigate the adverse effects of additional traffic;*

The consented on-site car parking and manoeuvring arrangement will not change.

- (f) location in respect of the roading network – sites on local roads are not generally considered appropriate for activities which generate high levels of pedestrian and vehicular activity;*



Not applicable. The proposed activity is residential.

(g) noise generation and the extent to which reduction measures are used;

The proposed activity is a residential dwelling. Residential noise standards will be complied with.

(h) any servicing requirements and/or constraints of the site – whether the site has adequate water supply and provision for disposal of waste products and stormwater;

Three water site services are reticulated.

(i) whether the development is designed in a way that avoids, remedies or mitigates any adverse effects of stormwater discharge from the site into reticulated stormwater systems and/or natural water bodies;

The addition of the dwelling within the existing building will have no effect on stormwater discharge from the site.

(j) the ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s) permitted on the site;

The proposed residence is for an elderly family member who will also have access to the upstairs deck and the amenity associated with that outdoor living space. The site is a short walk from Paihia beach and reserve spaces which are a feature of this part of Paihia.

(k) the degree to which mitigation measures are proposed for loss of open space and vegetation;

There will be no loss of open space or vegetation.

(l) any adverse effects on the life supporting capacity of soils;

There will be no loss of life-supporting capacity of soil. The site is an urban residential site.

(m) the suitability of sites for building and access;



The existing building has been designed to include a ground floor residence to accommodate an elderly family member. The structure will comply with structural engineering recommendations that apply to the site, in particular foundation design. Vehicle access to the site is established. No changes are proposed.

(n) visual effects of site layout on the natural character of the coastal environment;

The proposed dwelling will have no adverse effect on the natural character of the coastal environment.

(o) the effect on indigenous vegetation and habitats of indigenous fauna.

The proposed dwelling will have no adverse effect on indigenous vegetation or fauna.

Section 104 of the RMA

- 4.3 While the application proposal remains generally subject to the matters for consideration listed in Section 104, these are limited by the directives set out in Section 104C above. No further assessment of this proposal under the ODP is required and no broader assessment of potential adverse effects on the environment is provided. The proposed activities are permitted under the PDP rules that have immediate legal effect.
- 4.4 Actual and potential effects arising from the proposed activity as described in 104(1)(a) can be both positive and adverse (as described in Section 3 of the Act). Positive effects arising from this development are the addition of a second residential dwelling space within the existing house structure to accommodate an elderly family member.
- 4.5 Section 104(1)(ab) requires that the consent authority consider 'any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. In this case, the proposal is not of a scale or nature that would require any offsetting or environmental compensation measures to ensure positive effects on the environment.



- 4.6 Section 104(1)(b) requires the consent authority to consider the relevant provisions of the above-listed documents. An assessment of the relevant statutory documents that correspond with the scale and significance of the effects that the activity may have on the environment has been provided in the sections below.
- 4.7 The application site is within the ODP Residential Zone. The Residential Zone Context statement sets out the purpose of the zone which is to:
- “enables the development of residential areas where the effects of activities permitted in the zone are compatible with sustainable development and with the existing character and amenity, which is typically medium density residential living.”*
- 4.8 The Residential zone has been applied to urban residential parts of the Paihia township. The ODP anticipates residential activity in accordance with the rule standards and to reflect the existing environment (Objective 7.6.3.1). The ODP envisages a range of housing types and forms of accommodation (Policy 7.6.4.4). Residential activities are to be provided with sufficient land area for each residence including outdoor living space, planting, parking and manoeuvring, and other amenities including access to sunlight and privacy. In this instance, the second residential unit will form part of the existing house building. There will be no visible change to the building footprint or external appearance of the building. The residential unit will utilise the same outdoor living spaces as the family residents in the existing unit. The proposed residential activity is consistent with the relevant ODP policies and with the intent of the PDP ‘General Residential’ zone.
- 4.9 Section 104(1)(c) states that consideration must be given to ‘any other matters that the consent authority considers relevant and reasonably necessary to determine the application’. There are no other matters that are relevant to a decision on this application.
- 4.10 In accordance with Section 104(6), adequate information is provided to determine this application.
- 4.11 In accordance with Section 95A-95G, there are no requirements for public notification of this proposal. Nor are there any persons that would be adversely affected by the activity.



5.0 Conclusion

- 5.1 The Applicant is seeking a resource consent to locate a separate ground floor residential unit within an existing house building in Paihia that was consented in 2023. The proposed second dwelling will accommodate an elderly family member. There will be no overall increase in the consented building footprint or changes to the existing site layout.
- 5.2 The proposal is a Restricted Discretionary for a breach to the Residential Intensity rule under the ODP. The activity is permitted under the PDP rules that have current legal effect. The proposal has been assessed against the matters over which the Council has restricted its discretion. It is considered that any potential adverse effects will be less than minor and that positive effects will include being able to accommodate and care for a family member on-site. The proposed activity is not contrary to the relevant ODP and PDP objectives and policies.
- 5.3 The Applicant requests that the application be processed on a non-notified basis.

6.0 Limitations

- 6.1 This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 6.2 Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 6.3 Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 6.4 Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.



DECISION ON LAND USE CONSENT APPLICATION UNDER THE RESOURCE MANAGEMENT ACT 1991

Decision

Pursuant to section 34(1) and sections 104, 104B and Part 2 of the Resource Management Act 1991 (the Act), the Far North District Council **grants** land use resource consent for a Discretionary activity, subject to the conditions listed below, to:

Council Reference:	2230181-RMALUC
Applicant:	Carey William Fuller
Property Address:	30A Davis Crescent, Paihia 0200
Legal Description:	Lot 1 DP 557011
Description of Application:	<p>The proposal is to allow for a new dwelling to be located 17m from the dripline of vegetation, where the District Plan anticipates 20m; further the proposal is to allow earthworks of 280m³ being 80m³ beyond that permitted within the District Plan.</p> <p>The proposal is also to allow for a change to the wording of an existing consent notice. Specifically, to amend wording relating to an easement for stormwater.</p>

The activities to which this decision relates are listed below:

To construct a new dwelling within the Residential Zone and change to consent notice condition breaching the following rules:

- 12.3.6.1.3 – Excavation and/or Filling
- 12.4.6.1.2 – Fire Risk To Residential Units

Conditions

Pursuant to sections 108 of the Act, this consent is granted subject to the following conditions:

1. The activity shall be carried out in general accordance with the approved plans, reports, Assessment of Environmental Effects and Section 92 material, as detailed below:
 - Plans prepared by Built Smart, referenced titled 'C.W. Fuller & PM Trustee (2012) LTD 30 Davis Crescent Paihia, Northland', job number dated 12/07/2022, and attached to this consent with the Council's "Approved Stamp" affixed, particularly noting that no building shall be nearer than 17m to the dripline of the vegetation.
 - Plans prepared by Wilton Joubert Limited, referenced title '*Retaining Wall*' sheet numbers 1 and 2.

- Plans prepared by Wilton Joubert Limited, referenced title '*Lot 1 DP 557011 30 Davis Crescent Paihia Northland*' drawing numbers 124280-C100, 124280-C101, 124280-C110, and 124280-C111.
 - Stormwater Mitigation Report, prepared by Wilton Joubert, dated 12/09/2022.
 - Wilton Joubert Section 92 responses titled "*Geotechnical Investigation Report*" and "*Geotechnical Memorandum RFI Response*", prepared by Wilton Joubert, dated 16/03/2023 and 11/04/2023.
 - Assessment of Effects, dated 14/10/2022.
2. Prior to commencing any physical site works, a construction management plan shall be submitted to and approved by Council's Resource Consents Engineer or delegate. The plan shall contain information on, and site management procedures, for the following:
 - (i) The timing of construction works, including hours of work, key project and site management personnel.
 - (ii) The transportation of construction materials from and to the site and associated controls on vehicles through sign-posted site entrance/exits and the loading and unloading of materials.
 - (iii) The excavation and earthworks, including retaining structures and any necessary dewatering facilities, prepared by a suitably qualified geotechnical engineer.
 - (iv) Control of dust and noise on-site and any necessary avoidance or remedial measures.
 - (v) Prevention of earth and other material being deposited on surrounding roads from vehicles and remedial actions should it occur.
 - (vi) Publicity measures and safety measures, including signage, to inform adjacent landowners and occupiers, pedestrians and other users of Davis Crescent.
 - (vii) Erosion and sediment control measures to be in place for the duration of the works.
 3. All construction works on the site are to be undertaken in accordance with the approved construction management plan referenced in condition 2 above, earthworks plans, and erosion and sediment control details provided by Wilton Joubert Ltd.
 4. Prior to the commencement of the activity, provide certification from a Chartered Professional Engineer or suitably qualified person confirming that the erosion and sediment control measures as presented by Wilton Joubert Ltd on Drawing No. 124280-C110 and C111 have been established.
 5. Specific design is required for all retaining walls proposed at the site. The design shall be in general accordance with the requirements of the report prepared by Wilton Joubert Ltd Geotechnical Investigation Report (GIR, reference 124395, dated 16 March 2023) and RFI Response Reference 124395, dated 15 May 2023. The retaining walls shall include specific engineering design by a structural and geotechnical engineer taking into account geotechnical stability control requirements. A producer statement PS1 shall be submitted to Council in conjunction with a Building Consent or variation of building consent for the proposed retaining walls.
 6. The proposed dwelling and retaining wall, being those buildings subject to this land use consent, shall have foundations specifically designed by a suitably qualified chartered professional engineer. The details of design shall be submitted in conjunction with the Building Consent application.

Council Further Resolves – Determination 2:

Pursuant to s221(3) that the consent noticed at reference 12041009.2 (iv) shall be amended as per below:

The existing drain within easement B along the eastern boundary shall be upgraded to a fully piped system where required, in accordance with the recommendations made by Wilton Joubert within the Stormwater Mitigation Report dated 12th September 2022. ~~in accordance with Building Consent requirements at time of construction for the dwelling.~~ Connection to this line is to be utilised for the attenuated stormwater discharge from the roof areas on the lot.

Evidence shall be provided to Council to show that the required amendment to the consent notice, as per the above wording, has been undertaken within 6 months of commencement of construction work.

Advice Notes

Lapsing of Consent

1. *Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses;*
 - a) *The consent is given effect to; or*
 - b) *An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.*

Right of Objection

2. *If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.*

Archaeological Sites

3. *Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.*

Reasons for the Decision

1. By way of an earlier report that is contained within the electronic file of this consent, it was determined that pursuant to sections 95A and 95B of the Act, the proposed activity will not have, and is not likely to have, adverse effects on the environment that are more than minor. There are no affected persons and no special circumstances exist. Therefore, under delegated authority, it was determined that the application be processed without notification.

2. The application is for a Discretionary activity resource consent as such under section 104 the Council can consider all relevant matters.
3. In regard to section 104(1)(a) of the Act the actual and potential effects of the proposal will be acceptable as:
 - The scale and design of the proposal is typical of the surrounding environment and consistent with the surrounding dwellings.
 - The development will not result in a building that could be considered dominant or out of character, particularly when viewed in conjunction with other dwellings in this locality.
 - No sites of cultural significance to Māori under the DP have been identified on site nor any indication that there are any waahi tapu within the development area.
 - Silt fences will be installed below the earthworks areas in accordance with the requirements in GD05.
 - Effects on visual amenity and character as a result of earthworks are considered to be less than minor as the earthworks will be completed over a short period of time and will be obscured by the proposed dwelling following completion.
 - Fire Emergency New Zealand have provided their written approval of the proposed development, noting that the building will be within 135m of a reticulated water supply and therefore meets the requirements of Fire Emergency New Zealand.
4. In regard to section 104(1)(ab) of the Act, there are no offsetting or environmental compensation measures proposed or agreed to by the applicant for the activity.
5. In regard to section 104(1)(b) of the Act, the following statutory documents are considered to be relevant to the application:
 - a. National Environmental Standard for Assessing and Managing Contaminants in Soils to Protect Human Health 2011 (NESC)
 - b. National Environmental Standards for Freshwater 2020 (NESFW)
 - c. New Zealand Coastal Policy Statement 2011,
 - d. Northland Regional Policy Statement 2016,
 - e. Operative Far North District Plan 2009,
 - f. Proposed Far North District Plan 2022

National Environmental Standards

Other than the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health and the National Environmental Standard for Freshwater 2020, which have been assessed within the Notification Decision and were found not to apply in this instance, no other Standards are relevant to this proposal.

New Zealand Coastal Policy Statement (NZCPS)

The Application is located within proximity to the coastal environment and as such the NZCPS is relevant.

The NZCPS recognises the values of the coast and seeks to set out a series of policies to achieve the purpose of the RMA. It recognises that the coast has particular qualities and characteristics that mean there are additional challenges in promoting sustainable management. In addition, the NZCPS addresses a range of activities that occur near the coast (including recreation) and, as such, many of the objectives and policies are not relevant to this proposal.

Overall, it is considered that effects in relation to natural character of the coastal environment are acceptable as the site is not located upon a ridge or flank and the underlying zoning provides for a proposed new dwelling to be constructed on the site. The site is located within an area which has already been modified into a residential settlement. Earthworks required will be carried out in accordance with relevant Council engineering standards and the requirements of GD05.

Northland Regional Policy Statement (NRPS)

The NRPS covers the management of natural and physical resources across the Northland region. The provisions within the NRPS give guidance on significant regional issues rather than containing specific rules triggering the need for consent.

I have reviewed the operative NRPS and conclude that there are no significant conflicts between the proposal and the provisions within the NRPS.

District Plans

The applicant's agent has provided an assessment of the relevant objectives and policies contained in the Operative Far North District Plan 2009 and Proposed Far North District Plan 2022 at pages 22-28 of the AEE.

This assessment adequately addresses the relevant objectives and policies under the Soils and Minerals and Natural Hazards Chapters of the Operative Far North District Plan 2009, and the relevant objectives and policies under the Earthworks and Coastal Environment Chapters of the Proposed Far North District Plan 2022 and concludes overall that the proposal accords with the relevant objectives and policies of both documents.

For the purposes of this Report, the conclusions reached in the application as lodged are accepted. The proposal is therefore assessed as being consistent with the relevant objectives and policies of the Operative Far North District Plan 2009 and the Proposed Far North District Plan 2022.

6. In regard to section 104(1)(c) of the Act, there are no other matters relevant to the application.
7. Based on the assessment above the activity will be consistent with Part 2 of the Act. The activity will avoid, remedy or mitigate any potential adverse effects on the environment while providing for the sustainable management of natural and physical resources and is therefore in keeping with the Purpose and Principles of the Act.

The matters under section 6 that are relevant to the application are (a) and (h) (the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development and the management of significant risks from natural hazards). As determined by the conclusions reached in this report and the assessment provided within the application, these matters will not be placed at risk. The proposal is an efficient use and development of the site that will maintain existing amenity values without compromising the quality of the environment.

The activity is not considered to raise any issues in regard to Te Tiriti o Waitangi.

8. Overall, for the reasons above it is appropriate for consent to be granted subject to the aforementioned conditions.

Approval

This resource consent has been prepared by Dylan Rogers – Lands and Survey, Consultant Planner. I have reviewed this and the associated information (including the application and electronic file material) and for the reasons and subject to the conditions above, and under delegated authority, grant this resource consent.



Simeon Mclean
Team Leader Resource Consents

Date: 09 June 2023



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **974240**
Land Registration District **North Auckland**
Date Issued 25 June 2021

Prior References
NA31A/181

Estate Fee Simple
Area 1068 square metres more or less
Legal Description Lot 1 Deposited Plan 557011
Registered Owners
Carey William Fuller and PM Trustee (2012) Limited

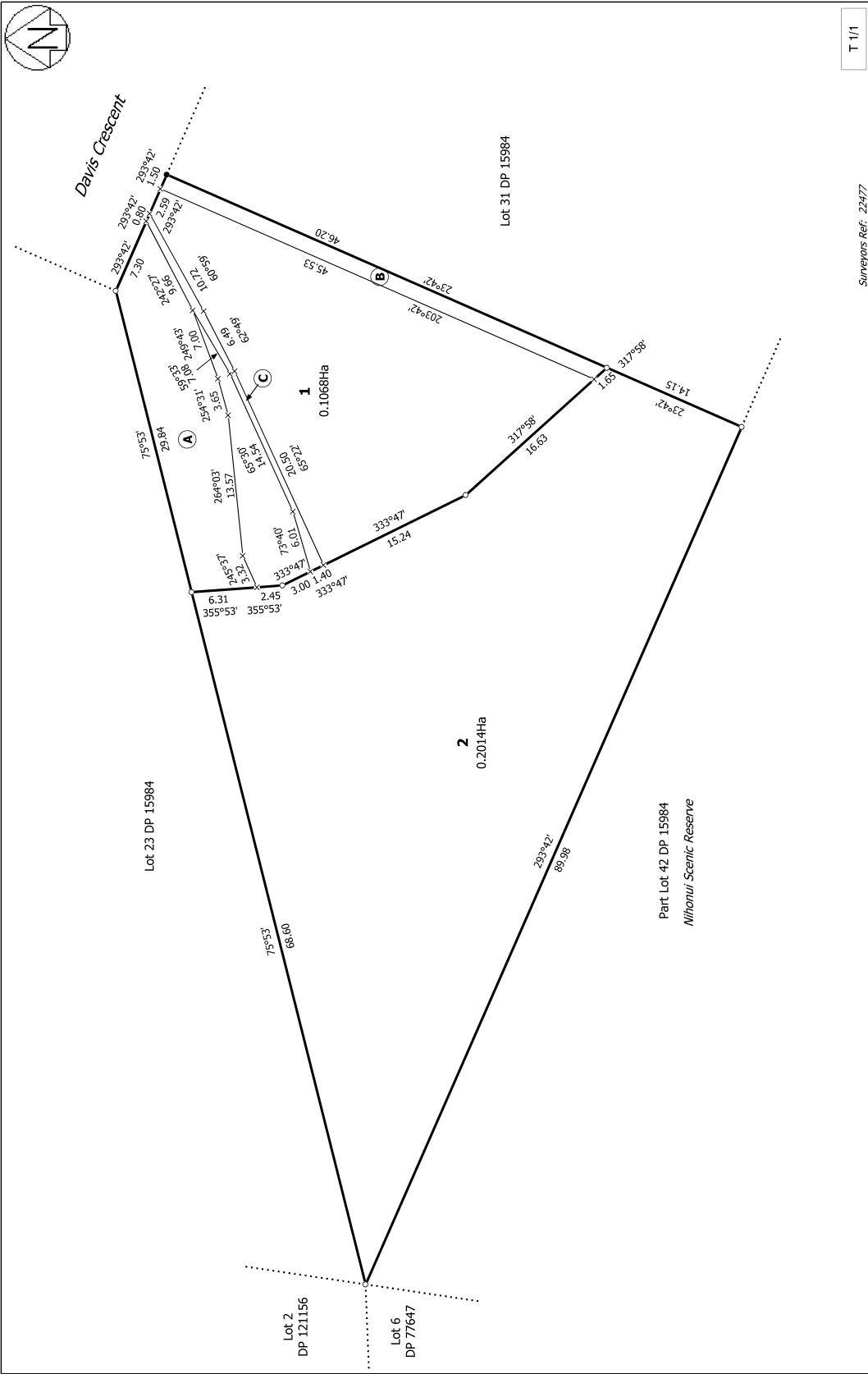
Interests

12041009.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 25.6.2021 at 11:41 am

Subject to a right (in gross) to convey telecommunications over part marked A on DP 557011 in favour of Chorus New Zealand Limited created by Easement Instrument 12041009.3 - 25.6.2021 at 11:41 am

Subject to a right of way, a right to convey telecommunications, electricity and water over part marked A and a right to drain water over parts marked A and B and a right to drain sewage over parts marked A and C all on DP 557011 created by Easement Instrument 12041009.4 - 25.6.2021 at 11:41 am

The easements created by Easement Instrument 12041009.4 are subject to Section 243 (a) Resource Management Act 1991



Surveyors Ref: 22477		T 1/1	
Land District: North Auckland	LOTS 1 & 2 BEING A SUBDIVISION OF LOT 30 DP 15984		Surveyor: Kurt Eric Watson Firm: Survey & Planning Solutions (2010) L
Digitally Generated Plan Generated on: 22/07/2021 12:15am Page 3 of 3	Title Plan DP 557011		Deposited on: 25/06/2021

Proposed Addition / Sleepout

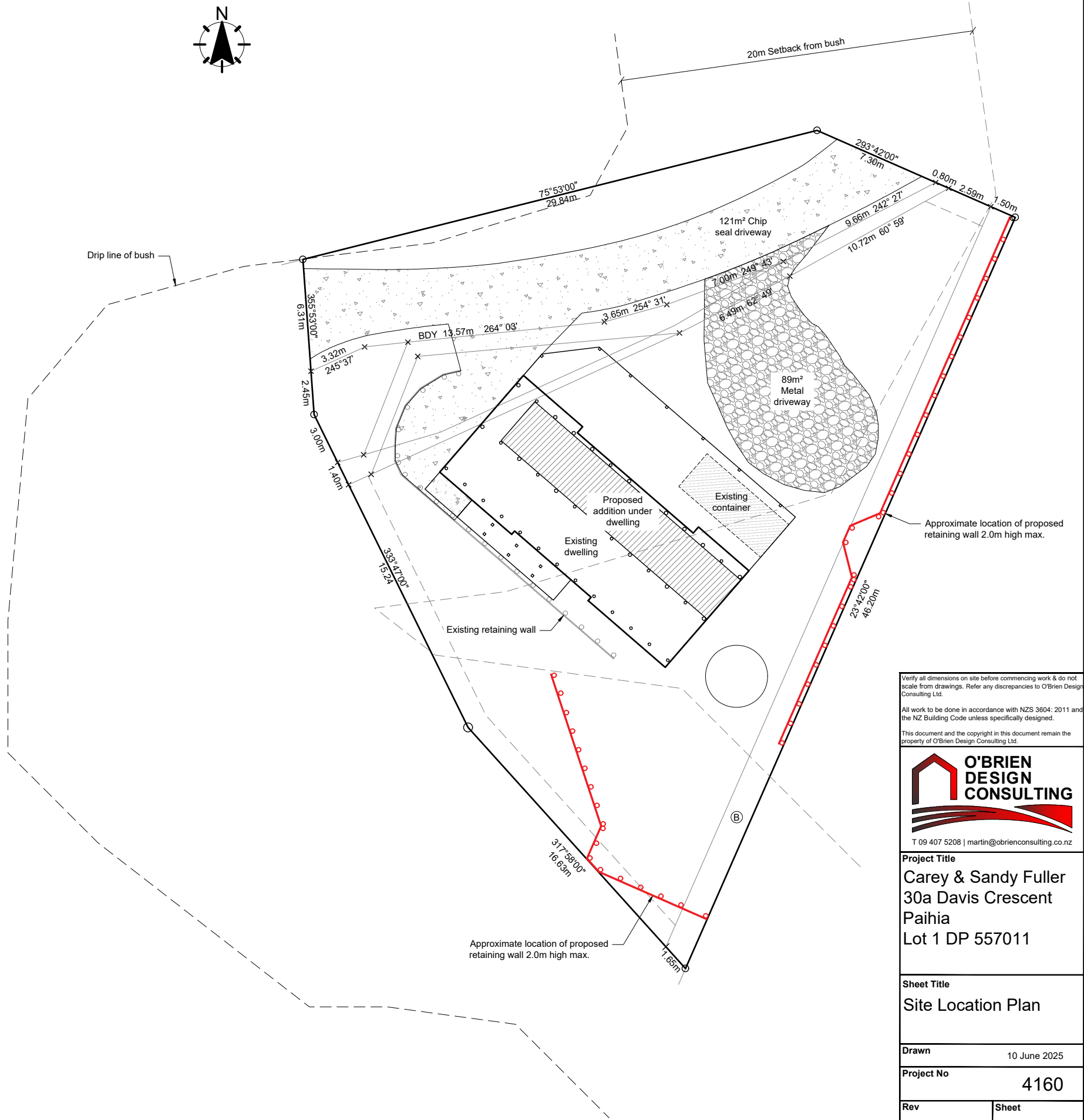
Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011


Construction Drawings
Date: 10 June 2025
Job Number: 4160
Drawn by:



Designer Sheet Index		
Sheet No.	Sheet Title	Rev
A01a	Site Location Plan	E
A01b	Site Plan	E
A02	Existing Floor Plan & Existing Elevations	E
A03	Proposed Floor Plan	E
A04	Proposed Elevations	E
A06	Foundation Plan	E
A07	Framing & Lintel Plan, Section A	E
A08	Threshold Details	E
A09	Hold Down Details	E
A10	Cladding Details	E
A11	Cladding Details	E
A12	Drainage Details	E
Revisions		
-	-	-

Engineer Sheet Index		
Sheet No.	Sheet Title	Rev
S01	Site Layout	-
S02	RW1 Retaining Wall Details	-
S03	RW2 Retaining Wall Details	-
S04	Partial Foundation Details	-
S05	Typical Details	-
S06	Typical Details	-
S07	Technical Details	-



Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.	
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 T 09 407 5208 martin@obrienconsulting.co.nz	
Project Title Carey & Sandy Fuller 30a Davis Crescent Paihia Lot 1 DP 557011	
Sheet Title Site Location Plan	
Drawn 10 June 2025	
Project No 4160	
Rev E	Sheet A01a
Scale (A3 Original) 1: 250 2.5 1.25 0 2.5 5 m	



Lot 1 DP 557011
Lot area: 1068m²
Corrosion zone: D
Wind zone: Very high
Residential zone

District plan compliance:

Residential intensity: Complies

Sunlight rule: Complies

Stormwater Management

(Impermeable surfaces):
Existing chip seal driveway: 166.5m²
Existing metal driveway: 89.0m²
Existing dwelling dwelling: 136.8m²
Total proposed: 392.3m²

Total permitted = 50% of gross site area = 534m²
Total proposed = 392.3m² = 36.7% Complies

Setbacks to boundaries: 1.2m Complies
setbacks to roadside boundaries: 3m Complies

Building height:
Permitted: 8m max
Proposed: 3.8m approx. Complies

Building Coverage:

Existing dwelling: 136.8m²

Total permitted = 45% of gross site area = 480.6m²
Total Proposed = 136.8 = 12.8% Complies

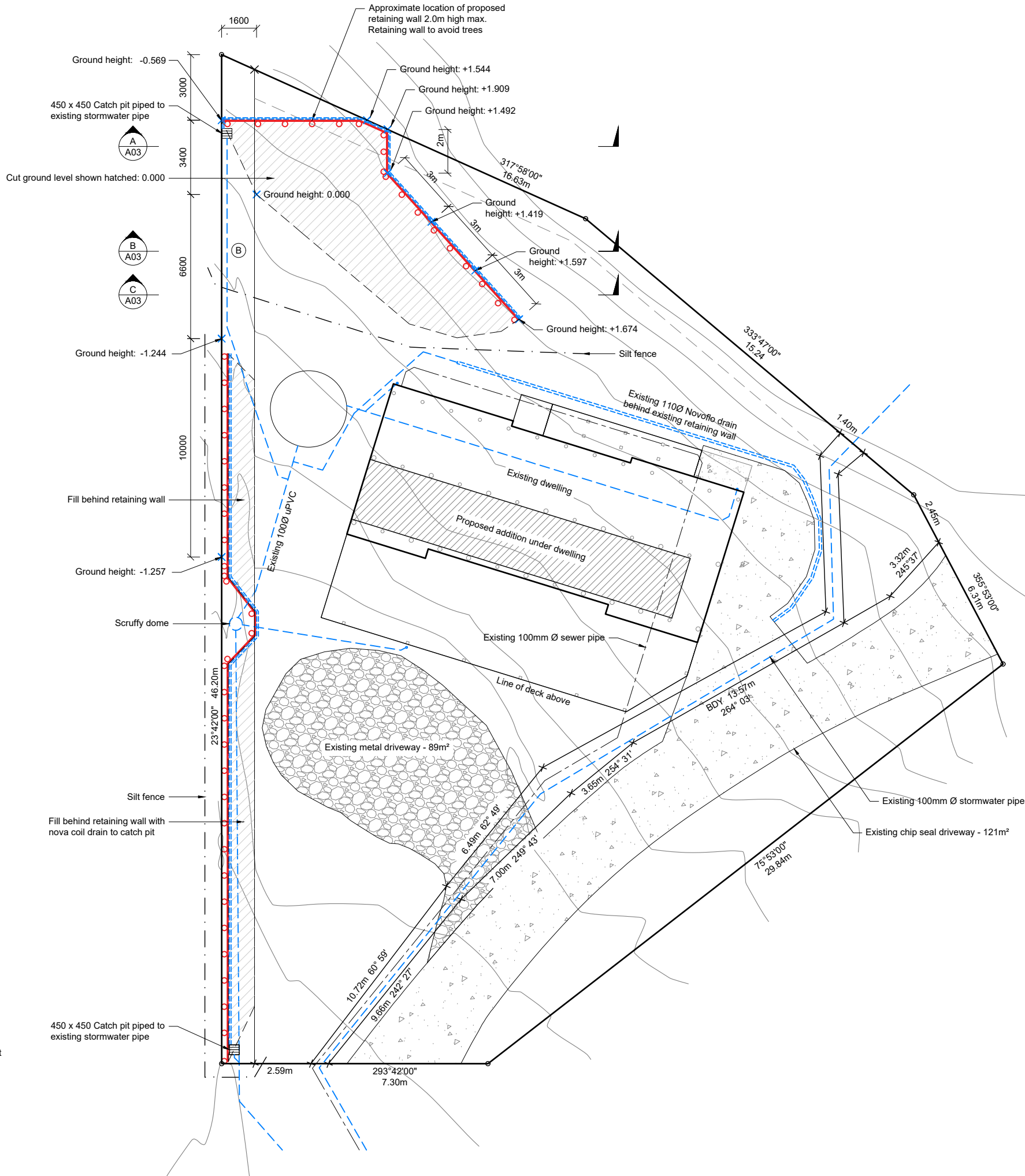
Earthworks

Cut: 60m³
Fill: 60m³
Cut/Fill: 120m³

Total permitted = 200m³ Complies

LEGEND

- Setbacks
- Stormwater: 100mm Ø pipe, min. gradient 1:120
- Stormwater overflow: 100mm Ø pipe, min. gradient 1:120
- Nova coil pipe
- Power cable
- Sewer: 100mm Ø pipe, gradient 1:60
- Measured ground height



NOTES

- All heights shown are existing ground heights.
- All drainage to comply with AS/NZS3500 & NZBC G13/AS1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
- Smoke alarms to be installed to NZS 4514:2021.
- The works which are being proposed will comply with Earthworks EW-S3 Accidental Discovery Protocol and Earthworks EW-S5 Erosion and Sediment Control - Auckland Council Guideline Document GD005 GD05 Erosion and Sediment Control.pdf (aucklanddesignmanual.co.nz)

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Project Title

Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title

Site Plan

Drawn 10 June 2025

Project No 4160

Rev E Sheet A01b

Scale (A3 Original) 1: 200

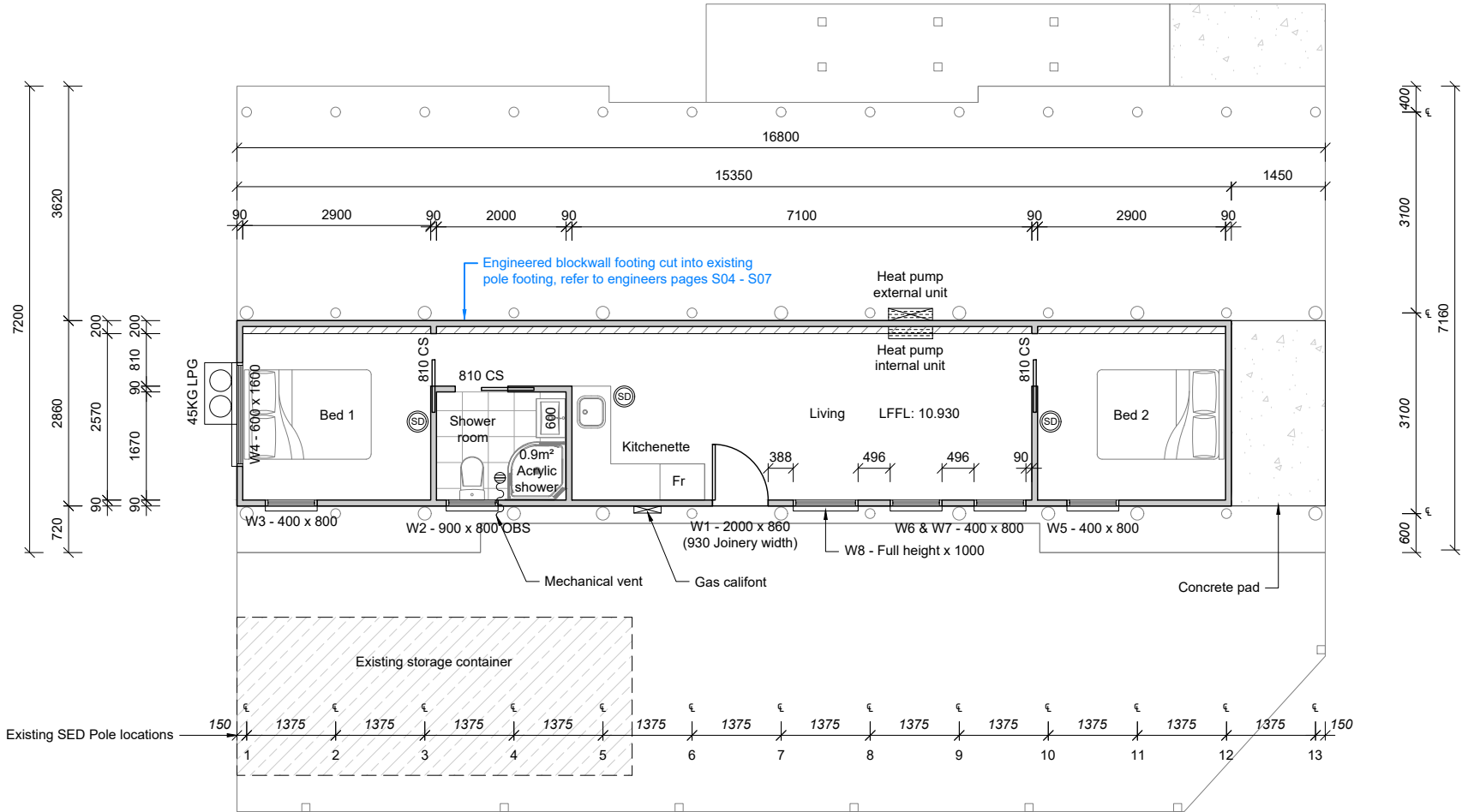




SPECIFICATION:

- Very High wind zone
- Exposure zone C
- Concrete foundations
- 2.4m Stud height
- Palisade cladding cladding on 20mm cavity
- Direct-fix H3.2 Plywood board & batten cladding
- 10mm GIB wall lining
- 13mm GIB ceiling lining
- All windows and doors double glazed (low Xcel)
- Grade A safety glazing in bathroom window and all full height ranch sliders inline with NZS 4223.

BRACING NOTE: Addition succulently braced via existing SED Posts.



- NOTE:
1. All dimensions taken from the outside of pre-cut, please check all dimensions before construction commences.
 2. Refer to Section for lintel dimensions, stud spacing & external door offsets.
 3. Additional nogs to be installed at framing stage to allow for fixed shelves, wall mounted extractors, heat pump & A/C units & where required.
 4. Refer to attached sheet for cladding & roofing notes & details.
 5. All wall framing typically H1.2 treated unless specifically stated.
 6. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 7. Waterproof membrane under the tiles (or similar) is to extend 1.5m from bathroom & kitchen sanitary fixtures to comply with E3/AS1 3.0
 8. Artificial lighting to be provided inline with NZS 6703:1984 & G8/AS1.
 9. Smoke alarms to be installed to NZS 4514:2021. This includes the existing dwelling.

BUILDING AREA:

Floor Area: 44.5m²

FIXINGS:

Exposure Zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Project Title
Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title
Proposed Floor Plan

Drawn 10 June 2025

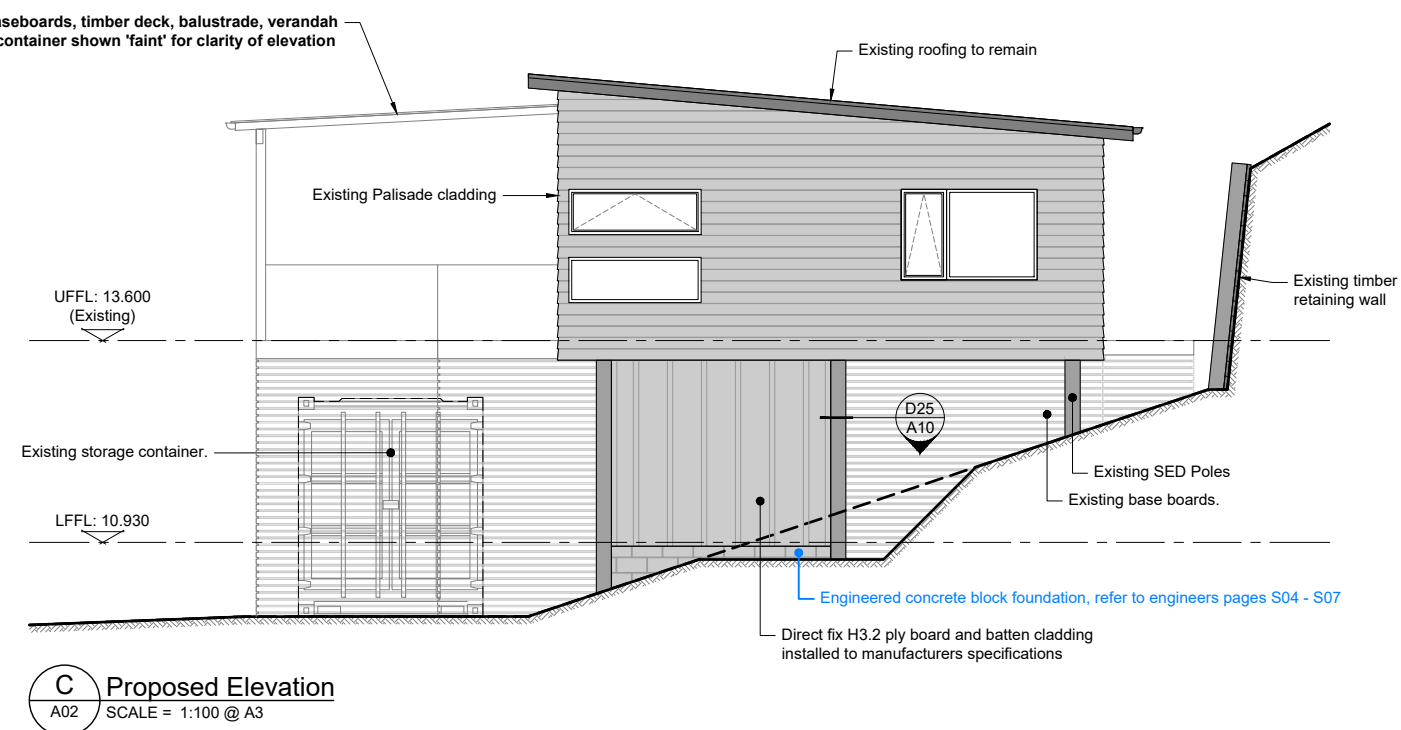
Project No 4160

Rev E Sheet A03

Scale (A3 Original) 1: 100
1 0.5 0 1 2 m

LEGEND

- Smoke Detector
- Roof Line
- 90 x 45 SG8 H1.2 Timber framing walls
- Selected tiles on selected tile underlay to all wet areas installed to manufacturers specifications & Branz tiling good practice guide
- Rinnai Infinity VT26 water heater installed to manufacturers instructions
- 45KG LPG Bottles, top of bottle to be 500mm min. from ignition source refer to LPG Association Code of Practice for clearances and seismic restraints.



1. All heights shown are existing ground heights.
2. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
3. All windows and doors double glazed.
4. Grade A safety glazing in bathrooms & tall windows and sliders inline with NZS 4223.

FIXINGS:

Exposure Zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

SPECIFICATIONS					
Cladding Type	H3.2 Ply Board & battens				
Stud Height	2460				
Joinery	Aluminium				
Wind Zone	Very High				
Earth Quake Zone	1				

RISK MATRIX					
Risk Factor	L	M	H	VH	Score
A. Wind Zone	0	0	1	2	2
B. Number of Storeys	0	1	2	4	2
C. Roof / Wall Intersection	0	1	3	5	0
D. Eave Width	0	1	2	5	1
E. Envelope Complexity	0	1	3	6	1
F. Deck Design	0	2	4	6	0
	Total				6

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Project Title	
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Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title

Proposed Elevations

Drawn	10 June 2025
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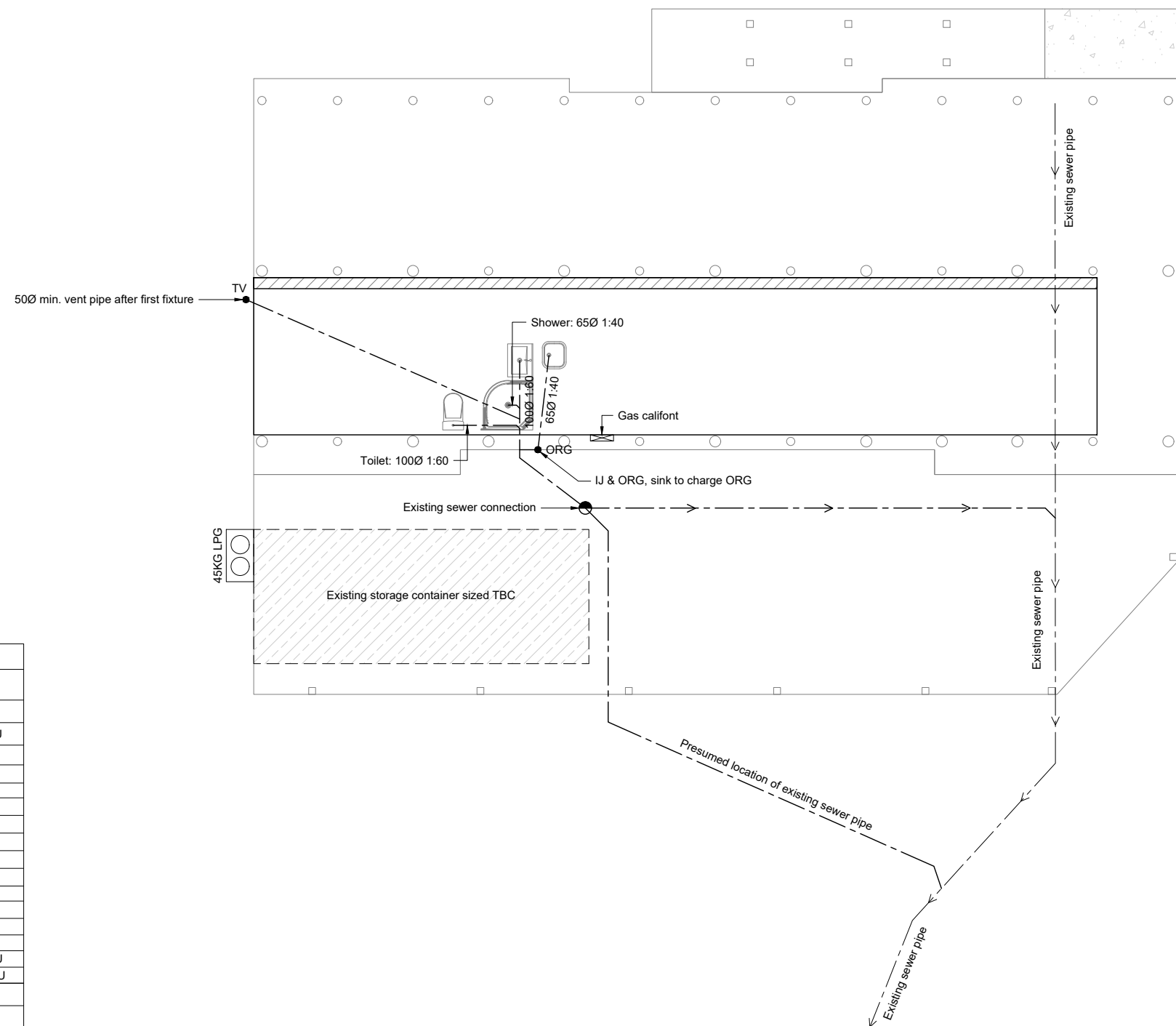
Project No	4160
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Rev	Sheet
E	A04

Scale (A3 Original) 1: 100



- NOTE:
1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
 2. All drainage to comply with AS/NZS 3500 & NZBC G13/AS1.
 3. All lateral drains under slab to be a minimum of 65Ø.




Waste Pipe Gradients (min)		
40Ø	1:40 Minimum Gradient	4DU
65Ø	1:40 Minimum Gradient	21DU
100Ø	1:60 Minimum Gradient	115DU
Waste Pipe & Discharge Units		
40Ø	Hand basin	1DU
40Ø	Kitchen Sink	3DU
40Ø	Dishwasher	3DU
40Ø	Laundry Tub	3DU
40Ø	Washing Machine	5DU
40Ø	Shower	2DU
40Ø	Bath	4DU
100Ø	WC Pan	4DU
Drainage Pipe Gradient		
65Ø	1:40 Minimum Gradient	25DU
85Ø	1:60 Minimum Gradient	61DU
100Ø	1:60 Minimum Gradient	205DU
150Ø	1:60 Minimum Gradient	1310DU
● TV	Terminal Vent	
● ORG	Overflow Relief Gully	
+ RE	Rodding Eye	
- - - - -	Drainage - Waste Pipe	

Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.

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Project Title

Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title

Drainage Plan

Drawn

10 June 2025

Project No

4160


Rev

E

Sheet

A05

Scale (A3 Original) 1: 100



- NOTE:
1. All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.
 2. Check all existing drain locations and all dimensions on site before construction.
 3. Refer to Engineers notes for concrete MPa & other details.
 4. Plans to be read in conjunction with Engineers foundation design & PS1.
 5. Local Authority should inspect the earthworks, building platform construction and foundation, prior to the concrete being poured to ensure that the design criteria has been met.
 6. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 7. Confirm rebate to slab for external doors with designer or home builder before construction.
 8. Granular fill to comply with NZS 3604:2011, greater than 600mm to be engineered. Fill to be compacted at 150mm intervals and tested at 300mm intervals. Do not build on uncertified fill.

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Project Title
Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

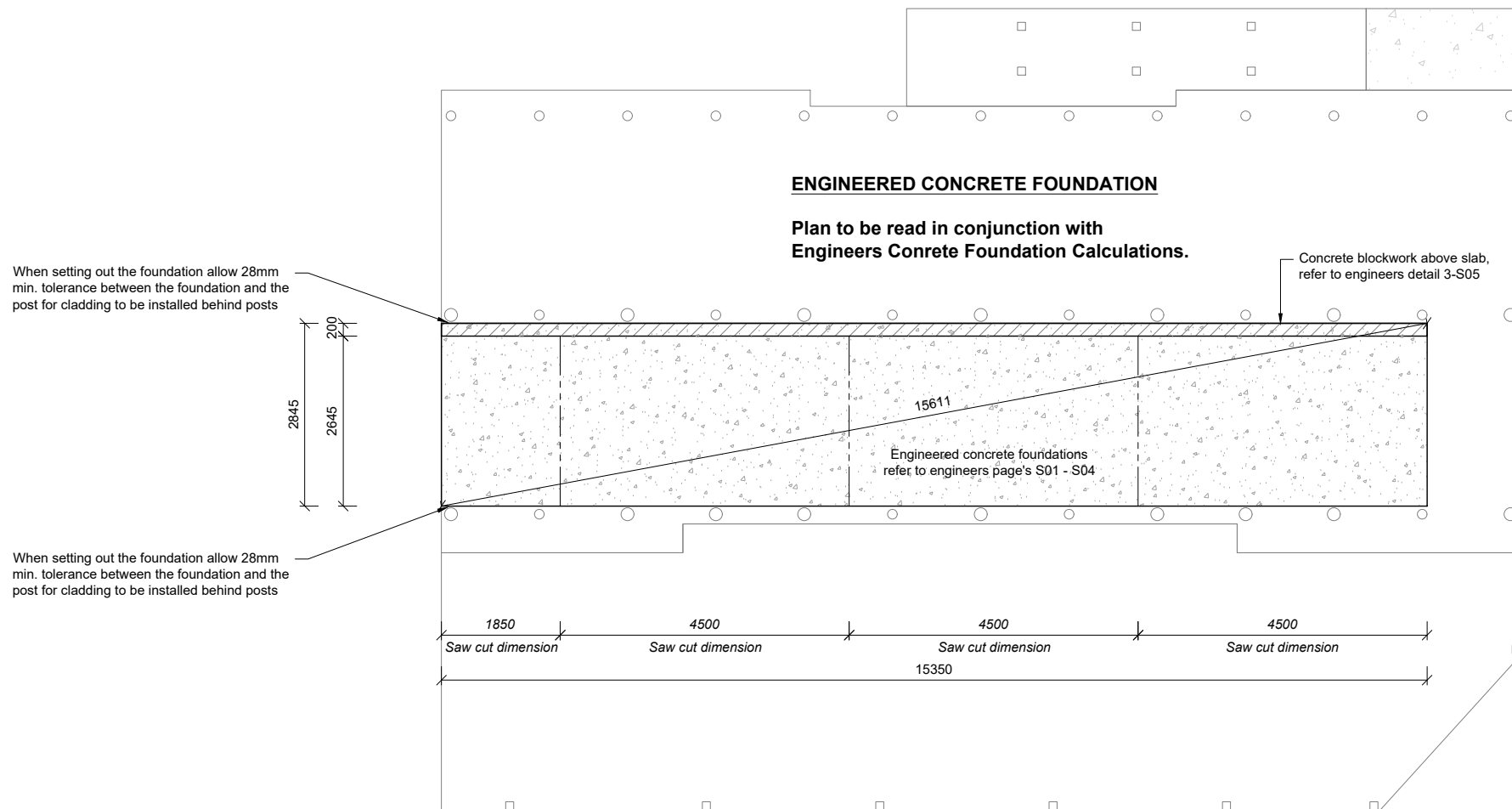
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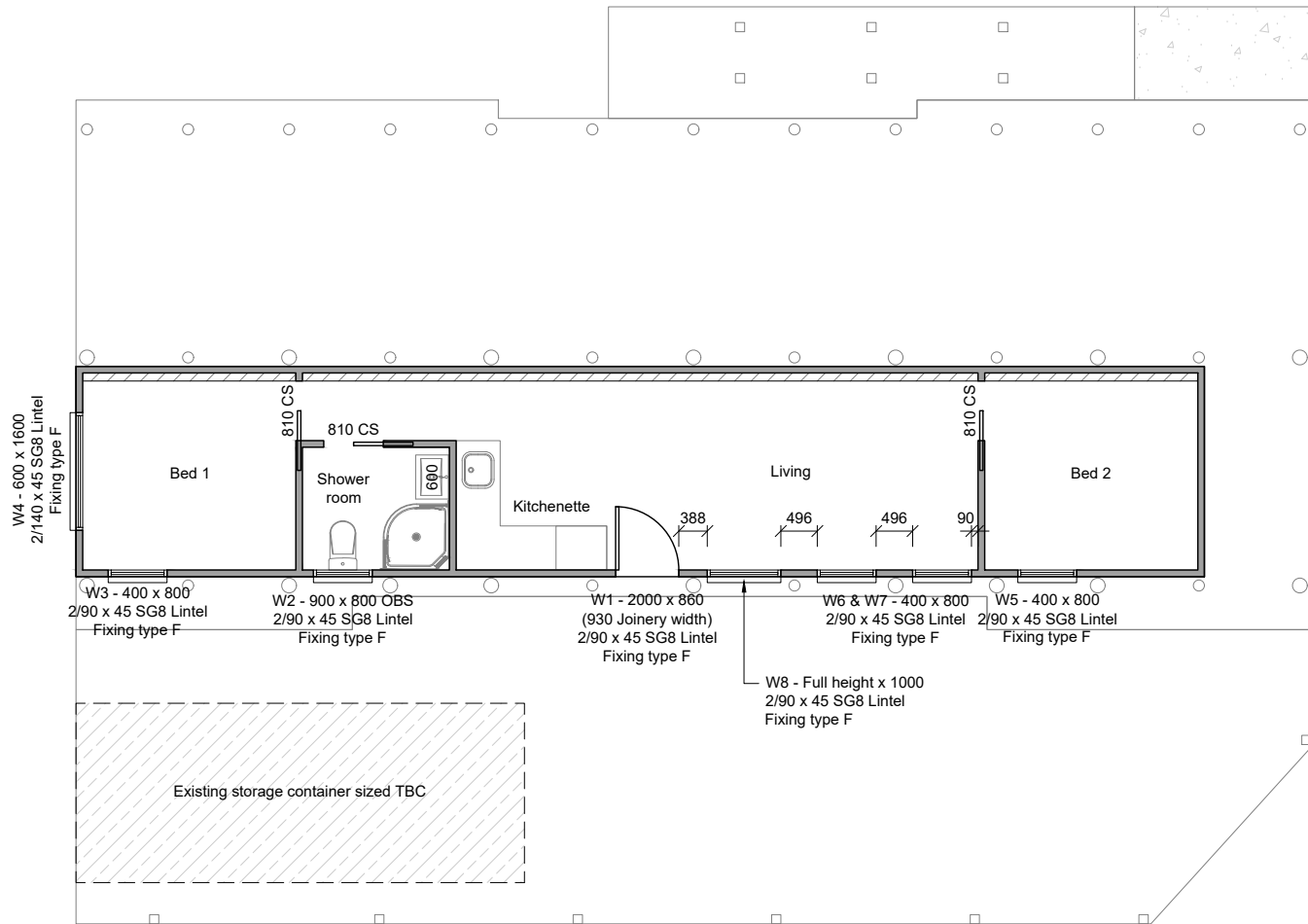
Drawn 10 June 2025

Project No 4160

Rev	Sheet
E	A06

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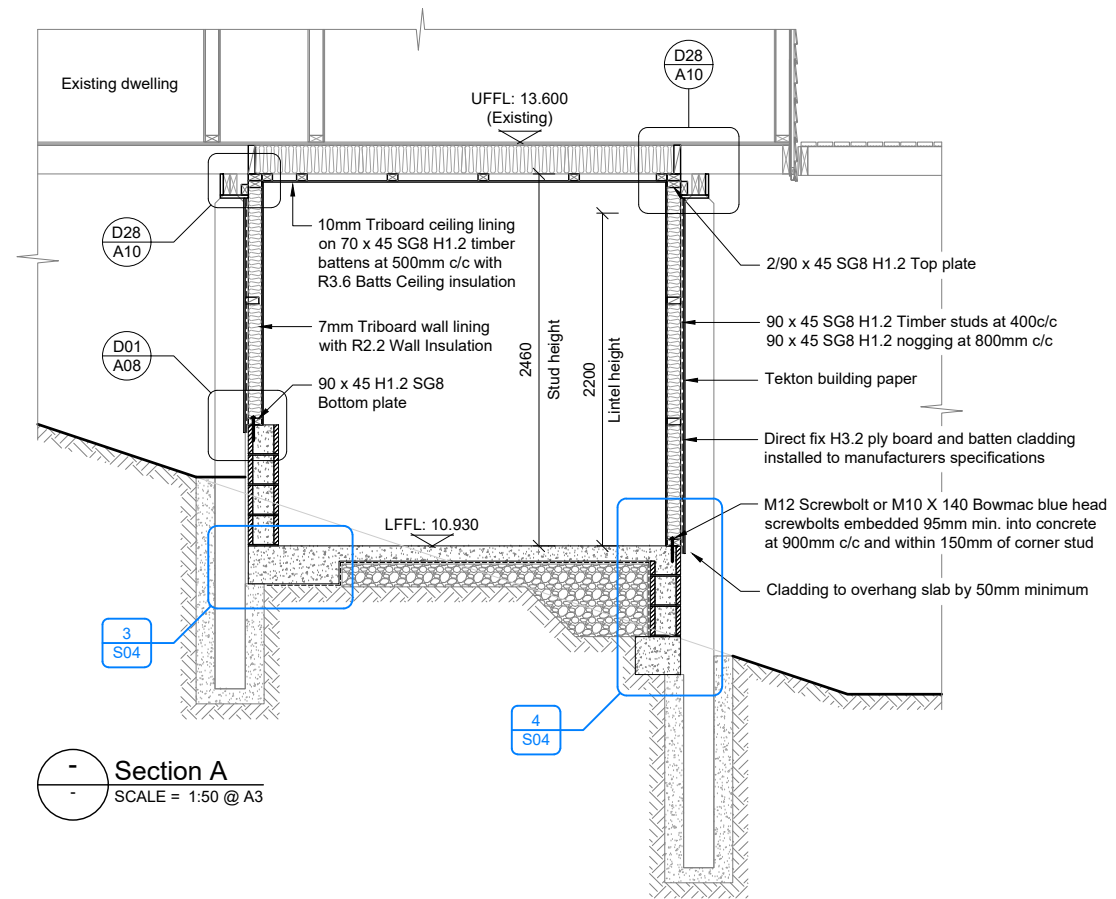
Framing & Lintel Plan
SCALE = 1:100 @ A3

FRAMING NOTES:

- For framing notes refer to separate detail sheet.
- For joinery notes refer to separate detail sheet.
- All internal walls non load bearing all loads less than 10KN.

LEGEND

- 90 x 45 SG8 H1.2 Timber studs at 400c/c, nogs at 800c/c
- Timber wall framing above concrete block wall



Section A
SCALE = 1:50 @ A3

FIXINGS

Exposure zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Fixings within 600mm of finished ground level to be 304 stainless steel.
Exposed fixings to be type 304 stainless steel.
Sheltered fixings to be type 304 stainless steel.
Closed in nail plates in roof space to be continuous coated galvanized steel.
Closed in wire dogs and bolts to be hot dipped galvanized steel.
All other closed structural fixings to be mild steel (uncoated non galvanized)

SECTION NOTES

- All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
- All wall framing typically H1.2 treated unless specifically stated.
- Refer to Framing & Lintel Plan for lintel dimensions, stud spacing & external door offsets.
- All wet areas to be provided with impervious linings as per NZBC E3/AS1.
- Aqualine GIB to all wet areas.
- All shower units to be modular.
- Additional nogs to be installed at framing stage to allow for towel rails, wardrobe & fixed shelves, WC cistern, toilet roll holders & wall mounted extractors.

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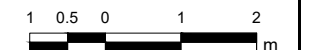
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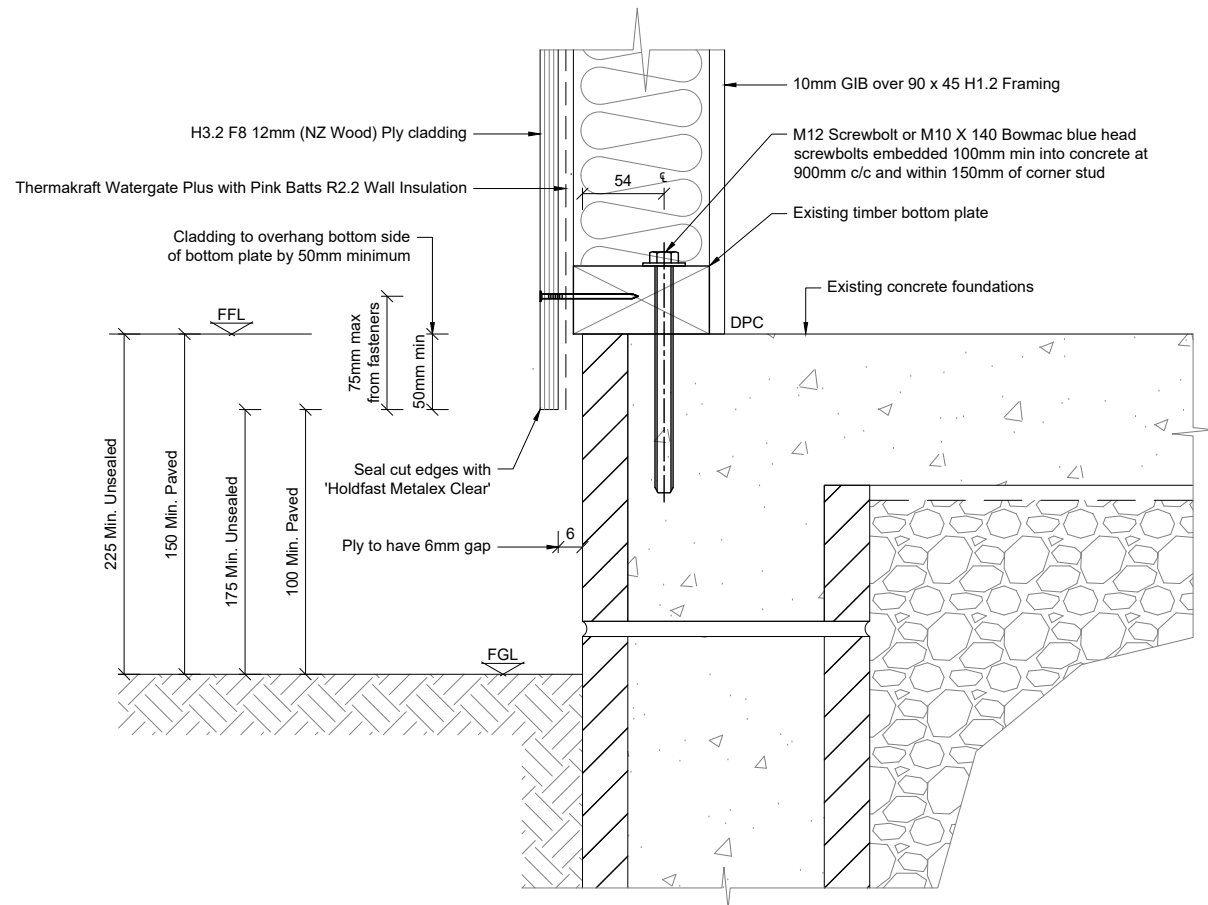
Drawn 10 June 2025

Project No 4160

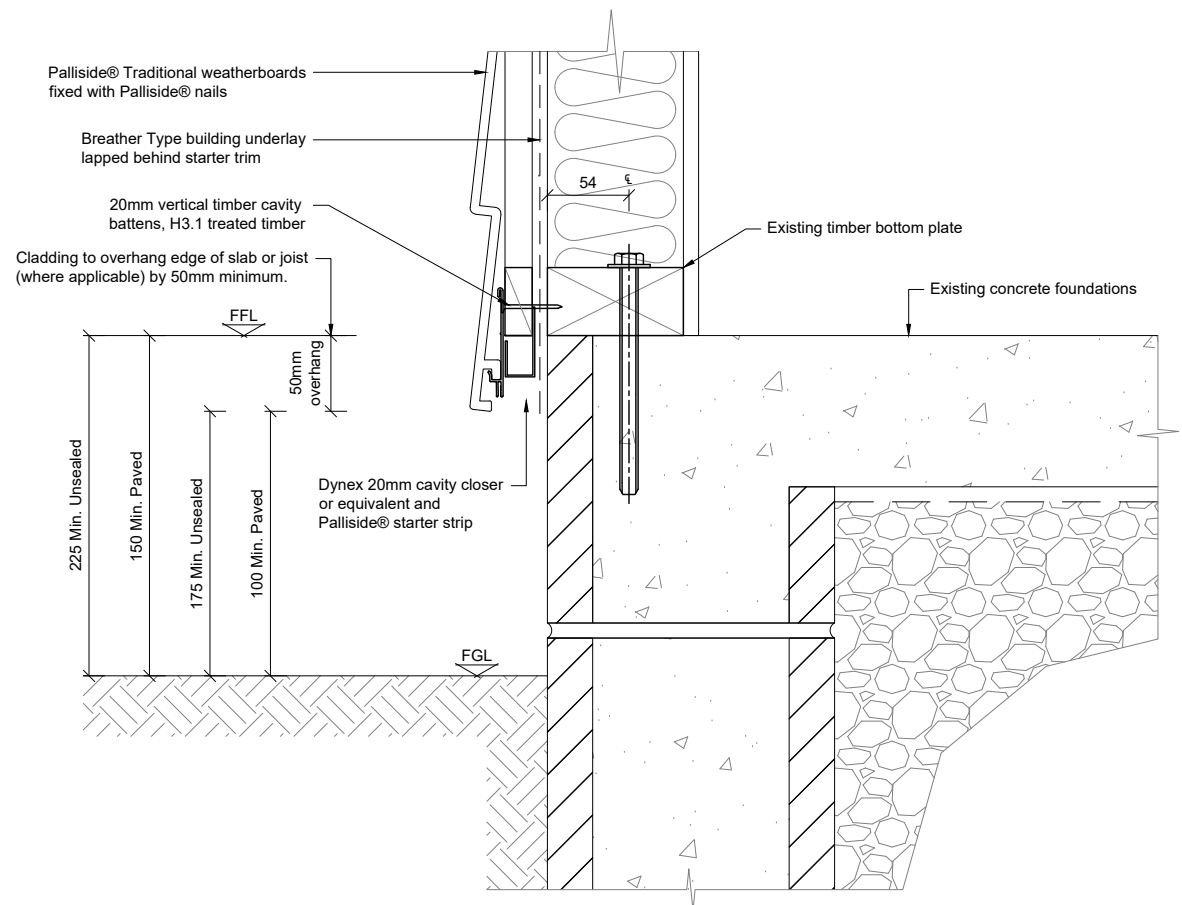
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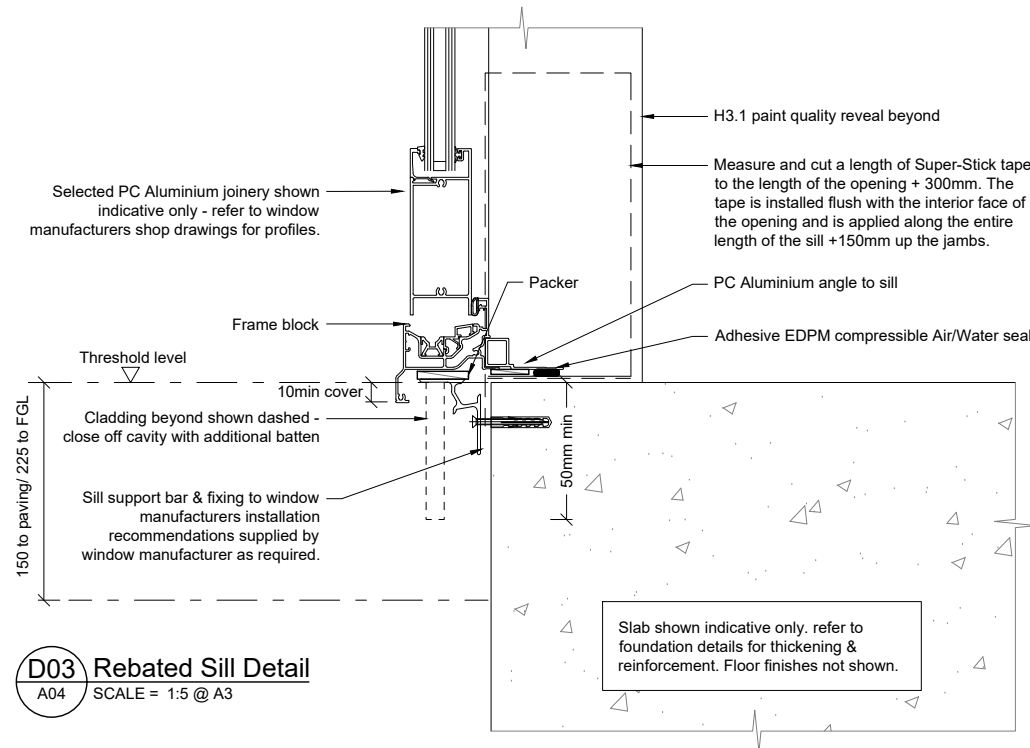




D01 H3.2 Ply Cladding (Direct Fixed) - Foundation Edge Detail
A04 SCALE = NTS @ A3



D02 Palliside Traditional Weatherboard (Cavity Fixed) - Foundation Edge Detail
A04 SCALE = NTS @ A3



D03 Rebated Sill Detail
A04 SCALE = 1:5 @ A3

NOTE:

1. All window joinery to comply with NZS 4211:2008. All glazing to comply with NZS 4223.3:2016.
2. Flashing materials must be selected based on environmental exposure, refer to NZS 3604:2012 & NZBC E2/AS1 Table 20.
3. Building underlay must comply with acceptable solution NZS 3604:2012 & NZBC E2/AS1.
4. Sill support bars conforming to BRANZ evaluation method EM6 to be installed to all windows.
5. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact as per NZBC E2/AS1 Table 21.
6. As per NZBC E2/AS1 Section 9.1.10.8: Install windows & doors using pairs of min 75x3.15 jolt head nails through reveals into surrounding frame at:
 - a) Maximum 450mm max c/c along sills, jams & heads.
 - b) Maximum 150mm max from ends of reveal Install packers between reveals & framing at all fixing points, except between head reveals & lintels.
7. All window and door openings to be checked on site prior to manufacture, any discrepancies to be reported to Designer.
8. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
9. Details to be read in conjunction with manufacturers specifications and installation requirements.

FIXINGS

Exposure zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Paihia
Lot 1 DP 557011

Sheet Title
Threshold Details

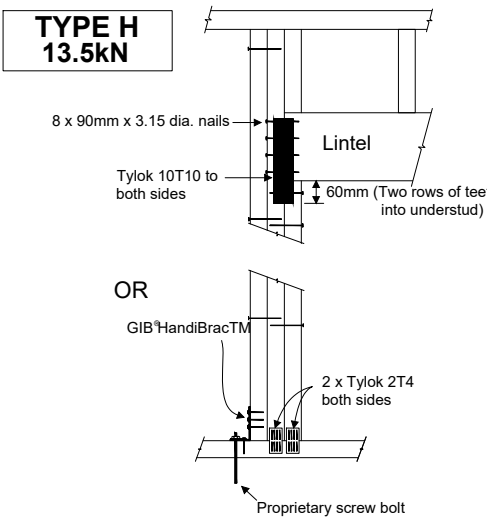
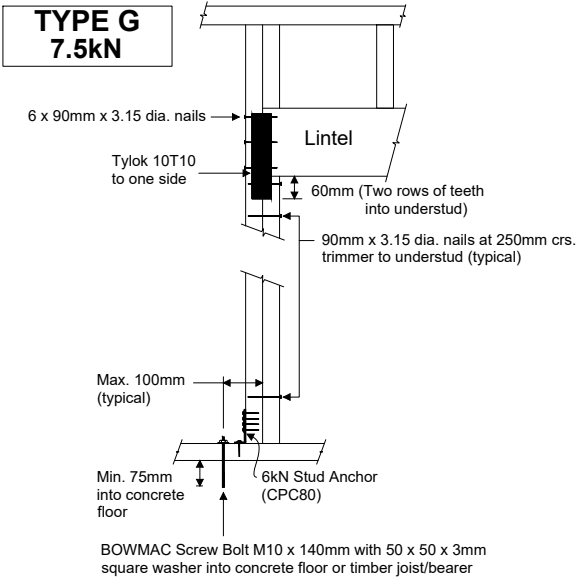
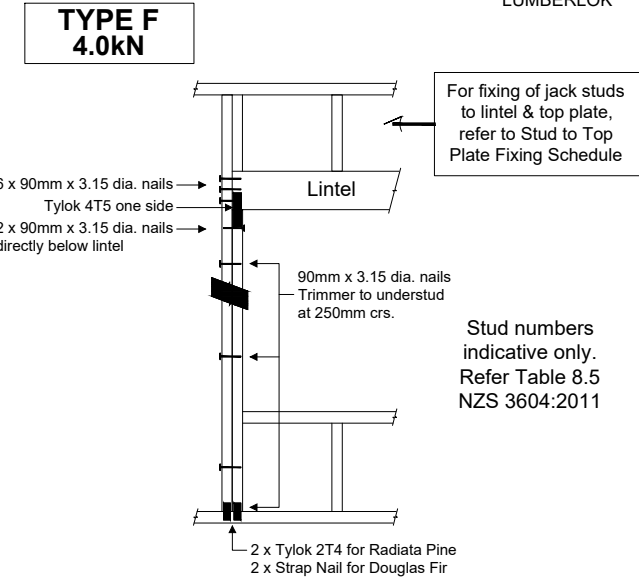
Drawn 10 June 2025

Project No 4160

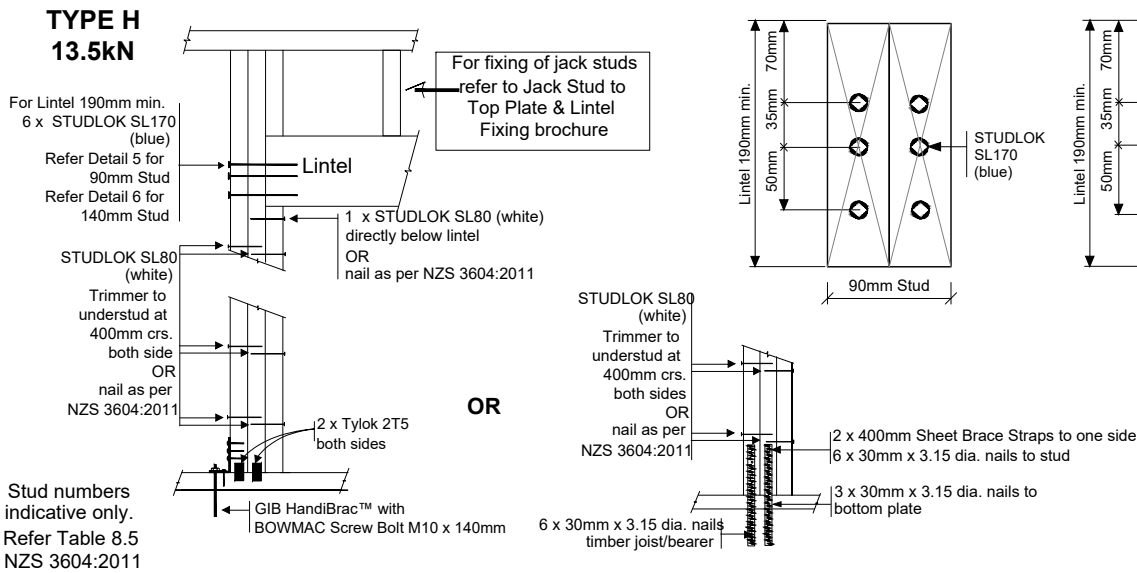
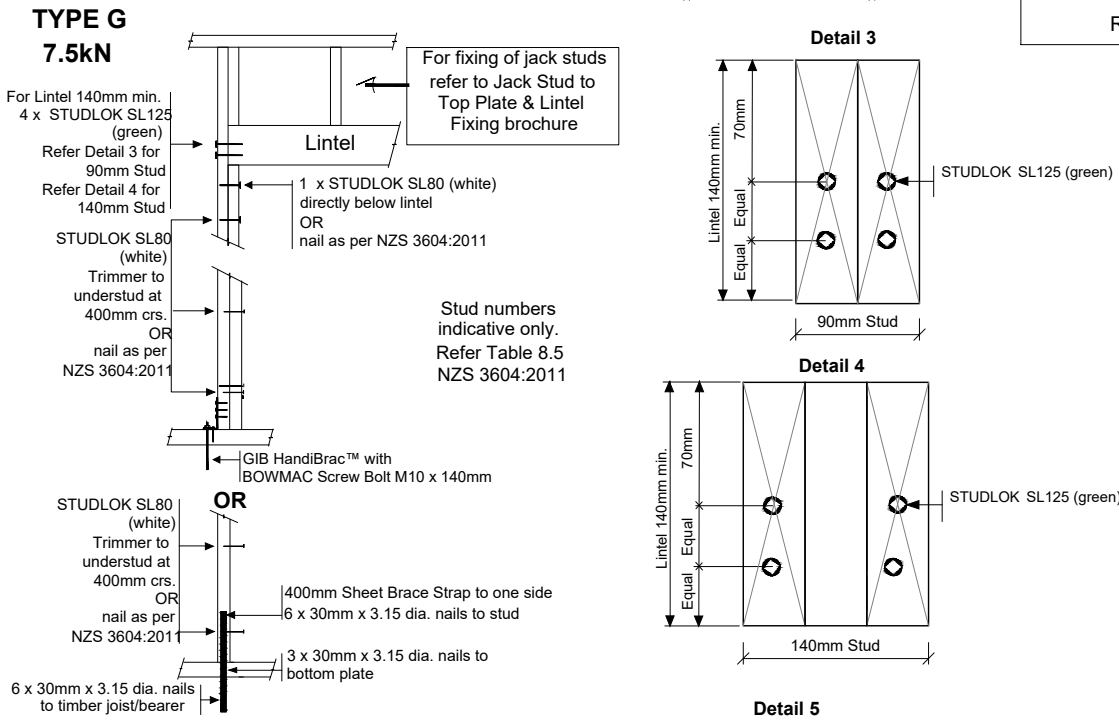
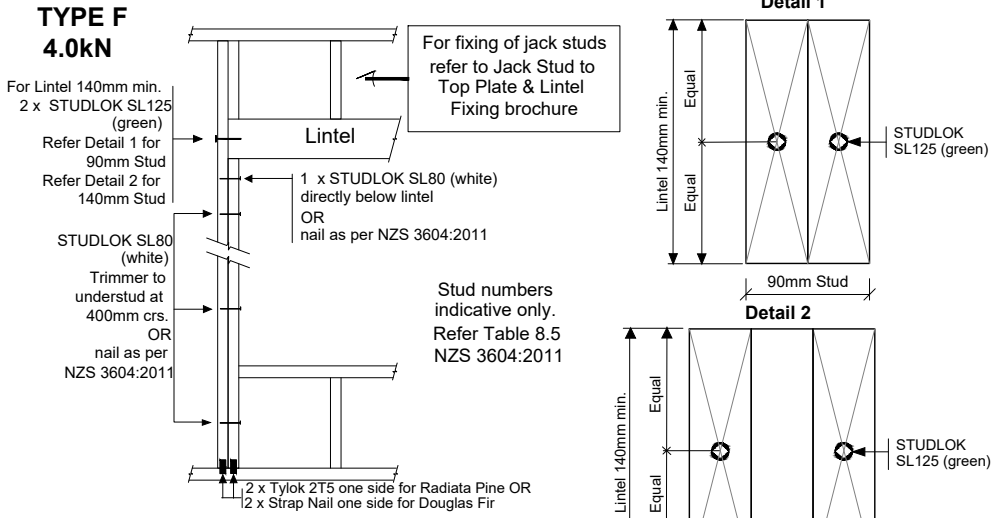
Rev	Sheet
E	A08

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LINTEL FIXING OPTIONS



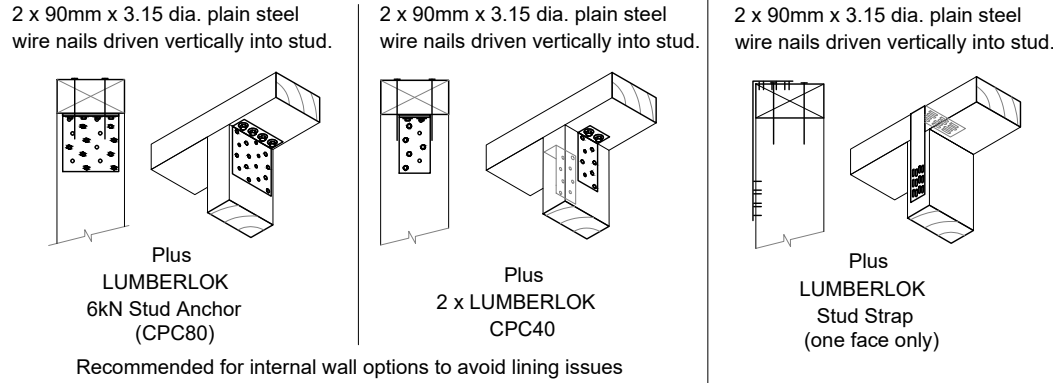
STUDLOK LINTEL FIXING OPTIONS FOR ON-SITE



TOP PLATE CONNECTION OPTIONS:
 Choose from the three connections below or refer to manufacturers information in specifications for Bowmac Stud-lok fixing

NOTE:
 To calculate the number of B type fixings required, divide the wall length by the stud centres, add 1 to this figure and locate this number of fixings as evenly as possible along the wall length. This figure includes the start and end studs in each wall length.

FIXING TYPE B: 4.7kN CHOOSE ANY OF THE 3 OPTIONS BELOW



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 Lot 1 DP 557011

Sheet Title
 Hold Down Details

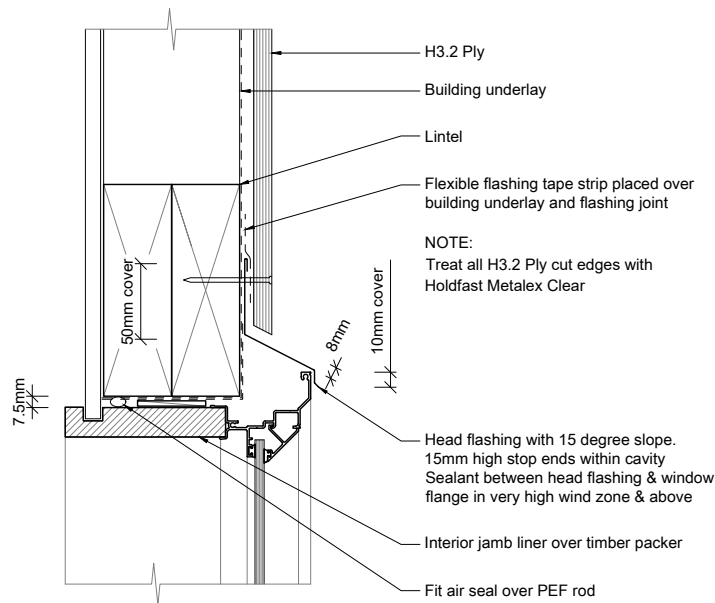
Drawn 10 June 2025

Project No 4160

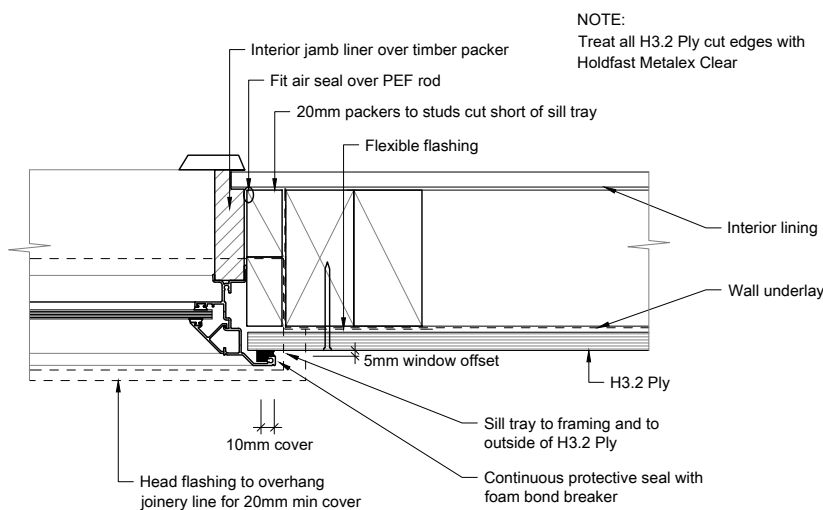
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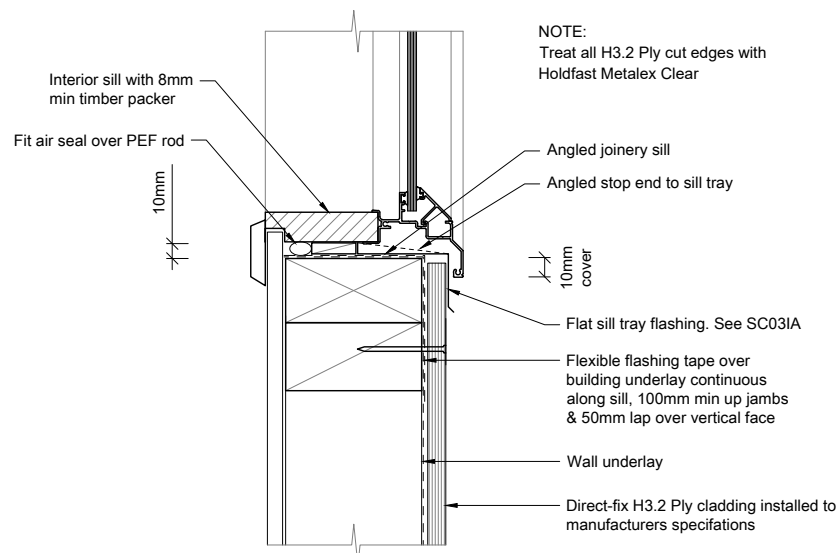
FIXINGS
 Exposure zone: D
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1
 Fixings within 600mm of finished ground level to be 304 stainless steel.
 Exposed fixings to be type 304 stainless steel.
 Sheltered fixings to be type 304 stainless steel.
 Closed in nail plates in roof space to be continuous coated galvanized steel.
 Closed in wire dogs and bolts to be hot dipped galvanized steel.
 All other closed structural fixings to be mild steel (uncoated non galvanized)



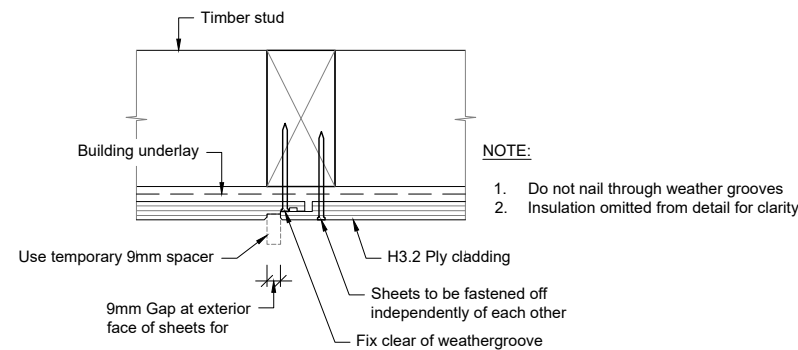
D21 Direct Fix Ply Cladding - Head Detail
A04 SCALE = 1:5 @ A3



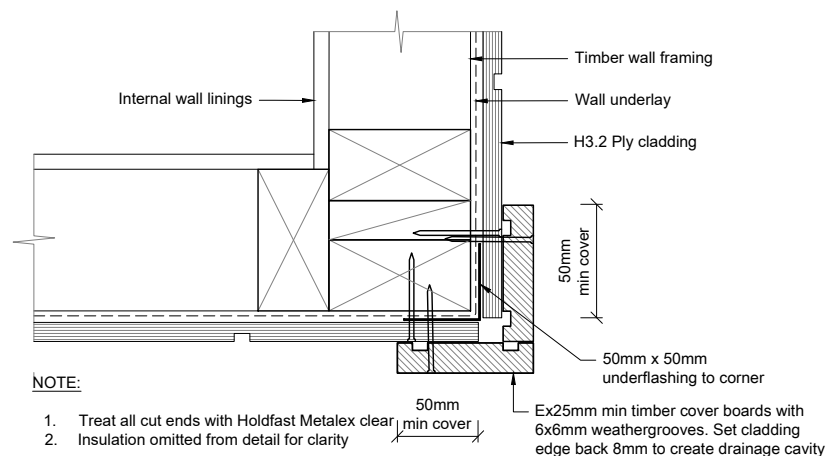
D22 Direct Fix Ply Cladding - Jamb Detail
A04 SCALE = 1:5 @ A3



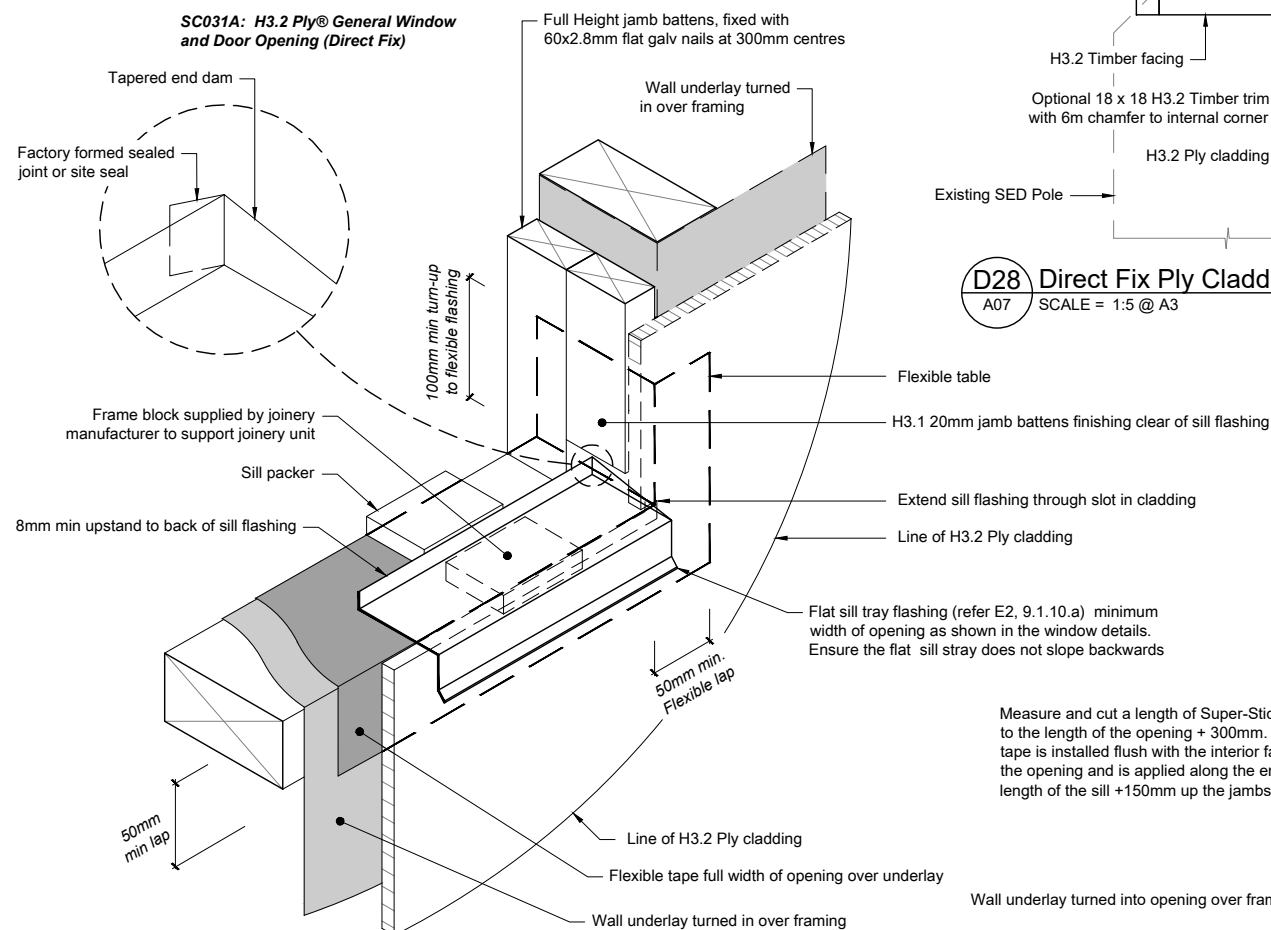
D23 Direct Fix Ply Cladding - Sill Detail
A04 SCALE = 1:5 @ A3



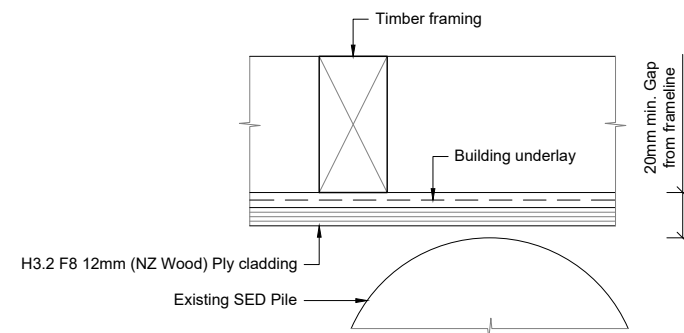
D24 Direct Fix Ply Cladding - Vertical Join Detail
SCALE = 1:5 @ A3



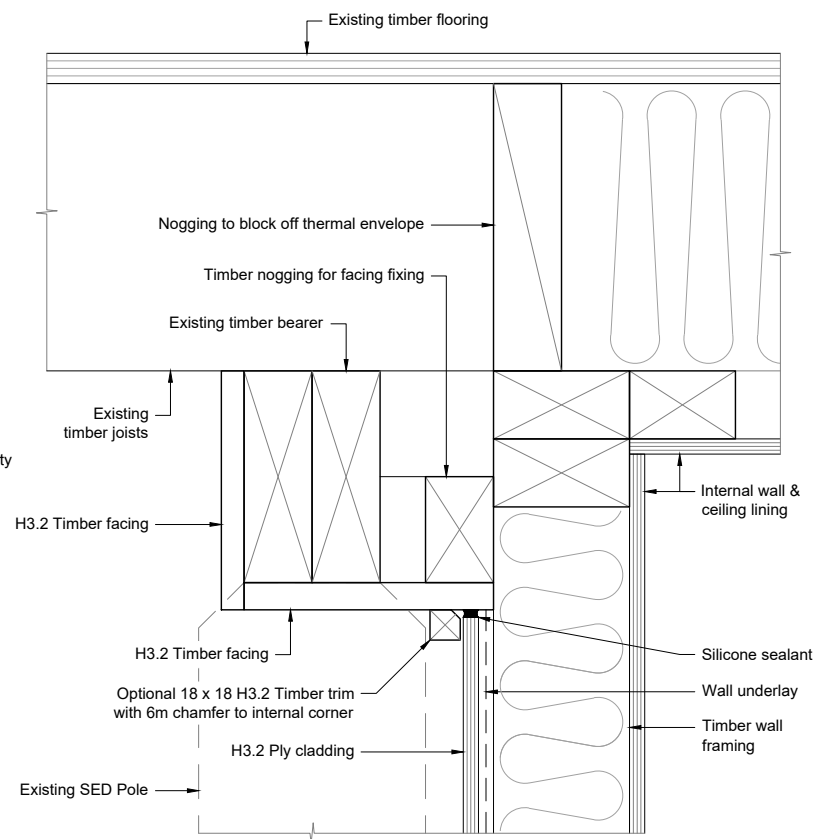
D25 Direct Fix Ply Cladding - External Corner Detail
A04 SCALE = 1:5 @ A3



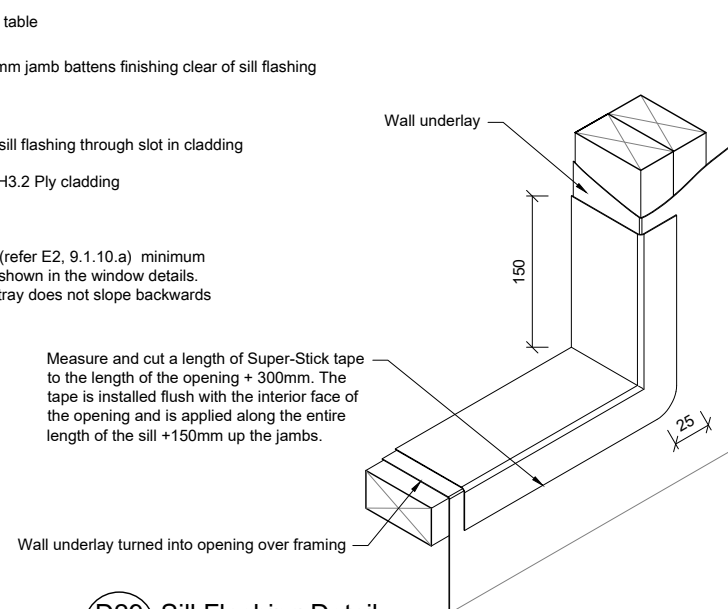
D26 Direct Fix Ply Cladding - Sill Detail
SCALE = 1:5 @ A3



D27 Direct Fix Ply Cladding - SED Pile Clearance
SCALE = 1:5 @ A3



D28 Direct Fix Ply Cladding - Soffit Detail
A07 SCALE = 1:5 @ A3



D29 Sill Flashing Detail
SCALE = 1:5 @ A3

NOTE:

- All window joinery to comply with NZS 4211:2008. All glazing to comply with NZS 4223.3:2016.
- Flashing materials must be selected based on environmental exposure, refer to NZS 3604:2012 & NZBC E2/AS1 Table 20.
- Building underlay must comply with acceptable solution NZS 3604:2012 & NZBC E2/AS1.
- Sill support bars conforming to BRANZ evaluation method EM6 to be installed to all windows.
- Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact as per NZBC E2/AS1 Table 21.
- As per NZBC E2/AS1 Section 9.1.10.8: Install windows & doors using pairs of min 75x3.15 jolt head nails through reveals into surrounding frame at:
 - Maximum 450mm max c/c along sills, jambs & heads.
 - Maximum 150mm max from ends of reveal. Install packers between reveals & framing at all fixing points, except between head reveals & lintels.
- All window and door openings to be checked on site prior to manufacture, any discrepancies to be reported to Designer.
- All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
- Details to be read in conjunction with manufacturers specifications and installation requirements.

FIXINGS

Exposure zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Project Title

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Lot 1 DP 557011

Sheet Title

Cladding Details

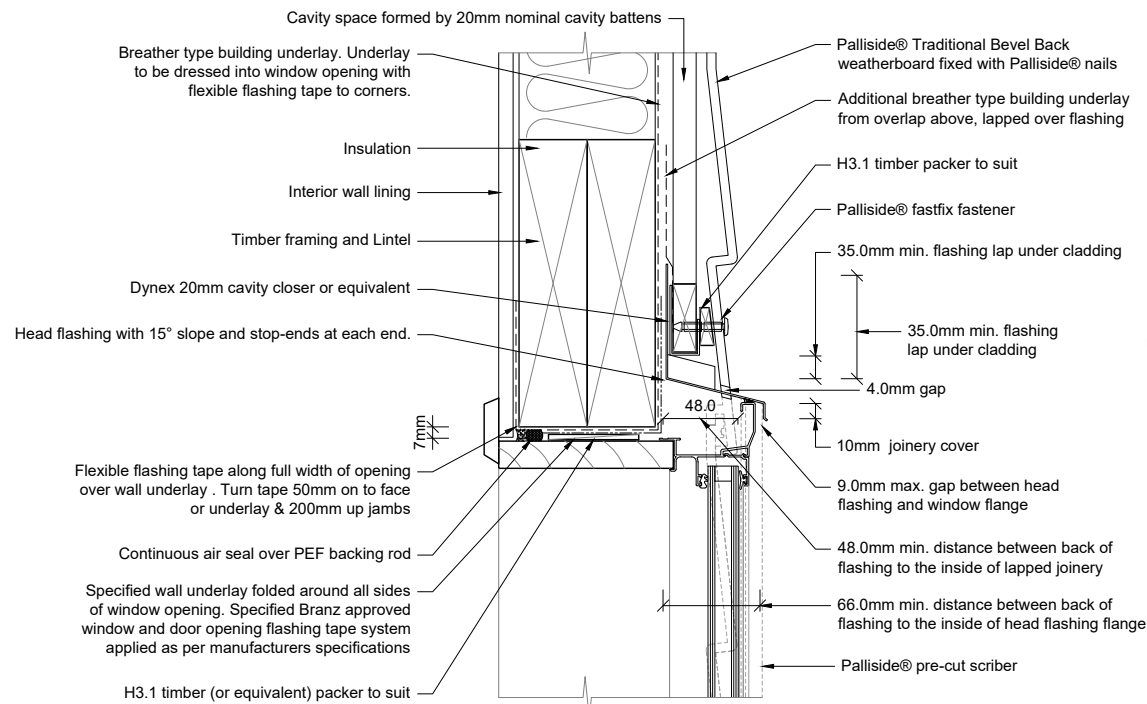
Drawn 10 June 2025

Project No 4160

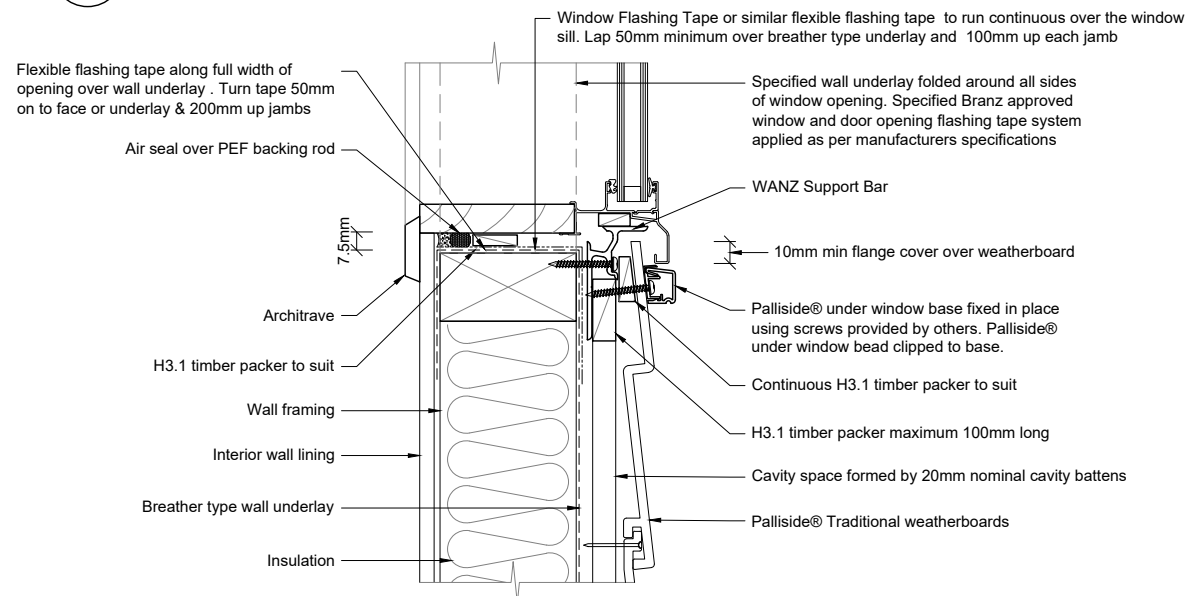
Rev E Sheet A10

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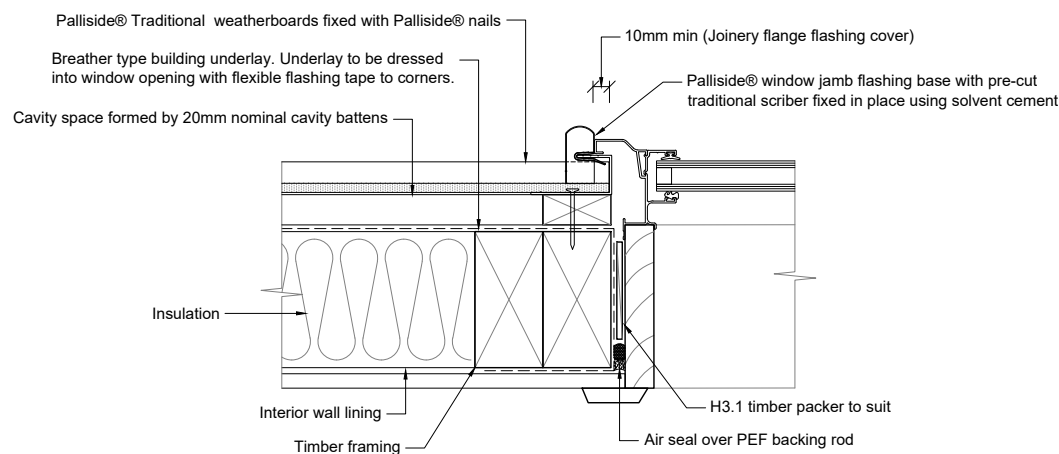
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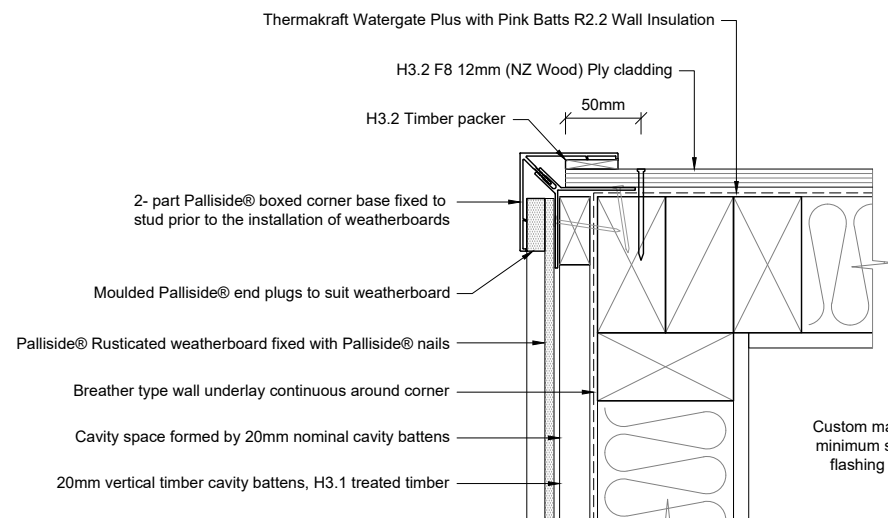
D31 Palliside Traditional Weatherboard (Cavity Fixed) - Window Head Detail
A04 SCALE = NTS @ A3



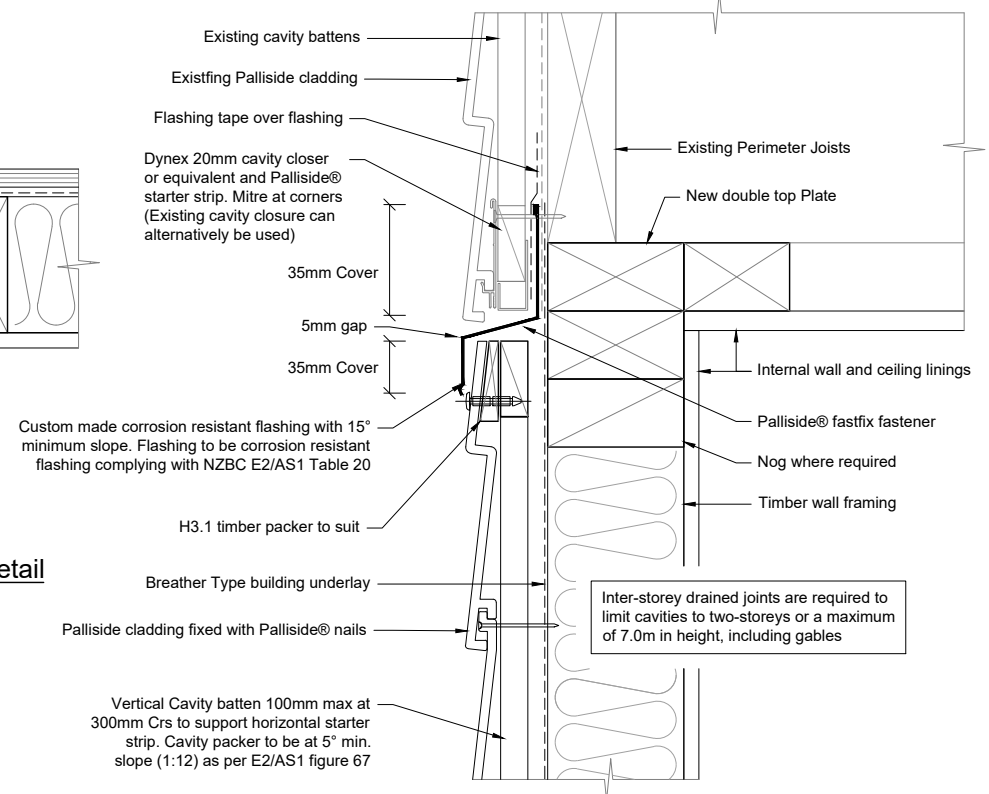
D32 Palliside Traditional Weatherboard (Cavity Fixed) - Window Sill Detail
A04 SCALE = NTS @ A3



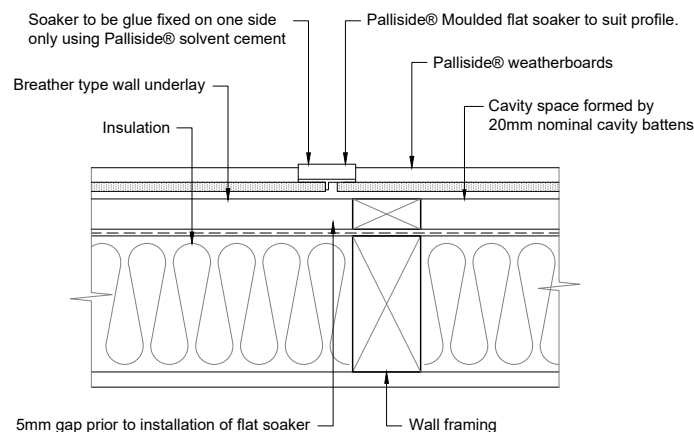
D33 Palliside Traditional Weatherboard (Cavity Fixed) - Window Jamb Detail
A04 SCALE = NTS @ A3



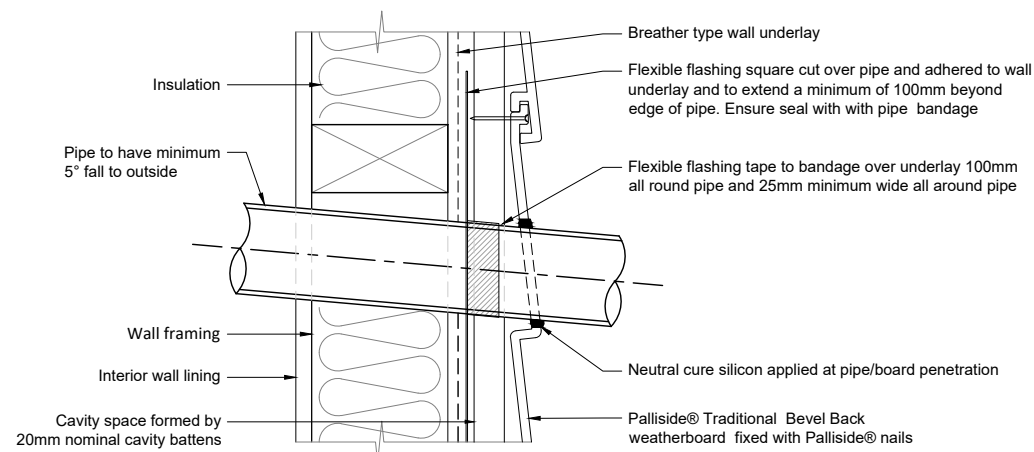
D34 Palliside to H3.2 Ply Cladding - External Corner Detail
A04 SCALE = NTS @ A3



D37 Palliside Cladding (Cavity Fixed) - Inter story Joint Detail
SCALE = NTS @ A3



D35 Palliside Traditional Weatherboard (Cavity Fixed) - Soffit Detail
SCALE = NTS @ A3



D36 Palliside Traditional Weatherboard (Cavity Fixed) - Pipe Penetration Detail
SCALE = NTS @ A3

NOTE:

1. All window joinery to comply with NZS 4211:2008. All glazing to comply with NZS 4223.3:2016.
2. Flashing materials must be selected based on environmental exposure, refer to NZS 3604:2012 & NZBC E2/AS1 Table 20.
3. Building underlay must comply with acceptable solution NZS 3604:2012 & NZBC E2/AS1.
4. Sill support bars conforming to BRANZ evaluation method EM6 to be installed to all windows.
5. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact as per NZBC E2/AS1 Table 21.
6. As per NZBC E2/AS1 Section 9.1.10.8: Install windows & doors using pairs of min 75x3.15 jolt head nails through reveals into surrounding frame at:
 - a) Maximum 450mm max c/c along sills, jambs & heads.
 - b) Maximum 150mm max from ends of reveal. Install packers between reveals & framing at all fixing points, except between head reveals & lintels.
7. All window and door openings to be checked on site prior to manufacture, any discrepancies to be reported to Designer.
8. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
9. Details to be read in conjunction with manufacturers specifications and installation requirements.

FIXINGS

Exposure zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title
Cladding Details

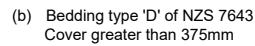
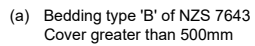
Drawn 10 June 2025

Project No 4160

Rev	Sheet
E	A11

Scale (A3 Original) 1: 5
0.05 0.03 0 0.05 0.1 m

Figure 7: Bedding and backfilling
Paragraphs 5.2.1, 5.3.1 and 5.4.1



NOTE:
Fill shall be:
Ordinary fill where drains are located below gardens and open country.
Compacted selected fill where the drains are located below residential driveways and similar areas subject to light traffic.

Figure 9: Inspection points
Paragraph 5.7.3

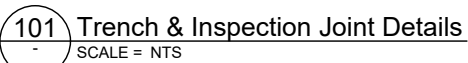
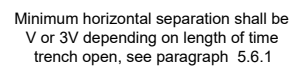


Figure 8: Relationship of pipe trench to building foundation
Paragraph 5.6.1



102 Overflow Relief Gully (ORG) Detail
- SCALE = NTS



- NOTE:**
1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
 2. Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.
 3. Stormwater: 100mm Ø UPVC pipe, minimum gradient 1:120.
 4. All drainage to comply with AS/NZS 3500 & NZBC G13/AS1.
 5. All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.
 6. All construction materials fixings & fasteners to comply with NZS 3604:2011 Section 4 & NZBC B2.
 7. Plumbing to be installed by registered Plumber.
 8. Refer to Gib aqualine Wet Area Systems for manufacturers installation required for GIB lining to typical fixtures & installations.
 9. Tiled showers to have membrane applied under tiling.
 10. All wet areas to be provided with impervious linings as per NZBC E3/AS1.
 11. Builder to refer to fixture manufacturers requirements for framing /nogging required for installations of all fixtures & fixings.
 12. "Watersplash" Areas to E3/ AS1
 - Seal around all penetrations and at junctions of wall/floor tiles with approved mould resistant silicone sealant.
 - Watersplash areas & surfaces adjacent to sanitary & laundering facilities to be impervious to comply with NZBC E3.
 - Membrane used behind all sealant joints.

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Project Title
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Paihia
Lot 1 DP 557011

Sheet Title
Drainage Details

Drawn	10 June 2025
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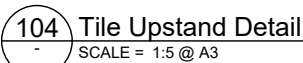
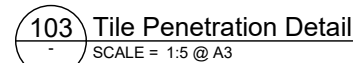
Project No	4160
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Rev	Sheet
E	A12

Scale (A3 Original) 1: 10

0.1 0.05 0 0.1 0.2 m

NZBC E3/AS1 - Figure 6: (C) Shower mixer using sealant



PROJECT:

**HOUSE ALTERATIONS
STRUCTURAL DESIGN**

CLIENT:

CAREY & SANDY FULLER

PROJECT ADDRESS:

30A DAVIS CRESCENT, PAIHIA
FAR NORTH

LEGAL DESCRIPTION:

LOT 1 DP 557011

JOB NO:

040-FND-25SD

DATE:

20 MARCH 2025

REVISION:

FOR CONSENT

DRAWING
INDEX:

S01	SITE LAYOUT
S02	RW1 RETAINING WALL DETAILS
S03	RW2 RETAINING WALL DETAILS
S04	PARTIAL FOUNDATION PLAN
S05	TYPICAL DETAILS
S06	TYPICAL DETAILS
S07	TECHNICAL SPECIFICATIONS

ORIGINAL SIZE mm
A3
0 10 30 50 100 200

18.0m

Line of deck above

Existing container

Proposed Addition

EX RETAINING WALL

PROPOSED RETAINING WALL
RW1, SEE DET 1/S02

PROPOSED RETAINING
WALL RW2, SEE DET 2/S03



T&A STRUCTURES LTD
CHARTERED PROFESSIONAL ENGINEERS
www.tastructures.co.nz info.tastructures@gmail.com

			Surveyed	
			Designed	
1	First issue	26 Mar 2025	Drawn	
No.	Revisions	Date	Reviewed	
			Approved	

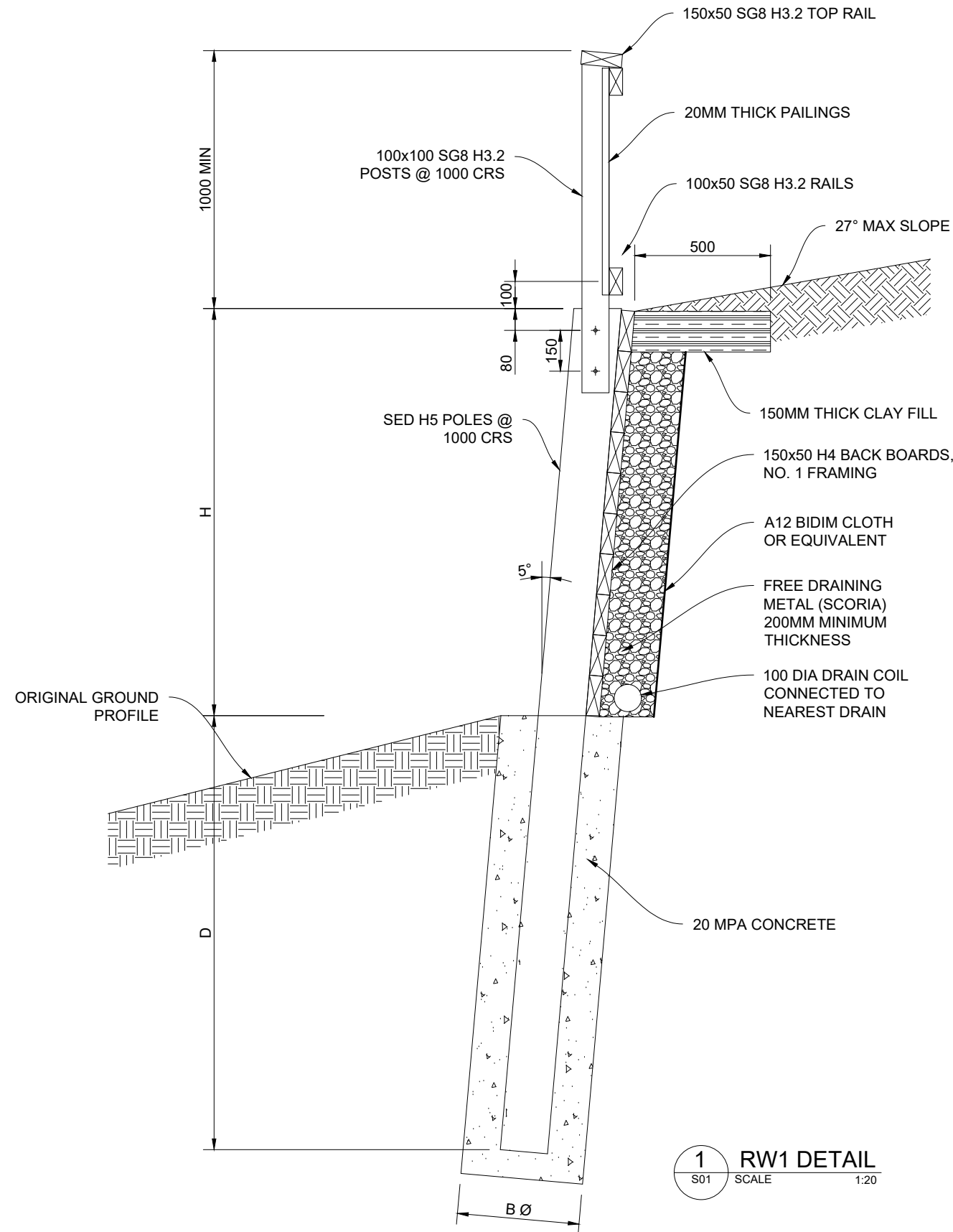
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Project
**30A DAVIS CRESCENT, PAIHIA
PROPOSED RETAINING WALL**

Sheet Title
SITE LAYOUT

Drawing Status	CONSENT
Project No.: 040-FND-25SD	Drawing S01
Scale 1:150 (A3)	Revision 1

200
100
50
30
10
0
ORIGINAL SIZE mm
A3



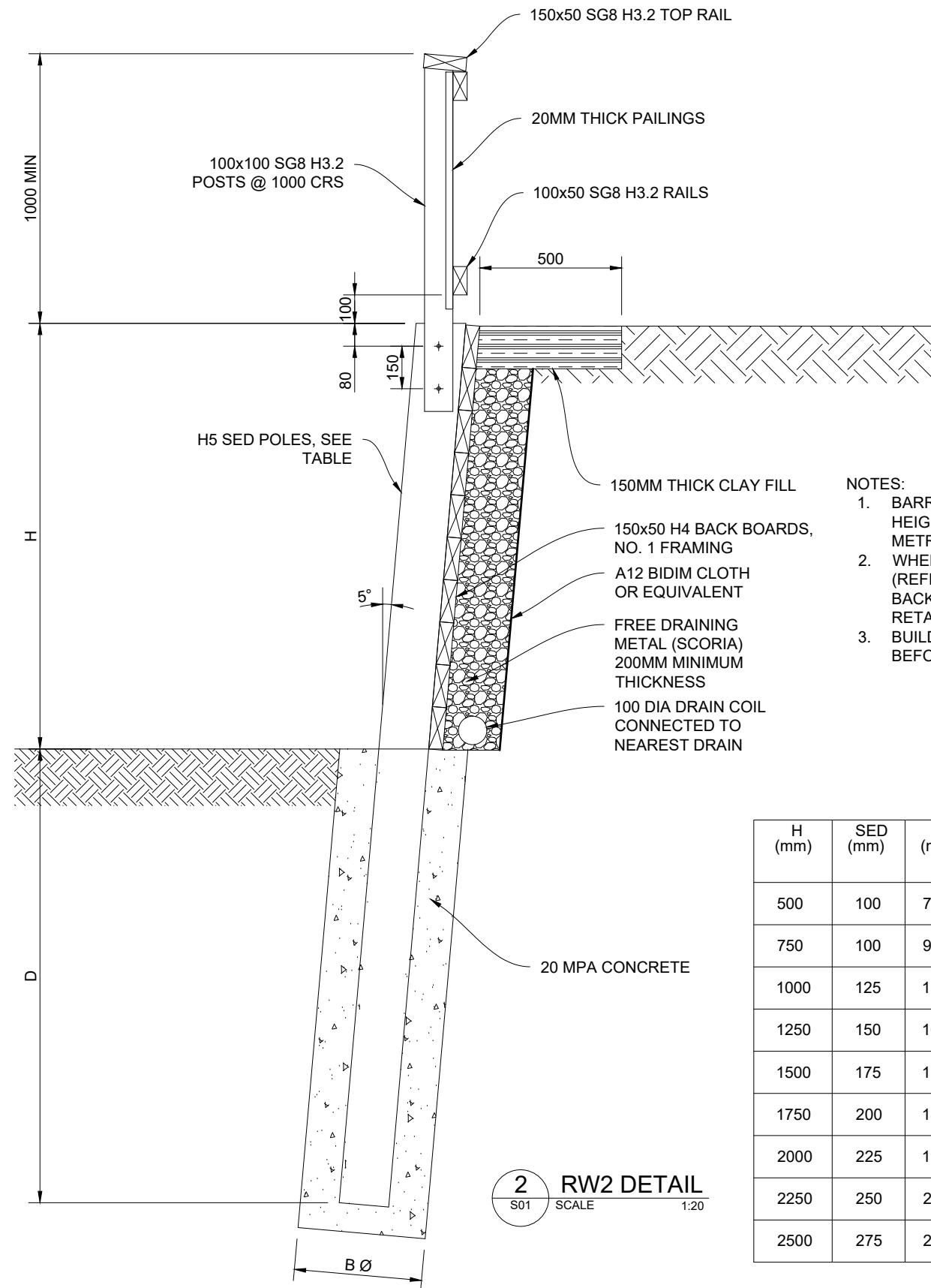
NOTES:

1. BARRIER IS NEEDED ONLY FOR RETAINED HEIGHTS EQUAL TO GREATER THAN 1.0 METRE.
2. WHEN DOUBLE BACKBOARD IS NEEDED (REFER TO TABLE), THIS MEANS THAT THE BACKBOARD AT THE LOWER HALF OF THE RETAINING WALL SHALL BE DOUBLED.
3. BUILDER TO CONFIRM RETAINED HEIGHTS BEFORE ORDERING THE MATERIALS.
4. NOTE HOW THE RETAINED HEIGHT IS MEASURED FOR SLOPING GROUND - SEE DETAIL.

H (mm)	SED (mm)	D (mm)	B (mm)	SPACING (mm)	DOUBLE BACKBOARD
500	100	900	300	1000	NO
750	125	1500	450	1000	NO
1000	150	1600	450	1000	NO
1250	175	1800	450	1000	NO
1500	200	2200	450	1000	YES
1750	250	2600	600	1000	YES
2000	275	2900	600	1000	YES
2250	325	3100	600	1000	YES
2500	350	3200	600	1000	YES

1
S01
RW1 DETAIL
SCALE 1:20

200
100
50
30
10
0
ORIGINAL SIZE mm
A3



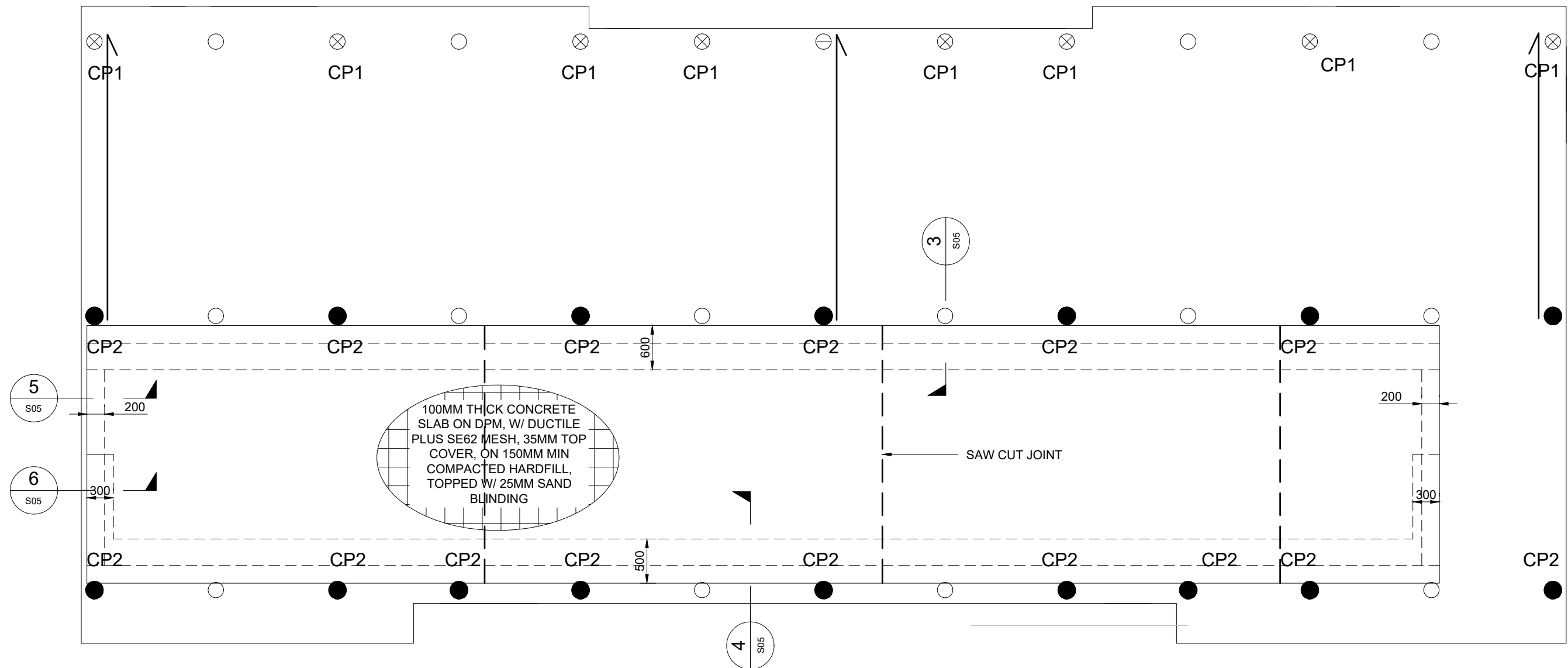
NOTES:

1. BARRIER IS NEEDED ONLY FOR RETAINED HEIGHTS EQUAL TO GREATER THAN 1.0 METRE.
2. WHEN DOUBLE BACKBOARD IS NEEDED (REFER TO TABLE), THIS MEANS THAT THE BACKBOARD AT THE LOWER HALF OF THE RETAINING WALL SHALL BE DOUBLED.
3. BUILDER TO CONFIRM RETAINED HEIGHTS BEFORE ORDERING THE MATERIALS.

H (mm)	SED (mm)	D (mm)	B (mm)	SPACING (mm)	DOUBLE BACKBOARD
500	100	700	300	1000	NO
750	100	900	300	1000	NO
1000	125	1500	450	1000	NO
1250	150	1600	450	1000	NO
1500	175	1700	450	1000	NO
1750	200	1800	450	1000	NO
2000	225	1900	450	1000	YES
2250	250	2600	600	1000	YES
2500	275	2700	600	1000	YES

2 RW2 DETAIL
S01 SCALE 1:20

200
100
50
30
10
0
ORIGINAL SIZE mm
A3



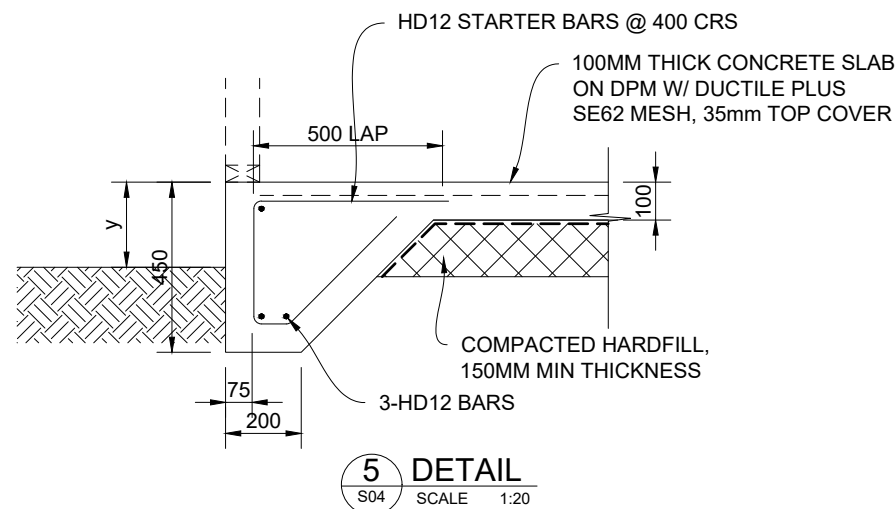
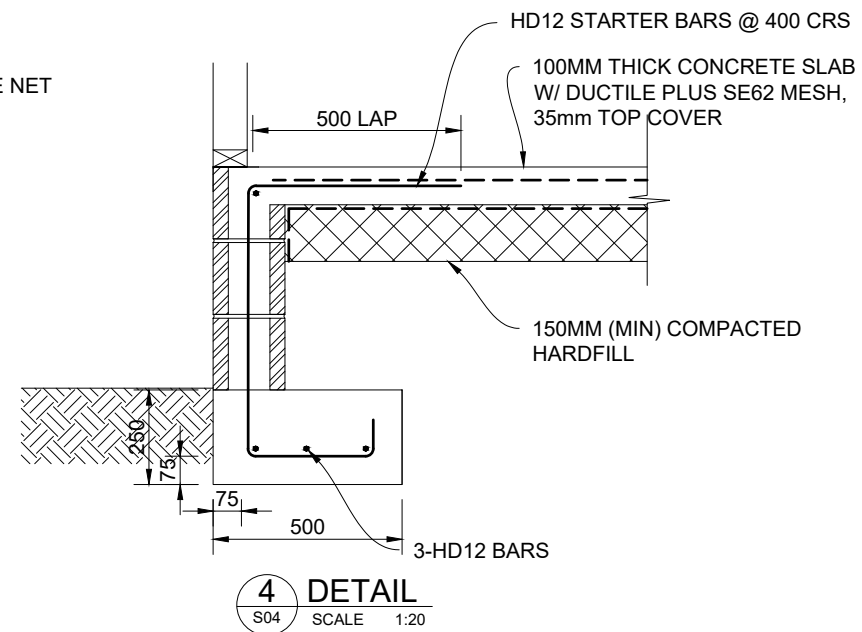
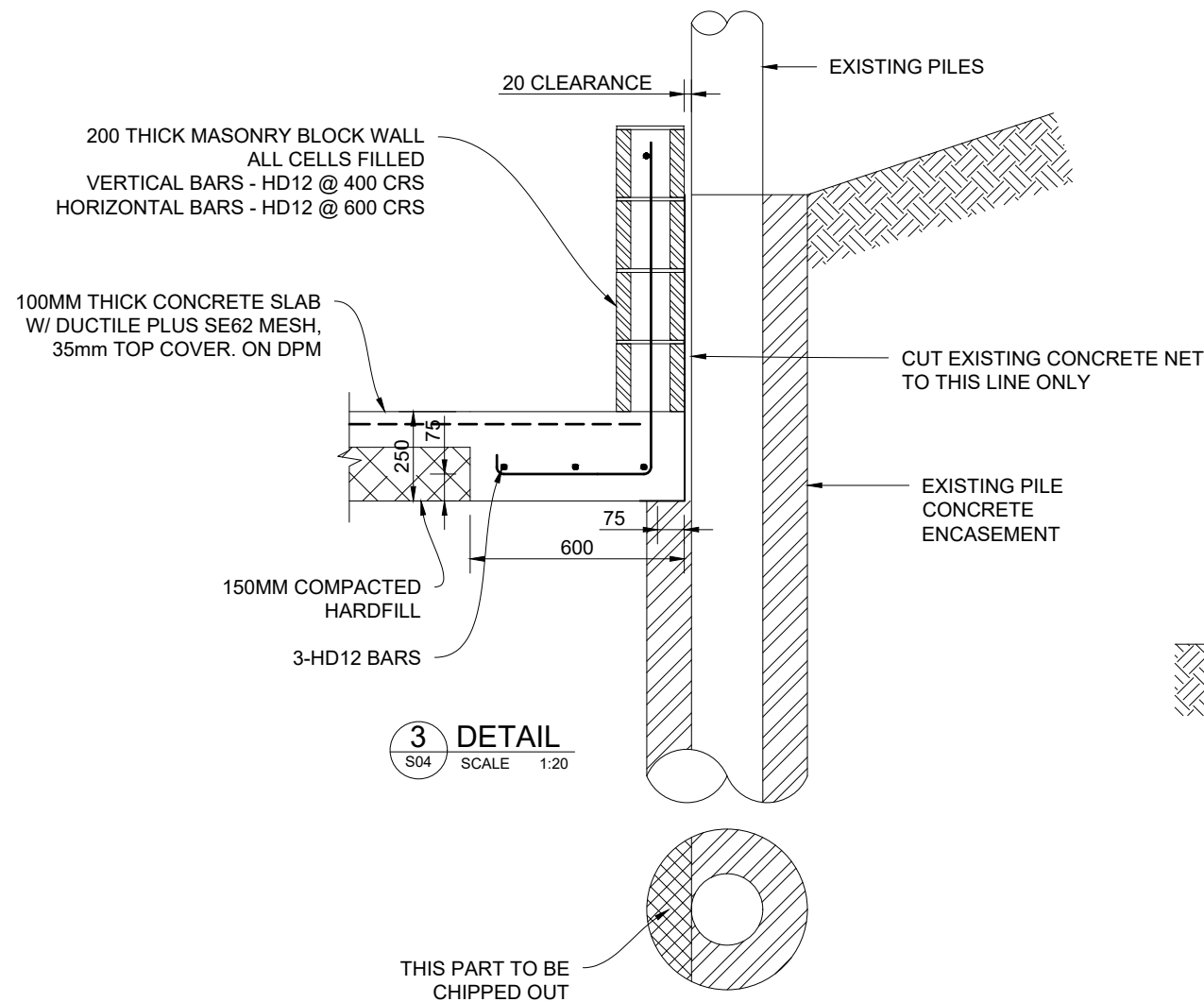
- ⊗ CP1 - CANTILEVER PILE (6kN TOP PILE FIXINGS)
175 SED (HIGH DENSITY POLES) SET IN 450mm DIA. 20MPa CONCRETE
FOUNDATIONS 1.5m INTO VIRGIN GROUND. MAX. HEIGHT ABOVE CLEARED GROUND 1.9m.
- CP2 - CANTILEVER PILE (6kN TOP PILE FIXINGS)
200 SED (HIGH DENSITY POLES) SET IN 450mm DIA 20MPa CONCRETE
FOUNDATIONS 1.5m INTO VIRGIN GROUND. MAX. HEIGHT ABOVE CLEARED GROUND 2.9m.
- -NORMAL PILE 175 SED SET IN 450mm DIA. 20MPa CONCRETE
FOUNDATIONS 0.9m INTO VIRGIN GROUND
- NOTE:
ALL PILES ARE EXISTING.

UP DOWN
100x100 H3.2 SG8 DIAGONAL BRACING FIXED
TO POSTS W/ 1-M12 SS BOLT AT BOTH ENDS.

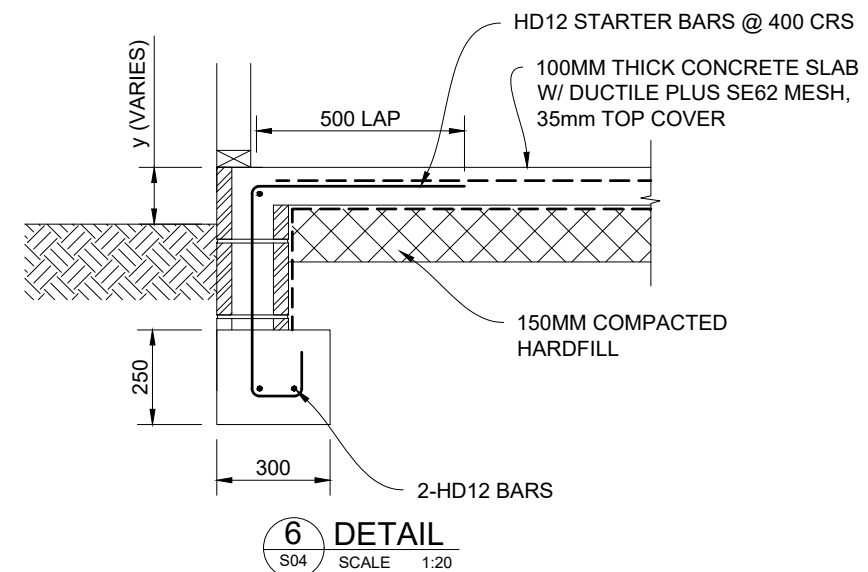
			Surveyed		Project
			Designed		
1	First Issue	26 Mar 2025	Drawn		
No.	Revisions	Date	Reviewed		
			Approved		

Drawing Status	CONSENT	Drawing	S04
Project No.:	040-FND-25SD	Revision	1
Scale	1:50 (A3)		

200
100
50
30
10
0
ORIGINAL SIZE mm
A3



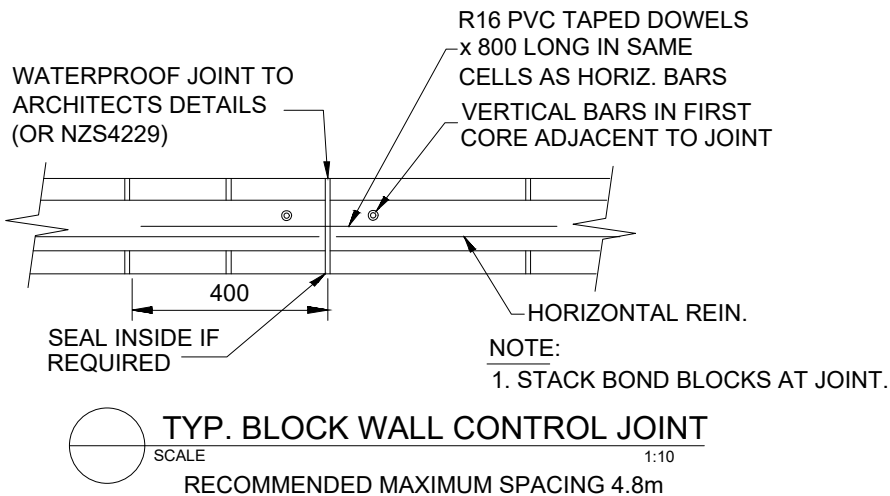
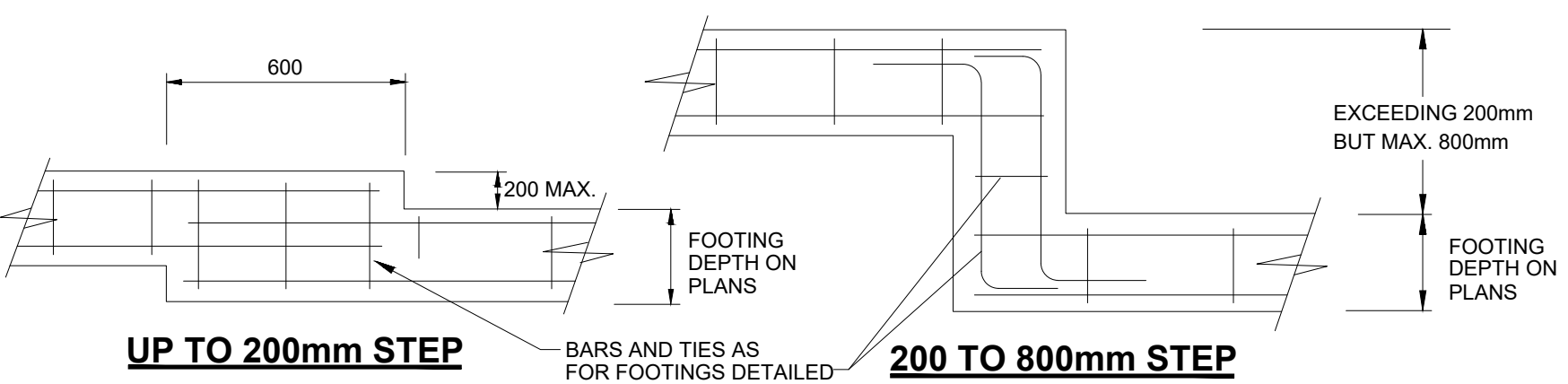
NOTE:
1. y = 225mm MIN FOR BARE GROUND
2. y = 150mm MIN FOR SEALED GROUND
3. y = VARIES



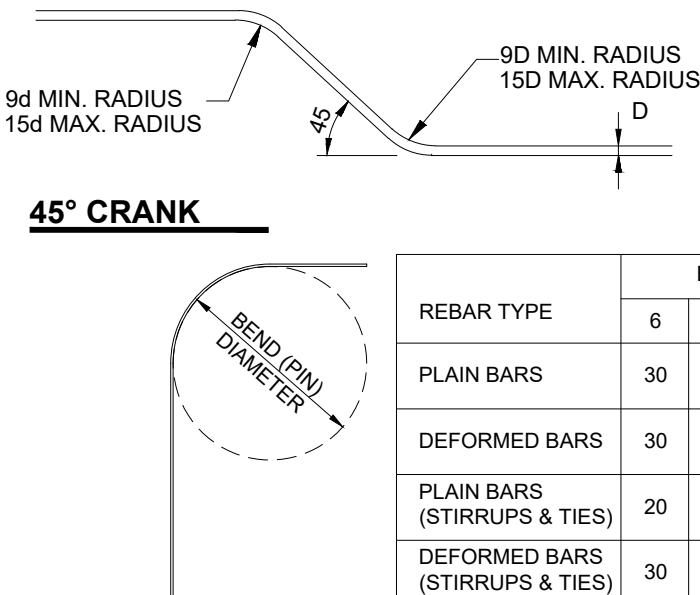
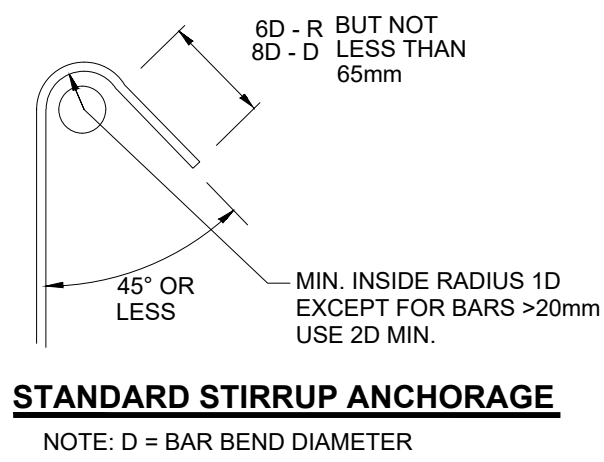
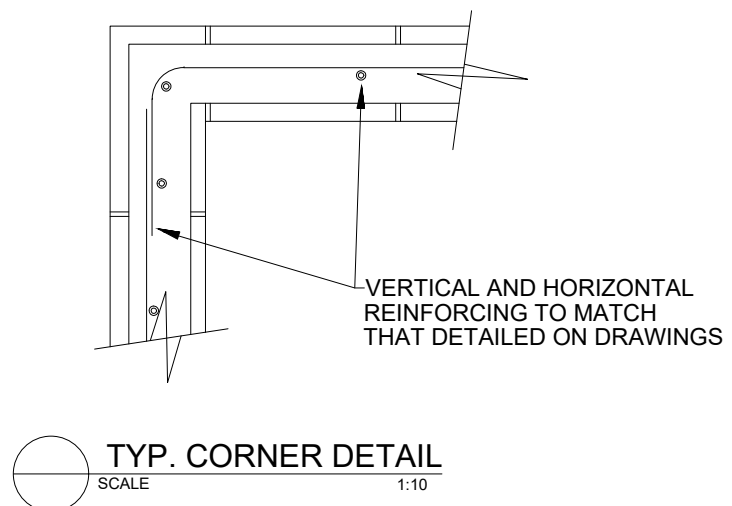
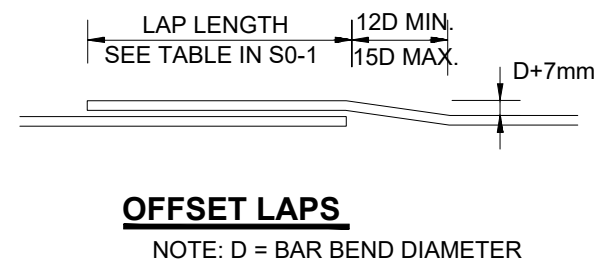
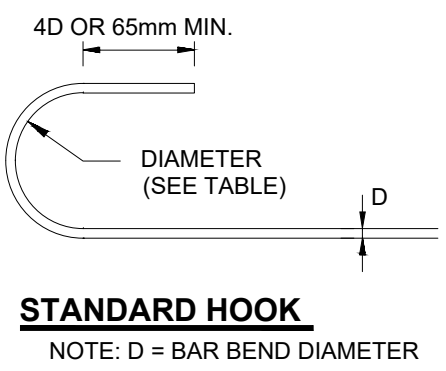
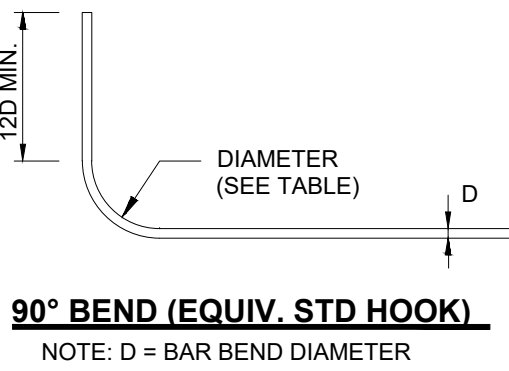
			Surveyed		Project
			Designed		
			Drawn		
1	First issue	26 Mar 2025	Reviewed		
No.	Revisions	Date	Approved		
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Drawing Status	CONSENT	Drawing	S05
Project No.:	040-FND-25SD	Revision	1
Scale	1:20 (A3)		

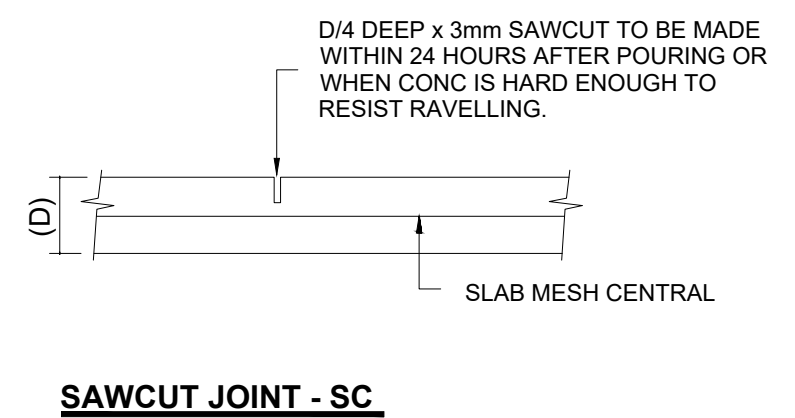
200
100
50
30
10
0
ORIGINAL SIZE mm
A3



ALTERNATIVE FOUNDATION STEPPING DETAILS
TO BE USED WHERE FOUNDATION BEARING MATERIAL SLOPES



REBAR TYPE	BAR DIAMETER, "D" (MM)					
	6	10	12	16	20	25
PLAIN BARS	30	50	60	80	100	150
DEFORMED BARS	30	50	60	80	100	150
PLAIN BARS (STIRRUPS & TIES)	20	20	30	40	40	80
DEFORMED BARS (STIRRUPS & TIES)	30	40	50	70	80	150



1 MINIMUM RECOMMENDED BEND (PIN) DIAMETER
SCALE NTS

1	First issue	26 Mar 2025	Drawn
No.	Revisions	Date	Reviewed
			Approved

Project
30A DAVIS CRESCENT, PAIHIA
PROPOSED RETAINING WALL

Sheet Title
TYPICAL DETAILS

Drawing Status	CONSENT
Project No.: 040-FND-25SD	Drawing S06
Scale 1:20 (A3)	Revision 1

200
100
50
30
10
0
ORIGINAL SIZE mm
A3

GENERAL:

- G1. THESE DRAWINGS ARE NOT TO BE SCALED.
- G2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- G3. CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- G4. ALL DISCREPANCIES IN REGARD TO THE FOUNDATIONS SHALL BE REFERRED TO THE ARCHITECT FOR DECISIONS BEFORE PROCEEDING.
- G5. ALL PROPRIETARY PRODUCTS TO BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATIONS.

CONCRETE:

- C1: ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH NZS3109 AND NZS3101 SUBJECT TO RELEVANT SECTIONS OF THE SPECIFICATIONS.
- C2: NO CONCRETE SHALL BE PLACED UNTIL THE ENGINEER HAS HAD THE OPPORTUNITY TO OBSERVE THAT THE DRAWINGS AND SPECIFICATIONS HAVE BEEN COMPLIED WITH.
- C3: MINIMUM 28TH DAY CONCRETE COMPRESSIVE STRENGTH AS DEFINED IN NZS3109 SHALL BE 25MPA.
- C4: ALL CONCRETE SUPPLY AND PRODUCTION SHALL BE IN ACCORDANCE NZS 3104.
- C5: SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.

TIMBER:

- T1: ALL CONSTRUCTION SHALL BE AS PER NZS 3604:2011 TIMBER FRAMED BUILDINGS (NON-SPECIFIC) AND NZS3603 TIMBER STRUCTURE STANDARD.
- T2: ALL TIMBER GRADE SHALL BE SG8 UNLESS NOTED OTHERWISE.

COMPACTED HARDFILL:

- CH1: WHERE EXCAVATION IS REQUIRED TO DEPTH GREATER THAN THAT REQUIRED DUE TO LOW BEARING CAPACITY, ORGANICS, ETC., A LEVEL BUILDING PLATFORM SHALL BE BUILT UP WITH COMPACTED HARDFILL, AP40.
- CH2: GRANULAR FILL SHALL BE COMPACTED IN ACCORDANCE WITH NZS4431:1989 WITH APPROPRIATE ON SITE QUALITY CONTROL. A MAXIMUM DRY DENSITY AT OPTIMUM WATER CONTENT OF AT LEAST 95% OF 2150 kg/m³ SHALL BE ACHIEVED IN ACCORDANCE

WITH THE NZS 4402:1986, TEST 4.1.1.

CH3: WHERE HARDFILL THICKNESS EXCEEDS 600mm, THE CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS.

REINFORCEMENT:

- R1: ALL GRADE 300E AND 500E REINFORCEMENT SHALL COMPLY WITH AS/NZS 4671. ALL GRADE 500 REINFORCEMENT BARS SHALL BE MANUFACTURED USING THE MICRO ALLOY PROCESS, UNLESS SPECIFCALLY APPROVED OTHERWISE BY THE ENGINEER. QUENCH AND TEMPERED BARS SHALL NOT BE USED.
- R2: REINFORCEMENT BAR NOTATIONS SHALL BE AS FOLLOWS:
- D - GRADE 300E DEFORMED BARS
 - R- GRADE 300E PLAIN ROUND BARS
 - HD - GRADE 500E DEFORMED BARS
 - RH - GRADE 500E PLAIN ROUND BARS
 - RB - GRADE 500E 'REID BARS'
- R3: GRADE 500E REINFORCING BARS SHALL NOT BE STRAIGHTENED OR REBENT.
- R4: REINFORCEMENT SHALL BE CLEAN AND FREE FROM MUD, LOOSE RUST/MILL SCALE, CONCRETE LAITANCE OIL, ETC AT THE TIME CONCRETE IS PLACED.
- R5: ALL REINFORCEMENT SHALL BE ADEQUATELY SECURED AGAINST DISPLACEMENT AT INTERSECTIONS BY THE USE OF ANNEALED IRON WIRE TIES WITH A DIAMETER OF GREATER THAN 1.25MM, OR BY APPROVED CLIPS.
- R6: SUPPORTS SHALL BE USED TO MAINTAIN THE CORRECT POSITION OF REINFORCEMENT DURING THE PLACEMENT AND COMPACTION OF CONCRETE.
- R7: WHERE NOT SPECIFICALLY DESIGNATED, CLEAR COVER TO REINFORCEMENT SHALL BE IN ACCORDANCE WITH NZS 3101:
- THE MINIMUM CONCRETE COVER FOR CONCRETE CAST DIRECTLY ON OR AGAINST THE GROUND SHALL BE 75MM.
 - THE MINIMUM CONCRETE COVER WHEN A DAMP PROOF MEMBRANE IS USED BETWEEN BETWEEN THE GROUND AND THE CAST CONCRETE SHALL BE 50MM.
- R8: ALL HOOKS, LAPS AND BENDS ARE TO BE IN ACCORDANCE WITH NZS 3109 UNLESS NOTED OTHERWISE. ALL REINFORCING BARS SHALL BE COLD BENT USING PROPER BENDING TOOLS OF THE CORRECT DIAMETER TO GUARD AGAINST NOTCHING OF BARS.
- R9: STANDARD SPLICE LAP LENGTHS FOR DEFORMED BARS:
- | | |
|-------------|---------------|
| D10 - 450MM | HD10 - 600MM |
| D12 - 500MM | HD12 - 720MM |
| D16 - 640MM | HD16 - 960MM |
| D20 - 800MM | HD20 - 1200MM |

D25 - 1000MM HD25 - 1500MM
THESE VALUES ARE BASED ON 25MPA CONCRETE.

R10: WELDING OF REINFORCEMENT IS NOT PERMITTED UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER.



T&A STRUCTURES LTD
CHARTERED PROFESSIONAL ENGINEERS
www.tastructures.co.nz info.tastructures@gmail.com

			Surveyed	
			Designed	
1	First Issue	26 Mar 2025	Drawn	
No.	Revisions	Date	Reviewed	
			Approved	

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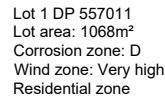
Project

30A DAVIS CRESCENT, PAIHIA
PROPOSED RETAINING WALL

Sheet Title

TECHNICAL SPECIFICATIONS

Drawing Status	CONSENT	
Project No.:	040-FND-25SD	Drawing S07
Scale	N.A.	Revision 1



Residential intensity: Complies

Sunlight rule: Complies

Stormwater Management

(Impermeable surfaces):	
Existing chip seal driveway:	166.5m ²
Existing metal driveway:	89.0m ²
Existing dwelling dwelling:	136.8m ²
Total proposed:	<u>392.3m²</u>

Total permitted = 50% of gross site area = 534m²
Total proposed = 392.3m² = 36.7% Complies

Setbacks to boundaries: 1.2m Complies
setbacks to roadside boundaries: 3m Complies

Building height:
Permitted: 8m max
Proposed: 3.8m approx. Complies

Building Coverage:

Existing dwelling: 136.8m²








Total permitted = 45% of gross site area = 480.6m²
Total Proposed = 136.8 = 12.8% Complies

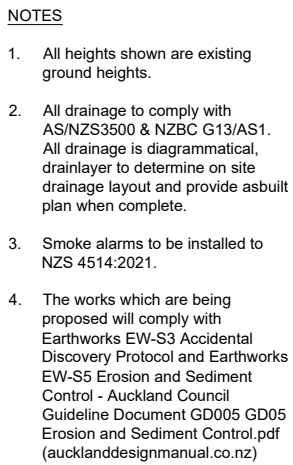
Earthworks

Cut:	$\frac{60\text{m}^3}{60\text{m}^3}$
Fill:	$\frac{60\text{m}^3}{60\text{m}^3}$
Cut/Fill:	$\frac{120\text{m}^3}{120\text{m}^3}$

Total permitted = 200m³ Complies

LEGEND

 Setbacks
 Stormwater: 100mm Ø pipe, min. gradient 1:120
 Stormwater overflow: 100mm Ø pipe, min. gradient 1:120
 Nova coil pipe
 Power cable
 Sewer: 100mm Ø pipe, gradient 1:60
 Measured ground height



Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.

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T 09 407 5208 | martin@obrienconsulting.co.nz

Project Title
Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title

Site Plan

Drawn 10 June 2025

Project No 4160

Rev	Sheet
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E	A01b
---	------

Scale (A3 Original) 1: 200



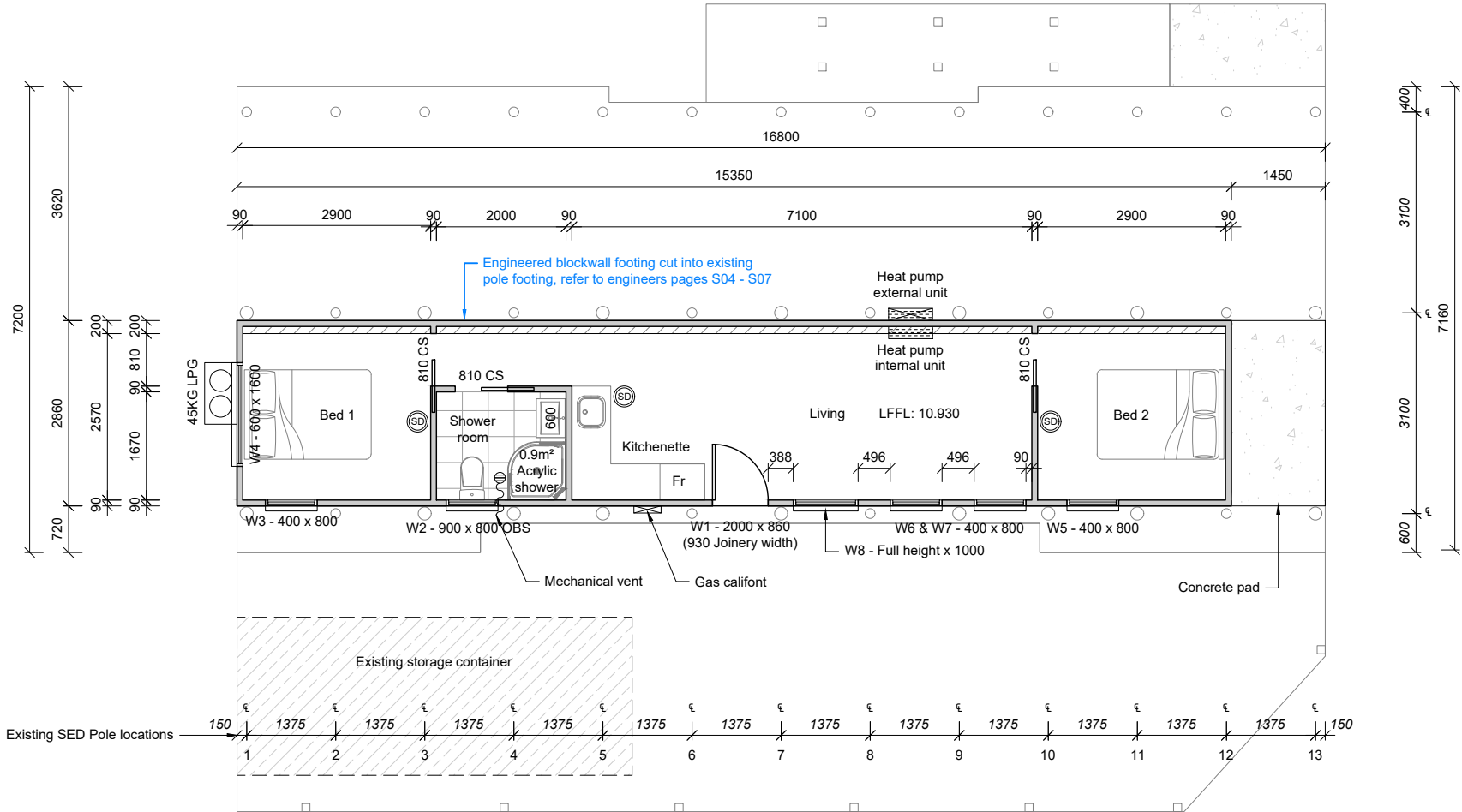
A horizontal scale bar with five segments. Above the segments are numerical labels: 1, 0.5, 0, 1, and 2. The segments alternate in color: white, black, white, black, and white. The total length of the bar represents 2 mm.



SPECIFICATION:

- Very High wind zone
- Exposure zone C
- Concrete foundations
- 2.4m Stud height
- Palisade cladding cladding on 20mm cavity
- Direct-fix H3.2 Plywood board & batten cladding
- 10mm GIB wall lining
- 13mm GIB ceiling lining
- All windows and doors double glazed (low Xcel)
- Grade A safety glazing in bathroom window and all full height ranch sliders inline with NZS 4223.

BRACING NOTE: Addition succulently braced via existing SED Posts.



- NOTE:
1. All dimensions taken from the outside of pre-cut, please check all dimensions before construction commences.
 2. Refer to Section for lintel dimensions, stud spacing & external door offsets.
 3. Additional nogs to be installed at framing stage to allow for fixed shelves, wall mounted extractors, heat pump & A/C units & where required.
 4. Refer to attached sheet for cladding & roofing notes & details.
 5. All wall framing typically H1.2 treated unless specifically stated.
 6. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 7. Waterproof membrane under the tiles (or similar) is to extend 1.5m from bathroom & kitchen sanitary fixtures to comply with E3/AS1 3.0
 8. Artificial lighting to be provided inline with NZS 6703:1984 & G8/AS1.
 9. Smoke alarms to be installed to NZS 4514:2021. This includes the existing dwelling.

BUILDING AREA:

Floor Area: 44.5m²

FIXINGS:

Exposure Zone: D
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Project Title
Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title
Proposed Floor Plan

Drawn 10 June 2025

Project No 4160

Rev E Sheet A03

Scale (A3 Original) 1: 100
1 0.5 0 1 2 m

LEGEND

- Smoke Detector
- Roof Line
- 90 x 45 SG8 H1.2 Timber framing walls
- Selected tiles on selected tile underlay to all wet areas installed to manufacturers specifications & Branz tiling good practice guide
- Rinnai Infinity VT26 water heater installed to manufacturers instructions
- 45KG LPG Bottles, top of bottle to be 500mm min. from ignition source refer to LPG Association Code of Practice for clearances and seismic restraints.

View Instrument Details



Instrument No	12041009.2
Status	Registered
Date & Time Lodged	25 June 2021 11:41
Lodged By	Merry, Rebecca
Instrument Type	Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Records of Title	Land District
974240	North Auckland
974241	North Auckland

Annexure Schedule Contains 2 Pages.

Signature

Signed by Rebecca Merry as Territorial Authority Representative on 25/06/2021 11:41 AM

*** End of Report ***



Far North
District Council

Private Bag 752, Havelock Ave
Kaitiaki 9410, New Zealand
Freephone 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: enquiries@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaunihara o Tai Tokerau Ki Te Raki

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wants to live, work and invest*

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC-2200483

Being the Subdivision of LOT 30 DP 15984
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lot 1 DP 557011

- i. Any building erected on the lot shall have foundations specifically designed by a suitably qualified chartered professional engineer in accordance with the report prepared by Wilton Joubert Limited, referenced: Geotechnical Investigation Report Proposed Lot 1 of Subdivision of Lot 30 DP 15984, 30 Davis Crescent, Paihia, job reference: #90442, and dated: 31 October 2019, provided with RC2200483 – RMACOM. The foundation design details shall be submitted in conjunction with the Building Consent application.
- ii. Any earthworks and retaining carried out for the erection of any building on the lot shall be in accordance with the the report prepared by Wilton Joubert Limited, referenced: Geotechnical Investigation Report Proposed Lot 1 of Subdivision of Lot 30 DP 15984, 30 Davis Crescent, Paihia, job reference: #90442, and dated: 31 October 2019, provided with RC2200483 – RMACOM. The designs and details shall be submitted in conjunction with the Building Consent application.
- iii. At the time of building, on-site stormwater attenuation for roof areas is to be designed and installed in accordance with the report prepared by Wilton Joubert Limited, referenced: Stormwater Report *To support*





Far North
District Council

Private Bag 752, Hesperoid Ave
Kokako 0410, New Zealand
Telephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaitiaki o Te Tokerau Ki Te Raki

*The top place where talent
wants to live, work, and move.*

Subdivision, Lot 30 DP 15984, 30 Davis Crescent, Paihia, job
reference: #93930 R03, and dated: 12th February 2019, provided with
RC2200483 – RMACOM.

- iv. The existing drain with easement B along the eastern boundary shall
be upgraded to a fully piped system in accordance with Building
Consent requirements at time of construction for the dwelling.
Connection to this line is to be utilised for the attenuated stormwater
discharge from the roof areas on the lot.

Lots 1 & 2 DP 557011

- v. The lot is identified as being within a kiwi present zone. Any cats
and/or dogs kept onsite must be kept inside and/or tied up at night to
reduce the risk of predation of North Island brown kiwi by domestic
cats and dogs.

SIGNED:

PJ Killalea

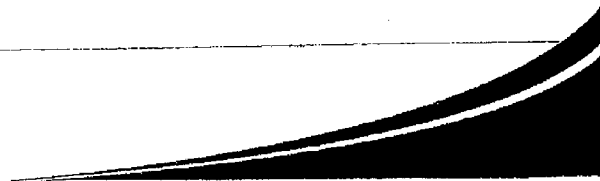
Mr Patrick John Killalea - Authorised Officer

By the FAR NORTH DISTRICT COUNCIL

Under delegated authority:

PRINCIPAL PLANNER – RESOURCE MANAGEMENT

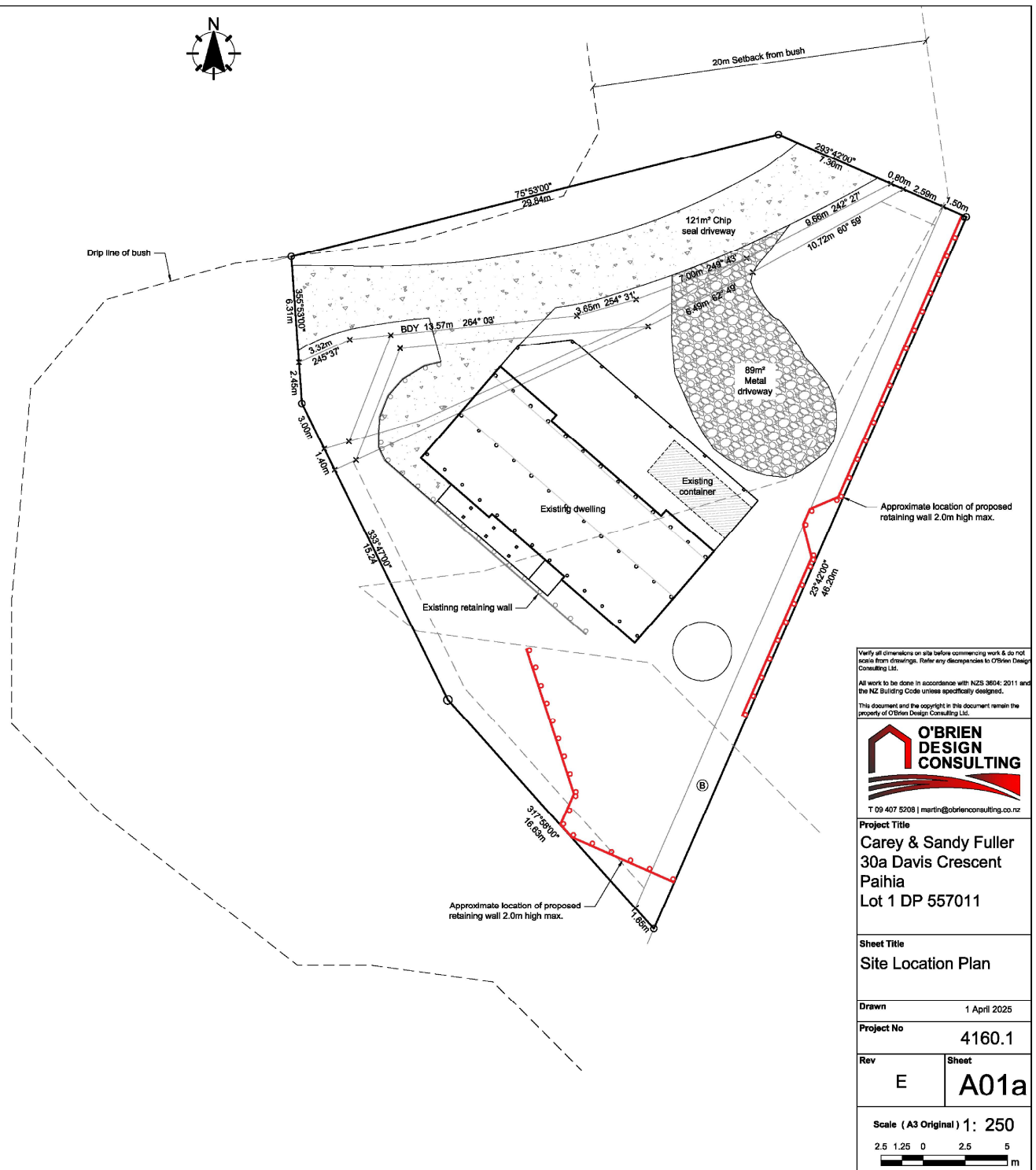
DATED at KERIKERI this 22nd day of February 2021





APPROVED PLAN

Planner: anandi
RC: 2250476-RMAPBA
Date: 4 JULY 2025





Lot 1 DP 557011
Lot area: 1068m²
Corrosion zone: D
Wind zone: Very high
Residential zone

District plan compliance:

Residential intensity: Complies

Sunlight rule: Complies

Stormwater Management

(Impermeable surfaces):
Existing chip seal driveway: 166.5m²
Existing metal driveway: 89.0m²
Existing dwelling dwelling: 136.8m²
Total proposed: 392.3m²

Total permitted = 50% of gross site area = 534m²
Total proposed = 392.3m² = 36.7% Complies

Setbacks to boundaries: 1.2m Complies
Setbacks to roadside boundaries: 5m Complies

Building height:
Permitted: 8m max
Proposed: 3.8m approx. Complies

Building Coverage:

Existing dwelling: 136.8m²

Total permitted = 45% of gross site area = 480.8m²
Total Proposed = 136.8 = 12.8% Complies

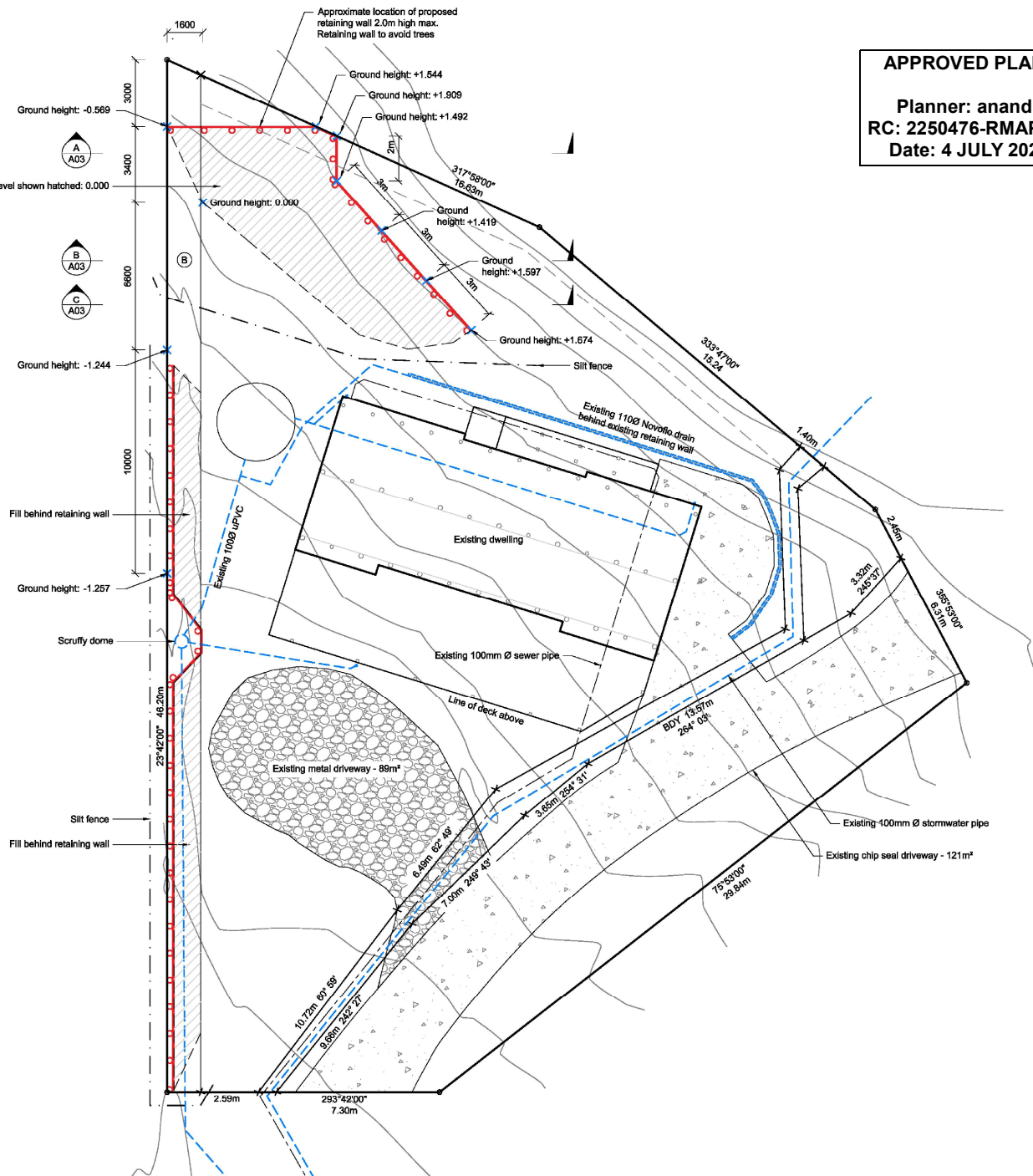
Earthworks

Cut: 60m³
Fill: 60m³
Cut/Fill: 120m³

Total permitted = 200m³ Complies

LEGEND

- Setbacks
- Stormwater: 100mm Ø pipe, min. gradient 1:120
- Stormwater overflow: 100mm Ø pipe, min. gradient 1:120
- Nova coil pipe
- Power cable
- Sewer: 100mm Ø pipe, gradient 1:60
- × Measured ground height



APPROVED PLAN

Planner: anandi
RC: 2250476-RMAPBA
Date: 4 JULY 2025

NOTES

- All heights shown are existing ground heights.
- All drainage to comply with AS/NZS3500 & NZBC G13/AS1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
- Smoke alarms to be installed to NZS 4514:2021, refer to TP58 report for details.
- The works which are being proposed will comply with Earthworks EW-S3 Accidental Discovery Protocol and Earthworks EW-S5 Erosion and Sediment Control - Auckland Council Guideline Document GD005 GD05 Erosion and Sediment Control.pdf (aucklanddesignmanual.co.nz)

Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

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Project Title

Carey & Sandy Fuller
30a Davis Crescent
Paihia
Lot 1 DP 557011

Sheet Title

Site Plan

Drawn 1 April 2025

Project No 4160.1

Rev E

Sheet A01b

Scale (A3 Original) 1: 200

