



Application for change or cancellation of resource consent condition (S.127)

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with? Jo Graham

2. Type of Consent being applied for

Change of conditions (s.127)

3. Consultation:

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonomosupport@fndc.govt.nz

4. Applicant Details:

Name/s:

Myles Pomfret

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Office Use Only
Application Number:

5. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:	Myles Pomfret
Email:	
Phone number:	
Postal address:	(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates
(where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:	Peter and Diane Pomfret	
Property Address/ Location:	66 Waitete Heights Lane, Kerikeri	
	Postcode	0294

7. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:	Peter and Diane Pomfret	
Site Address/ Location:	66 Waitete Heights Lane, Kerikeri	
	Postcode	0294
Legal Description:	LOT 7 DP 588451-HAVING 1/15 SF	Val Number:
Certificate of title:	1119084	

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

7. Application Site Details (continued)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details.

This is important to avoid a wasted trip and having to re-arrange a second visit.

8. Detailed description of the proposal:

This application relates to the following resource consent:

Specific conditions to which this application relates:

Describe the proposed changes:

9. Would you like to request Public Notification?

Yes No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

Building Consent Enter BC ref # here (if known)

Regional Council Consent (ref # if known) Ref # here (if known)

National Environmental Standard consent Consent here (if known)

Other (please specify) Specify 'other' here

11. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties (including consultation from iwi/hapū).

Your AEE is attached to this application Yes

12. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full) Diane Pomfret

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information:

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees:

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full) Diane Pomfret

Signature: (signature of bill payer)

MANDATORY

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Myles Pomfret

Signature:

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- Details of your consultation with Iwi and hapū
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to chapter 4 (Standard Provisions) of the Operative District Plan for details of the information that must be provided with an application. This contains more helpful hints as to what information needs to be shown on plans.

Assessment of Environmental Effects (AEE) – 66 Waitete Heights Lane, Kerikeri

1. Introduction / Summary of Proposal

This application seeks to change conditions of the original resource consent to allow a different relocatable dwelling on site. Updated site and landscape plans accompany the application to reflect the revised dwelling footprint, siting, and associated works. The proposed dwelling exterior colour has a **light reflectance value (LRV) greater than 40%**, and earthworks associated with the revised dwelling placement will exceed 300m³. Approval is sought for these changes.

2. Effects on Visual Amenity / Streetscape

The updated landscape plan provides appropriate planting and screening to mitigate the visual impact of the higher LRV. The siting and design of the dwelling maintain the character and amenity of the site and surrounding area. The proposal is consistent with the visual and streetscape outcomes envisaged by both the Operative and Proposed District Plans. It is also noted that LRV restriction will not apply under the Proposed District Plan.

3. Effects of Earthworks

Earthworks exceeding 300m³ are required to accommodate the revised dwelling footprint and associated services. These works will be managed to minimise environmental effects, including appropriate battering, sediment control, and integration with existing site levels and contours. The proposed earthworks are designed to ensure that potential effects on neighbouring properties, stormwater, and site stability are no more than minor.

4. Other Effects

There will be no increase in traffic, noise, or other environmental effects as a result of the proposed changes. All other consented matters remain unchanged and continue to meet the relevant performance standards.

5. Conclusion

The proposed changes, including the new dwelling, higher LRV, updated site and landscape plan, and earthworks over 300m³, have been designed to mitigate potential effects. Overall, the proposal is **expected to have no more than minor adverse effects** on the environment and is consistent with the objectives and policies of the Operative and Proposed District Plans.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **1119084**

Land Registration District **North Auckland**

Date Issued 10 May 2023

Prior References

821886

Estate Fee Simple

Area 1.3466 hectares more or less

Legal Description Lot 7 Deposited Plan 588451

Registered Owners

Peter Neville Pomfret and Diane Elizabeth Pomfret

Estate Fee Simple - 1/15 share

Area 4.0640 hectares more or less

Legal Description Lot 16 Deposited Plan 588451

Registered Owners

Peter Neville Pomfret and Diane Elizabeth Pomfret

Estate Fee Simple - 1/8 share

Area 2417 square metres more or less

Legal Description Lot 17 Deposited Plan 588451

Registered Owners

Peter Neville Pomfret and Diane Elizabeth Pomfret

Interests

5457207.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 15.1.2003 at 9:00 am (affects Lots 7 and 17 DP 588451 and part Lot 16 DP 588451 formerly Lot 3 DP 316029)

11251902.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 6.12.2018 at 2:47 pm

Appurtenant hereto is a right to drain water created by Easement Instrument 11251902.4 - 6.12.2018 at 2:47 pm

The easements created by Easement Instrument 11251902.4 are subject to Section 243 (a) Resource Management Act 1991

Subject to Section 241(2) Resource Management Act 1991 (affects DP 588451)

12689086.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 10.5.2023 at 1:12 pm (affects Lots 7 and 16 DP 588451)

Land Covenant in Covenant Instrument 12689086.6 - 10.5.2023 at 1:12 pm (Limited as to duration) (affects Lot 7 DP 588451)

Subject to a right to drain water over part Lot 7 DP 588451 marked G and a right to drain water, convey electricity and telecommunications and a right of way over part Lot 17 DP 588451 marked P all on DP 588451 created by Easement Instrument 12689086.7 - 10.5.2023 at 1:12 pm

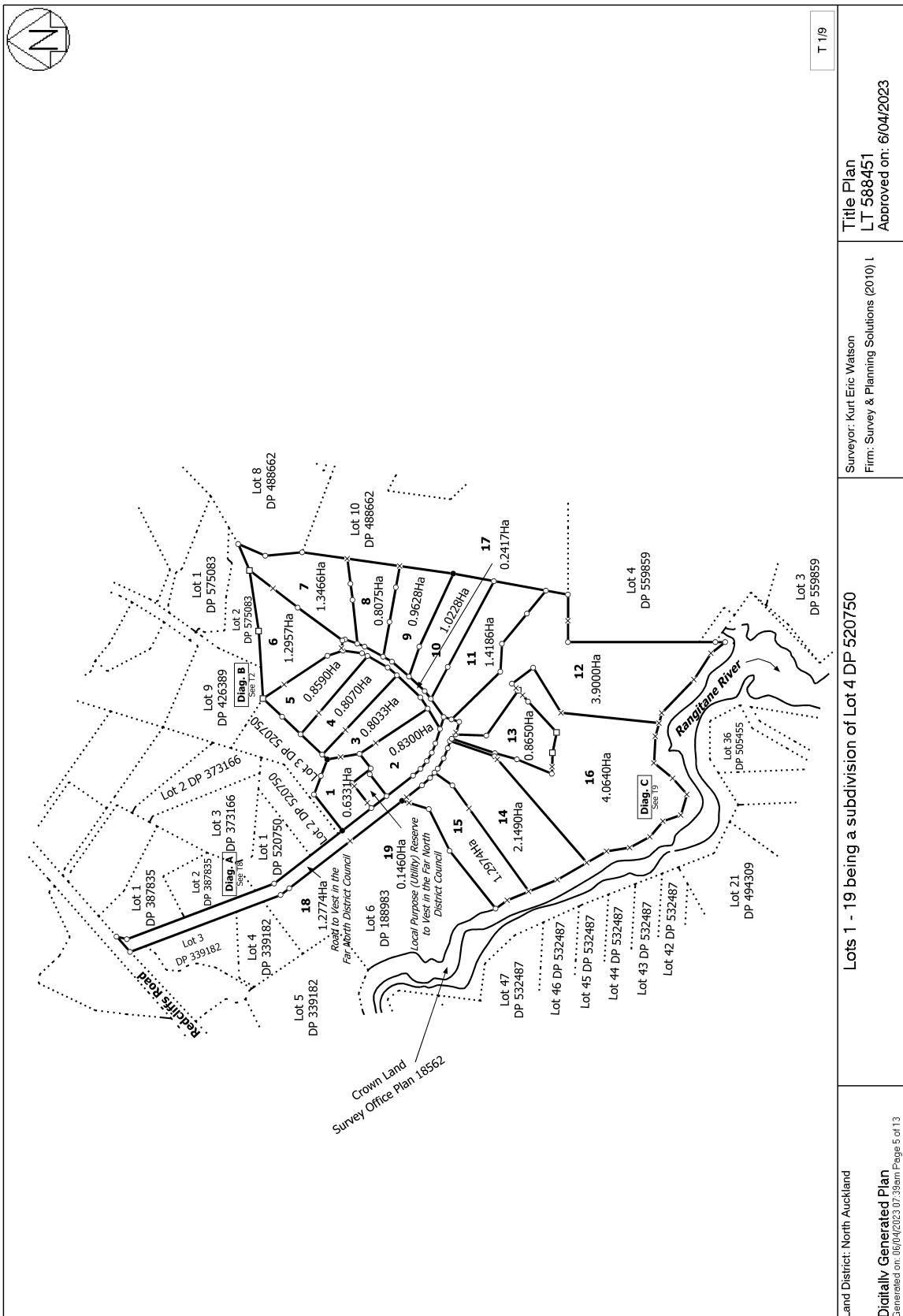
Appurtenant to Lot 7 DP 588451 is a right to drain water, right to convey electricity and telecommunications and a right of way created by Easement Instrument 12689086.7 - 10.5.2023 at 1:12 pm

The easements created by Easement Instrument 12689086.7 are subject to Section 243 (a) Resource Management Act 1991
Subject to a right (in gross) to convey telecommunications over part Lot 17 DP 588451 marked P on DP 588451 in favour of Chorus New Zealand Limited created by Easement Instrument 12689086.8 - 10.5.2023 at 1:12 pm

The easements created by Easement Instrument 12689086.8 are subject to Section 243 (a) Resource Management Act 1991
Subject to a right (in gross) to convey electricity and telecommunications over part Lot 17 DP 588451 marked P on DP 588451 in favour of Top Energy Limited created by Easement Instrument 12689086.9 - 10.5.2023 at 1:12 pm

The easements created by Easement Instrument 12689086.9 are subject to Section 243 (a) Resource Management Act 1991
Subject to a right (in gross) to convey telecommunications over part Lot 16 DP 588451 marked S on DP 588451 in favour of Two Degrees Networks Limited created by Easement Instrument 12689086.10 - 10.5.2023 at 1:12 pm

12789702.1 Variation of Land Covenant 12689086.6 - 26.7.2023 at 9:23 am



FAR NORTH DISTRICT COUNCIL



THE RESOURCE MANAGEMENT ACT 1991

CONO 5457207.2 Consent

Cpy - 01/01, Pgs - 002, 14/01/03, 10:57



DocID 310699810

SECTION 221: CONSENT NOTICE

REGARDING RC 2020384

The subdivision of
Lot 1 DP 136198 & Lot 1 DP 171334
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate titles of DP 316029.

SCHEDULE

To be registered on Lot 3 only

1. The landowners shall preserve the trees and vegetation described in the area illustrated as area X on the survey plan. The landowners shall not without the prior written consent of the Council and then in strict compliance with any conditions imposed by the Council cut down, damage or destroy any vegetation within this area. The landowners shall not be deemed to be in breach of this prohibition if any such vegetation shall die from natural causes not attributable to any act or default by or on behalf of the landowners or for which the landowner is responsible.
2. The landowners shall preserve the Middens and Terraces site detailed as area Y (PO5/18) on the survey plan, and shall not without the consent of the New Zealand Historic Places Trust, alter, modify or destroy any land within this area.

To be registered on Lots 1,2 & 3

1. The landowners/occupiers are prohibited from keeping cats and/or mustelids except to the extent that existing cats of owners can be retained for the remainder of their natural lives.
2. Any dogs are to be restricted to remain within the lot boundaries and outside the bush protection covenant area, illustrated as area X on the survey plan.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at KAIKOHE this 29th day of November 2002

RC 2020384
SRMCERT3dancaster221

View Instrument Details



Instrument No 11251902.3
Status Registered
Date & Time Lodged 06 December 2018 14:47
Lodged By Laing, Alison Margaret
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Records of Title	Land District
821883	North Auckland
821884	North Auckland
821885	North Auckland
821886	North Auckland

Annexure Schedule: Contains 2 Pages.

Signature

Signed by Richard Adrian Ayton as Territorial Authority Representative on 06/12/2018 02:32 PM

*** End of Report ***



**Far North
District Council**

Private Bag 752, Kaitaia 0110
Gisborne 0440, New Zealand
Telephone: 0693 920 024
Fax: (09) 401 5209
Email: eltdc@fnz.govt.nz
Website: www.fnz.govt.nz

Te Kaunihera o Tai Tokerau Ki Te Raki

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 2170446

Being the Subdivision of LOT 5 DP 188983 LOT 3 DP 316029 BLK VIII KERIKERI SD
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lots 1 – 3 DP 520750

- (i) In conjunction with the construction of any building on Lots 1 – 3 which includes a wastewater treatment & effluent disposal system the applicant shall submit for Council approval a TP58 Report prepared by a Chartered Professional Engineer or an approved TP58 Report Writer. The report shall identify a suitable method of wastewater treatment for the proposed development along with an identified effluent disposal area plus a reserve disposal area and reference the Onsite Wastewater Feasibility Report prepared by Vision Consulting Engineers, dated 21/04/17, ref 12984 submitted with RC2170446. The report shall confirm that all of the treatment & disposal system can be fully contained within the lot boundary and comply with the Regional Water & Soil Plan Permitted Activity Standards.

- (ii) In conjunction with the construction of any building requiring building consent on Lots 1 - 3, the lot owner shall submit a stormwater management plan for development for approval by council's consent engineer. The plan shall include appropriate identification, design and mitigation protection measures for existing overland flow paths, protection of outfalls, effects of impermeable surfaces and determination of pre- and post- development flows and appropriate attenuation if required. The report shall be prepared by a suitably qualified and experienced practitioner and submitted with the Building Consent application.





Far North
District Council

PO Box 759, Klemmell St
Kaitaia 0140, New Zealand
Phone: 0900 320 029
Fax: (09) 401 5268
Email: info@fncc.govt.nz
Website: www.fncc.govt.nz

Te Kounihenga o Tai Tokerau Ki Te Raki

Lots 1 – 4 DP 520750

(iii) Reticulated telecommunication services are not a requirement of this subdivision consent for Lots 1 - 4. The responsibility for providing telecommunication services will remain the responsibility of the property owner.

Lots 1 – 3 DP 520750

(iv) In conjunction with the construction of any dwelling on Lots 1 - 3, and in addition to a potable water supply, a water collection system with sufficient supply for fire-fighting purposes is to be provided by way of tank or other approved means and to be positioned so that it is safely accessible for this purpose. These provisions will be in accordance with the New Zealand Fire Fighting Water Supply Code of Practice SNZ PAS 4509.

Lots 1 – 4 DP 520750

(v) No cats, dogs or mustelids are permitted to be on Lots 1 - 3 at any time. Due to the size and rural productive use of Lot 4, one working dog used for stock management may be retained on Lot 4.

SIGNED:

Mr Patrick John Killalea - Authorised Officer
By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
PRINCIPAL PLANNER – RESOURCE MANAGEMENT

DATED at KERIKERI this 25th day of September 2018

View Instrument Details



Instrument No 12689086.5
Status Registered
Date & Time Lodged 10 May 2023 13:12
Lodged By Burton, Maureen Dawn
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Records of Title	Land District
1119078	North Auckland
1119079	North Auckland
1119080	North Auckland
1119081	North Auckland
1119082	North Auckland
1119083	North Auckland
1119084	North Auckland
1119085	North Auckland
1119086	North Auckland
1119087	North Auckland
1119088	North Auckland
1119089	North Auckland
1119090	North Auckland
1119091	North Auckland
1119092	North Auckland

Annexure Schedule Contains 5 Pages.

Signature

Signed by Ivan Milan Vodanovich as Territorial Authority Representative on 10/05/2023 12:42 PM

*** End of Report ***



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<http://far.govt.nz>

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THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 2220047

Being the Subdivision of Lot 4 DP 520750
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lots 1-15 DP 588451

- (i). The location and foundations of any buildings shall be designed and certified by a suitable experienced Chartered Professional Engineer, prior to issue of any building consent.
- (ii). In conjunction with the construction of any building requiring a wastewater disposal system the lot owner shall obtain a Building Consent and install the wastewater treatment and effluent disposal system. Any proposed wastewater treatment and effluent disposal system shall be designed and constructed, noting the recommendation and limitation included in the Site Suitability Report prepared by GWE Consulting Engineers with reference J3014, dated July 2021, included in RC 2220047.

The installation shall include an agreement with the system supplier or its authorised agent for the ongoing operation and maintenance of the wastewater treatment plant and the effluent disposal system.

Following 12 months of operation of the wastewater treatment and effluent disposal system the lot owner shall provide certification to Council that the system is operating in accordance with its design criteria.

- (iii). In conjunction with the construction of any dwelling, and in addition to a potable water supply, a water collection system with sufficient supply for firefighting purposes is to be provided by way of tank or other approved means and to be positioned so that it is safely accessible for this purpose. These provisions will be in accordance with the New Zealand Fire Fighting Water Supply Code of Practice SNZ PAS 4509.



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- (iv). Reticulated telecommunication services are not a requirement of this subdivision consent. The responsibility for providing telecommunication services will remain the responsibility of the property owner.
- (v). In conjunction with the construction of any buildings, the lot owner shall install a stormwater retention tank with a flow attenuated outlet. The system shall be designed such that the total stormwater discharged from the site, after development, is no greater than the predevelopment flow from the site for rainfall events up to a 10% AEP plus allowance for climate change. The details of the on-site retention storage and flow attenuation shall be prepared noting the restrictions and recommendations included in the Site Suitability Report prepared by GWE Consulting Engineers with reference J3014, dated July 2021, included in RC 2220047.

Lots 3-10 DP 588451

- (vi). In conjunction with the construction of any buildings, and in addition to the requirements of condition 4(m)(vi) above, the lot owner shall install a stormwater retention tank, providing attenuation of 1/8th share of increased runoff generated by the impermeable surface of the private access. The additional storage requirements will be determined noting the Site Suitability Report prepared by GWE Consulting Engineers with reference J3014, dated July 2021, included in RC 2220047 and the RFI response from GWE Consulting Engineers, dated 30 August 2021, included in RC 2220047.

Lots 16 DP 588451

- (vii). No built development may occur on Lot 16.'

Lots 1 DP 588451

- (viii). Buildings on Lot 1 shall be limited to a height not exceeding 8 meters above the existing ground level measured by the Rolling Height Method as defined in the Operative District Plan.

Lots 2-9 DP 588451

- (ix). Buildings on lots 2 – 9 inclusive shall be limited to a height not exceeding 6.5 meters above existing ground level measured by the Rolling Height Method as defined in the Operative District Plan.



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Lots 10-15 DP 588451

(x). Buildings on Lots 10 to 15 inclusive shall be limited to a height of no greater than 6.5 meters above ground level ground level measured by the Rolling Height Method as defined in the Operative District Plan. This height has been chosen due to the steepness of the topography making it difficult practically to achieve lower building heights. If two story structures are to be utilised the ground floor shall be dug into the hill slope. A maximum building height elevation on each of these Lots will ensure this is achieved.

The following maximum building height elevations on Lots 10 – 15 shall be as follows:

- Lot 10 shall not exceed the 85m contour interval,
- Lot 11 shall not exceed the 91.5m contour interval,
- Lot 12 shall not exceed the 89.5m contour interval,
- Lot 13 shall not exceed the 86.5m contour interval,
- Lot 14 shall not exceed the 77m contour interval, and
- Lot 15 shall not exceed the 74m contour interval.

Lots 1-15 DP 588451

(xi). All buildings and structures shall be located within the building development zones as per the areas defined as per condition 3(c) of RC 2220047-RMACOM.

(xii). Where exterior building materials are not self-coloured (such as a natural wood or stone), colours from the A and B group of the BS5252 colour chart shall be used. Light reflectance values for exterior roofs shall not exceed 30 per cent and exterior walls shall not exceed 40 per cent.

(xiii). In conjunction with the building consent application for any building on the Lot, provide a Landscape Integration Plan prepared by a suitably qualified person which identifies:

- i. The location and species make-up of the existing Structure Planting on the site. If there are any gaps or areas of this planting that are missing, the Lot owner shall identify these areas and the replacement plants needed to fill them on the Landscape Integration Plan. Any replacement plants shall be of a native species.
- ii. Location and species of the Specimen Tree Plantings to be implemented.
- iii. All buildings and driveways proposed on the Lot, including the extent of all earthworks and how these will be treated, i.e., re-grassed, re-vegetated or use of retaining walls.
- iv. Additional landscape amenity plantings in the form of foreground and backdrop plantings required to blend the built structures into the landscape so the rural and visual amenity values are maintained and so that built development does not dominate the landscape.



v. The proposed landscaping shall be in accordance with Appendix 5 Subdivision Landscape Enhancement and Mitigation plan dated 17 March 2021 and provided with RC 2220047-RMACOM.

The Lot owner shall implement the planting shown on the Landscape Integration Plan (as required above) within 12 months of the Code of Compliance Certificate being issued and maintain the planting thereafter in accordance with the Landscape Planting Implementation and Maintenance as described in Appendix 5 Subdivision Landscape Enhancement and Mitigation plan dated 17 March 2021.

(xiv). The Design Guidelines listed under the headings 'Building Form', 'Building Materials and Finishes', 'Ancillary Structures', 'Water Tanks', 'Driveway and Parking Areas', 'Earthworks' and Landscape Design Guidelines listed under the headings 'Landscaping', 'Outdoor Living Areas', 'Swimming Pools', 'Grading and Drainage' and 'Outdoor Lighting' in the Landscape and Visual Effects Assessment by Hawthorn Landscape Architects dated 9th July 2021 shall be adhered to for any built development on the site. In conjunction with any building consent application, a registered landscape architect shall provide confirmation that the Design Guidelines have been met.

Lots 1-10, 14 and 15 DP 588451

(xv). Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the HNZPT and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains).

Lots 11-13 DP 588451

(xvi). Prior to development on this Lot, the Lot owner must provide to the Council's resource consents manager or other duly delegated officer, an archaeological assessment of the site, prepared by a qualified archaeologist, in order to determine whether there is any archaeological material that may be damaged, removed or otherwise affected by the proposed development. Any recommendations made in the report are to be adhered to by the consent holder, including obtaining an authority from the NZ Historic Places Trust to modify, damage or destroy the archaeological site, if required.



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8000 Bay Rd, Aukaha 3444, New Zealand

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SIGNED:

Mr Patrick John Killalea - Authorised Officer

By the FAR NORTH DISTRICT COUNCIL

Under delegated authority:

PRINCIPAL PLANNER – RESOURCE MANAGEMENT

DATED at **KERIKERI** this 3rd day of April 2023



RESOURCE CONSENT

Rev	Date	Description
01	22/01/2026	RESOURCE CONSENT

GENERAL CONSTRUCTION NOTES:

1. ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE, TERRITORIAL AUTHORITY AND RELEVANT BUILDING STANDARDS.
2. DO NOT SCALE FROM DRAWINGS. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. CONTACT DESIGNER WHERE ANY CONTRADICTIONS EXIST.
3. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MAIN SPECIFICATION AND THE ADDENDA SPECIFICATION.
4. REFER TO ENGINEERS DOCUMENTATION IF INVOLVED DURING CONSTRUCTION. ANY ELEMENT DESIGNED BY THE ENGINEER MUST BE CHECKED ON SITE BY THAT ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER INSPECTS THE WORK AND THAT WRITTEN EVIDENCE IS PROVIDED TO THE TERRITORIAL AUTHORITY AS REQUIRED.
5. INSTALL ALL MATERIALS/PRODUCTS/SYSTEMS TO MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS. CONSULT WITH MANUFACTURER IF REQUIRED.
6. CHECK ANY REQUIREMENTS OF THE APPROVED RESOURCE CONSENT DOCUMENTS IF APPLICABLE.
7. ALL DETAILS TO BE CONSTRUCTED AS DETAILED, ANY VARIATIONS MUST OBTAIN THE COUNCILS AUTHORITY OF ACCEPTANCE.

ONSITE SERVICES

IT IS THE RESPONSIBILITY OF THE OWNER TO HAVE ALL EXISTING ON SITE SERVICES LOCATED ON SITE AND ESPECIALLY IN THE PROPOSED BUILDING AREA.

ON-SITE WASTEWATER SYSTEM

ONSITE WASTEWATER SYSTEM BY ***** REFER TO REPORT FOR DETAILS. REF:***** DATED:*****

NETWORK SERVICES

ARRANGE WITH ALL NETWORK OPERATORS TO DISCONNECT SERVICES AND REMOVE FITTINGS AND EQUIPMENT AS NECESSARY.

SITE SAFETY

PREVENT ACCESS BY UNAUTHORISED PERSONS. ILLUMINATE AND PROTECT ALL HOLES, UNSAFE BUILDINGS AND HAZARDS. LEAVE THE SITE AND BUILDINGS SAFE AT THE CLOSE OF EACH DAY'S WORK.

ITEMS FOR SALVAGE OR RE-USE

CAREFULLY DISMANTLE AND STORE SAFELY ALL SALVAGED ITEMS WHERE DIRECTED; FOR REMOVAL, USE ON SITE OR UNTIL COMPLETION OF THE WORKS.

DEMOLITION WORK

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FOUNDATIONS

THE FOUNDATIONS FOR THE BUILDING ARE TO BE SUPPORTED ON GOOD GROUND WITH AN ULTIMATE BEARING CAPACITY OF 300kPa.

SITE PREPARATION

BEFORE A BUILDING IS ERECTED ON ANY SITE, ALL RUBBISH, NOXIOUS AND ORGANIC MATTER SHALL BE REMOVED FROM THE AREA TO BE COVERED BY THE BUILDING.

SITE CONTOURS

TAKEN FROM COUNCIL RECORDS

BOUNDARY SET OUT

CLEARLY MARK OUT ALL SITE BOUNDARIES PRIOR TO COMMENCEMENT OF WORK. HAVE A REGISTERED SURVEYOR LOCATE THE POSITION OF THE BUILDING WORK IF NECESSARY

BUILDING SET OUT

ALL BUILDING SETOUT DIMENSIONS ARE TO OUTSIDE OF CLADDING

PROTECTION OF STEEL FIXINGS - ZONE D:

-ALL STRUCTURAL FIXINGS SHALL BE TYPE 304 STAINLESS STEEL.
-NAIL PLATES IN 'CLOSED' AREAS INCLUDING ROOF SPACES SHALL BE CONTINUOUSLY COATED GALVANISED STEEL.
-WIRE DOGS & BOLTS IN 'CLOSED' AREAS INCLUDING ROOF SPACES SHALL BE HOT-DIPPED GALVANISED STEEL.

ALL REINFORCED CONCRETE EXPOSED TO THE WEATHER SHALL BE MINIMUM 25MPA.

IF IN DOUBT CHECK WITH LOCAL TA

Lot: 7
DP: 588451
Area = 1.3635ha

Address: 66 WAITETE HEIGHTS LANE, KERIKERI

Zone: COASTAL LIVING ZONE
Wind Zone: VERY HIGH
Earthquake Zone: ZONE 1
Exposure Zone: ZONE C
Territorial Authority: Far North District Council



THESE PLANS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS PLANS, ALL RELATED ARCHITECTURAL OR STRUCTURAL SPECIFICATIONS AND ANY SPECIFIC MANUFACTURER'S TECHNICAL INFORMATION.

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ALL TIMBER FRAMING TO BE SG8 UNLESS NOTED OTHERWISE. TIMBER FRAMING TO COMPLY WITH NZS3604:2011 AND OR ANY SPECIFIC ENGINEERED DESIGN OR APPROVED PROPRIETARY DESIGN TABLES.

The Relocatable Home Co.™



Peter & Diane Pomfret

RELOCATION OF SECONDHAND DWELLING
66 WAITETE HEIGHTS LANE,
KERIKERI

SEDIMENT CONTROL PLAN

THE CONTRACTOR MUST PREVENT ANY SEDIMENT WHICH IS A RESULT FROM DEMOLITION OR GROUND WORKS, FROM ENTERING THE EXISTING STORMWATER DRAINAGE SYSTEM.

ALL SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY EARTHWORKS AND ARE TO BE CHECKED AND MAINTAINED EVERY DAY.

USE THE FOLLOWING STEPS:

RETAIN VEGETATIVE BUFFER ZONES INSIDE SITE BOUNDARIES, TO ALL SIDES OF PROJECT, OR REPLACE WITH 'SILT SOCKS' OR 'TURF FILLER STRIPS' WHERE NOT POSSIBLE.

AND
PLACE APPROPRIATE 'SILT' SOCK SEDIMENT CONTROL AT LOCATIONS WITH INCREASED RUN OFF POTENTIAL

AND
INSTALL TEMPORARY FILTER CLOTH UNDER THE GRATING OF THE RELEVANT LOCAL CATCH PITS (CARRY OUT WATER RUN OFF TESTS IF NECESSARY TO DETERMINE AFFECTED PITS).

VEHICLES

PROVIDE STABILISED ENTRY PAD & WASH DOWN AREA FOR CONTRACTOR VEHICLES IN ACCORDANCE WITH ECAN SEDIMENT CONTROL FOR SMALL SITES

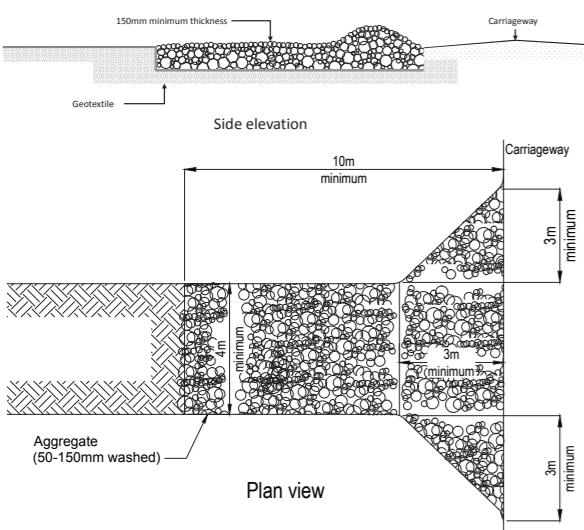
VEHICLES INVOLVED IN THE EXCAVATION WILL BE DELIVERED TO SITE AND THEN REMOVED VIA TRUCK.

EXCESS SOIL

EXCAVATED TOPSOIL IS TO BE SPREAD AROUND THE SITE AND FLATTENED WHERE POSSIBLE, WHILE STORED ON SITE ALL SOIL IS TO BE COVERED WITH IMPERVIOUS SHEET

NZBC F5/AS1 COMPLIANCE

SITE AREA IS FULLY FENCED - 1.8m HIGH TEMPORARY WIRE FENCING TO REMAIN IN PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD

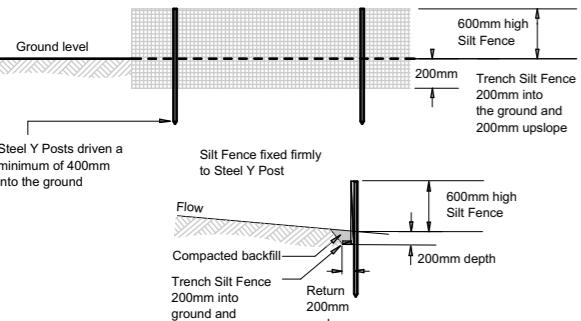


2 STABILISED CONSTRUCTION ENTRANCE

Scale 1:1

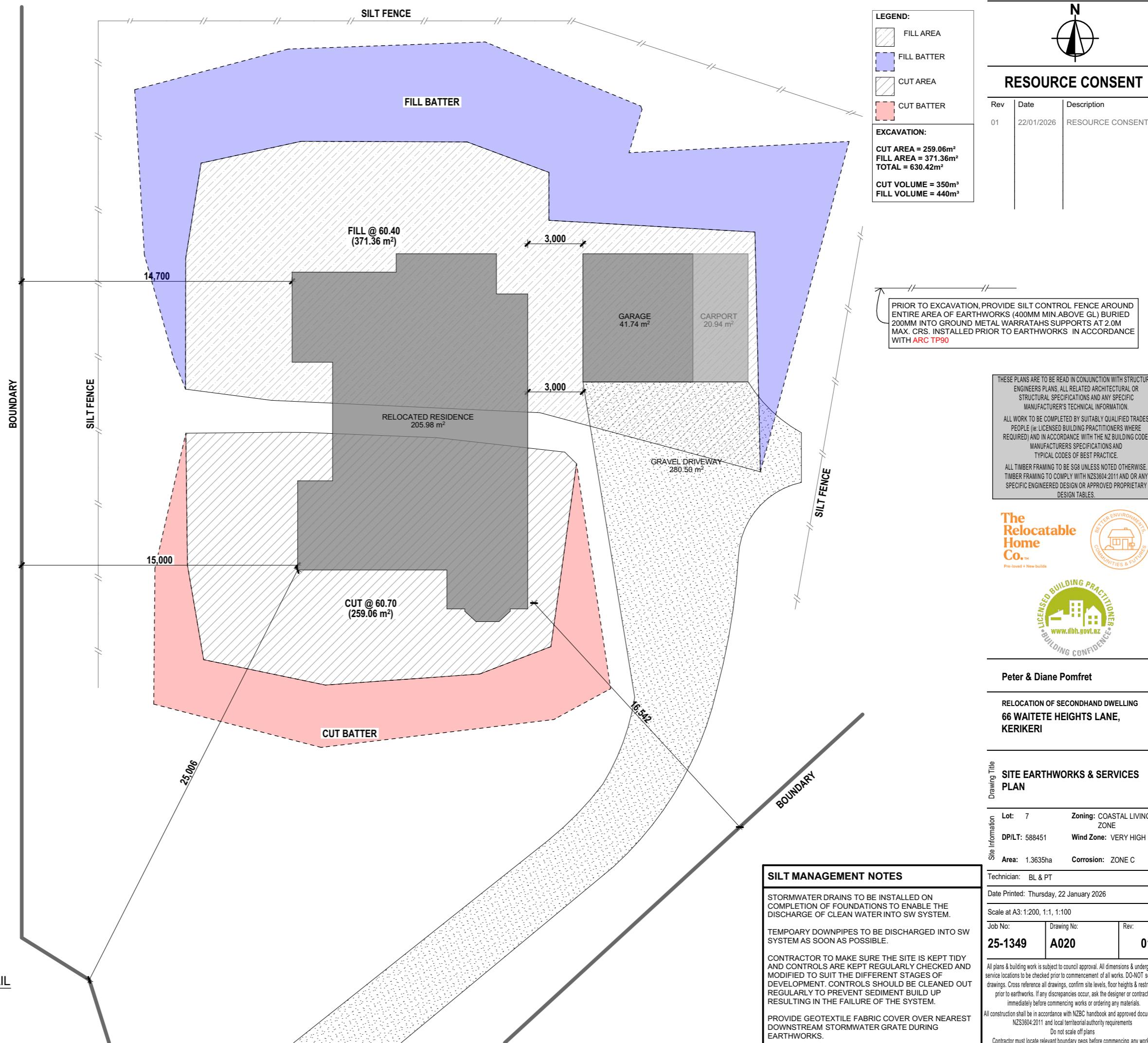
STANDARD SILTFENCE™ TYPICAL INSTALLATION

Steel Y Post spacing can be increased from 2 metres to 4 metres if supported by a 2.5mm diameter high tensile wire along the top with clips every 200mm



3 STANDARD SILTFENCE TYP. INSTALLATION DETAIL

N.T.S



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ITEMS FOR REMOVAL / DEMOLITION**RESOURCE CONSENT**

Rev	Date	Description
01	22/01/2026	RESOURCE CONSENT



1 EXISTING NORTH ELEVATION
A100 Scale 1:100

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2 PROPOSED NORTH ELEVATION
A101 Scale 1:100



Peter & Diane Pomfret

RELOCATION OF SECONDHAND DWELLING
66 WAITETE HEIGHTS LANE,
KERIKERI

Drawing Title
NORTH ELEVATIONS

Site Information
Lot: 7 Zoning: COASTAL LIVING ZONE

DP/LT: 588451 Wind Zone: VERY HIGH

Area: 1.3635ha Corrosion: ZONE C

Technician: BL & PT

Date Printed: Thursday, 22 January 2026

Scale at A3: 1:100

Job No: Drawing No: Rev:
25-1349 A200 01

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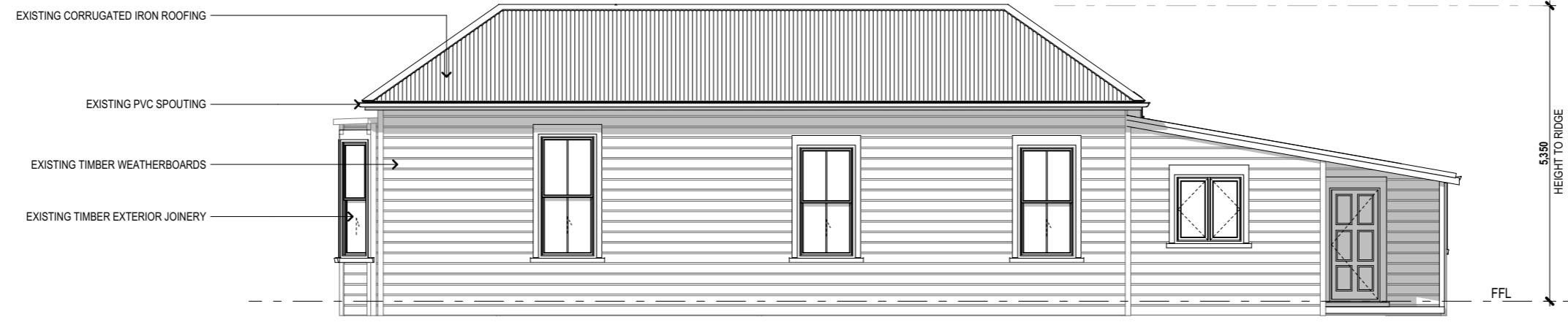
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RESOURCE CONSENT

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1
A100 **EXISTING EAST ELEVATION**
Scale 1:100

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The Relocatable Home Co.™
BETTER ENVIRONMENTS. COMMUNITIES & FUTURES
Pre-loved + New builds



Peter & Diane Pomfret

RELOCATION OF SECONDHAND DWELLING
66 WAITETE HEIGHTS LANE,
KERIKERI

EAST ELEVATIONS
Drawing Title

Lot: 7 Zoning: COASTAL LIVING ZONE

DP/LT: 588451 Wind Zone: VERY HIGH

Area: 1.3635ha Corrosion: ZONE C

Technician: BL & PT

Date Printed: Thursday, 22 January 2026

Scale at A3: 1:100

Job No: 25-1349 Drawing No: A201 Rev: 01

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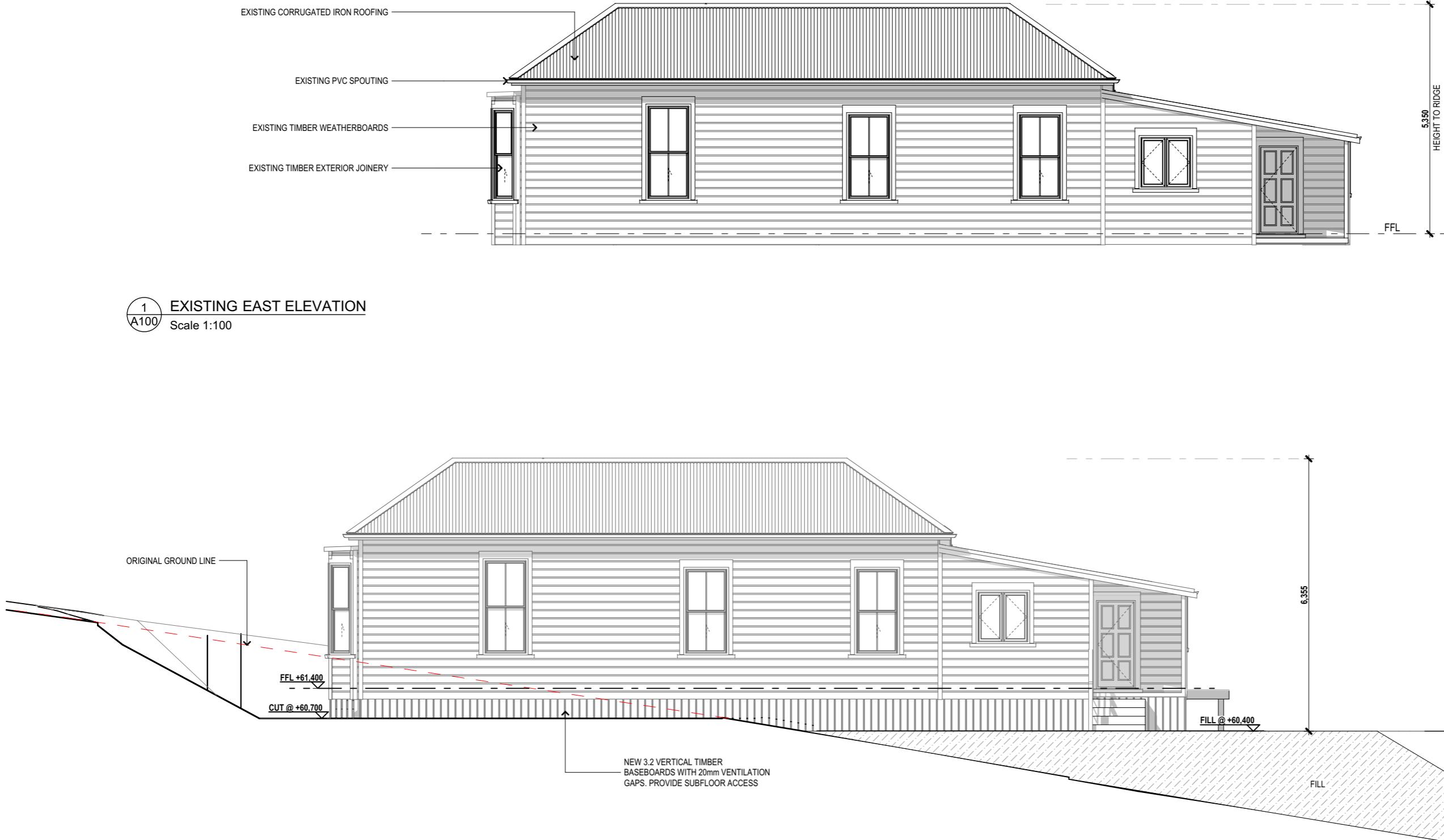
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2
A101 **PROPOSED EAST ELEVATION**
Scale 1:100

Do not scale off plans
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DEMOLITION WORK

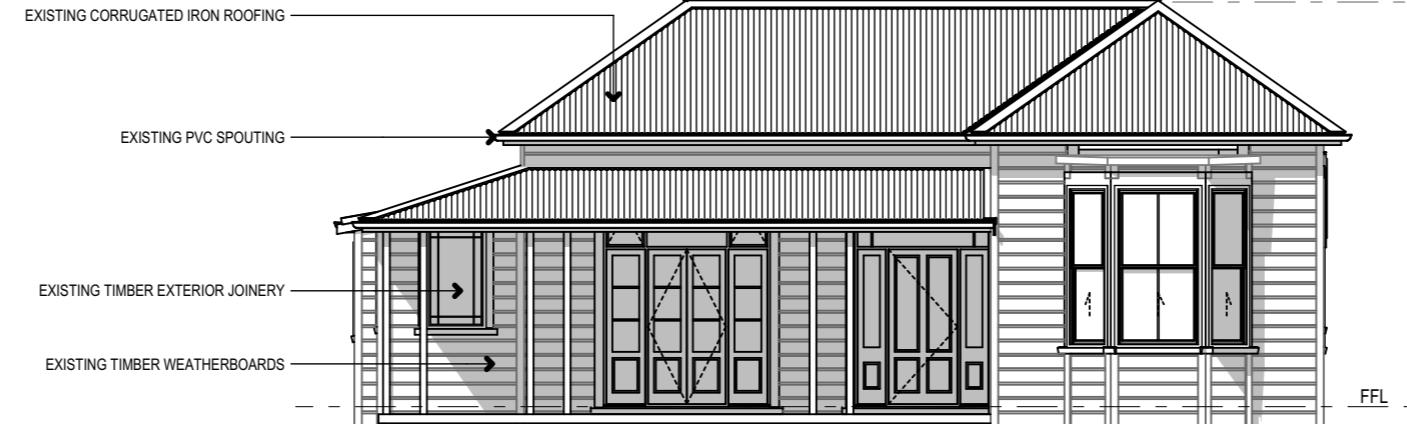
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1 EXISTING SOUTH ELEVATION
A100 Scale 1:100

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Peter & Diane Pomfret

RELOCATION OF SECONDHAND DWELLING
66 WAITETE HEIGHTS LANE,
KERIKERI

Drawing Title
SOUTH ELEVATIONS

Site Information	Lot: 7	Zoning: COASTAL LIVING ZONE
	DP/LT: 588451	Wind Zone: VERY HIGH
	Area: 1.3635ha	Corrosion: ZONE C
	Technician: BL & PT	
	Date Printed: Thursday, 22 January 2026	

Job No:	Drawing No:	Rev:
25-1349	A202	01

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2 PROPOSED SOUTH ELEVATION
A101 Scale 1:100

DEMOLITION WORK
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 **ITEMS FOR REMOVAL / DEMOLITION**

RESOURCE CONSENT

Rev	Date	Description
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1 EXISTING WEST ELEVATION
A100 Scale 1:100

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2 PROPOSED WEST ELEVATION
A101 Scale 1:100



Peter & Diane Pomfret

RELOCATION OF SECONDHAND DWELLING
66 WAITETE HEIGHTS LANE,
KERIKERI

Drawing Title
WEST ELEVATIONS

Site Information
Lot: 7 Zoning: COASTAL LIVING ZONE

DP/LT: 588451 Wind Zone: VERY HIGH

Area: 1.3635ha Corrosion: ZONE C

Technician: BL & PT

Date Printed: Thursday, 22 January 2026

Scale at A3: 1:100

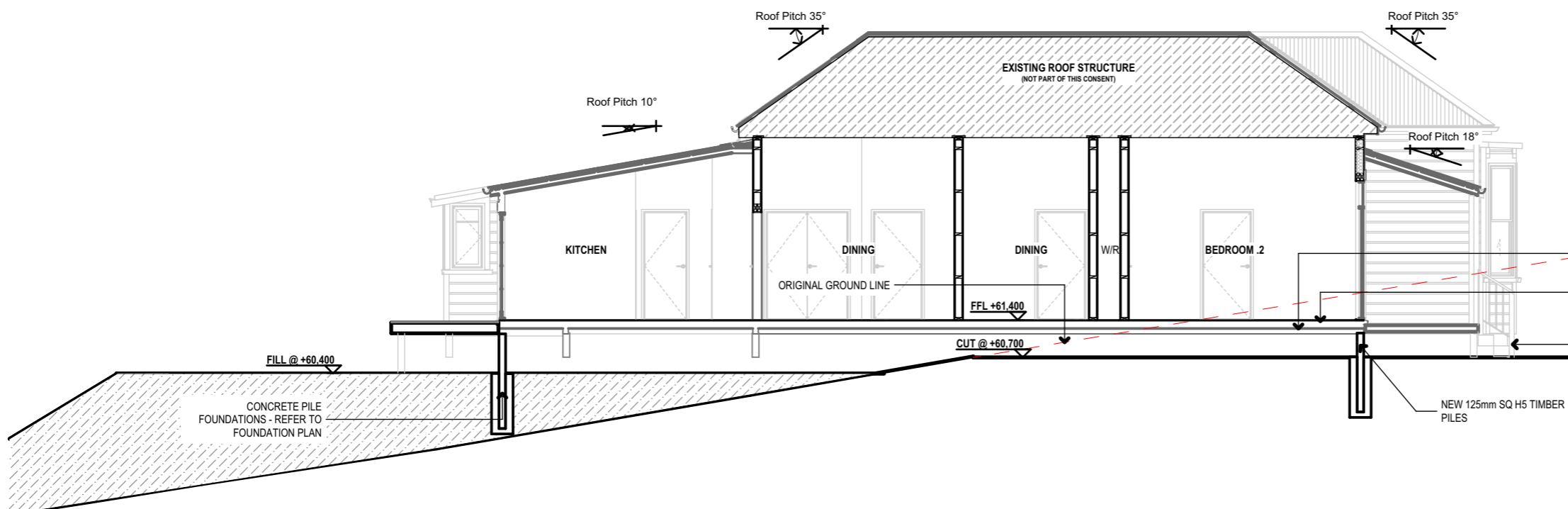
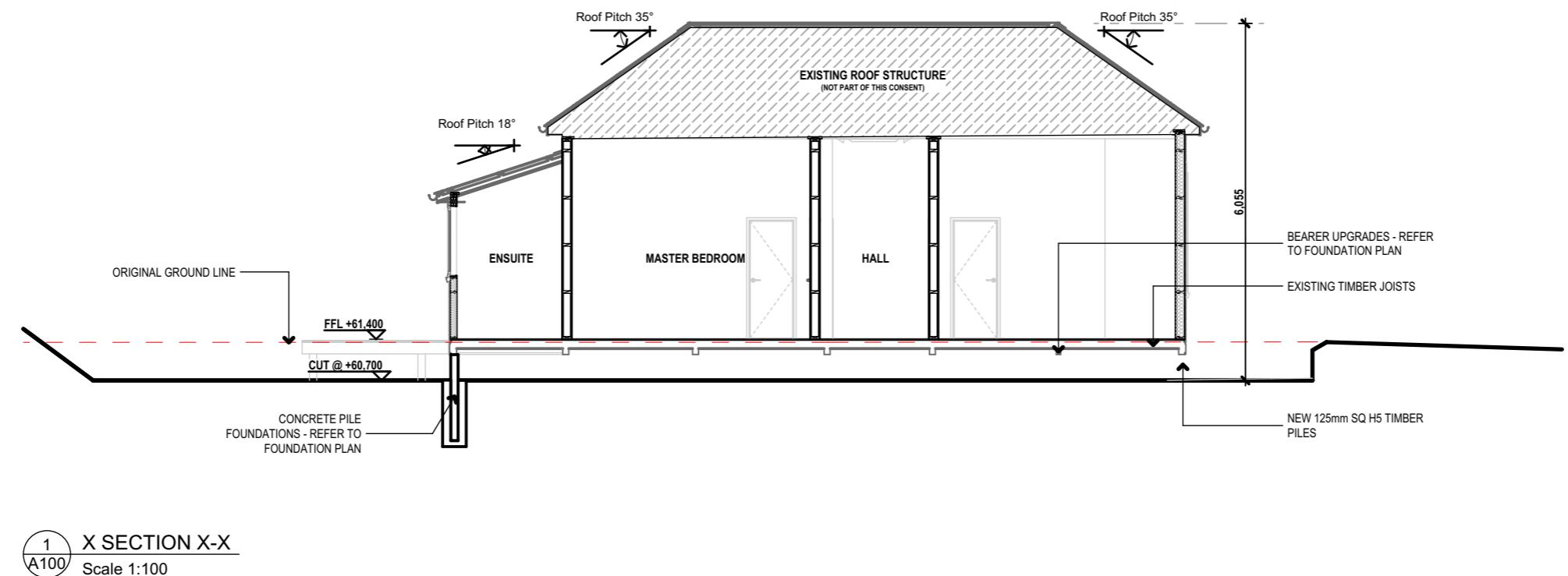
Job No: 25-1349 Drawing No: A203 Rev: 01

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Rev	Date	Description
01	22/01/2026	RESOURCE CONSENT



Peter & Diane Pomfret

RELOCATION OF SECONDHAND DWELLING
66 WAITETE HEIGHTS LANE,
KERIKERI

CROSS SECTIONS

Drawing Title: Lot: 7 Zoning: COASTAL LIVING ZONE

Site Information: DP/LT: 588451 Wind Zone: VERY HIGH

Area: 1.3635ha Corrosion: ZONE C

Technician: BL & PT

Date Printed: Thursday, 22 January 2026

Scale at A3: 1:100

Job No: 25-1349 Drawing No: A300 Rev: 01

H1 Minimum values for Zone 1 & 2		
Building Thermal Envelope Component	Minimum R-values (M2 C/W)	Insulation to be installed
Roof	R6.6	R6.6
Wall	R2.0	R2.2
Floor	R1.5	R1.5

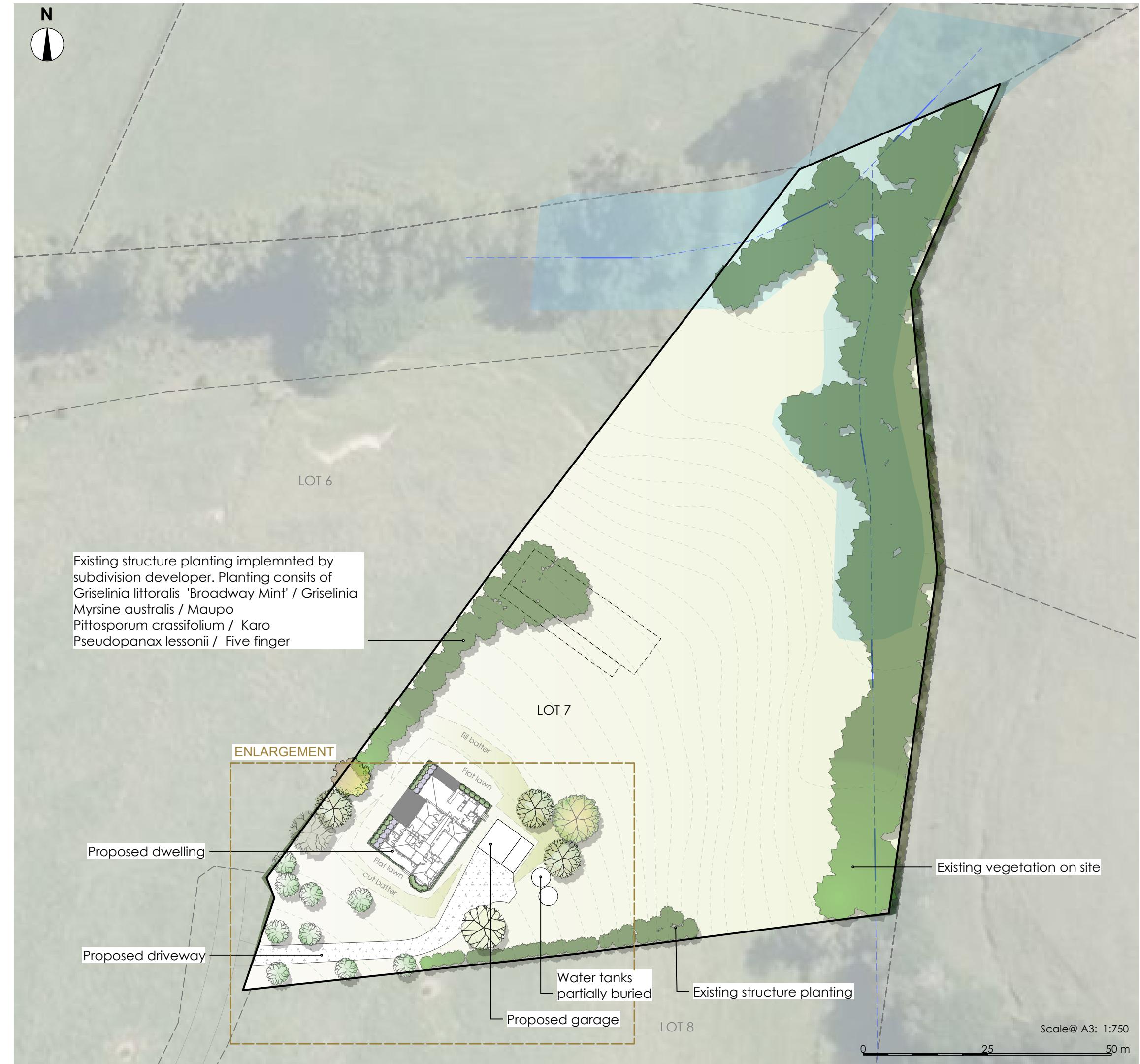
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N



Notes:

Foreground and backdrop amenity plantings have been provided to blend the built structures into the landscape, so the rural and visual amenity values are maintained and so that built development does not dominate the landscape.

The individual specimen trees enhance the amenity values of the site and create a park like character to the development. The trees will also screen and soften views between building sites and blend the future development of houses into the landscape.

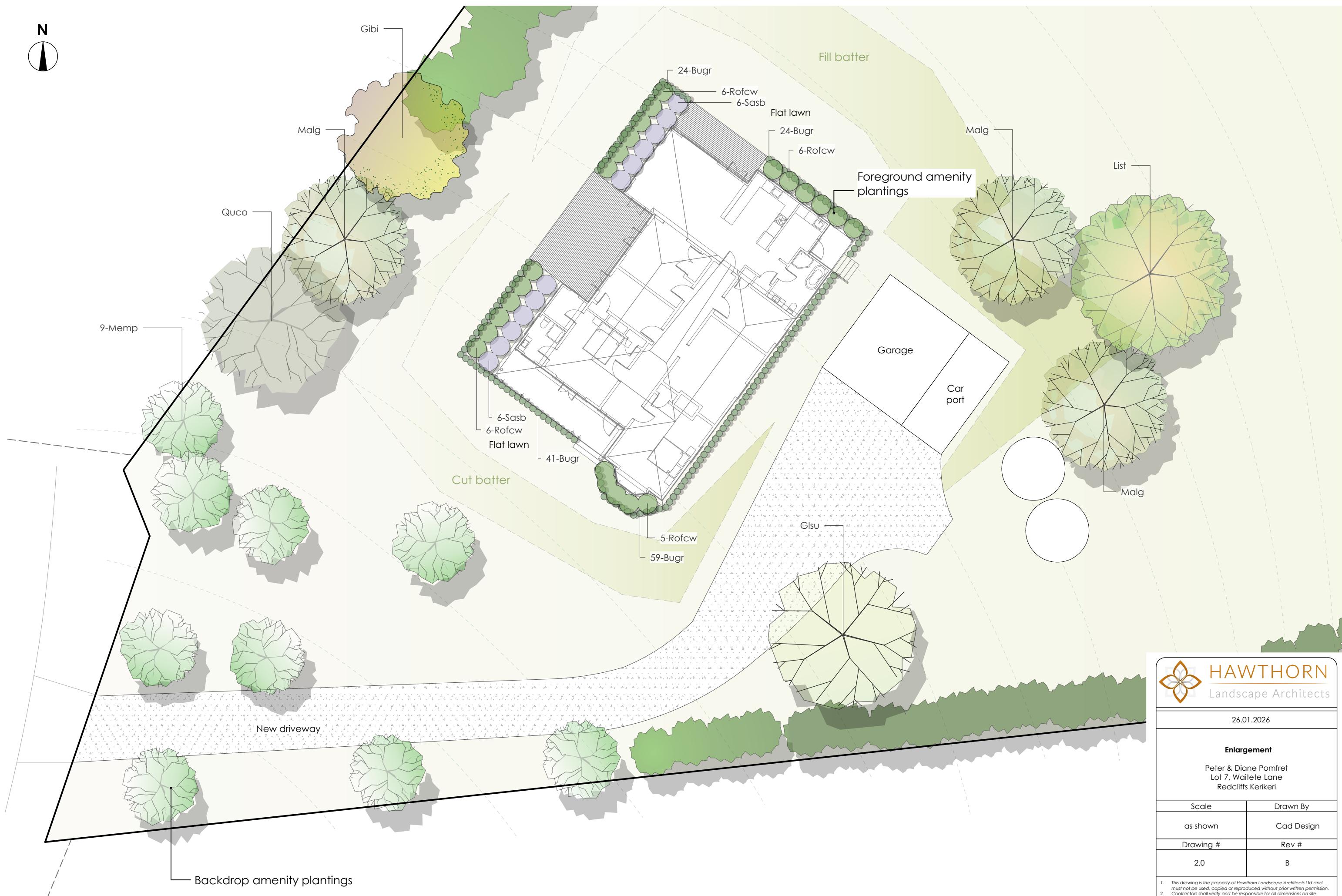
The proposed landscaping is in accordance with Appendix 5 Subdivision Landscape Enhancement and Mitigation Plan dated 17 March 2021 that was provided with RC 2220047-RMACOM.

The Lot owner shall implement the planting shown on this Landscape Integration Plan within 12 months of the Code of Compliance Certificate being issued and maintain the planting thereafter.

 HAWTHORN Landscape Architects	
26.01.2026	
Landscape Integration Plan	
Peter & Diane Pomfret Lot 7, Waitete Lane Redcliffs Kerikeri	
Scale	Drawn By
as shown	Cad Design
Drawing #	Rev #
1.0	B

1. This drawing is the property of Hawthorn Landscape Architects Ltd and must not be used, copied or reproduced without prior written permission.
2. Contractors shall verify and be responsible for all dimensions on site.
3. Do not take off the drawing.
4. Landscape Architect to be notified of any variations between on site dimensions and those shown on the plan. Hawthorn Landscape Architects accepts no liability for unauthorised changes to the details changes to the details shown in these drawings.
5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

N



26.01.2026

Enlargement

Peter & Diane Pomfret
Lot 7, Waiteate Lane
Redcliffs Kerikeri

Scale	Drawn By
as shown	Cad Design
Drawing #	Rev #
2.0	B

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Neighbours house obscured



Photo 1 - View from the house site looking southeast, no view of the coast and no other houses that overlook the site

Neighbours house obscured



Photo 2 - View looking south east, neighbouring house obscured.

Neighbours house obscured



Photo 3 - View looking south, existing landscape integration plantings in foreground, roof of nearby house under construction visible.

Houses at the start of Waitete Heights lane

Houses along Redcliffs Road



Photo 4 - View looking east at houses located at the start of Waitete Heights Lane, and part of Redcliffs Road.



HAWTHORN

Landscape Architects

On Site Photographs

327 Pakaru Road, Kawakawa

Houses located off Wairangi Road



Photo 5 - View looking northeast at houses located around Wairangi Road, existing landscape integration plantings along the boundary



Photo 6 - View looking north towards the wetland area at the bottom of the property, and the screen of existing vegetation.



Photo 7 - View of the property from the end of Waitete Heights Lane, looking northeast at the entry to the property. No water views are obtained from this area.



HAWTHORN
Landscape Architects

On Site Photographs

327 Pakaru Road, Kawakawa



HAWTHORN

Landscape Architects

Plant Palette



Bugr
Buxus microphylla 'Green Gem'
hedge



Gibi
Ginkgo biloba 'Autumn Gold'



Glsu
Gleditsia 'Sunburst'



List
Liquidambar styraciflua



Malg
Magnolia 'Little Gem'



Memp
Metrosideros 'Maori Princess'



Quco
Quercus coccinea



Rofcw
Rosa 'Flower Carpet'



Sasb
Salvia 'Santa Barbara'

Plant Schedule

Code	Qty	Botanical Name	Common Name	Schedule Size
Bugr	148	Buxus microphylla 'Green Gem' hedge	Japanese Box	PB3
Gibi	1	Ginkgo biloba 'Autumn Gold'	Ginkgo tree	PB95
Glsu	1	Gleditsia 'Sunburst'	Honey Locust	PB95
List	1	Liquidambar styraciflua	Liquidambar	PB95
Malg	3	Magnolia 'Little Gem'	Evergreen Magnolia	PB40
Memp	9	Metrosideros 'Maori Princess'	Pohutukawa	PB12
Quco	1	Quercus coccinea	Scarlet Oak	PB95
Rofcw	23	Rosa 'Flower Carpet'	White Carpet Rose	PB5
Sasb	12	Salvia 'Santa Barbara'	Salvia sp.	PB5

Plant Palette

Peter & Diane Pomfret
Lot 7, Waiteate Lane
Redcliffs Kerikeri

Scale	Drawn By
no scale	Cad Design
Drawing #	Rev #
4.0	B

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Landscape Planting Implementation + Maintenance

Implementation Scope

The scope of the planting is:

- i. Preparation of planting areas;
- ii. Timing of planting;
- iii. Plant material;
- iv. Siting of plants in accordance with the planting plan;
- v. Planting;
- vi. Watering in newly planted shrubs, and;
- vii. General maintenance, and;
- viii. Weed pest and disease control.

Preparation of Planting Areas

- i. Undertake clearance of any exotic weed species. No native vegetation shall be removed.
- ii. The initial weed control should be carried out during the autumn months prior to the winter planting, when plants are still actively growing and therefore more susceptible to herbicides.
- iii. Blanket spray planting areas three weeks before planting. A follow up spray should be applied if required.
- iv. Apart from grasses one of the main weeds that may require spraying is gorse. For gorse the following is recommended:

For Gorse spray:

- Spray with 5g metsulfuron-methyl (600g/kg e.g. Escort®) + 10 ml penetrant per 10 litres water; or
- Gun and hose at a rate of 35g metsulfuron-methyl + 100ml penetrant per 100 litres water.

For grasses spray:

- Spray 100ml glyphosate (e.g. Roundup)+ 20ml penetrant per 10litres water

Timing of Planting

- i. Planting shall only be undertaken between the months of April to September. If planting is undertaken early or late in the season, plants should be irrigated during any dry periods.

Plant Material

- i. Plants shall be purchased from a reputable nursery. All plants shall be best nursery stock, being healthy and vigorous. Root systems shall be well developed and in balance with the amount of foliage growth of the plant.
- ii. Root-bound plants or those with badly spiraling root systems shall not be acceptable. Plants should have a root ball of fine, fresh root growth. This should be sliced through vertically with a sharp knife when removing the planter bag.
- iii. Plants are to be planted as soon as possible after delivery and no later than 3 days after delivery.

Siting of Plants

- i. Planting shall be in accordance with and as shown on the Proposed Landscape Concept Plans.

Planting

- i. In areas where mass planting/total vegetation replacement is proposed a 150mm layer of 50/50 mix locally sourced compost and topsoil should be placed over the whole area to receive planting. More of this soil/compost mix should also be mixed into individual plant holes during planting (as described below).
- ii. Hessian matting to be placed over any steeper areas or those close to a water source to prevent excessive runoff.
- iii. Plants should be well watered in their containers prior to planting.
- iv. Holes for the larger (pb3 and above) plants should be dug approximately 1.5 times wider than the root ball, so that the roots are not cramped. Some loose soil should be left in the bottom of the hole to aid root growth and drainage.
- v. Approximately one tablespoon of good quality eighteen to twenty-four month slowrelease fertiliser should be placed in the bottom of the plant hole, and mixed in with the loose soil, ensuring that the fertiliser is not sitting directly on the roots (as it may burn them).
- vi. Soil returned around the roots should be firmed with the foot, with a small amount of loose soil left at the top of the hole.
- vii. Holes for large plants may exceed the depth of topsoil. In these cases the subsoil is to be thoroughly broken and well mixed with topsoil, which has been added as a 100mm layer to the bottom of the planting hole. Any compacted soil pan is to be thoroughly broken by relevant measures ensuring good root penetration and drainage.
- viii. Individual specimens should be planted approx 50mm proud of the existing ground level to prevent waterlogging.
- ix. The base of the planting hole is to be filled and firmed with backfilling material to a level where the top of the plant root ball is level with surrounding ground.
- x. All care shall be taken to keep the root ball of the plant intact during placement.
- xi. Finish all newly planted areas with a 70mm layer of locally sourced, high quality mulch.

Specimen Tree Planting

- i. Ground preparation to take place prior to planting; consisting of a 1m3 hole for each pb95 grade tree. Integrate existing soil within this hole with a 50/50 mix of locally sourced compost and topsoil.
- ii. Trees should be planted approx 50mm proud of the existing ground level to prevent waterlogging.
- iii. Finish with a 70mm layer of locally sourced, high quality mulch to a 1m diameter around tree trunk, do not mound up around trunk.
- iv. Stake trees with appropriate wooden stakes and soft tree tie.

Watering In

Immediately after planting all of the plants are to be thoroughly watered until the planting hole is saturated. The foliage of plants is also to be thoroughly wetted. This is to be done even if soil conditions are already wet.

General Maintenance

- i. Maintenance weed control should commence within three months following the planting, and then twice annually (see table 1.1 for maintenance timing).
- ii. Maintenance shall be undertaken for a minimum period of 3 years following practical completion in accordance with this specification and the accompanying plan.
- iii. Care should be taken to identify and control any weeds that may have been introduced to the property in potting mix associated with the new plants.
- iv. All weeds should be cleared from the site by appropriate physical and chemical control. The majority of weeds growing close to the plant can be pulled by hand (taking care not to damage the roots of the plant) or, if appropriate, sprayed with herbicide by an experienced operator.
- v. During this three-year maintenance programme, any dead plants will need to be replaced.
- vi. An annual top up of mulch is required throughout all mass planted areas, and around each specimen, to achieve a 70mm layer.

Maintenance Task	Frequency	Time of Year to Complete Tasks											
		Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Maintenance weeding around specimen trees and in all mass planted areas.	2x annually												
Top up of mulch on all trees and mass planted areas to achieve a 70mm layer.	2x annually												
Removal and replacement of any damaged or dead specimens.	1x annually												
Selective pruning/trimming of specimen trees to remove any dead wood or damaged growth and to maintain healthy vigour and good form.	1x annually												



26.01.2026

Implementation + Maintenance

Peter & Diane Pomfret
Lot 7, Waiate Lane
Redcliffs Kerikeri

Scale	Drawn By
no scale	Cad Design
Drawing #	Rev #
5.0	B

1. This drawing is the property of Hawthorn Landscape Architects Ltd and must not be used, copied or reproduced without prior written permission.
2. Contractors shall verify and be responsible for all dimensions on site.
3. Do not alter off site drawings.
4. Landscape Architect to be notified of any variations between on site dimensions and those shown on the plan. Hawthorn Landscape Architects accepts no liability for unauthorised changes to the details changes to the details shown in these drawings.
5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

12.3.7 ASSESSMENT CRITERIA Updated

(a) Erosion and Natural Hazards

The proposal includes earthworks exceeding **300m³**, associated with the formation of the building platform and related residential development. The earthworks will be confined to a defined area of the site and undertaken on land with no identified natural hazard overlays.

The site is located approximately **100 metres from the nearest wetland**, and no earthworks are proposed within or near this sensitive receiving environment. Appropriate erosion and sediment control measures will be implemented during construction to ensure that sediment-laden runoff does not migrate beyond the site. Given the scale, location, and separation from water bodies, the earthworks are not expected to cause or exacerbate erosion or other natural hazards on-site or within the surrounding environment.

(b) Life Supporting Capacity of the Soil

The site is not used for a productive purpose, and the proposal is not contrary to this consideration.

(c) Stormwater Effects

Stormwater generated during and after construction will be managed on-site. Temporary stormwater and sediment controls will be installed during the earthworks phase to manage runoff and prevent adverse effects on adjoining properties, public roads, or the downstream wetland environment. Post-construction stormwater flows will be consistent with typical residential development and are not expected to result in adverse off-site effects.

(d) Water Quality

There is little likelihood of any reduction in water quality surrounding the site.

(e) Visual Amenity and Natural Character of the Coastal Environment

Although earthworks exceeding 300m³ are proposed, the works are located within a private site that does not have views of the sea and is visually contained within the surrounding landscape. The finished development will be consistent with existing residential development in the Coastal Living Zone and will not result in a loss of natural character or coastal visual amenity.

(f) Outstanding Landscape Features and Outstanding Natural Features

There are no Outstanding Landscape Features or Outstanding Natural Features identified on the site or within the immediate vicinity. The proposal will therefore not adversely affect any such features.

(g) Indigenous Vegetation and Indigenous Fauna

The earthworks will avoid areas of significant indigenous vegetation and habitats of indigenous fauna. The wetland located approximately 100 metres from the development area will not be disturbed, and no hydrological connection will be altered as a result of the proposal.

(h) Heritage and Archaeological Sites

No recorded heritage resources or archaeological sites are present on the site. In the event that archaeological material is discovered during earthworks, work will cease, and the appropriate authorities will be notified in accordance with statutory requirements.

(i) Cultural and Spiritual Values of Māori

There are no recorded Sites of Cultural Significance to Māori or wāhi tapu on the subject site. The proposal, including the earthworks, is not anticipated to adversely affect Māori cultural or spiritual values.

(j) Cumulative Effects

Earthworks exceeding 300m³ are a temporary activity associated with establishing a residential development anticipated within the Coastal Living Zone. When considered alongside other development in the area, the cumulative effects are considered to be no more than minor.

(k) Avoidance, Remedy, and Mitigation Measures

Potential adverse effects associated with the proposal, including earthworks exceeding 300m³, will be avoided or mitigated through the following measures:

- Limiting earthworks to the approved building platform and access areas
- Implementing erosion and sediment control measures during construction
- Maintaining a substantial setback from the wetland located approximately 100 metres from the works
- Stripping, stockpiling, and reusing topsoil on site for landscaping and plantings
- Stabilising exposed surfaces and revegetating disturbed areas following completion of works

(l) Monitoring and Remedial Action

There is no impediment to monitoring the proposed development. In the unlikely event that remedial action is required there is no issue with this occurring.

(m) Development Plan Criteria (Section 11.20)

The building platform and associated development are located within a stable part of the site, responding to the landform and maintaining a 100m separation from the wetland to avoid ecological or hydrological effects. Earthworks exceeding 300m³ are confined to a defined area with batters and contours designed for long-term stability. Stormwater will be managed on-site during construction

and operation, with temporary sediment controls to prevent off-site effects. Access from Waitete Heights Lane is suitable for construction and residential use. Topsoil will be retained and reused for landscaping and revegetation, stabilising disturbed areas and integrating the development with the surrounding landscape. The layout and mitigation measures ensure effects on neighbouring properties are minor and temporary. Overall, the proposal demonstrates a well-considered site layout that complies with Section 11.20 of the Far North District Plan.

(n) National Grid Yard Criteria

The site is not located within a National Grid Yard. Accordingly, this criterion is not applicable.

Conclusion

While the proposal includes earthworks exceeding 300m³, the activity is appropriately located, temporary in nature, and supported by mitigation measures. The proposal will result in no more than minor adverse environmental effects and is consistent with the objectives and policies of the Far North District Plan.

Objectives and Policies Assessment (OBS & POLs)

Proposal

Site Address: 66 Waitete Heights Lane, Kerikeri

This application seeks resource consent for earthworks exceeding 300m³ to create a building platform and associated access and services within the Coastal Living Zone. The earthworks are required to enable development of the site in a manner that responds to the existing landform while avoiding sensitive environments.

Relevant Objectives and Policies – Far North District Plan

This assessment has been undertaken with reference to the relevant objectives and policies of the Far North District Plan, including those relating to earthworks, natural hazards, soil resources, stormwater management, and the Coastal Living Zone.

Earthworks Objectives and Policies

Relevant Provisions:

- Objective 11.2.1 – To ensure earthworks are undertaken in a manner that avoids, remedies, or mitigates adverse effects on the environment.
- Policy 11.2.2 – Manage the scale, location, and method of earthworks to minimise erosion, sedimentation, and land instability.
- Policy 11.2.3 – Require appropriate erosion and sediment control measures where earthworks are undertaken.

Assessment: The proposed earthworks at 66 Waitete Heights Lane are limited to the minimum extent necessary to establish a stable building platform and associated access. The location has been selected to respond to the existing landform and avoids sensitive environments. Cut and fill volumes have been minimised, and the works avoid steep slopes where practicable.

In accordance with Policy 11.2.2 and Policy 11.2.3, erosion and sediment control measures will be implemented, including staged earthworks, diversion of clean water around disturbed areas, and stabilisation of exposed surfaces following completion. These measures ensure that potential adverse effects such as erosion and sediment discharge are avoided or mitigated.

The proposal is consistent with Objective 11.2.1 and the associated Earthworks Policies of the Far North District Plan.

Natural Hazards Objectives and Policies

Relevant Provisions:

- Objective 12.1.1 – Avoid increasing the risk of natural hazards to people, property, and the environment.
- Policy 12.1.2 – Ensure land use and development does not exacerbate erosion or land instability.

Assessment: The proposed earthworks have been designed to maintain land stability and avoid creating or exacerbating erosion or instability, consistent with Objective 12.1.1. Cut heights and batter slopes are appropriate for the site conditions, and the works are confined to a stable part of the site.

The proposal will not increase natural hazard risk on-site or on neighbouring properties and is consistent with Policy 12.1.2 of the District Plan.

Soil and Land Resources Objectives and Policies

Relevant Provisions:

- Objective 13.1.1 – Protect the life-supporting capacity of soils.
- Policy 13.1.2 – Minimise the permanent loss or degradation of soil resources through land development.

Assessment: The earthworks will affect a limited area of the site and will not result in a significant loss of soil resource, consistent with Objective 13.1.1. Topsoil will be stripped and stockpiled where practicable and reused on-site for reinstatement and landscaping following completion of works.

The proposal minimises soil disturbance and is consistent with Policy 13.1.2 of the District Plan.

Stormwater and Water Quality Objectives and Policies

Relevant Provisions:

- Objective 14.1.1 – Maintain or enhance water quality in rivers, wetlands, and downstream environments.
- Policy 14.1.2 – Require stormwater to be managed to avoid erosion, sedimentation, and adverse effects on water bodies.

Assessment: A wetland is located approximately **100 metres downslope** from the proposed earthworks area. While this represents a relatively close proximity, the separation distance combined with the implementation of robust erosion and sediment control measures consistent with Policy 14.1.2 ensures that sediment-laden runoff will not enter the wetland or downstream environments.

Earthworks will be undertaken in a staged manner where practicable, with clean water diverted around disturbed areas and exposed surfaces stabilised progressively and following completion of works. Post-construction stormwater will be directed and managed to avoid erosion and scouring.

Any potential effects on water quality are expected to be minor and temporary, and the proposal is consistent with Objective 14.1.1.

Coastal Living Zone Objectives and Policies

Relevant Provisions:

- Objective 16.3.1 – Enable low-density residential development while maintaining landscape and amenity values within the Coastal Living Zone.
- Policy 16.3.2 – Ensure development is integrated with the natural landform and avoids adverse effects on coastal character and amenity.

Assessment: The proposed earthworks are consistent with the anticipated scale and form of development within the Coastal Living Zone. The site does not have views of the sea, and the earthworks will not adversely affect coastal landscapes or public viewing opportunities.

The building platform has been located to integrate with the existing landform and minimise visual prominence, consistent with Policy 16.3.2. The proposal therefore aligns with Objective 16.3.1 and the relevant Coastal Living Zone policies.

Conclusion

Overall, the proposed earthworks are consistent with the relevant Objectives and Policies of the Far North District Plan. Any potential adverse effects associated with earthworks exceeding 300m³ are minor and temporary and will be appropriately avoided or mitigated through careful design and implementation of erosion and sediment control measures. The proposal is therefore considered appropriate within the Coastal Living Zone.