

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☒ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input checked="" type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☒ No

4. Consultation

Have you consulted with iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

He Korowai Trust C/- Vesuvius Shepherd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Logipla Limited C/- Nina Pivac

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Home

Postcode

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

He Korowai Trust

**Property Address/
Location:**

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

He Korowai Trust

**Site Address/
Location:**

Legal Description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?

☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

To construct two dwellings on each site breaching residential intensity rules

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☐ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ **Building Consent**
- ☐ **Regional Council Consent (ref # if known)**
- ☐ **National Environmental Standard consent**
- ☐ **Other (please specify)**

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☒ No ☐ Don't know

- | | |
|--|--|
| <input type="radio"/> Subdividing land | <input type="radio"/> Disturbing, removing or sampling soil |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☒ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

As per applicant details

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Vesuvius Shepherd

Signature:

(signature of bill payer)

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Nina Pivac

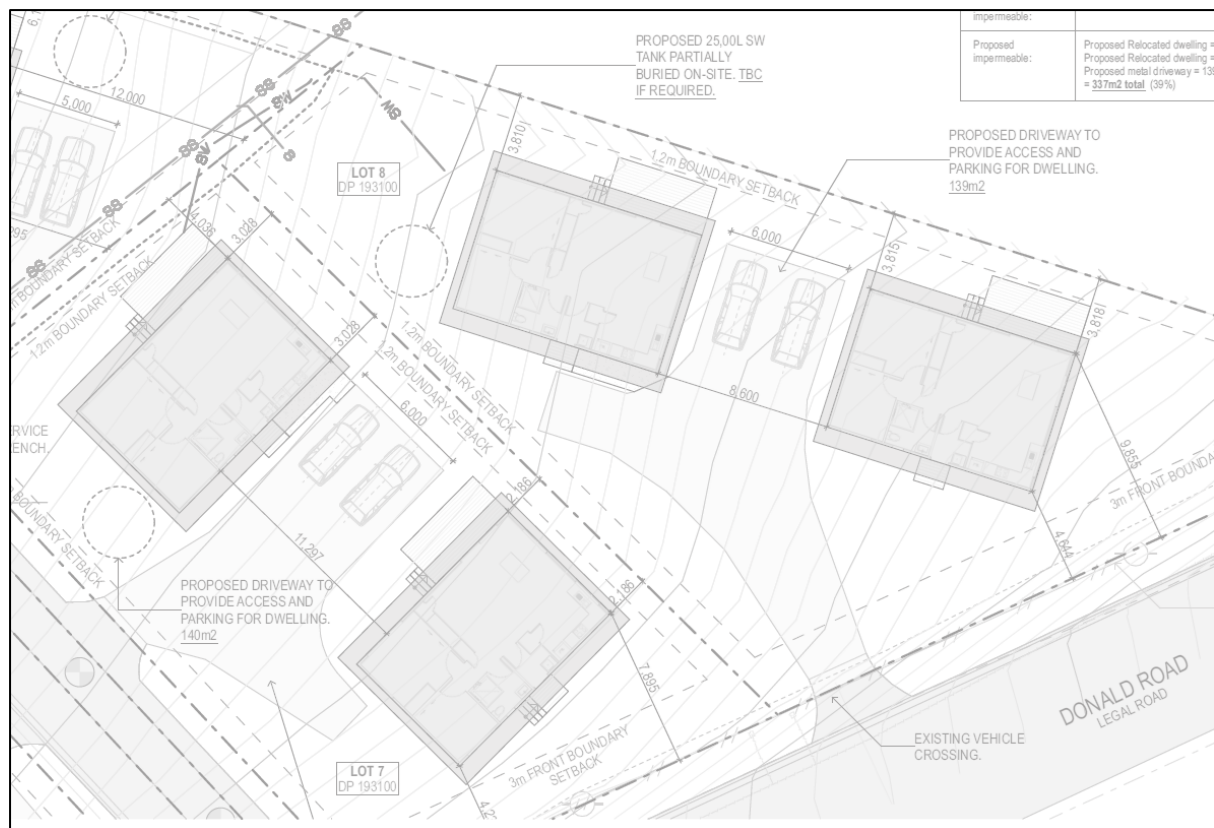
Signature:

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



LANDUSE RESOURCE CONSENT APPLICATION

DONALD ROAD, KAITAIA

LOTS 7 & 8 DP 193100

ASSESSMENT OF ENVIRONMENTAL EFFECTS

PREPARED FOR:

HE KOROWAI TRUST

22 July 2025

REV A

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Appendix B – Certificate of Title & Interests

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1.0 THE APPLICANT AND PROPERTY DETAILS

To:	Far North District Council
Site address:	Donald Road, Kaitaia
Applicant's name:	He Korowai Trust C/- Vesuvius Shepherd
Address for service:	Logiplan Limited Attn: Nina Pivac 50-64 Commerce Street Kaitaia 0410
Legal description:	Lot 7 DP 193100 (RT 1155184) (Site A) Lot 8 DP 193100 (RT 1155185) (Site B)
Site area:	Lot 7 DP 193100 - 698m ² (Site A) Lot 7 DP 193100 – 875m ² (Site B)
Site owner:	He Korowai Trust
Operative District Plan (ODP) zoning:	Residential Zone
Operative District Plan overlays/resource areas:	Nil
Proposed District Plan (PDP) zoning:	General Residential Zone
Proposed District Plan overlays/resource areas:	Treaty Settlement Area of Interest
Brief description of proposal:	To construct two dwellings on each of the subject sites, breaching Rule 7.6.5.1.2 Residential Intensity.
Summary of reasons for consent:	Overall, the proposal is a Restricted Discretionary Activity

We attach an assessment of environmental effects that corresponds with the scale and significance of the effects that the proposed activity may have on the environment.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 22 July 2025

2.0 PROPOSAL

The applicants, He Korowai Trust (HKT), are a local Maori organisation who provide housing solutions for whanau in desperate need in Kaitaia. To provide some background, subdivision referenced 2080028-RMASUB was recently completed which resulted in the creation of a total of eight allotments (Lots 1 to 8 DP 193100) and were purchased by HKT.

The subject site consists of two separate titles, being Lots 7 and 8 DP 193100, respectively referred to hereon as Site A and Site B. For efficiency, and given that the associated rule breaches and planning issues are similar, it is respectfully requested that the proposed development is considered under one application.

The proposal is to construct two dwellings each on Site A and Site B, for the purpose of long-term kuia/kaumatua (pensioner) housing. Given the land area within Site A is 698m², and 875m² within Site B, resource consent is required under Rule 7.6.5.1.2 Residential Intensity.

The following Assessment of Environmental Effects (AEE) has been prepared in accordance with the requirements of Section 88 of and Schedule 4 of the Resource Management Act 1991 (the Act) and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual or potential effects the proposal may have on the environment.

3.0 SITE CONTEXT

The subject site is situated on Donald Road, Kaitaia and consists of two separate titles legally described as Lots 7 and 8 DP 193100. Site A has a land area of 698m², while Site B has a land area of 875m². A copy of the relevant Certificates of Title (CT) and Consent Notice 13136904.2 (which applies to both Sites A and B) are attached as **Appendix B**.



Figure 1: Map showing subject site and surrounds (Premise)

The subject site is zoned Residential under the ODP with no other resource overlays.

Under the PDP, the site is zoned General Residential and is subject to the Treaty Settlement Area of Interest overlay.

Subdivision Application:

He Korowai Trust – Lots 7 & 8 Donald Road, Kaitaia

In terms of existing built development, the subject site is currently vacant. All necessary roading and service infrastructure was installed as part of subdivision 2080028-RMASUB.

Access Site A is currently gained via a recently formed internal accessway, while access to Site B is currently achieved by a recently formed vehicle crossing off Donald Road. All relevant accessways were formed to Council's Engineering Standards as part of 2080028-RMASUB.

The subject site is located central to the Kaitaia Township and the immediate surrounding environment is largely characterised by residential activities. Adjacent properties are similarly zoned Residential.

Council reticulated services including sewer are available to the site.

NZAA has not mapped any archaeological sites in the area.

The site does not contain any areas of significant indigenous vegetation or fauna.



Figure 2: View of the subject site from Donald Road (Google Streetview)

4.0 DISTRICT PLAN RULES ASSESSMENT

LANDUSE:

An assessment of all relevant landuse provisions has been undertaken as follows:

Residential Zone	Relevant Standards	Compliance
7.6.5.1.1 RELOCATED BUILDINGS	Buildings are permitted activities provided that they comply with all the standards for permitted activities in the Plan, and further provided that where the building is a relocated building all work required to reinstate the exterior including painting and repair of joinery shall be completed within six months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations.	The proposed dwellings will be constructed offsite, and relocated to the subject site, by Panel Lock Homes. Each dwelling will be reinstated within six months of the buildings being delivered to the site. Permitted

Residential Zone	Relevant Standards	Compliance
7.6.5.1.2 RESIDENTIAL INTENSITY	<p>Permitted: Sewered: one unit per 600m² Unsewered: 3000m²</p> <p>Restricted Discretionary Activity: Sewered: one unit per 300m² Unsewered: 2000m²</p>	<p>Based on a site area of 698m² (Site A), and 875m² (Site B), the proposal is unable to meet the permitted threshold of one unit per 600m² for sewered sites.</p> <p>The proposal will therefore be a Restricted Discretionary Activity.</p> <p>Restricted Discretionary Activity</p>
7.6.5.1.4 BUILDING HEIGHT	Maximum building height of 8m	<p>The proposed buildings will be less than 8m in height.</p> <p>Permitted</p>
7.6.5.1.5 SUNLIGHT	2m + 45 degree recession plane	<p>As per the elevation plans, each dwelling will be able to comply with this rule.</p> <p>Permitted</p>
7.6.5.1.6 STORMWATER MANAGEMENT	Maximum impermeable surface area of 50%	<p>Proposed impermeable surfaces within proposed Lot 7 equate to approximately 281m² (40%), including the dwellings and driveway/parking area. Impermeable surfaces within Lot 8 equate to 303m² (35%) of the total site area.</p> <p>Permitted</p>
7.6.5.1.7 SET BACK FROM BOUNDARIES	3m from road boundary, 1.2m from all other boundaries (except no setback is required for a total length of 10m of any building).	<p>As per the attached site plans, the proposed dwellings will comply with all setback requirements.</p> <p>Permitted</p>
7.6.5.1.11 TRANSPORTATION	<p>Access to be constructed to Council's Engineering Standards.</p> <p>Adequate manoeuvring area and one onsite parking space is required for each unit (pensioner housing).</p>	<p>The internal accessways has been designed to comply with Council's Engineering Standards. One parking space per unit will be provided.</p> <p>Permitted</p>
7.6.5.1.17 BUILDING COVERAGE	Maximum building coverage of 45%	<p>Total building coverage equates to 141m² (20%) within site A, and 143m² (20%) in Site B.</p> <p>Permitted</p>

Overall, the proposal requires resource consent as a **Restricted Discretionary Activity** under the Far North District Plan.

5.0 ASSESSMENT OF ENVIRONMENTAL EFFECTS

In assessing an application under this provision, the Council will restrict the exercise of its discretion to:

Assessment Criteria:	Comment:
(a) the character and appearance of building(s) and the extent to which they will be compatible with the principal activity on the site and with other buildings in the surrounding area;	With a GFA of 60m ² , each of the proposed dwellings are considered to be modest in bulk, scale and design. Being located in an area that is largely characterised by residential development, the proposed development is considered to be consistent and entirely compatible with existing development patterns in the immediate surrounding environment.
(b) the siting of the building(s), decks and outdoor areas relative to adjacent properties in order to avoid visual domination and loss of privacy and sunlight to those properties;	As per the attached site plans, each of the proposed dwellings are able to comply with the relevant setback and sunlight rules therefore avoiding loss of privacy and sunlight. Owing to the topography of the site, where each lot slopes downwards towards the north, access to sunlight will be maintained. With a modest GFA of 60m ² , the proposed dwellings are highly unlikely to result in visual domination particularly given adjacent dwellings are significantly larger in scale.
(c) the size, location and design of open space and the extent to which trees and garden plantings are utilised for mitigating adverse effects;	As discussed above, the proposed development is considered to be modest in bulk and scale such that adequate open space will be maintained for each dwelling. There will be sufficient grassed areas around each dwelling providing opportunity for additional planting of trees and/or gardens.
(d) the ability of the immediate environment to cope with the effects of increased vehicular and pedestrian traffic;	The proposed development will generate a TIF of 20 one-way daily traffic movements on each Sites A and B, which is able to comply with the permitted threshold for traffic intensity in the Residential Zone. The proposal is therefore considered appropriate in the context of the surrounding development.
(e) the location and design of vehicular and pedestrian access, on site vehicle manoeuvring and parking areas and the ability of those to mitigate the adverse effects of additional traffic	Traffic effects were comprehensively assessed as part of the original subdivision, and internal accessways designed according to the appropriate engineering standards. In regard to the proposed development, vehicle access, parking and manoeuvring areas have been carefully designed by Haigh Workman so as to provide for the safety and efficiency of traffic and pedestrian movements.
(f) location in respect of the roading network – sites on local roads are not generally considered appropriate for activities which generate high levels of pedestrian and vehicular activity;	The proposed development will generate a TIF of 20 one-way daily traffic movements on each Sites A and B, which is able to comply with the permitted threshold for traffic intensity in the Residential Zone. The proposal is therefore considered appropriate in the context of the surrounding development.
(g) noise generation and the extent to which reduction measures are used;	The proposal is for a residential activity. It is therefore anticipated that noise levels will be able to be maintained to an appropriate level.
(h) any servicing requirements and/or constraints of the site – whether the site has adequate water	Both Sites A and B are located within the Area of Benefit (AoB) for sewer and water. Each dwelling has the ability to connect to sewer, water supply will be achieved by way of roofwater collection. In accordance with Condition (iii) of Consent Notice 1316904.2, a Stormwater Management Report has

Assessment Criteria:	Comment:
supply and provision for disposal of waste products and stormwater;	been prepared where stormwater disposal has been carefully designed so as to not result in any downstream stormwater effects (see Appendix C).
(i) whether the development is designed in a way that avoids, remedies or mitigates any adverse effects of stormwater discharge from the site into reticulated stormwater systems and/or natural water bodies;	As mentioned above, a Stormwater Management Report has been prepared in accordance with Condition (iii) of Consent Notice 1316904.2 (see Appendix C). Overall, the report concludes that any adverse effects of stormwater discharge will be less than minor subject to those recommendations outlined in their report.
(j) the ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s) permitted on the site;	As discussed above, the proposed development is considered to be modest in bulk and scale such that adequate open space will be maintained for each dwelling. Though not considered necessary, there will be sufficient grassed areas around each dwelling providing opportunity for additional planting of trees and/or gardens.
(k) the degree to which mitigation measures are proposed for loss of open space and vegetation;	As discussed above, the proposed development is considered to be modest in bulk and scale such that adequate open space will be maintained for each dwelling. There will be sufficient grassed areas around each dwelling providing opportunity for additional planting of trees and/or gardens.
(l) any adverse effects on the life supporting capacity of soils;	The site does not contain highly versatile soils.
(m) the suitability of sites for building and access;	The subject sites were created as a result of subdivision 2080028-RMASUB where it was concluded that the site is suitable for the residential development. Detailed engineering design for each of the proposed dwellings has been undertaken by Haigh Workman as per Appendix C, which concludes that both Sites A and B have the ability to accommodate the proposed development. Internal accessways and/or vehicle crossings to each lot have been constructed in accordance with Council's Engineering Standards.
(n) visual effects of site layout on the natural character of the coastal environment;	Not applicable.
(o) the effect on indigenous vegetation and habitats of indigenous fauna.	The site does not contain any areas of significant indigenous vegetation or habitats of indigenous fauna.

6.0 STATUTORY CONSIDERATIONS

NES CONTAMINATED SOILS (NESCS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NESCS. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Based on a search of Council records and historic aerial images, along with discussions with the applicants who have owned the property for generations, there is no evidence to suggest that a HAIL

activity has been undertaken on the subject site. Therefore, no further assessment is required under the NES Contaminated Soils.

NES FRESHWATER (NESFW)

A review of aerial images, including NRC's wetland maps, reveal no evidence to suggest that there are any wet areas that may be subject to the NES Freshwater provisions. Therefore, no further assessment is required under the NES Freshwater.

NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND (NPSHPL)

As the site is zoned Industrial, the NPSHPL is not applicable in this instance.

NATIONAL POLICY STATEMENT FOR INDIGENOUS BIODIVERSITY (NPS-IB)

As discussed earlier in the report, the subject site does not contain any significant areas of indigenous vegetation or habitats of indigenous fauna. The NPS-IB is therefore not relevant to this application.

NEW ZEALAND COASTAL POLICY STATEMENT

The New Zealand Coastal Policy Statement is not relevant to this application.

OPERATIVE FAR NORTH DISTRICT PLAN

Relevant ODP objectives and policies are those contained within the transportation, Urban Environment and Residential Zone chapters. As a restricted discretionary activity, the proposed activity is considered to be consistent with all relevant objectives and policies of the Far North District Plan.

PROPOSED FAR NORTH DISTRICT PLAN

As of Monday 4 September 2023, the further submission period on the PDP has closed. However, Council are yet to make a decision on submissions made and publicly notify this decision. Therefore, the application shall only 'have regard to' the relevant objectives and policies in the PDP.

Relevant objectives and policies in the PDP are contained within the General Residential Zone Chapters. Based on the AEE, it is considered that the proposal is largely consistent with the anticipated outcome of the relevant objectives and policies, particularly the following:

- GRZ-01 to GRZ-06
- GRZ-P1 to GRZ-P8

7.0 LIMITED NOTIFICATION ASSESSMENT

Step 1: Certain affected protected customary rights groups must be notified

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups, or affected persons under a statutory acknowledgement affecting the land.

The above does not apply to this land.

Step 2: If not required by step 1, limited notification precluded in certain circumstances

Step 2 describes that limited notification is precluded where all applicable rules and NES preclude limited notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity under section 360H(1)(a)(ii).

The above does not apply to the proposal, and therefore limited notification is not precluded.

Step 3: If not precluded by step 2, certain other affected persons must be notified

Step 3 requires that where limited notification is not precluded under step 2 above, a determination must be made as to whether any of the following persons are affected persons:

- In the case of a boundary activity, an owner of an allotment with an infringed boundary;
- In the case of a prescribed activity under s360H(1)(b), a prescribed person; and
- In the case of any other activity, a person affected in accordance with s95E.

The application is not for a boundary or prescribed activity as defined in the Act or a prescribed activity under s360H(1)(b), and therefore an assessment in accordance with s95E is required, of which is set out below.

Overall, it is considered that any adverse effects in relation to adjacent properties will be less than minor, and accordingly that no persons are adversely affected.

Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

In this instance, having regard to the assessment above, special circumstances are not considered to apply to this proposal.

8.0 OVERALL CONCLUSION

This application seeks resource consent to construct two dwellings each on Lots 7 and 8 DP 193100, breaching rules relating to residential intensity.

Based on the assessment of effects above, it is concluded that any potential adverse effects on the existing environment would be no more than minor and can be managed in terms of appropriate conditions of consent.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that the application for resource consent can be granted on a non-notified basis.

Prior to the issue of any decision for this consent, it is requested that all draft conditions are forwarded to the agent for review and comment.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 22 July 2025

Appendices:

Appendix A – Scheme Plan

Appendix B – Certificate of Title & Interests

Appendix C – Engineering Report

Appendix A – Scheme Plan

Sheet Index	
Sheet No:	Sheet Name:
BC(1)00	COVER SHEET
BC(1)01	SITE PLAN _ LOT 7
BC(1)02	SITE PLAN _ LOT 7
BC(1)03	FLOOR PLAN _ LOT 7
BC(1)04	FOUNDATION PLAN _ LOT 7
BC(1)05	DECK FRAMING PLAN _ LOT 7
BC(1)06	ROOF PLAN _ LOT 7
BC(2)00	ELEVATIONS _ LOT 7
BC(2)01	ELEVATIONS _ LOT 7
BC(2)02	ELEVATIONS _ LOT 7
BC(3)00	SECTION _ LOT 7
BC(4)00	DETAILS
BC(4)01	DETAILS
BC(4)02	DETAILS
BC(4)03	DETAILS
BC(4)04	DETAILS
BC(4)05	DETAILS
BC(4)06	DETAILS
BC(4)07	DETAILS
BC(4)08	DETAILS
BC(4)09	DETAILS



STATUS:	BUILDING CONSENT
PROJECT NAME + ADDRESS:	LOT 7 <i>Donald Road, Kaitaia</i> <i>Northland, 0410</i>
DATE:	19/06/2025
PROJECT NUMBER:	2417

RELOCATE IT

www.relocateit.co.nz
T: 02102867410
E: office@relocateit.co.nz

SHEET NUMBER



REVISION

BC(1)00



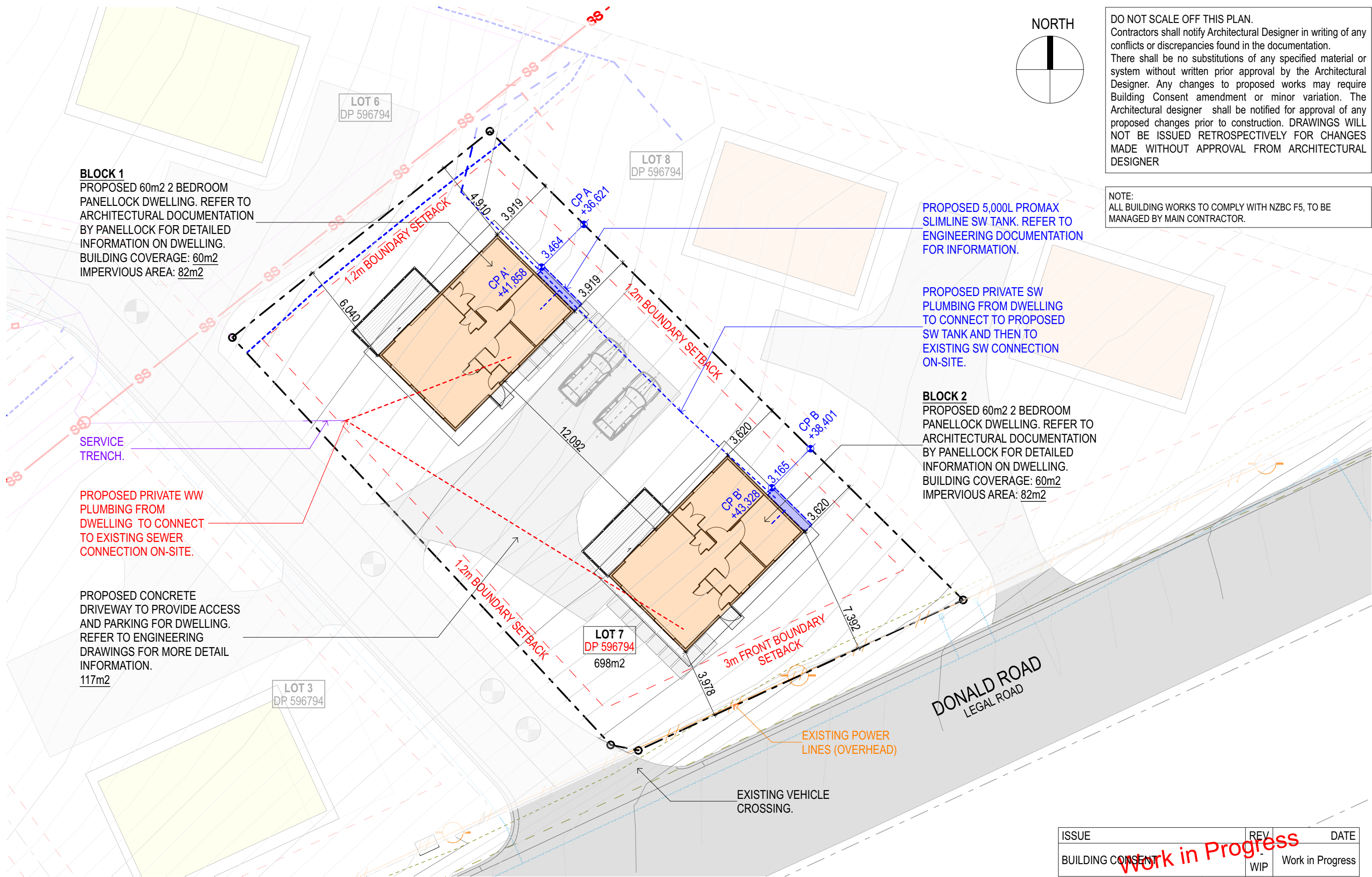
DO NOT SCALE OFF THIS PLAN.
Contractors shall notify Architectural Designer in writing of any conflicts or discrepancies found in the documentation.
There shall be no substitutions of any specified material or system without written prior approval by the Architectural Designer. Any changes to proposed works may require Building Consent amendment or minor variation. The Architectural designer shall be notified for approval of any proposed changes prior to construction. DRAWINGS WILL NOT BE ISSUED RETROSPECTIVELY FOR CHANGES MADE WITHOUT APPROVAL FROM ARCHITECTURAL DESIGNER

SITE INFORMATION	
Site Address:	Donald Road, Kaitaia
Legal Description:	Lot 7 DP 596794
CT No:	1155184
Gross Site Area:	698m2
Net Site Area:	698m2
Planning Zone:	Residential Zone
Wind Zone:	Extra High
Earthquake Zone:	Zone 1
Exposure Zone:	Zone C
Climate Zone:	Zone 1
Soil Classification:	As per Geotech report
Existing building coverage:	= 0m2 total
Proposed building coverage:	Proposed PanelLock dwelling = 60m2 + Proposed PanelLock dwelling = 60m2 + Decks over 1m = 21m2 = 141m2 total (20%)
Existing impermeable:	= 0m2 total
Proposed impermeable:	Proposed PanelLock dwelling = 82m2 + Proposed PanelLock dwelling = 82m2 + Proposed concrete driveway = 117m2 = 281m2 total (40%)

HOUSE TYPE	
	60m2 PanelLock dwelling
	78m2 PanelLock dwelling

ISSUE	REV	DATE
BUILDING CONSENT	WIP	Work in Progress





KEYNOTES

FLOORS

- F01
TIMBER DECK OVER 1m
New Timber deck, to be over 1m from NG to FDL and apart of this consent. 19mm timber decking w/ sufficient slip resistance applied to be in compliance with D1/AS1. Refer to deck framing plan for deck framing information. Ensure compliance w/ NZS3604:2011.
- F02
TIMBER DECK UNDER 1m
New Timber deck, to be under 1m from NG to

STRUCTURE

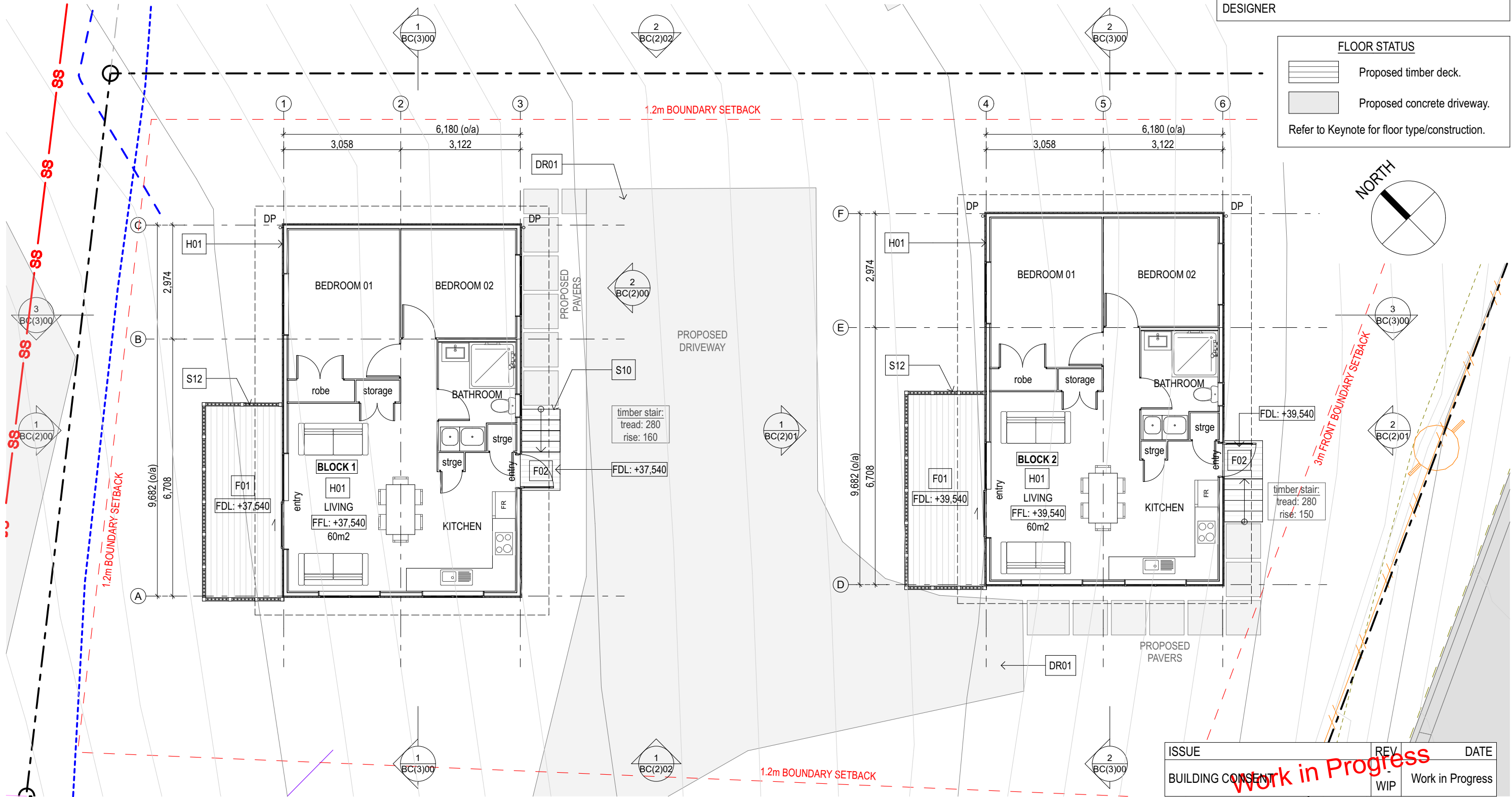
- DR01
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PROPOSED DWELLING

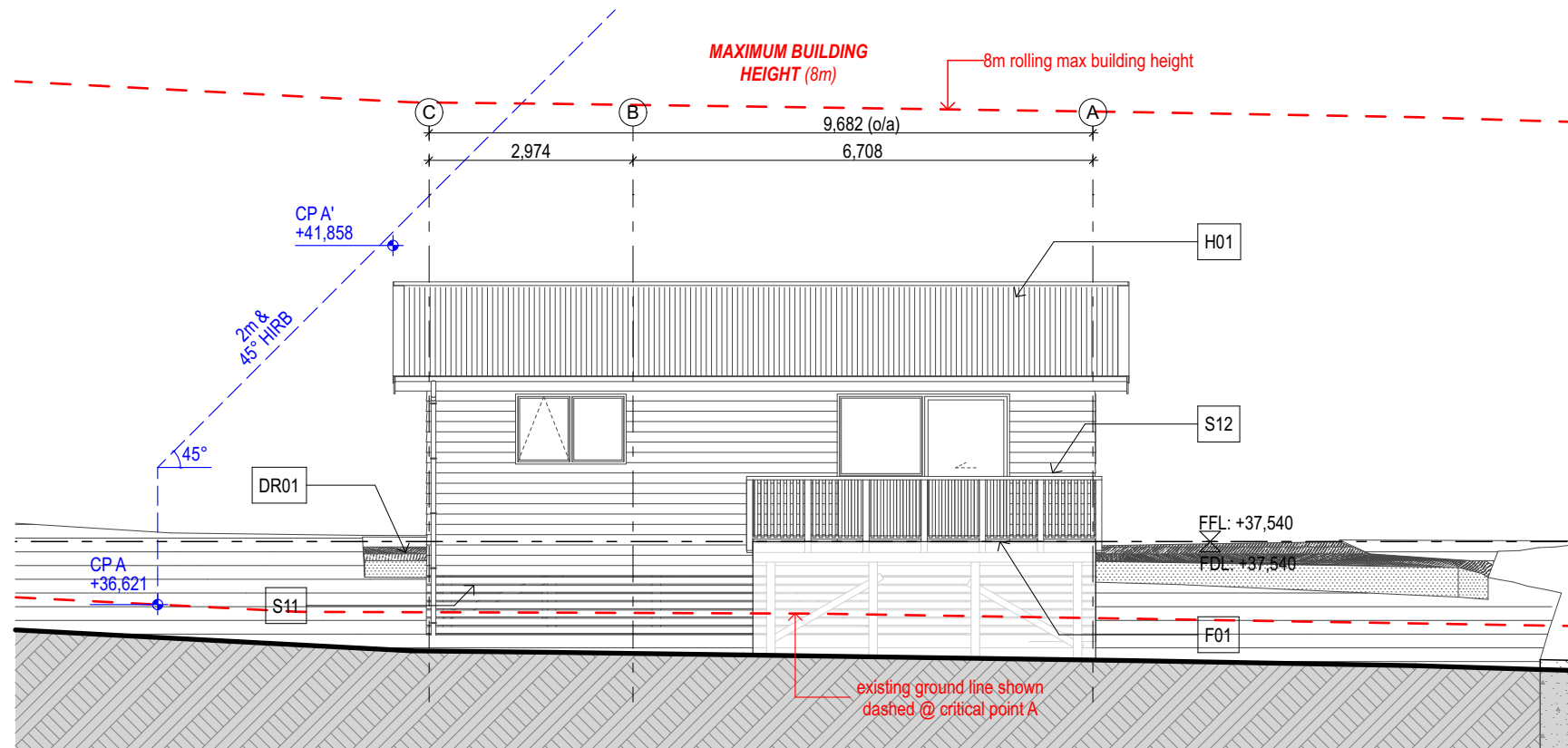
S10

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- S12
NEW TIMBER DECK BALUSTRADE
New timber balustrade fixed to timber deck

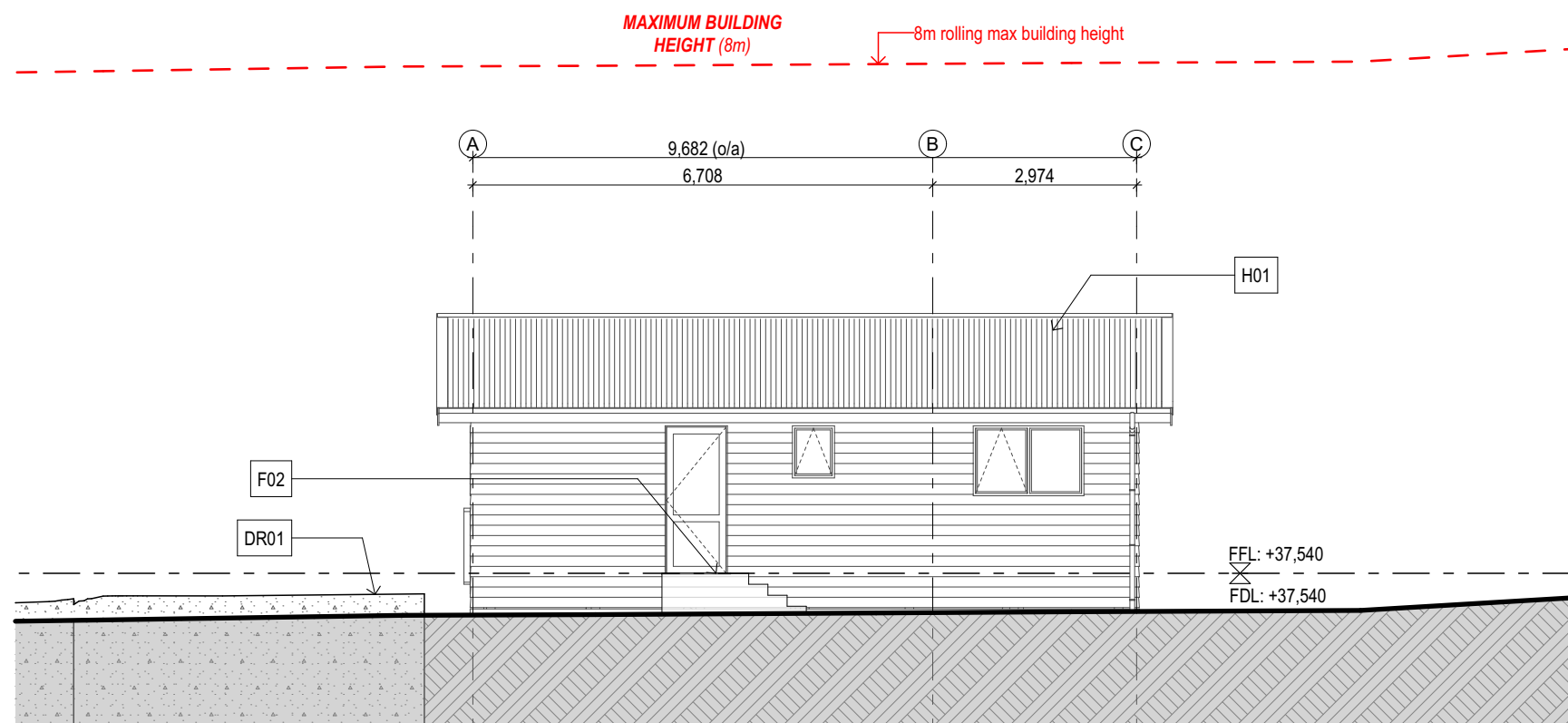
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1
-
B1 NORTH ELEVATION



2
-
B1 SOUTH ELEVATION

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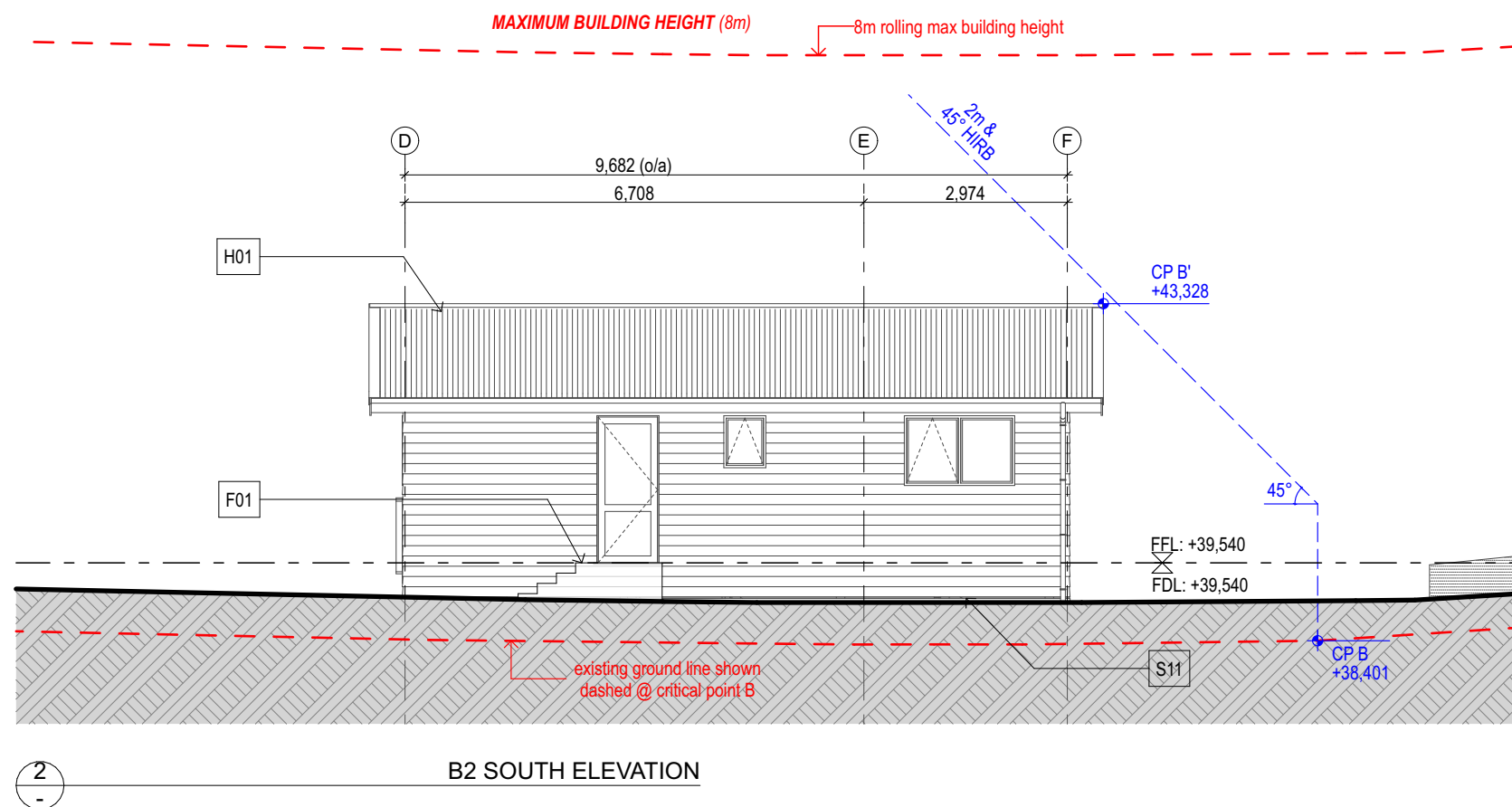
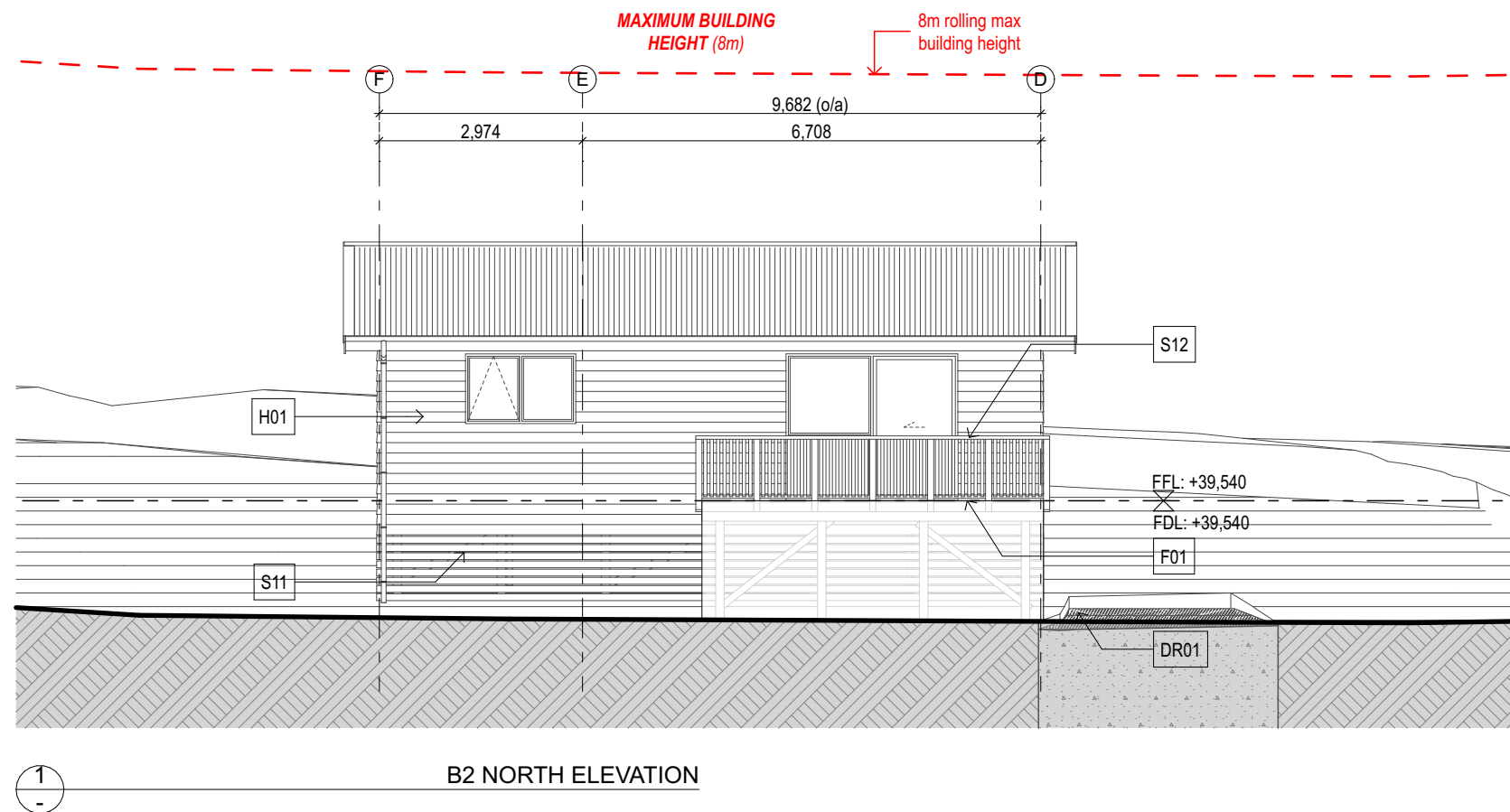
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- F02 TIMBER DECK UNDER 1m
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BUILDING CONSENT	WIP	Work in Progress





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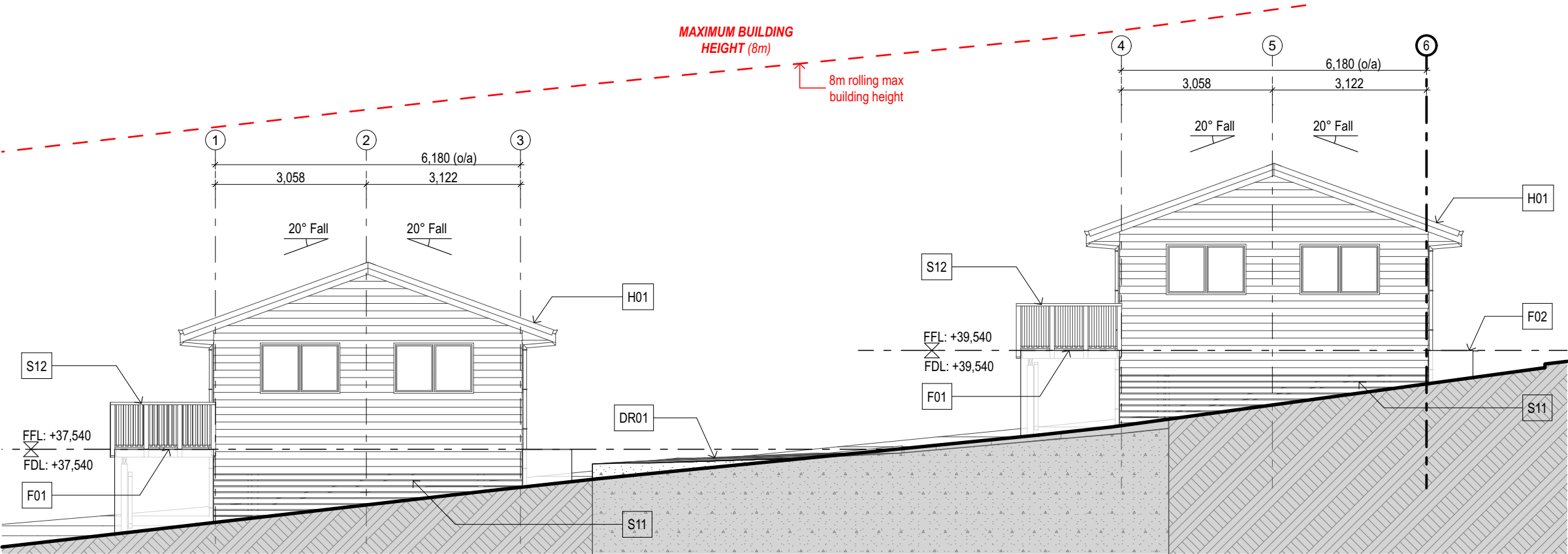
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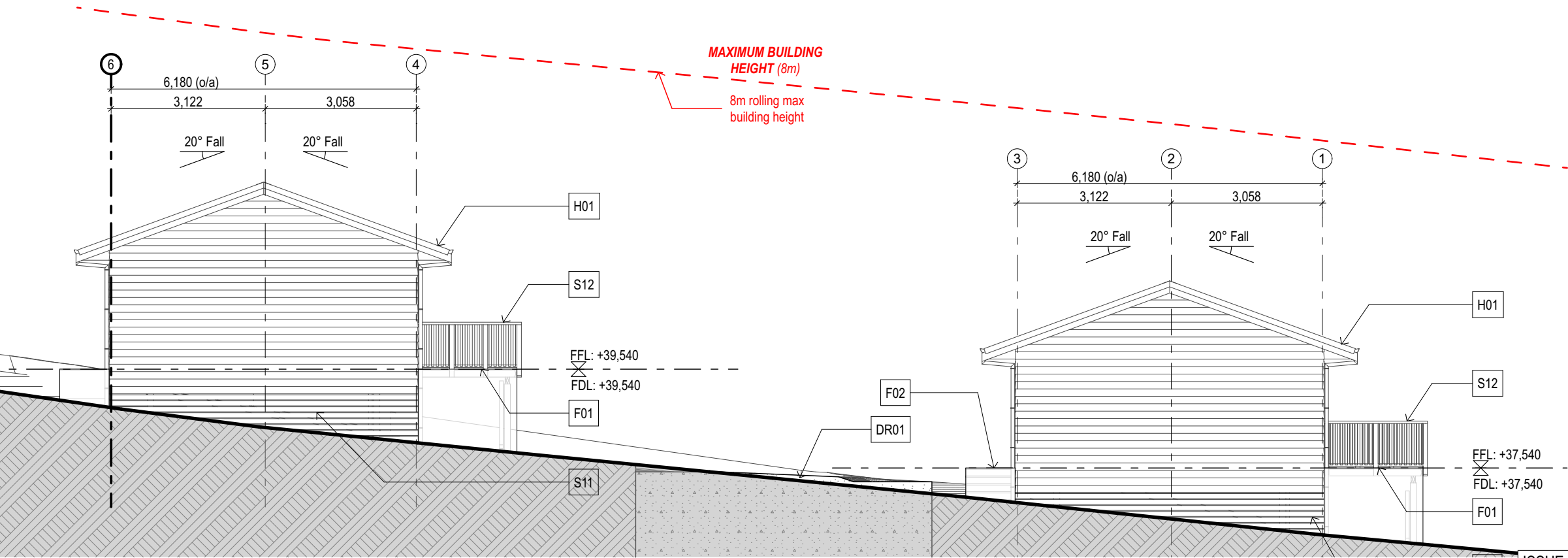
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1
-
WEST ELEVATION



2
-
EAST ELEVATION

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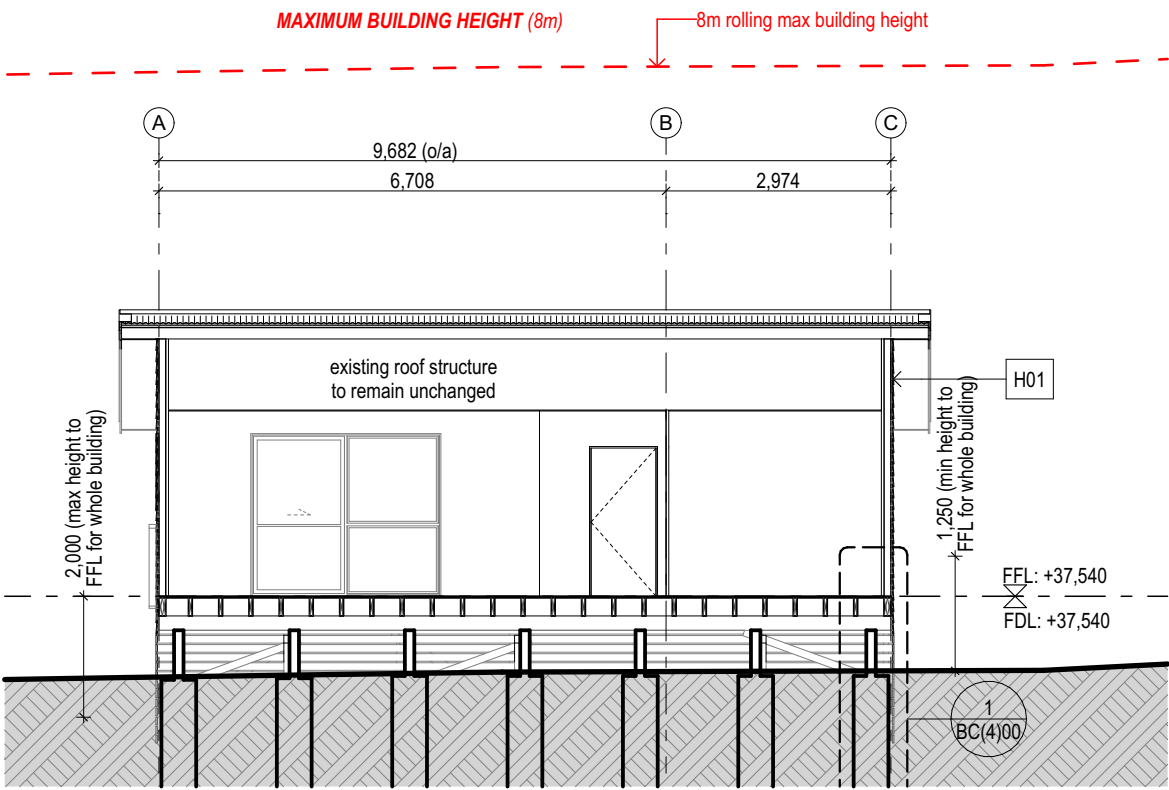
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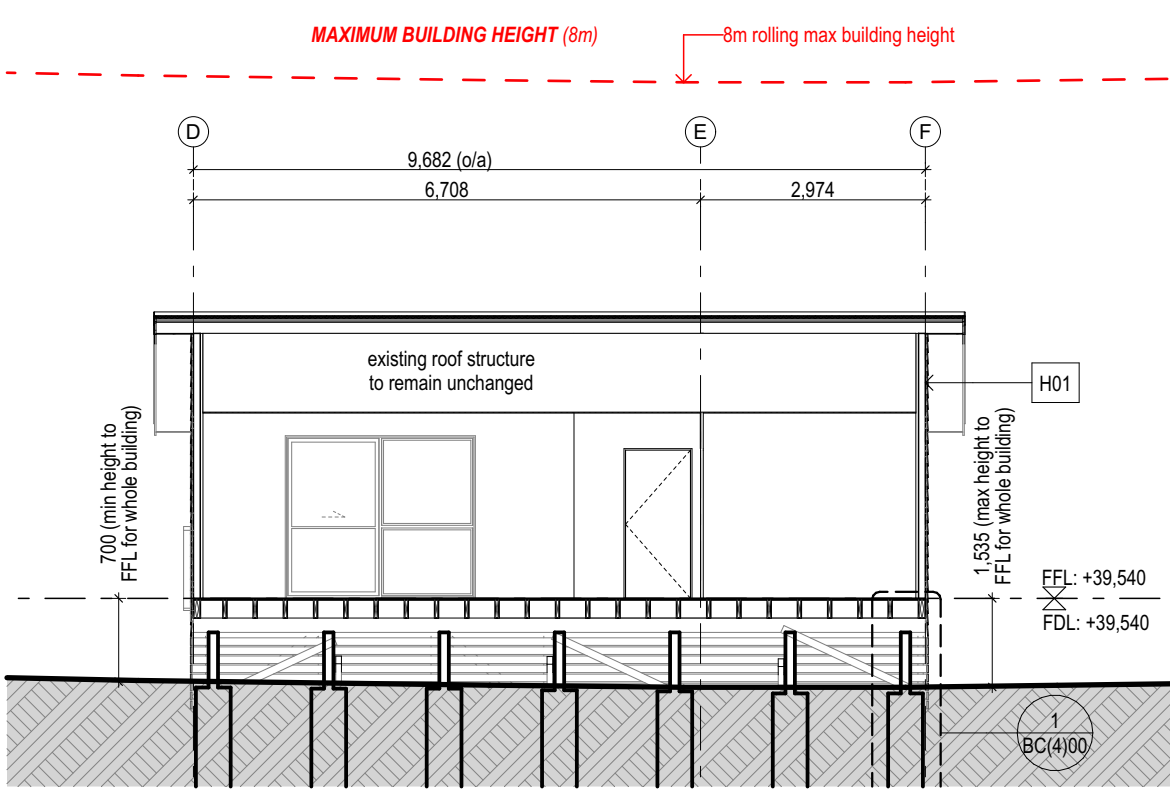
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BUILDING CONSENT	01 - WIP	Work in Progress

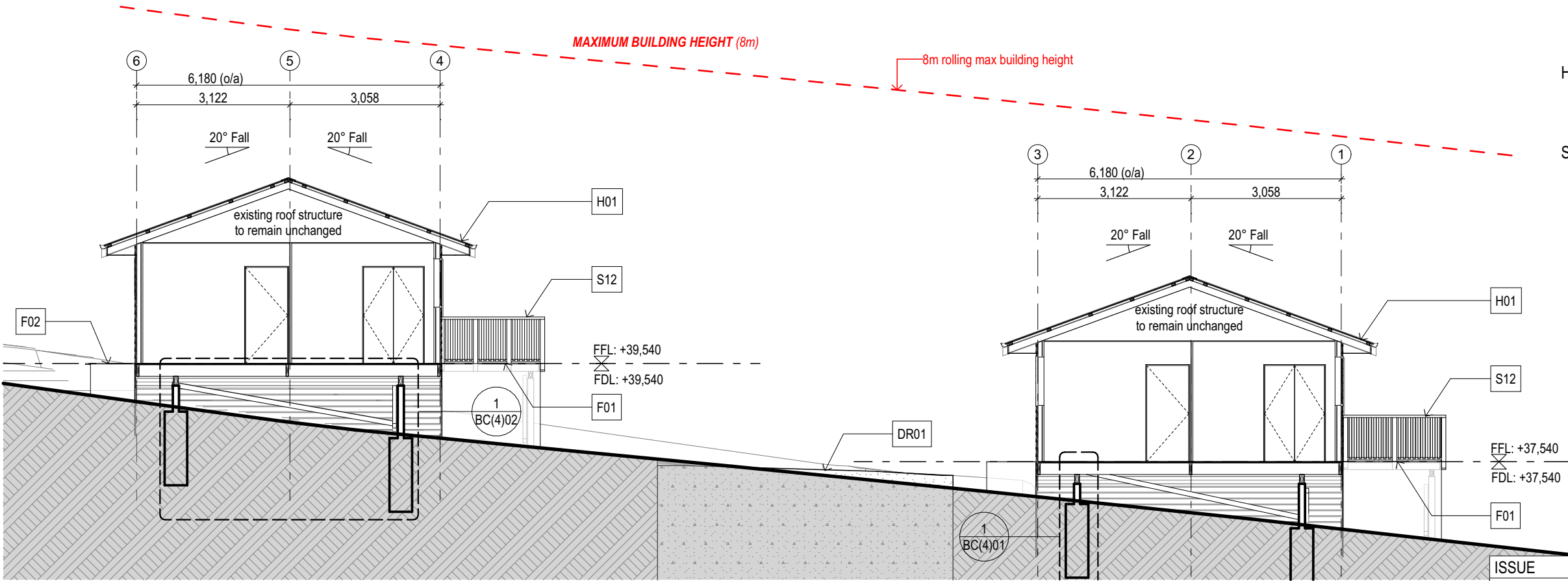




SECTION AA



SECTION BB



SECTION CC

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Sheet Index	
Sheet No:	Sheet Name:
BC(1)00	COVER SHEET
BC(1)01	SITE PLAN_ LOT 8
BC(1)02	SITE PLAN_ LOT 8
BC(1)03	FLOOR PLAN _ LOT 8
BC(1)04	FOUNDATION PLAN _ LOT 8
BC(1)05	DECK FRAMING PLAN _ LOT 8
BC(1)06	ROOF PLAN _ LOT 8
BC(2)00	ELEVATIONS _ LOT 8
BC(2)01	ELEVATIONS _ LOT 8
BC(2)02	ELEVATIONS _ LOT 8
BC(2)03	ELEVATIONS _ LOT 8
BC(3)00	SECTION _ LOT 8
BC(4)00	DETAILS
BC(4)01	DETAILS
BC(4)02	DETAILS
BC(4)03	DETAILS
BC(4)04	DETAILS
BC(4)05	DETAILS
BC(4)06	DETAILS
BC(4)07	DETAILS
BC(4)08	DETAILS
BC(4)09	DETAILS





STATUS:	BUILDING CONSENT
PROJECT NAME + ADDRESS:	LOT 8 <i>Donald Road, Kaitaia</i> <i>Northland, 0410</i>
DATE:	19/06/2025
PROJECT NUMBER:	2417



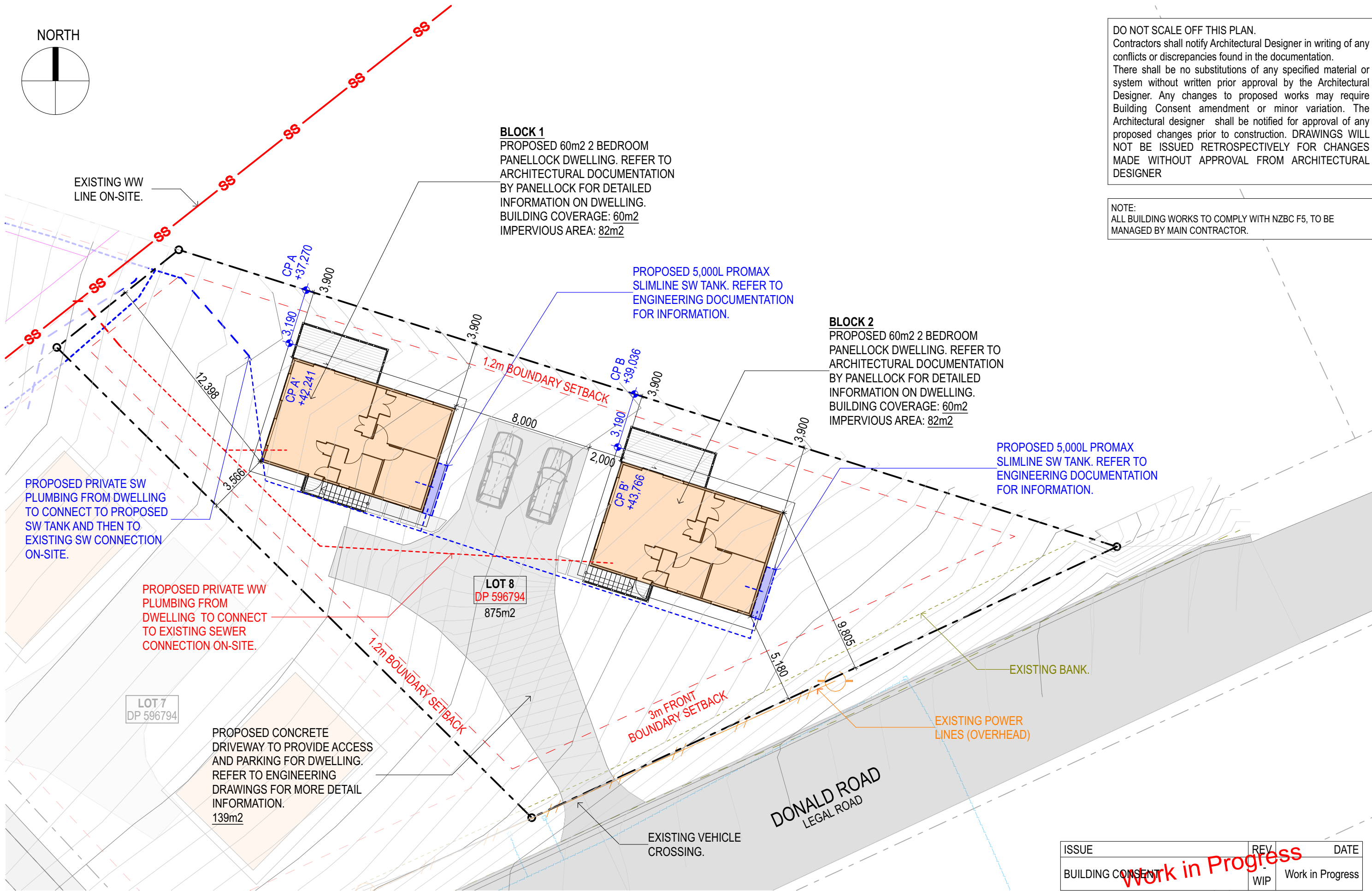
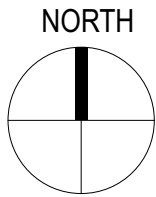
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SITE INFORMATION	
Site Address:	Donald Road, Kaitaia
Legal Description:	Lot 8 DP 596794
CT No:	1155185
Gross Site Area:	875m2
Net Site Area:	875m2
Planning Zone:	Residential Zone
Wind Zone:	Extra High
Earthquake Zone:	Zone 1
Exposure Zone:	Zone C
Climate Zone:	Zone 1
Soil Classification:	As per Geotech report
Existing building coverage:	= 0m2 total
Proposed building coverage:	Proposed PanelLock dwelling = 60m2 + Proposed PanelLock dwelling = 60m2 + Decks over 1m = 23m2 = 143m2 total (16%)
Existing impermeable:	= 0m2 total
Proposed impermeable:	Proposed PanelLock dwelling = 82m2 + Proposed PanelLock dwelling = 82m2 + Proposed concrete driveway = 139m2 = 303m2 total (35%)

HOUSE TYPE	
	60m2 PanelLock dwelling
	78m2 PanelLock dwelling

ISSUE	REV	DATE
BUILDING CONSENT	WIP	Work in Progress





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KEYNOTES

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S10

NEW TIMBER STAIR

S12

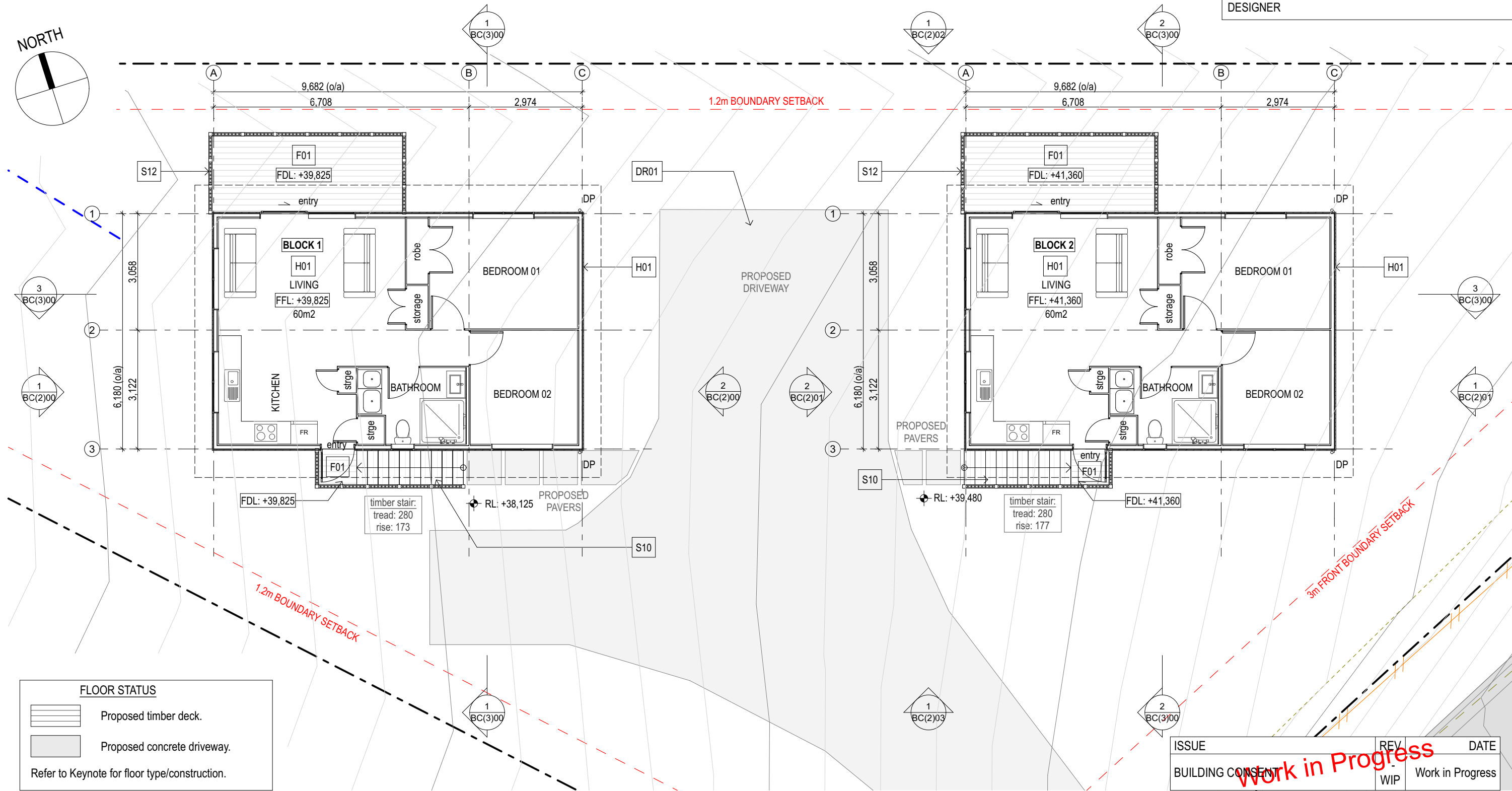
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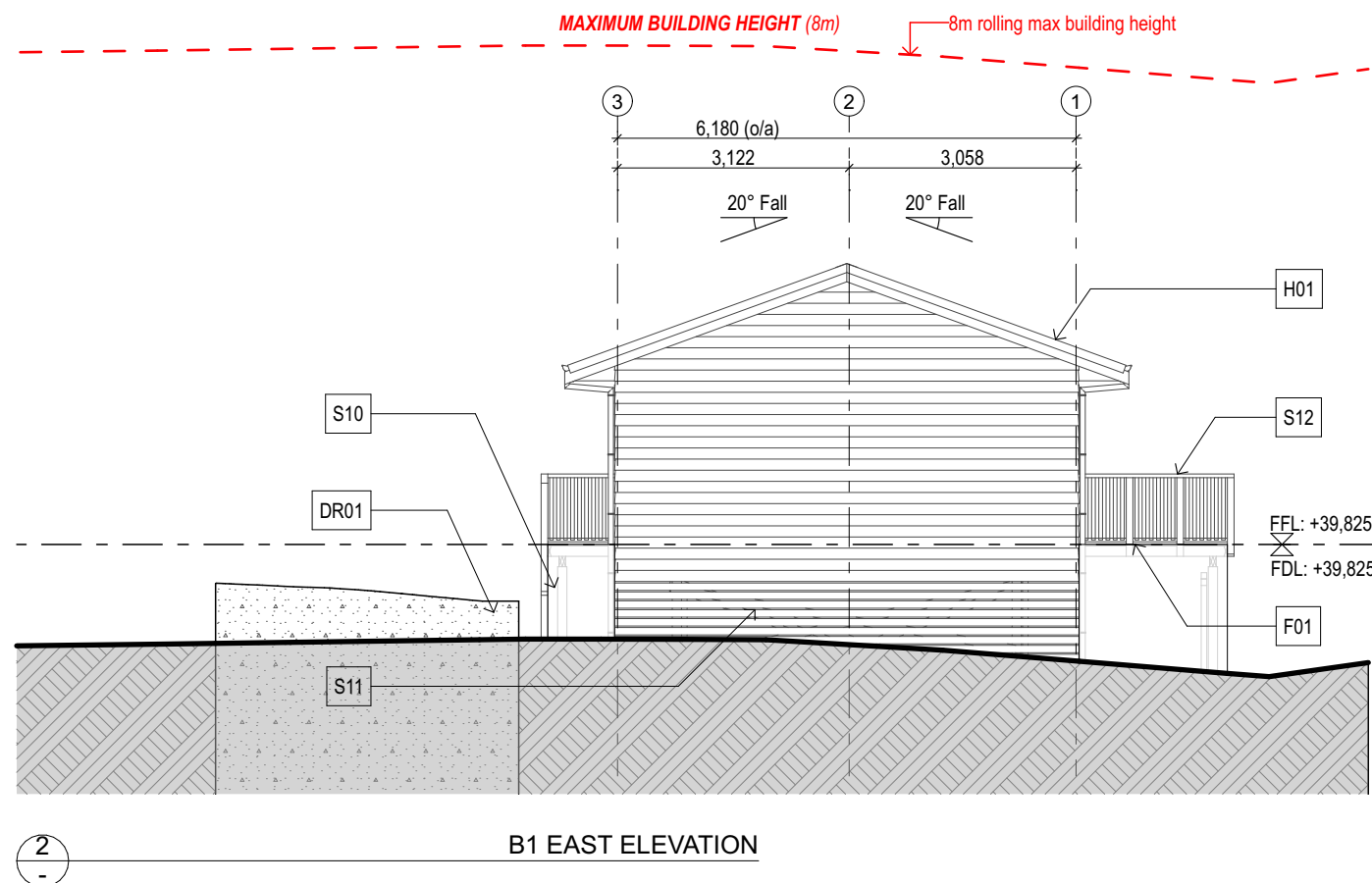
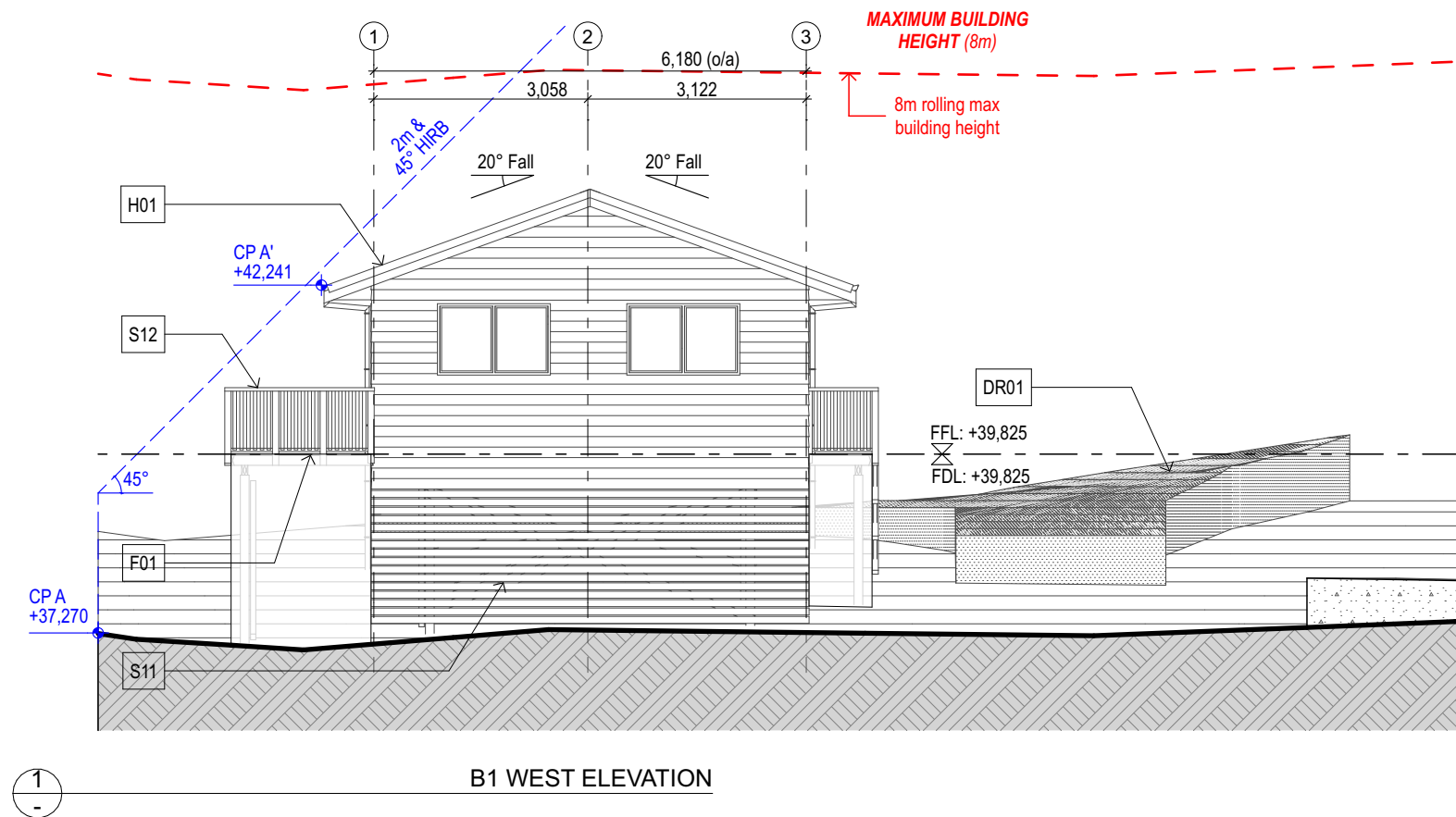
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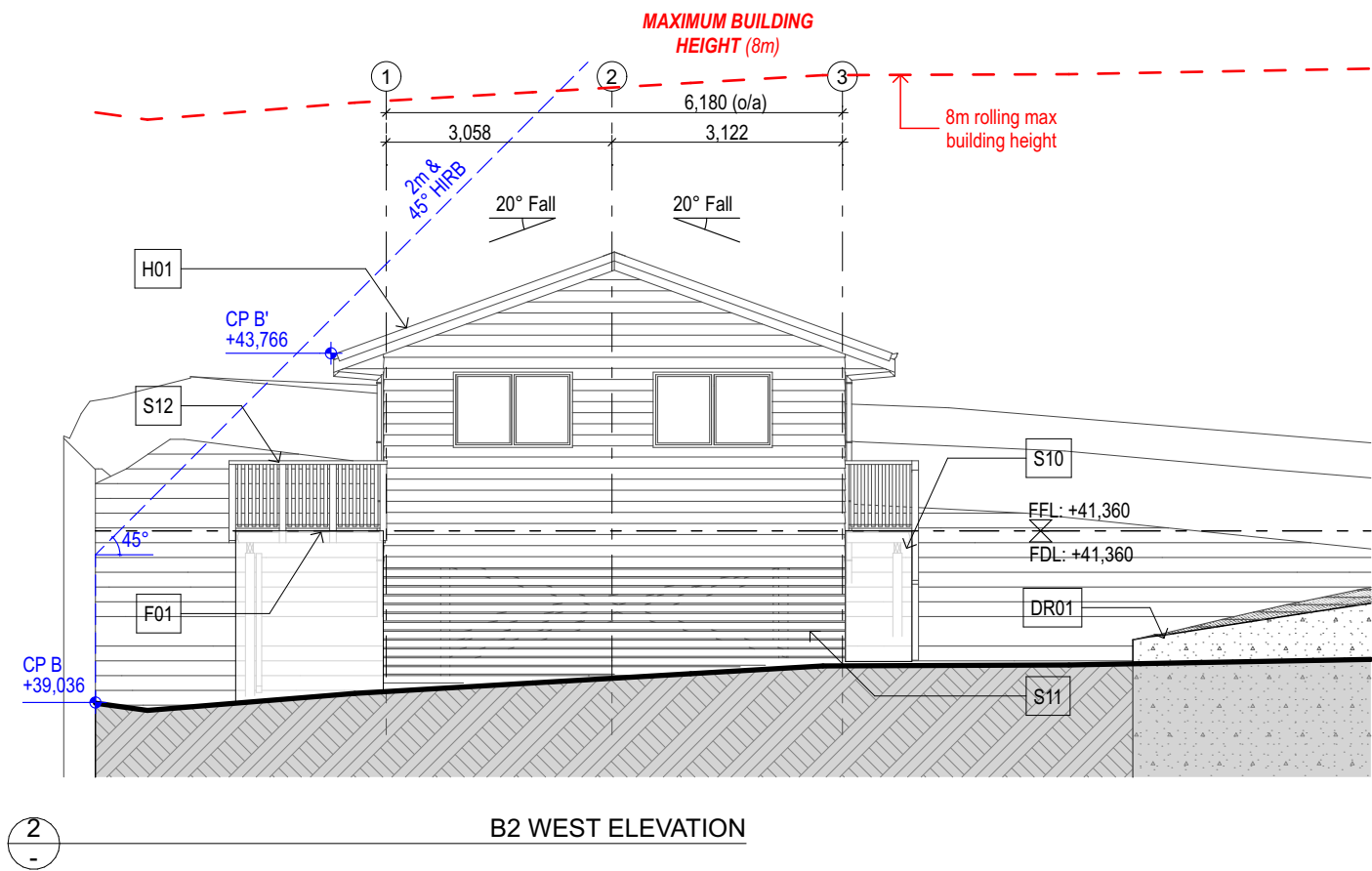
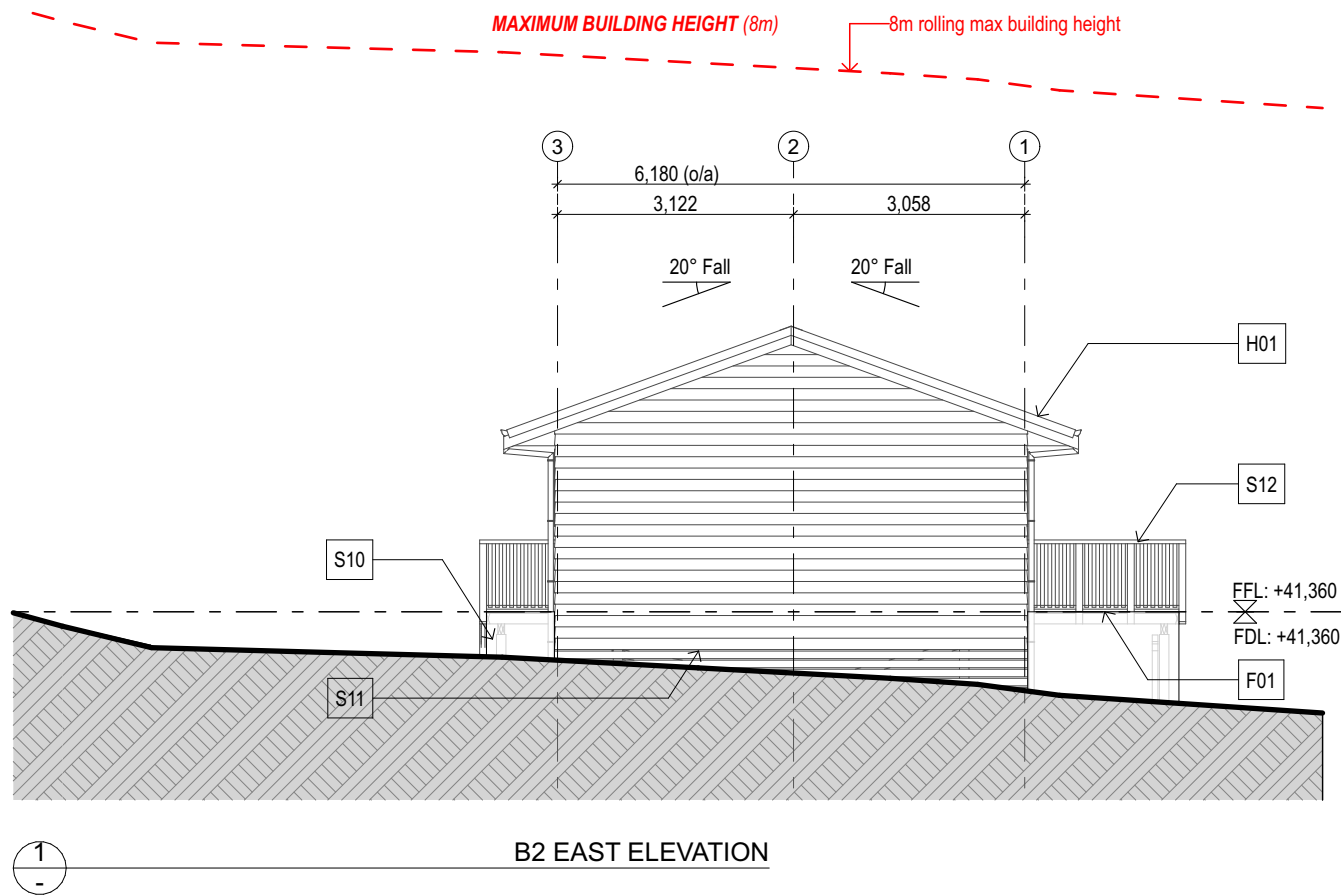
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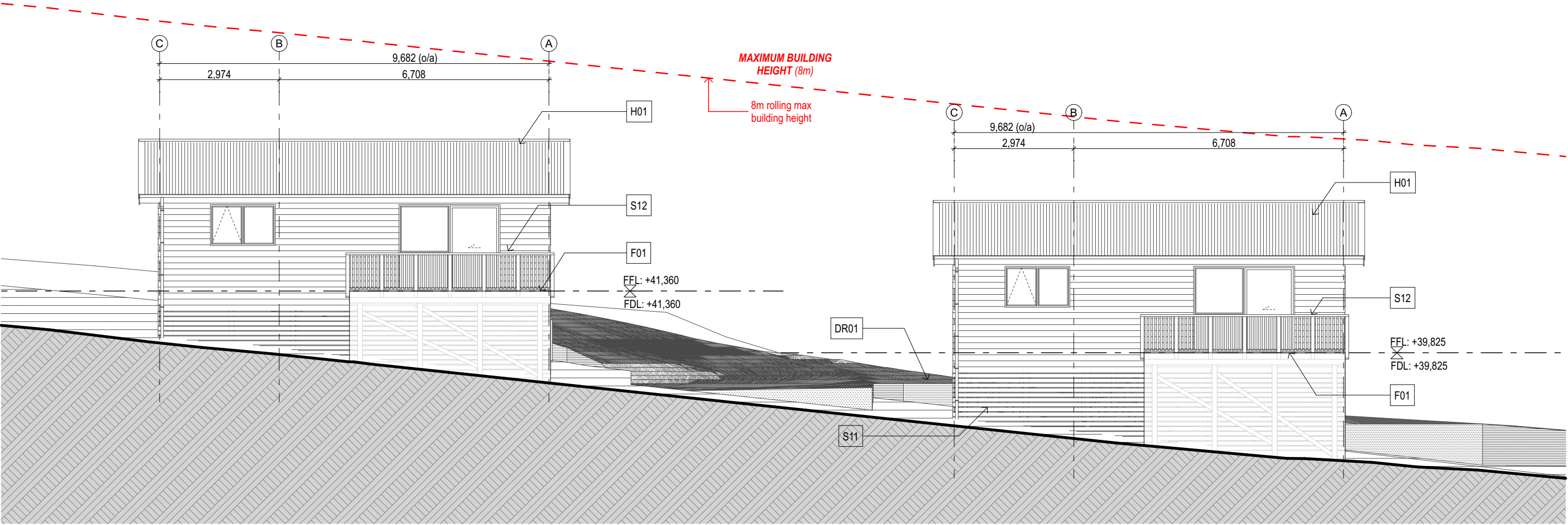
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1 NORTH ELEVATION

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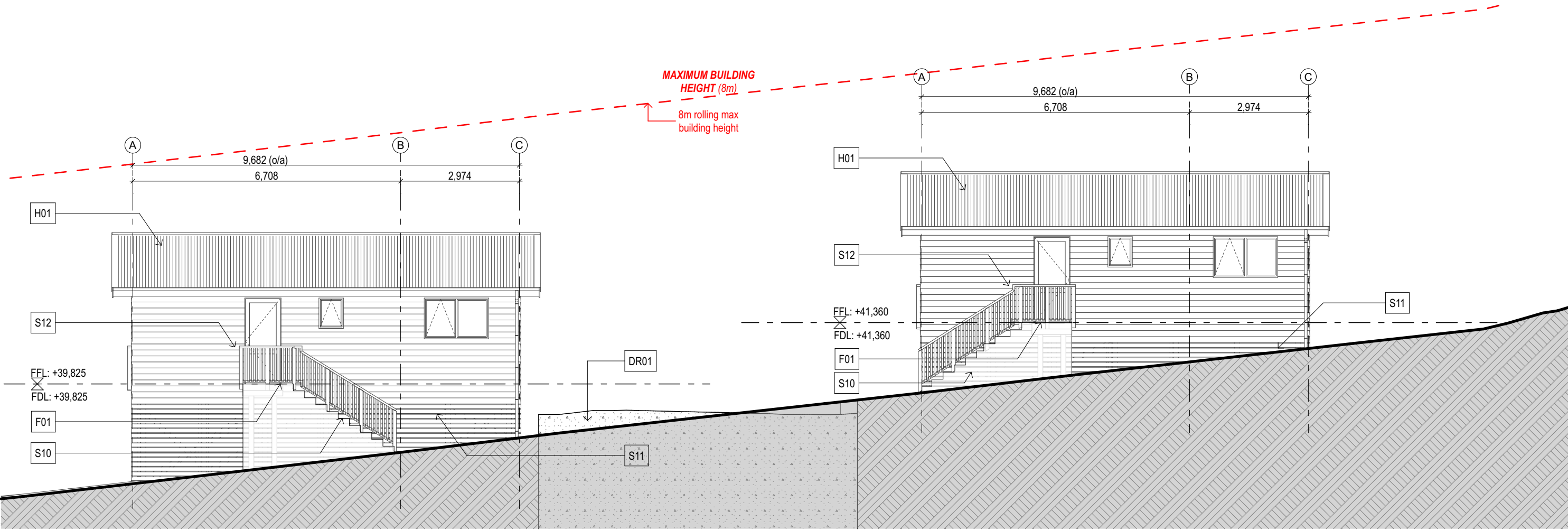
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Appendix B – Certificate of Title & Interests



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

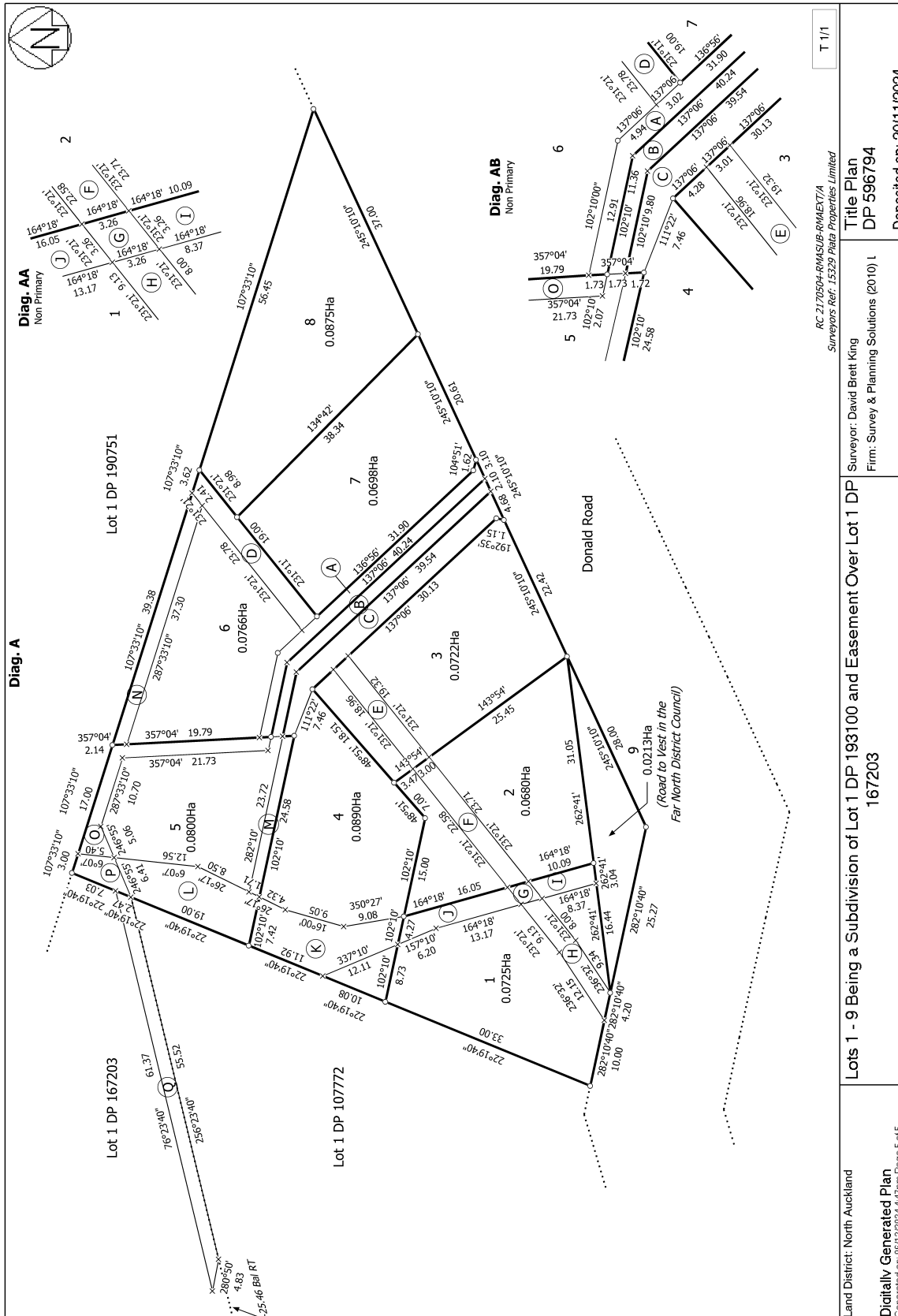
Identifier **1155184**
Land Registration District **North Auckland**
Date Issued 20 November 2024

Prior References
NA119D/345

Estate Fee Simple
Area 698 square metres more or less
Legal Description Lot 7 Deposited Plan 596794
Registered Owners
He Korowai trust

Interests

13136904.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 20.11.2024 at 1:17 pm
Appurtenant hereto is a right of way, right to drain sewage & water, right to convey electricity, telecommunications & water created by Easement Instrument 13136904.3 - 20.11.2024 at 1:17 pm
The easements created by Easement Instrument 13136904.3 are subject to Section 243 (a) Resource Management Act 1991





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

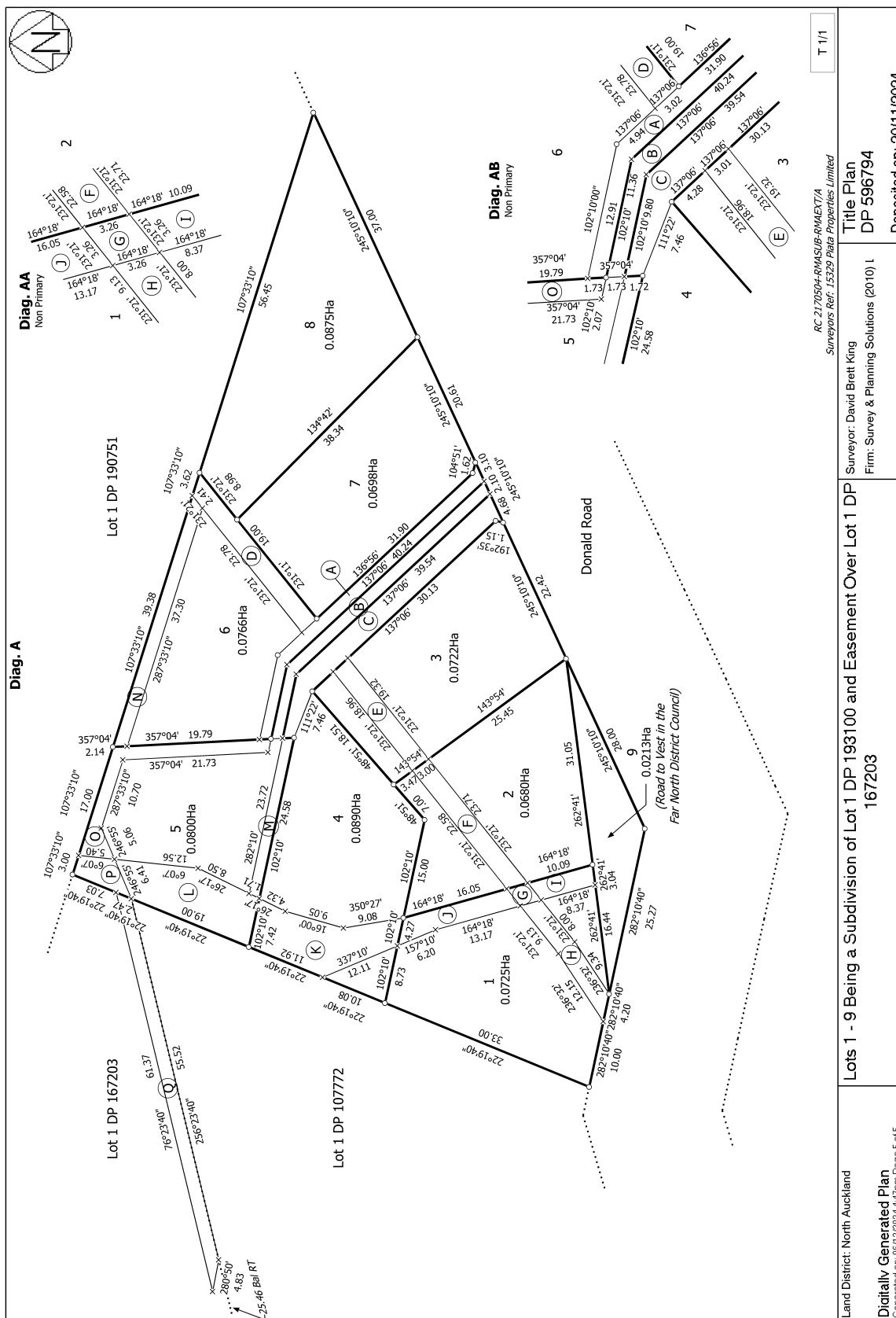
Identifier 1155185
Land Registration District North Auckland
Date Issued 20 November 2024

Prior References
NA119D/345

Estate Fee Simple
Area 875 square metres more or less
Legal Description Lot 8 Deposited Plan 596794
Registered Owners
He Korowai trust

Interests

13136904.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 20.11.2024 at 1:17 pm
Appurtenant hereto is a right to drain water created by Easement Instrument 13136904.3 - 20.11.2024 at 1:17 pm
The easements created by Easement Instrument 13136904.3 are subject to Section 243 (a) Resource Management Act 1991





View Instrument Details

Instrument No	13136904.2
Status	Registered
Lodged By	Heffernan, Anjenette Melania
Date & Time Lodged	20 Nov 2024 13:17
Instrument Type	Consent Notice under s221(4)(a) Resource Management Act 1991

Affected Records of Title	Land District
1155178	North Auckland
1155179	North Auckland
1155180	North Auckland
1155181	North Auckland
1155182	North Auckland
1155183	North Auckland
1155184	North Auckland
1155185	North Auckland

Annexure Schedule	Contains 2 Pages
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Signature

Signed by Anjenette Melania Heffernan as Territorial Authority Representative on 20/11/2024 12:58 PM

*** End of Report ***

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC-2170504-RMAVAR/A

Being the Subdivision of LOT 1 DP 193100
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lot 1 DP 596794

- (i). Council's Wastewater line runs through Lot 1. If any vehicle crossing or sealed surface is required over this line minimum coverage rules outlined in FNDC Engineering Standards & Guidelines Clause 5.3.5.7 apply.

All Lots DP 596794

- (ii). All lots must comply with the Electricity Code of Practice 34 with particular attention to be applied to the road crossing /driveway design.
- (iii). In conjunction with the construction of any dwelling and additional impermeable surfaces on proposed Lots, the Lot owner shall submit a stormwater management report including low impact stormwater attenuation design that is prepared by a Chartered Professional Engineer in accordance with the FNDC Engineering Standards. Stormwater runoff from new buildings and impermeable surface areas on proposed Lots shall be restricted to that of pre-development levels for rainfall events up to 1 in 10 yr. including an allowance for climate change generally in accordance with the recommendations as per "Haigh Workman report, Reference 21 271 (Stormwater Design Report, Subdivision of Lot 1 DP 193100, Donald Road, Kaitiaki Prepared for Pieta Properties Ltd) dated April 2023" Overland/secondary flowpaths that can accommodate the 1% AEP storm event shall also be provided on the proposed Lots and no building shall be erected, impermeable surfaces be undertaken, or any planting placed which may create a flow obstruction, on any area of the site which has been proposed as a secondary/overland (QIOO) flow path.



HE ARA TĀMATA
CREATING GREAT PLACES
Supporting our people

Private Bag 752, Kaikohe 0440, New Zealand

 ask.us@fndc.govt.nz

 0800 920 029

 fndc.govt.nz

A handwritten signature in black ink, appearing to read "Nicola Cowley".

SIGNED:

Ms Nicola Cowley - Authorised Officer
By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
PRINCIPAL PLANNER – RESOURCE CONSENTS

DATED at **KERIKERI** this 22nd day of August 2024

Appendix C – Engineering Reports

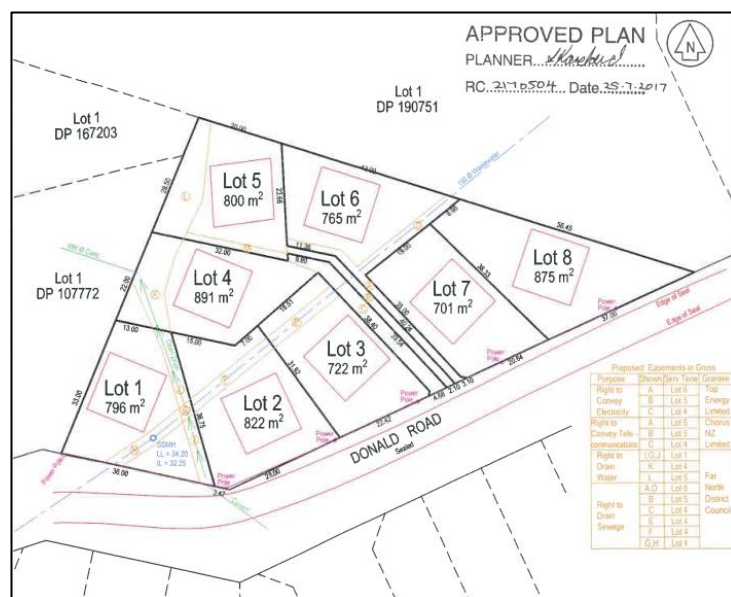
Stormwater Neutrality Report

Lots 1 to 8 DP 596794 at
Donald Road, Kaitaia

For He Korowai Trust

Haigh Workman Reference: 25 016

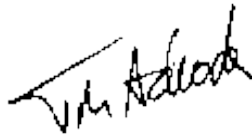
April 2025



Revision History

Revision N ^o	Issued By	Description	Date
A	Tom Adcock	First Issue	18.04.2025

Prepared/Approved



Tom Adcock
Senior Civil Engineer
BEng Civil, MEngNZ

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Executive Summary

Haigh Workman Ltd was commissioned by He Korowai Trust to undertake a stormwater assessment for proposed development of Lots 1 to 8 DP 596794 at Donald Road, Kaitaia.

The lots range in size 680 to 891m² and are to be developed as community housing with modest 2-bedroom dwellings. Lots 7 and 8 will each have two dwellings.

The stormwater management design for the subdivision (Haigh Workman report Ref. 21 271 dated 21 April 2023) recommended that for all residential lots stormwater runoff be attenuated back to pre-development for rainfall events up to 1 in 10 yr. including an allowance for climate change.

Each dwelling will have a roof water collection attenuation tank designed to achieve stormwater neutrality for the 10% AEP event. Concentrated runoff from the tank overflows and sealed parking areas will be piped to the stormwater system.

Impermeable surfaces following development were estimated as follows:

- Lot 1 - 21.9% impermeable
- Lots 2 to 6 – ranging 25.4 to 28% impermeable
- Lots 7 to 8 – ranging 34.6 to 40.1% impermeable

Two tank options were investigated; a standard circular tank with relatively low height making it better suited for installation below the building deck, and a slimline tank with a narrow width making it better suited for installation against the side wall of a building, results are summarised below.

It should be noted that roof water collection tanks for attenuation has its constraints; the maximum runoff that can be attenuated is limited by the amount of runoff that can be captured, also for practical reasons to limit the risk of blockages, the minimum diameter for tank outlet orifices is set at 10mm.

For all lots the attenuation requirement exceeds the roof runoff so tanks have been designed to achieve the maximum practicable.

Circular Tank Option

Use Promax ENDURO Water Tank 5,000L Low Profile – Dia. 2.20m, Height 1.75m.

Lot	Roof area m ²	Tank area m ²	Orifice Dia. mm	Max. attenuation required L/s	Max. attenuation achieved L/s	Max. storage height m	Max. storage volume m ³
Lot 1	82	3.8	12	3.0	2.3	1.27	4.82
Lots 2 - 6	107.4	3.8	16	3.8	2.9	1.32	5.00
Lots 7 - 8	107.4	3.8	16	2.8	2.9	1.32	5.00

Slimline Tank Option

Use Promax Slimline Tank 5,000L – Length 3.00m, Width 0.57m, Height 2.15m

Lot	Roof area m ²	Tank area m ²	Orifice Dia. mm	Max. attenuation required L/s	Max. attenuation achieved L/s	Max. storage height m	Max. storage volume m ³
Lot 1	82	1.71	14	3.0	2.1	1.94	3.31
Lots 2 - 6	107.4	1.71	18	3.8	2.5	2.00	3.44
Lots 7 - 8	107.4	1.71	18	2.8	2.5	2.00	3.44

1 Introduction

Haigh Workman Ltd was commissioned by He Korowai Trust, the client to undertake a stormwater assessment for proposed development of Lots 1 to 8 DP 596794 at Donald Road, Kaitaia.

The property has recently been subdivided into 8 residential lots plus an accessway (Resource Consent 2170504-RMASUB). The stormwater management design for the subdivision (Haigh Workman report Ref. 21 271 dated 21 April 2023) recommended that all residential lots attenuate stormwater runoff back to pre-development at time of development for rainfall events up to 1 in 10 yr. including an allowance for climate change.

This engineering report presents stormwater attenuate design for the 8 residential lots such that site runoff following development does not exceed pre-development for rainfall events up to 1 in 10 yr. including an allowance for climate change.

Under the Far North District Plan the Site is zoned Residential.

1.1 Objective and Scope

The objectives of this investigation are to:

- Review proposed on-lot development plans
- Review the regulatory framework for rules as it relates to stormwater
- Design a compliant stormwater management system

1.2 Applicability

This letter has been prepared for the sole use of our client, He Korowai Trust, for the brief and on the terms and conditions agreed with our client. It may not be used or relied on (in whole or part) by anyone else, or for any other purpose or in any other contexts, without our prior written agreement. This report may not be read or reproduced except in its entirety.

All distances and measurements of the proposed dwelling have been given to Haigh Workman Ltd by the architects (Spooner Architectural Solutions). If the design diverges from the conceptual brief, the reliability of this report will need to be revisited.

The report should only be made available to the Client, their professional consultants, and the Far North District Council.

Haigh Workman Ltd does not take responsibility for factors that affect the engineering assessment of the proposed development that are not covered in the agreed brief.

2 Site Description

2.1 Site Location

Site Address:	Donald Road, Kaitaia
Legal Description:	Lots 1 to 8 DP 596794
Area:	Lots 1 to 8 ranging 680 to 891m ²

2.2 Site Features

The Site is located on Donald Road 800m northeast of the roundabout with SH1.

The site is in a subdivided state with a central accessway, vehicle crossings formed off the legal Road, and includes stormwater and wastewater reticulation. The ground slopes away from Donald Road in a north-westerly direction at a 10% rate. Stormwater drainage is generally via open drainage channel. Refer Stormwater and Sewer Plan ref. 21 271/P5 appended.



Figure 1: Site Location

2.3 Proposed Development

All 8 lots are to be developed as community housing with modest 2-bedroom dwellings. Lots 7 and 8 will each have two dwellings. Refer Architectural Floor plans by Relocate It appended.

3 Environmental Setting

Published environmental data relating to the site has been reviewed. A summary of relevant information is provided below.

3.1 Hydrology and Flooding

The site is well outside the river flood hazard zone which effects lower lying land occupied by the Whangatane Spillway to the west. The site is also outside the flood susceptibility zone shown on the Northland Regional Council Natural Hazards mapping.

4 Stormwater Management

4.1 Regulatory Framework

4.1.1 FNDC Operative Plan

7.6.5.1.6 STORMWATER MANAGEMENT

The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%.

4.1.2 Proposed Regional Plan

Regional Plan for Northland Rule C.6.4.2 provides for the diversion and discharge of stormwater from outside a public stormwater network provided (amongst other conditions) the diversion and discharge does not cause or increase flooding of land on another property in a storm event of up to and including a 10% annual exceedance probability (AEP), or flooding of buildings on another property in a storm event of up to and including a 1% AEP.

The Regional Plan permitted activity rule does not specifically require attenuation to pre-development levels, provided there is no increase in downstream flooding for the 10% AEP event.

4.2 FNDC Engineering Standards 2023

Reference is made to the Council Engineering Standards for design guidance.

Section 4.2.5. Discharge to Land

Subject to the requirements of the NRC Regional Plans, discharge of stormwater from the development onto land is permitted provided that:

- a. Flooding levels shall not be increased due to the development,
- b. New Outlets to any low-lying areas shall be provided or existing outlets retained,
- c. Dispersal of concentrated flow from the development shall be designed to occur at the shortest practicable distance and before a concentrated overland discharge to a neighbouring property occurs and,
- d. An acceptable rate of dispersed discharge from stormwater runoff at the boundary is < 2 litres/sec/m (e.g. flow can be managed via dispersal swale or trench).

Section 4.3.2. Increases to Impervious Surface

Where any development increases impervious surface, the development shall be assessed in accordance with Section 4.1.2 Objectives and Section 4.1.3 Performance Standards to determine the requirements, if any, for water quality and quantity controls.

Design of new development or alteration to existing development, resulting in increased impervious surface shall also comply with the NRC.

Section 4.1.3 Performance Standards

- e. The primary stormwater system shall be capable of conveying 10% AEP design storm events without surcharge (see Section 4.3.9 Hydrological Design Criteria).
- h. Development shall not increase peak discharge rates to receiving environment. An increase may be acceptable for large events where it is demonstrated that there are no adverse effects (including potential, future, or cumulative effects), on the environment or downstream properties as a result of the increase.
- i. The stormwater system shall provide the required amount of treatment through the use of low impact design and sustainable solutions (See Sections 4.3.20 Soakage Devices and 4.3.21 Stormwater Treatment and Detention Devices).

4.1.6. Managing Effects of Land Use on Receiving Environments

In the absence of more detailed assessment of stream stability, the discharges from detention devices into a stormwater network shall be constrained to 80% of pre-development peak flow rate.

Table 4.1 Minimum Design Summary

Flood control (1% AEP event) - Detention required, limit post-development 1% AEP event flow rates to 80% of pre-development, where downstream flooding hazard has been identified and there is no CMP or site-specific SMP.

Flow attenuation (50% & 20% AEP events) - Limit the post-development 50% & 20% AEP event flow rates to 80% of pre-development, where there is no CMP or site-specific SMP. Typically, always required in the upper catchment and sometimes not where development site is located in proximity to the catchment outlet, discharging to a watercourse with sufficient network capacity, and where flow attenuation may worsen flooding hazards due to relative timing of peak flows. If the proposed stormwater discharge is into a tidal zone, then no attenuation is required.

Design rainfall - Current rainfall (i.e. not climate change adjusted) shall be used for Determining pre-development stormwater runoff flows and volumes for use in combination with calculated post development flows to determine stormwater treatment (quantity and quality) requirements.

Climate change adjusted rainfall shall be used for determining post-development stormwater runoff flows and volumes for stormwater infrastructure design.

4.3 Stormwater Management

4.3.1 Impermeable Surfaces

The proposed impermeable surfaces for the 8 lots are summarised below. All are comfortably within the permitted activity of 50%.

Table 1 - Proposed Impermeable Surfaces

Lot	Area	Roof dimensions (m)	Roof area (m ²)	Parking area (m ²)	Total Imp (m ²)	Grass (m ²)	Percentage Impermeable %
1	725	10.68x7.68	82	76.7	158.7	566.3	21.9%
2	680	12.68x8.47	107.4	82.7	190.1	489.9	28.0%
3	721	12.68x8.47	107.4	85.5	192.9	528.1	26.8%
4	891	12.68x8.47	107.4	120.7	228.1	662.9	25.6%
5	800	12.68x8.47	107.4	97.5	204.9	595.1	25.6%
6	765	12.68x8.47	107.4	87.1	194.5	570.5	25.4%
7	700	2(10.68x7.68)	164	116.8	280.8	419.2	40.1%
8	875	2(10.68x7.68)	164	139	303	572	34.6%

4.3.2 Proposed Stormwater Management

Each dwelling will have a roof water collection attenuation tank designed to achieve stormwater neutrality for the 10% AEP event, as per the subdivision stormwater management plan. Concentrated runoff from the attenuation tank overflows and sealed parking areas will be piped to the stormwater system.

4.3.3 Stormwater Neutrality Design

The peak stormwater runoff for the pre and post scenarios was calculated using Verification Method E1 Surface Water Rational Method for the 10% AEP event. Runoff coefficients were taken from FNDC Engineering Standards 2023. This matches the method used for the subdivision stormwater management design.

To rationalise the design the lots were grouped into three based on proposed impermeable percentages;

- Lot 1 - 21.9% impermeable
- Lots 2 to 6 – ranging 25.4 to 28% impermeable
- Lots 7 to 8 – ranging 34.6 to 40.1% impermeable

For each group impermeable surfaces and lot areas were averaged to arrive at the following pre and post development runoff.

Design rainfall intensities were provided by The National Institute of Water and Atmospheric Research (NIWA) High Intensity Rainfall Design System (HIRDS). We have adopted HIRDS V4 rainfall estimates adjusted with the RCP 6.0 climate change scenario projected out to the 2081-2100 time period. Using a time of concentration of 10 minutes, the rainfall intensity for the 10 % AEP was 103mm/hr.

Table 2 - Post Development Runoff

Lot	Area m ²	C	I ₁₀ mm/hr	Q L/s
Lot 1				
Roof	82	0.96	103	2.3
Parking	76.7	0.96	103	2.1
Grass	566	0.30	103	4.9
Lot 1 total	725			9.2
Lots 2 - 6				
Roof	107.4	0.96	103	3.0
Parking	94.7	0.96	103	2.6
Grass	569	0.30	103	4.9
Lots 2 - 6 total	771			10.4
Lots 7 - 8 (per dwelling)				
Roof	82	0.96	103	2.3
Parking	64	0.96	103	1.8
Grass	247.8	0.30	103	2.8
Lots 7 - 8 (per dwelling) total				6.8

Table 3 - Pre Development Runoff

Lot 1	Area m ²	C	I ₁₀ mm/hr	Q L/s
Lot 1				
Grass	725.0	0.30	103	6.2
Excess run-off				3.0
Lots 2 - 6 average				
Grass	771.0	0.30	103	6.6
Excess run-off				3.8
Lots 7 - 8 (per dwelling) average				
Grass	393.8	0.30	103	3.4
Excess run-off (per dwelling)				3.4

C values were taken from Building Code E1 Surface Water

A hydrograph with nested 50, 20 and 10% Annual Exceedance Probability (AEP) storm events from 10-minute to 360-minute durations was created to simulate how the tank will function. This method will promote a conservative design suited to a variety of storm lengths and is considered as the 'design event'. Refer calculations attached.

Using a roof water collection tanks has its constraints; the maximum runoff that can be attenuated is limited by the amount of runoff that can be captured, also for practical reasons to limit the risk of blockages, the minimum diameter for tank outlet orifices is set at 10mm.

For all lots the attenuation requirement exceeds the roof runoff so tanks have been designed to achieve the maximum practicable.

Two tank options were investigated; a standard circular tank with relatively low height making it better suited for installation below the building deck, and a slimline tank with a narrow width making it better suited for installation against the side wall of a building, results are summarised as follows:

Table 4 - Circular Tank Option

Lot	Roof area m ²	Tank area m ²	Orifice Dia. mm	Max. attenuation required L/s	Max. attenuation achieved L/s	Max. storage height m	Max. storage volume m ³
Lot 1	82	3.8	12	3.0	2.3	1.27	4.82
Lots 2 - 6	107.4	3.8	16	3.8	2.9	1.32	5.00
Lots 7 - 8	107.4	3.8	16	2.8	2.9	1.32	5.00

Use Promax ENDURO Water Tank 5,000L Low Profile – Dia. 2.20m, Height 1.75m

Table 5 - Slimline Tank Options

Lot	Roof area m ²	Tank area m ²	Orifice Dia. mm	Max. attenuation required L/s	Max. attenuation achieved L/s	Max. storage height m	Max. storage volume m ³
Lot 1	82	1.71	14	3.0	2.1	1.94	3.31
Lots 2 - 6	107.4	1.71	18	3.8	2.5	2.00	3.44
Lots 7 - 8	107.4	1.71	18	2.8	2.5	2.00	3.44

Use Promax Slimline Tank 5,000L – Length 3.00m, Width 0.57m, Height 2.15m

Charts presenting the stored volume and tank outflow over time are appended.

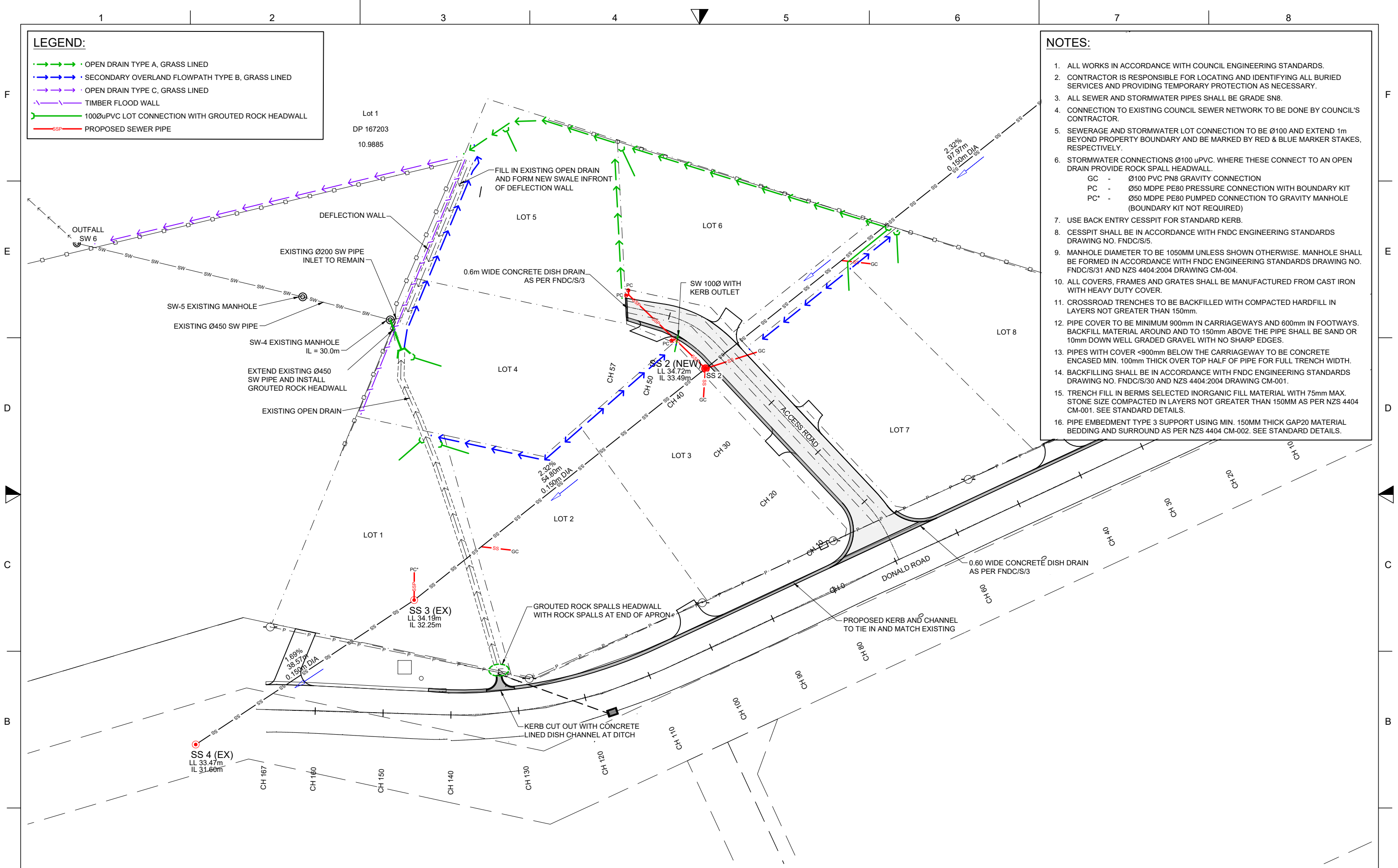
A standard detention tank detail is appended.



Appendix A – Drawings

Haigh Workman - Stormwater and Sewer Plan ref. 21 271/P5

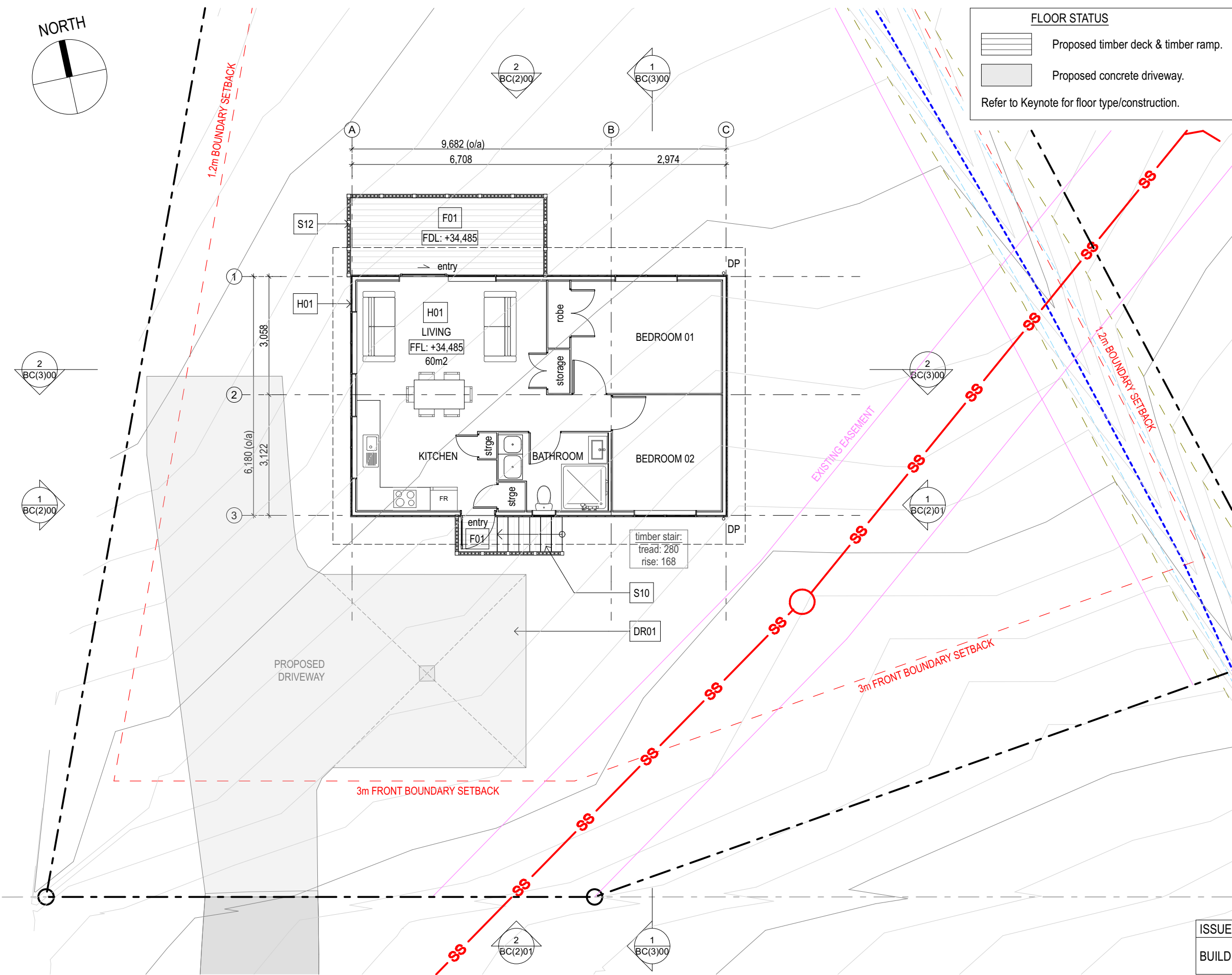
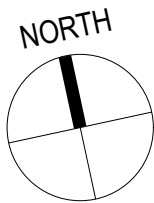
Relocate It – Floor Plans Lots 1 – 8

Stand Detention Tank



A	Issue	Date	Revision	DWG STORMWATER AND SEWER PLAN					Project Donald Road Subdivision <small>Donald Road, Kaitia</small>			DWG No. P5		A	
	A	07/12/2021	FOR APPROVAL	<div>Scale 1:500 @A3</div> <div></div> <div>Date 11/04/2023</div>			6 Fairway Drive Kerikeri, BOI		T: 09 407 8327 F: 09 407 8378 E: info@haighworkman.co.nz		Client Piata Properties Ltd.		Sheet No.		
	C	13/10/2022	REVISED ACCESS ROAD AND STORMWATER				DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING, SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THERE OF REMAIN THE PROPERTY OF HAIGH WORKMAN LTD. ©2020		Project No. 21 271		RC no. 2170504-RMASUB				
	D	12/04/2023	REVISED STORMWATER NETWORK	Drawn JT		Checked TA		Approved TA				of			
					File C:\Users\LidijaPlantev\Haigh Workman Limited\SuiteFiles - 21 271 - Lot 1 Donald Road, Kaitiaki\Engineering\DRAWING\21 271 Donald Road Subdivision REV D.dwg										

Plotted By Lidija Plantev at 21/04/2023 11:31:02 am



FLOOR STATUS	
	Proposed timber deck & timber ramp.
	Proposed concrete driveway.
Refer to Keynote for floor type/construction.	

DO NOT SCALE OFF THIS PLAN.
Contractors shall notify Architectural Designer in writing of any conflicts or discrepancies found in the documentation.
There shall be no substitutions of any specified material or system without written prior approval by the Architectural Designer. Any changes to proposed works may require Building Consent amendment or minor variation. The Architectural designer shall be notified for approval of any proposed changes prior to construction. DRAWINGS WILL NOT BE ISSUED RETROSPECTIVELY FOR CHANGES MADE WITHOUT APPROVAL FROM ARCHITECTURAL DESIGNER

KEYNOTES

FLOORS

F01 TIMBER DECK OVER 1m
New Timber deck, to be over 1m from NG to FDL and apart of this consent. 19mm timber decking w/ sufficient slip resistance applied to be in compliance with D1/AS1. Refer to deck framing plan for deck framing information. Ensure compliance w/ NZS3604:2011.

STRUCTURE

DR01 PROPOSED CONCRETE DRIVEWAY
Proposed concrete driveway on-site to provide access and parking for relocated dwelling. Refer to engineering drawings for more detailed design.

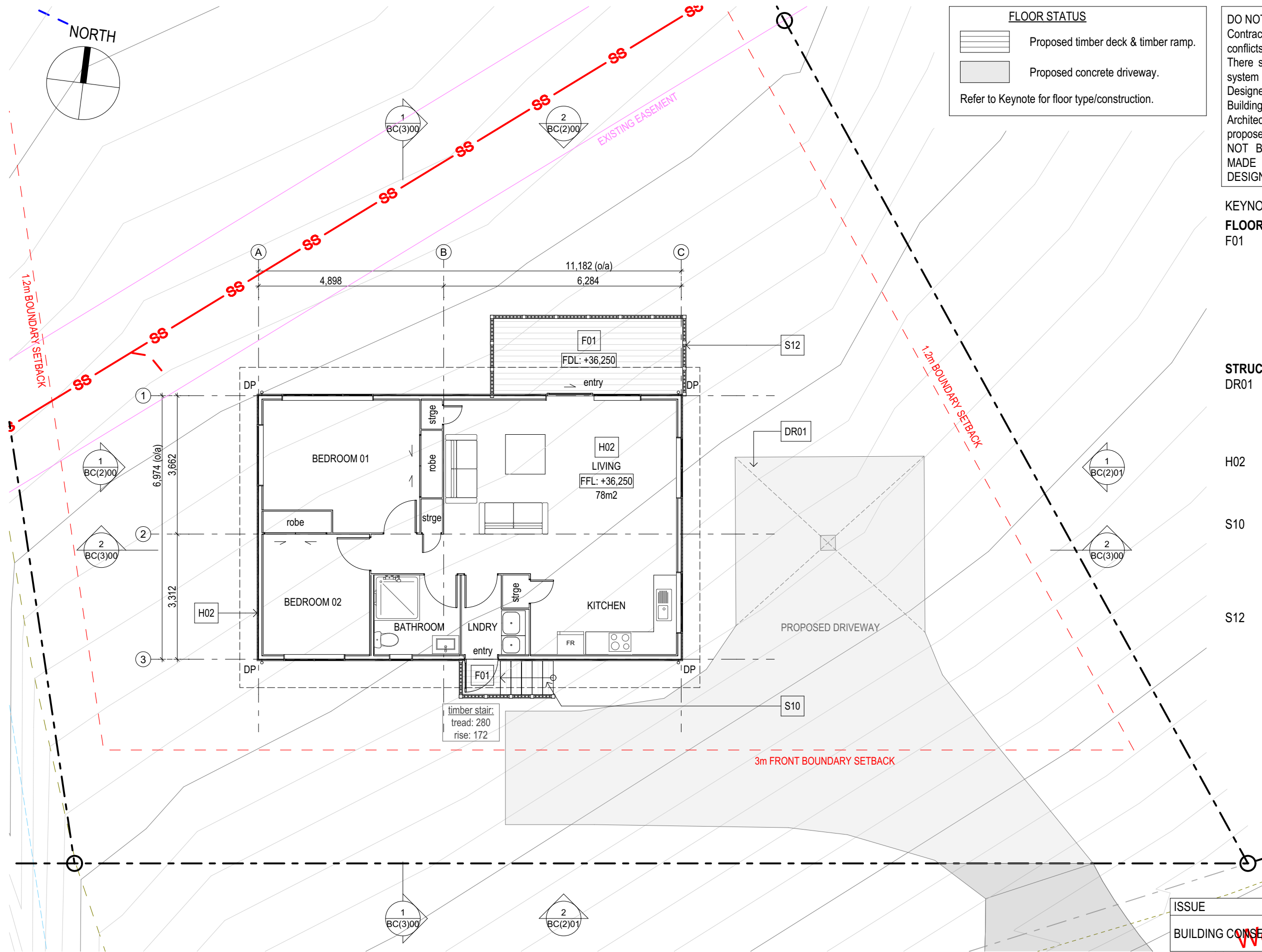
H01 PROPOSED DWELLING
Proposed 60m2 PanelLock dwelling shifted to site. Refer to Architectural documentation by PanelLock for detailed information on dwelling.

S10 NEW TIMBER STAIR
New Timber framed stair (min. 280mm run, max. 190mm riser) and hand rail to comply with D1/AS1. Deck structure under 1m from NG to FDL and by others (not apart of this consent). To be completed prior to CCC.

S12 NEW TIMBER DECK BALUSTRADE
New timber balustrade fixed to timber deck structure. Balustrade to be 1000mm min high from FDL to top of railing. 1000mm max crs. between timber balusters/posts. 90x90 SG8 H5 timber structural balustrade posts and fixings of posts, 100x50 timber handrail fixed w/ 4/100 x3.75 nails to each structural posts. Posts fixed to deck structure w/ 2x M12 SS Bolts offset 25mm off top & bottom edges of boundary joists as per Mitek documentation.

ISSUE	REV	DATE
BUILDING CONSENT	WIP	Work in Progress





FLOOR STATUS

Proposed timber deck & timber ramp.

Proposed concrete driveway.

Refer to Keynote for floor type/construction.

DO NOT SCALE OFF THIS PLAN.
Contractors shall notify Architectural Designer in writing of any conflicts or discrepancies found in the documentation.
There shall be no substitutions of any specified material or system without written prior approval by the Architectural Designer. Any changes to proposed works may require Building Consent amendment or minor variation. The Architectural designer shall be notified for approval of any proposed changes prior to construction. DRAWINGS WILL NOT BE ISSUED RETROSPECTIVELY FOR CHANGES MADE WITHOUT APPROVAL FROM ARCHITECTURAL DESIGNER

KEYNOTES

FLOORS

F01 TIMBER DECK OVER 1m
New Timber deck, to be over 1m from NG to FDL and apart of this consent. 19mm timber decking w/ sufficient slip resistance applied to be in compliance with D1/AS1. Refer to deck framing plan for deck framing information. Ensure compliance w/ NZS3604:2011.

STRUCTURE

DR01 PROPOSED CONCRETE DRIVEWAY
Proposed concrete driveway on-site to provide access and parking for relocated dwelling. Refer to engineering drawings for more detailed design.

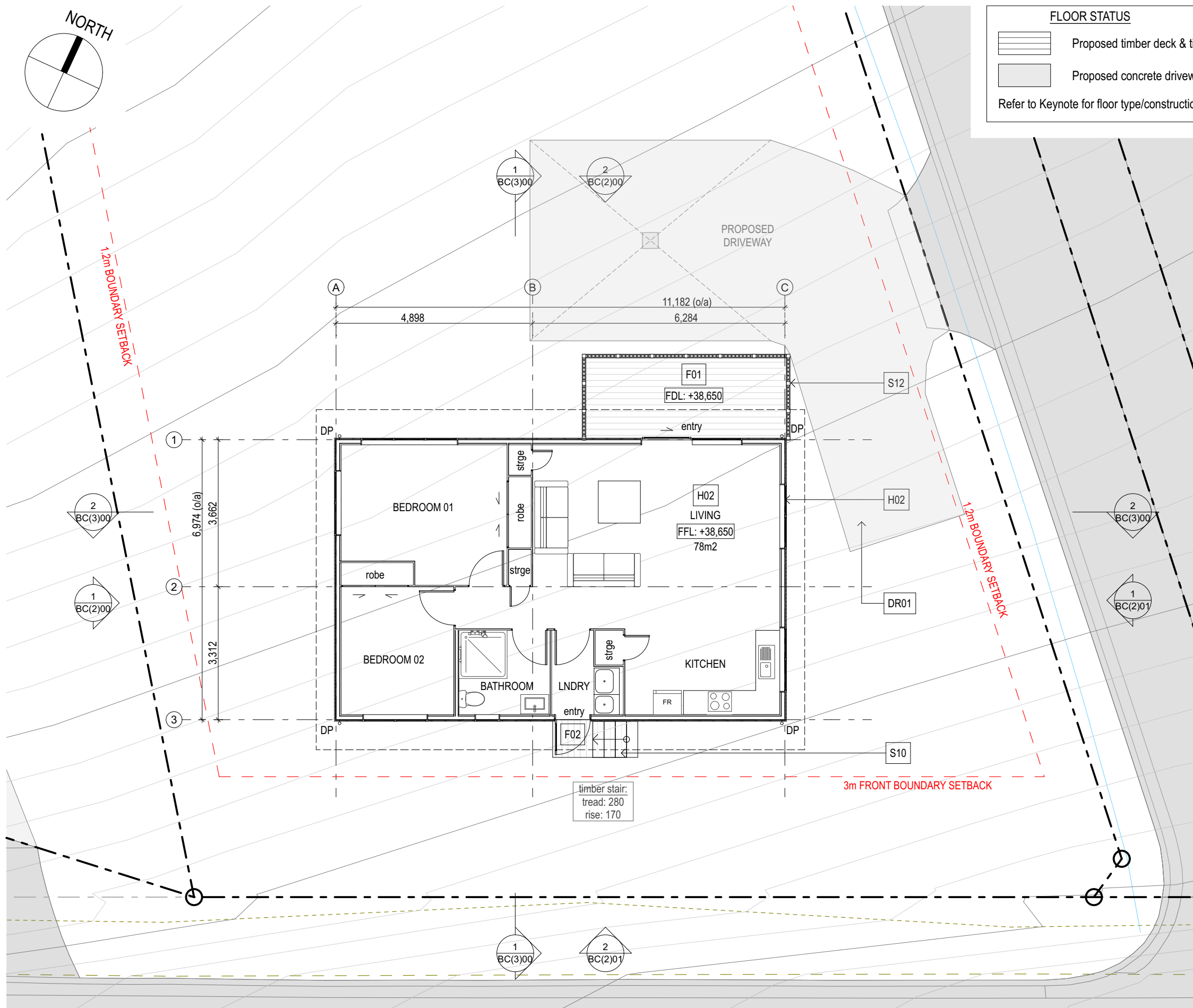
H02 PROPOSED DWELLING
Proposed 78m2 PanelLock dwelling shifted to site. Refer to Architectural documentation by PanelLock for detailed information on dwelling.

S10 NEW TIMBER STAIR
New Timber framed stair (min. 280mm run, max. 190mm riser) and hand rail to comply with D1/AS1. Deck structure under 1m from NG to FDL and by others (not apart of this consent). To be completed prior to CCC.

S12 NEW TIMBER DECK BALUSTRADE
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BUILDING CONSENT	WIP	Work in Progress





FLOOR STATUS

Proposed timber deck & timber ramp.

Proposed concrete driveway.

Refer to Keynote for floor type/construction.

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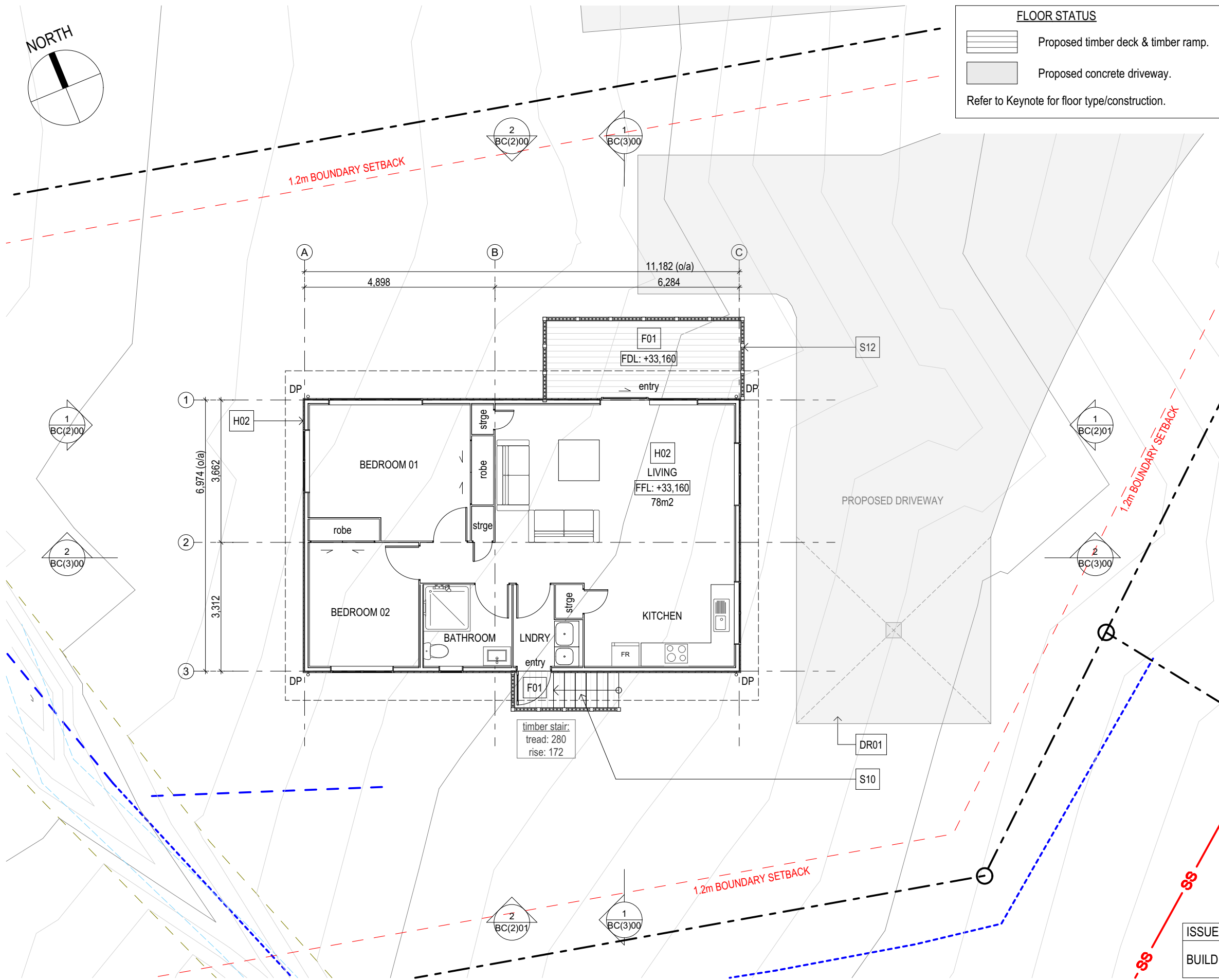
FLOORS

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- F02** TIMBER DECK UNDER 1m
New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent). Ensure to be built/completed prior to CCC.

STRUCTURE

- DR01** PROPOSED CONCRETE DRIVEWAY
Proposed concrete driveway on-site to provide access and parking for relocated dwelling. Refer to engineering drawings for more detailed design.
- H02** PROPOSED DWELLING
Proposed 78m2 PanelLock dwelling shifted to site. Refer to Architectural documentation by PanelLock for detailed information on dwelling.
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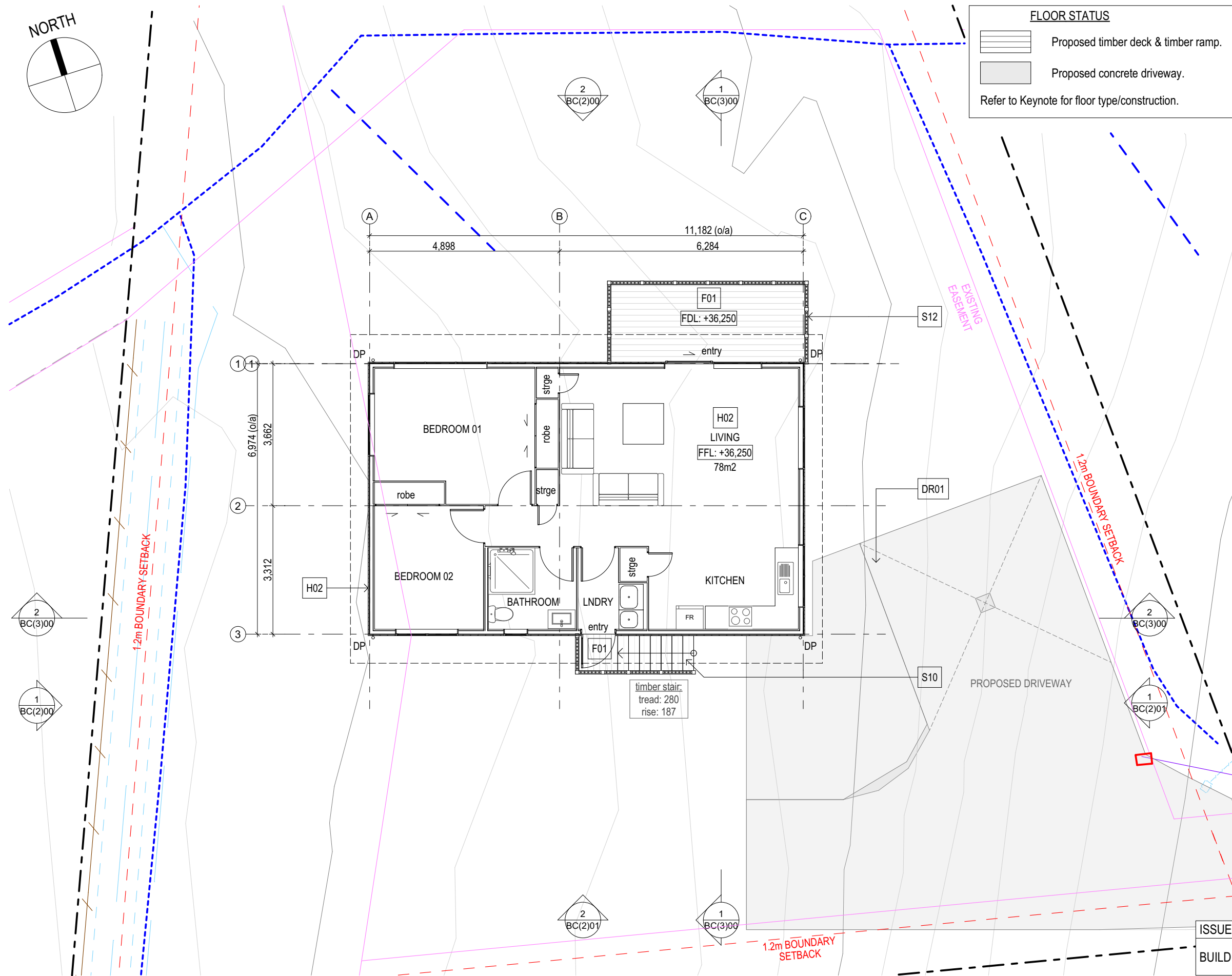
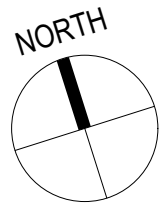
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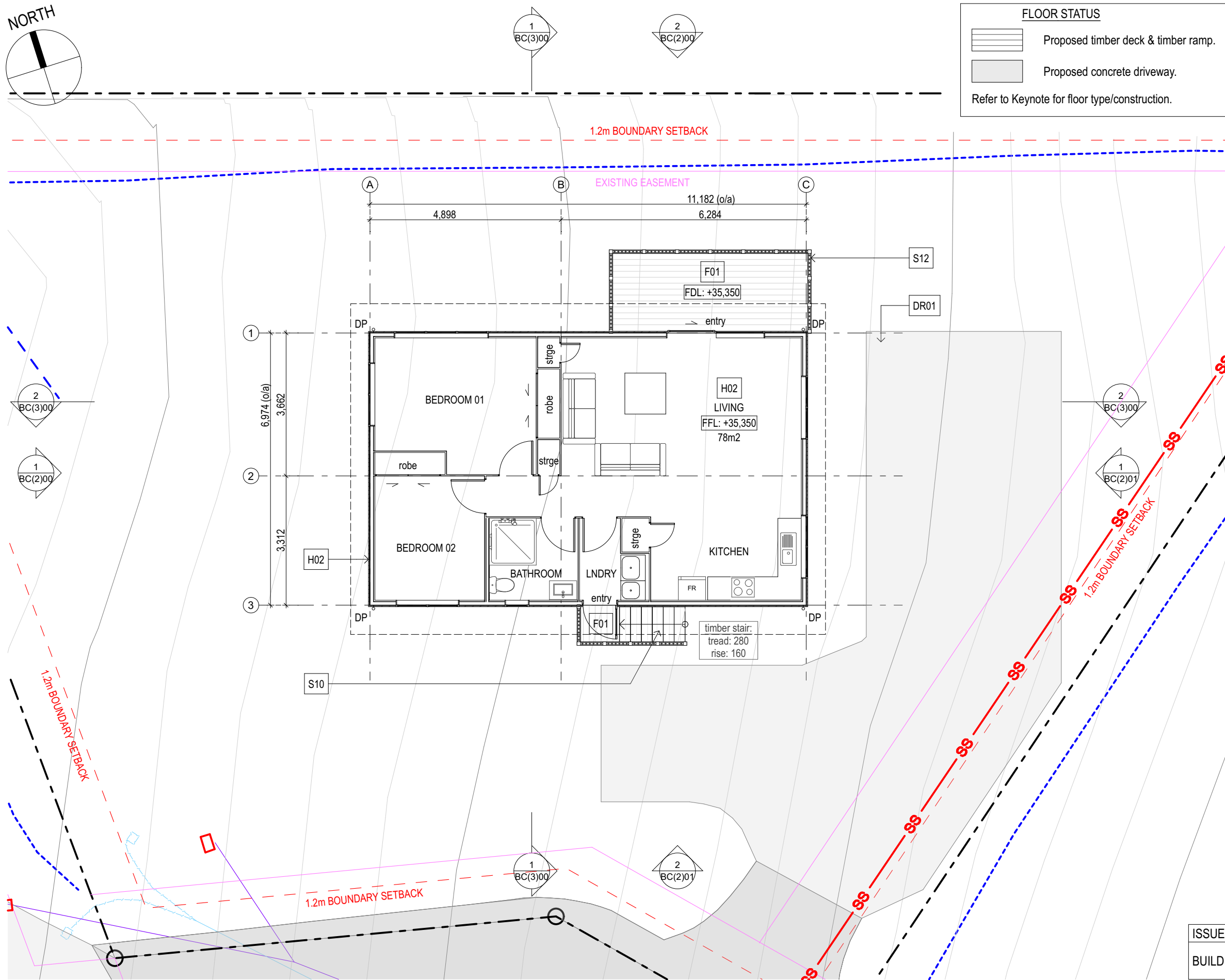
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STRUCTURE

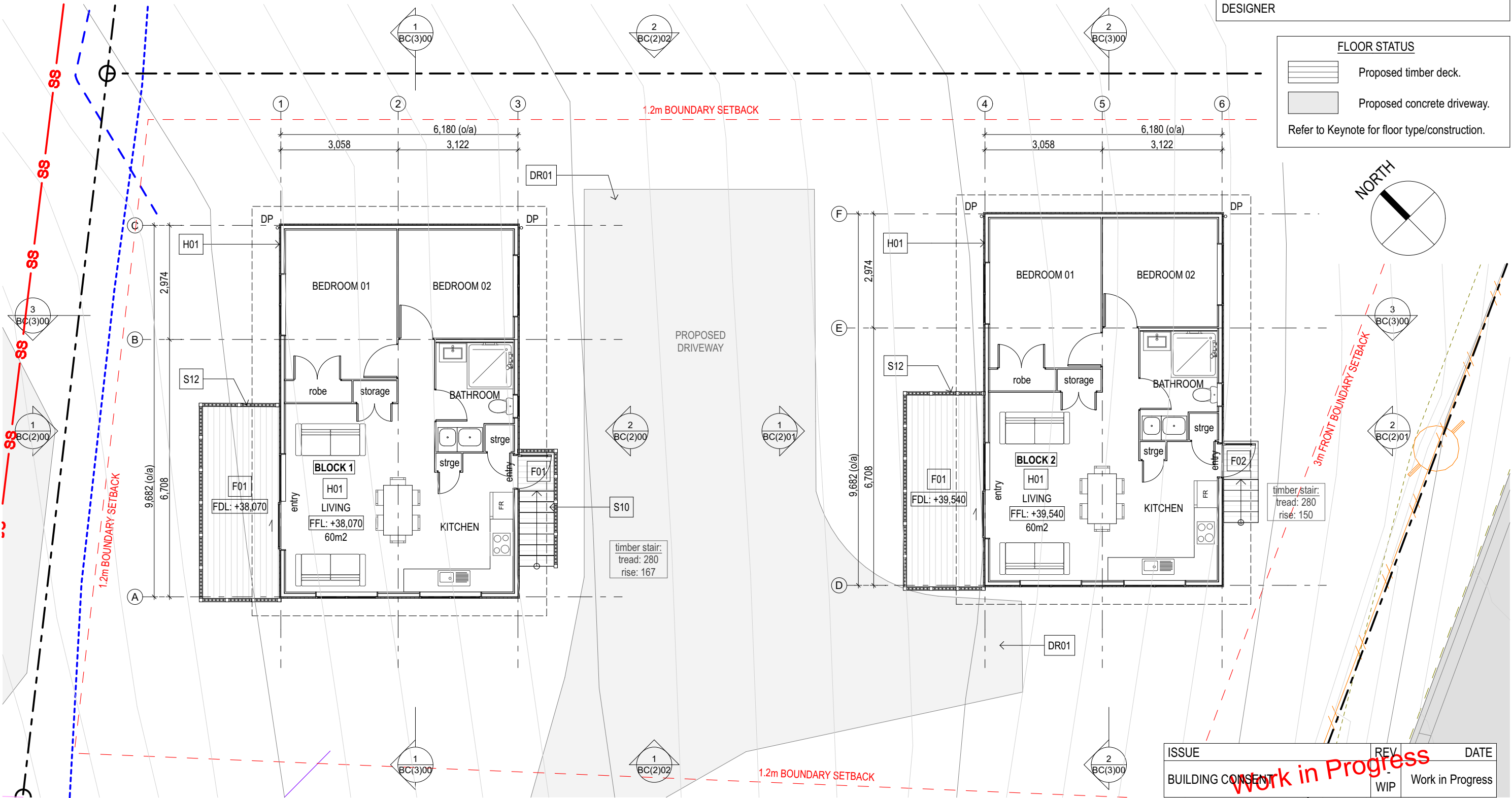
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- H01 PROPOSED DWELLING

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S12

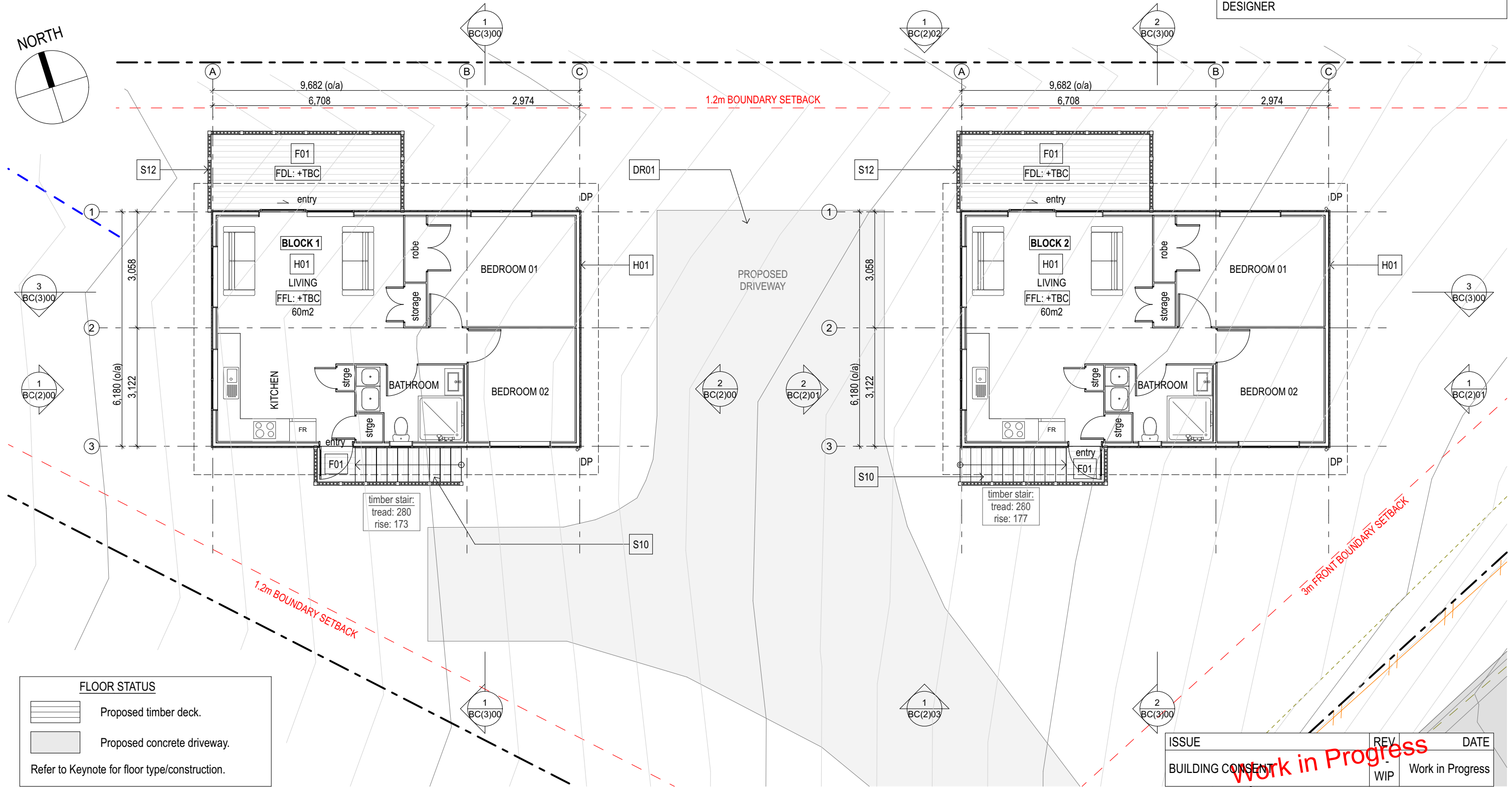
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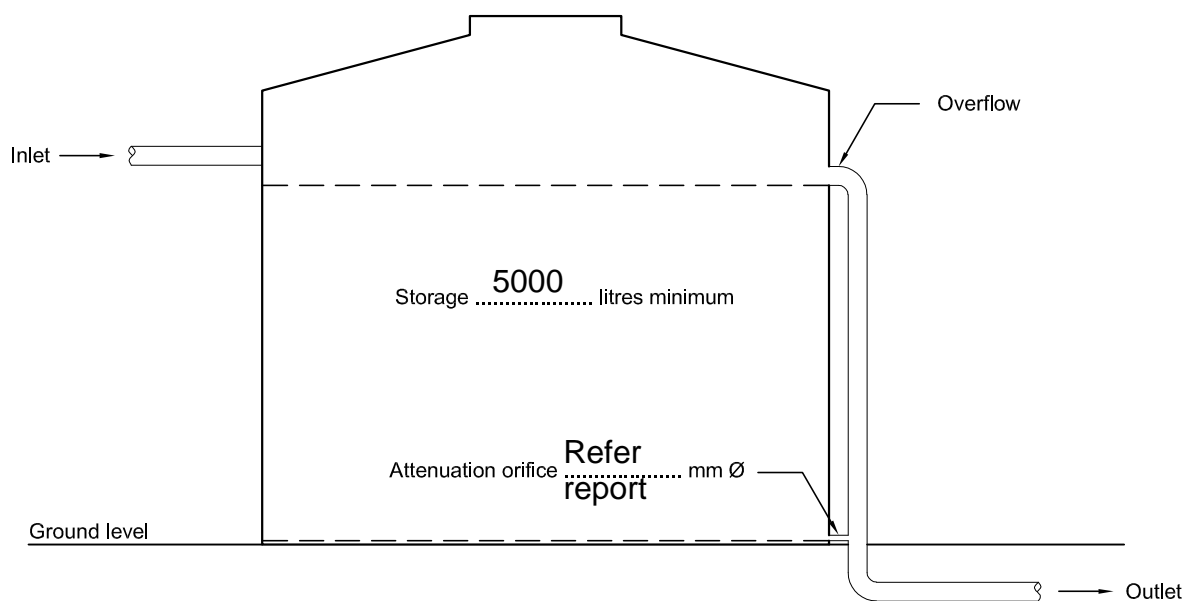
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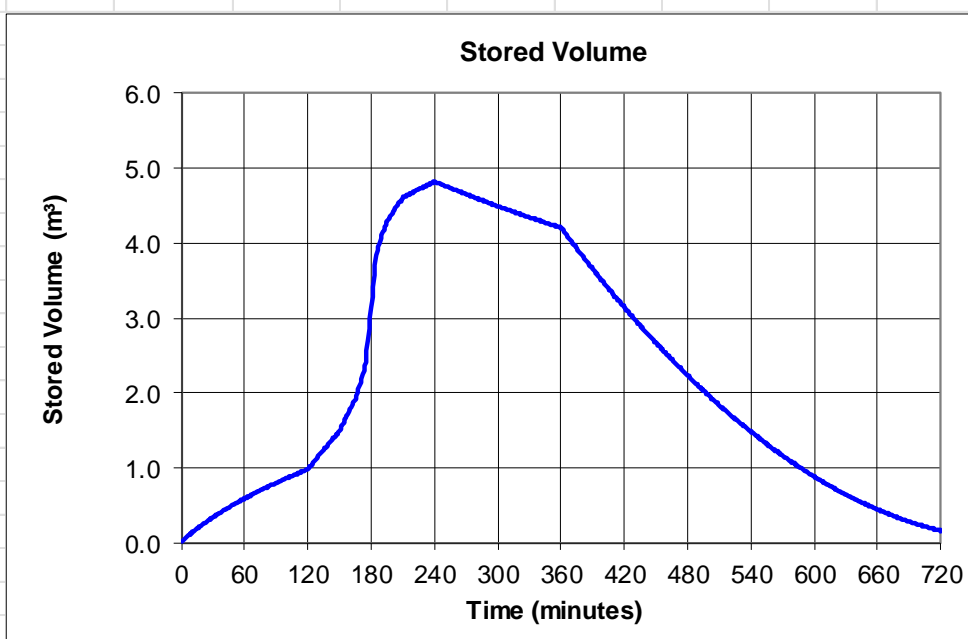
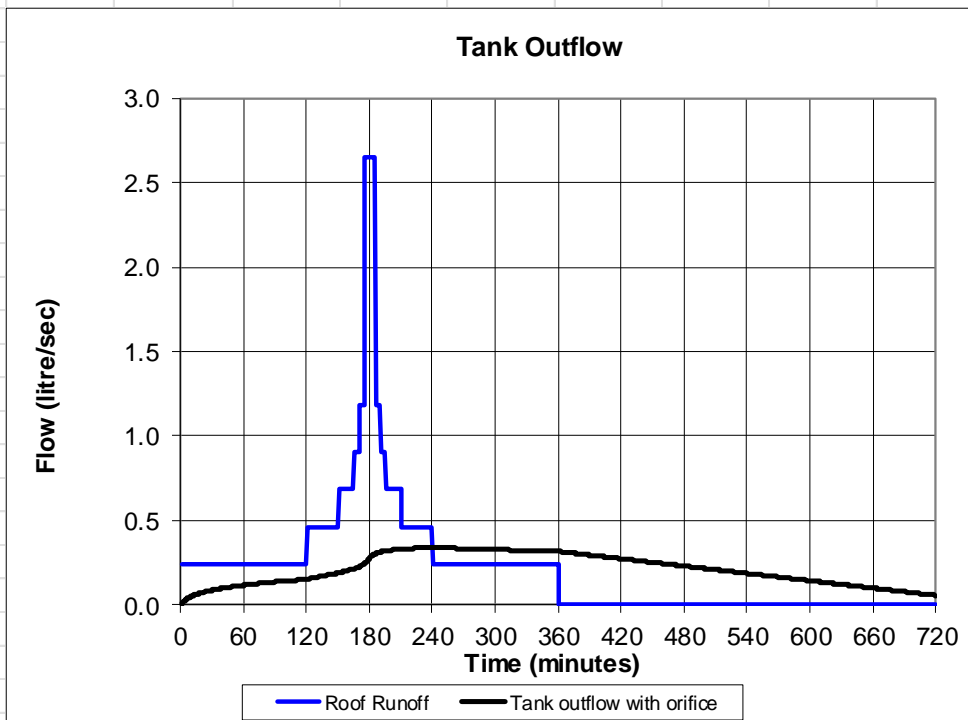
Promax ENDURO Water Tank 5,000L Low Profile - Dia. 2.20m, Height or
Promax Slimline Tank 5,000L – Length 3.00m, Width 0.57m, Height 2.15m

Retention storage tank

DWG				<div><div>Civil & Structural Engineers</div></div> <div>6 Fairway Drive Kerikeri, B.O.I. T: 09 407 8327 F: 09 407 8378 E: Info@haighworkman.co.nz</div>		Project Donald Road, Kaitaia	
Standard Detention Tank						Client He Korowai Trust	
DWG No.		Sheet No.		of	Scale	NTS	
Drawn TMA		Checked		Approved TMA		Project No. 25 016	
File		Z:\HW TECHNICAL FORMATS (LTR HEAD.FORMS.JOB REQUEST ETC)\HW STD_DWG_2011\EFFLUENT DISPOSAL\EFFLUENT DISPOSAL_2016.DWG				RC no.	
				Date		DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING, SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THERE OF REMAIN THE PROPERTY OF HAIGH WORKMAN. 62206	

Appendix B – Charts

Stormwater Runoff Calculation								
Haigh Workman Ltd						Circular Tank		
Project:	25 016 Lot 1				Roof area	82 m2		
Location:	Donald Road				Tank diameter	2.2 m		
Client:	He Korowai Trust				Diameter of orifice	12 mm		
Designer:	TMA				Maximum attenuation	2.31 L/s		
Date:	16-Apr-25							



Stormwater Runoff Calculation

Haigh Workman Ltd

Project: 25 016 Lots 2-6

Location: Donald Road

Client: He Korowai Trust

Designer: TMA

Date: 16-Apr-25

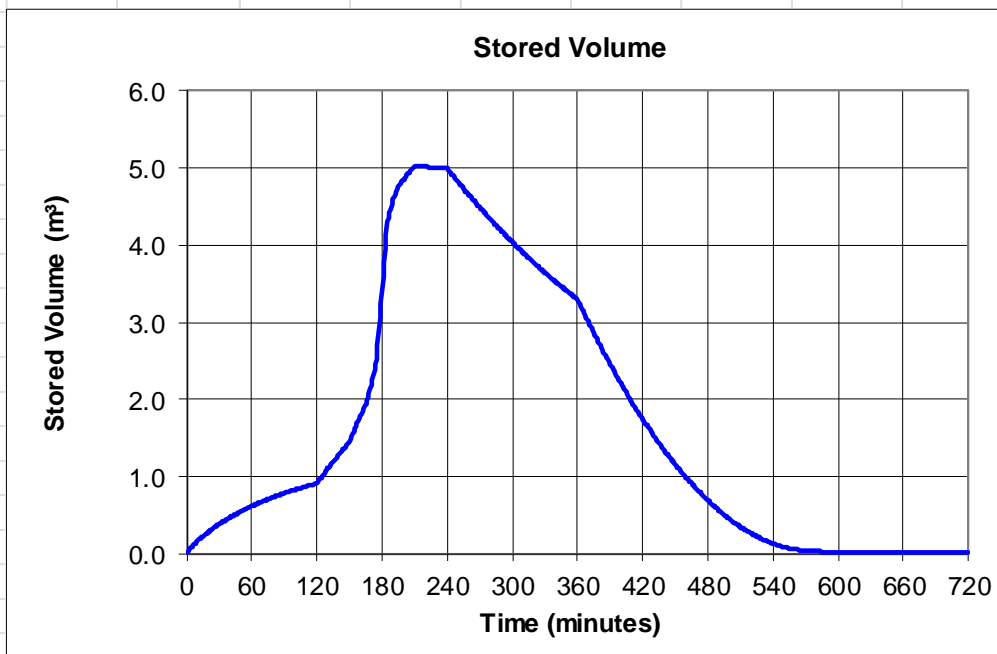
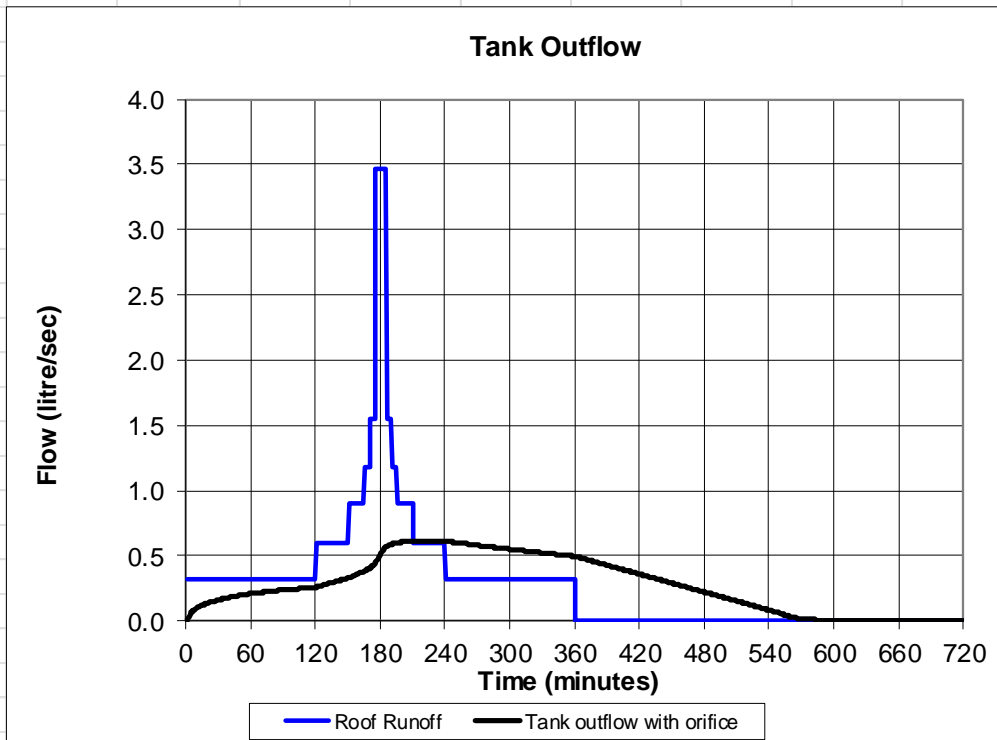
Circular Tank

Roof area 107.4 m²

Tank Diameter 2.2 m

Diameter of orifice 16 mm

Maximum attenuation 2.85 L/s



Stormwater Runoff Calculation

Haigh Workman Ltd

Project: 25 016 Lots 7-8

Location: Donald Road

Client: He Korowai Trust

Designer: TMA

Date: 16-Apr-25

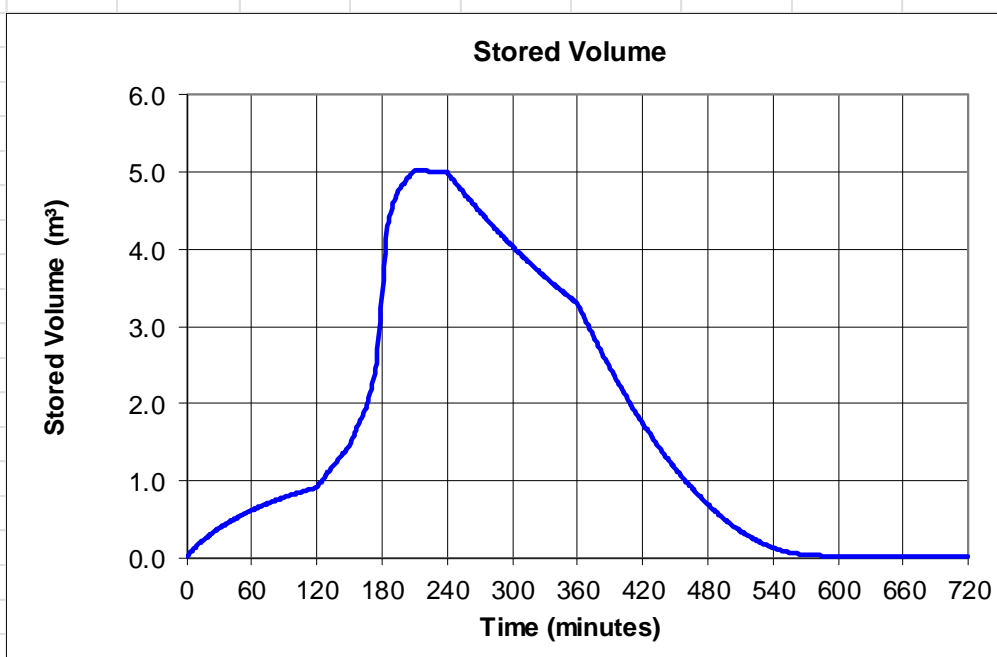
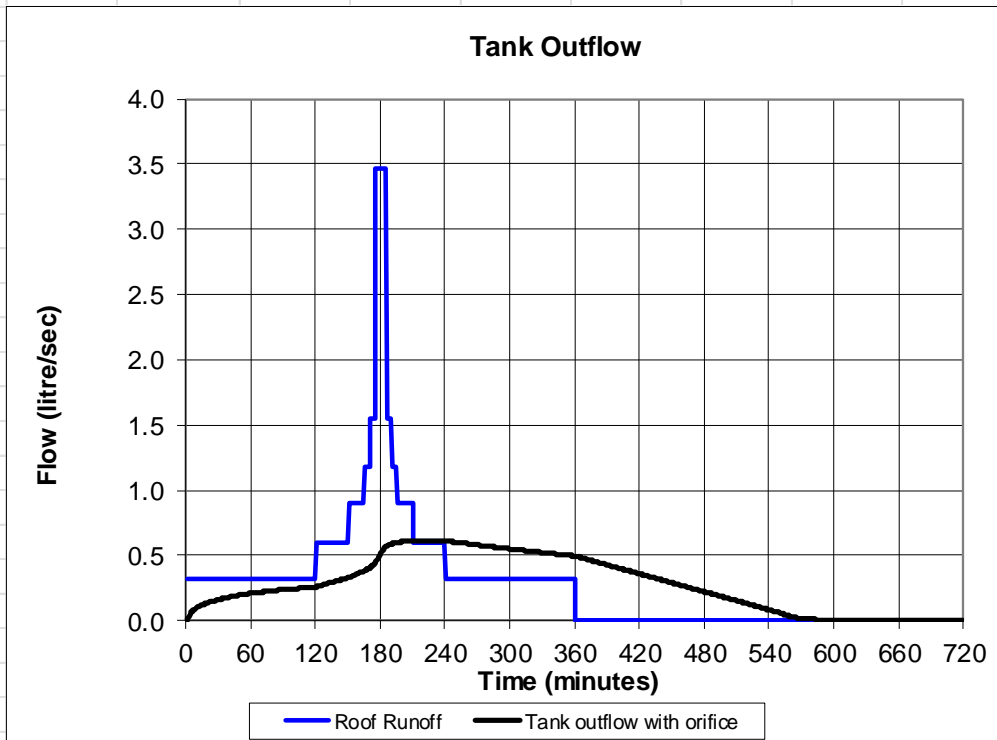
Circular Tank

Roof area 107.4 m²

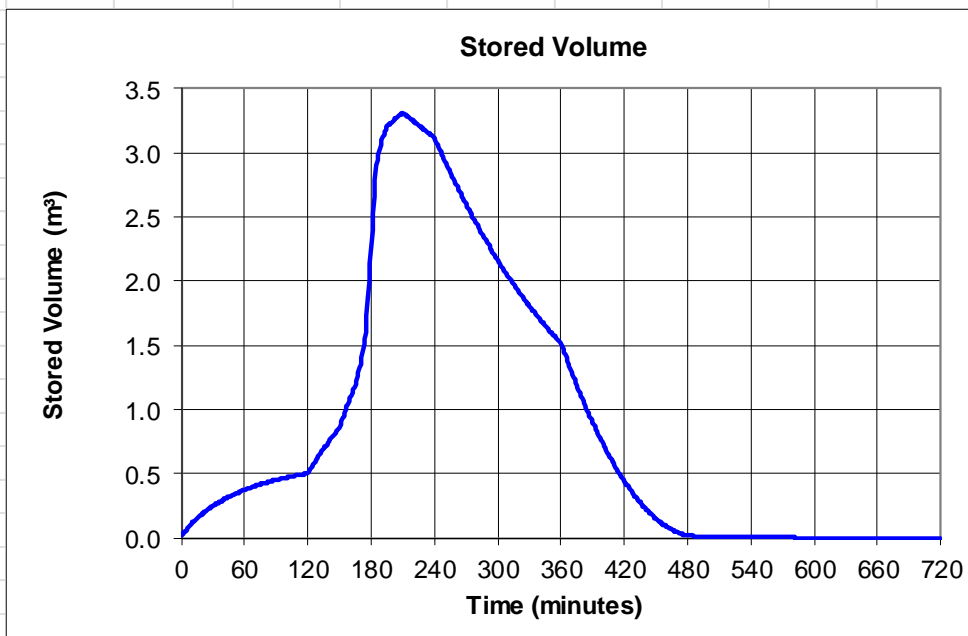
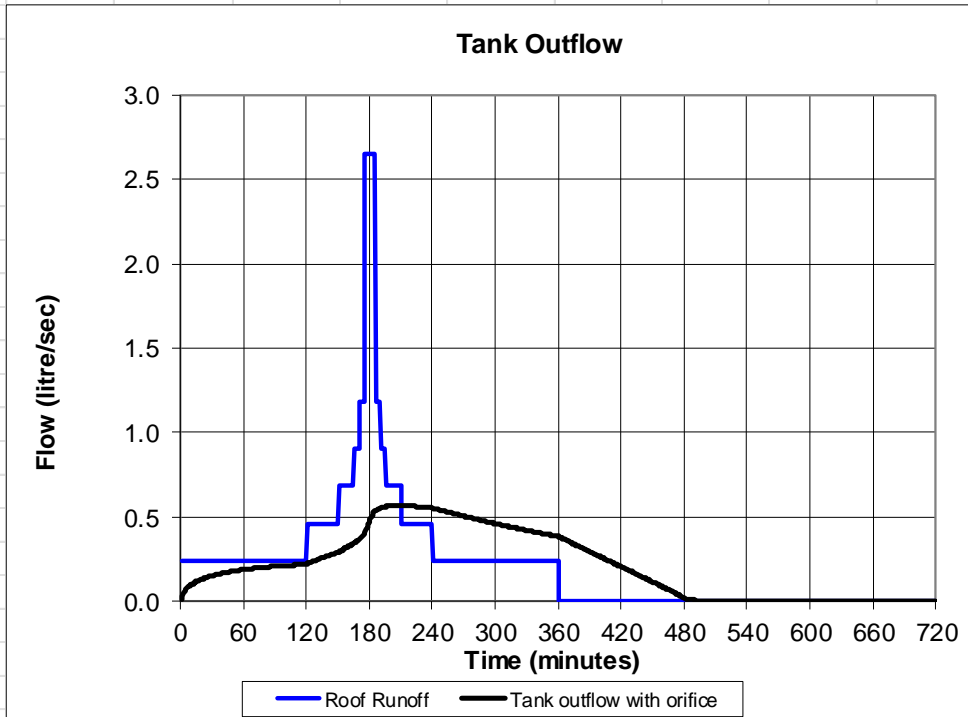
Tank Diameter 2.2 m

Diameter of orifice 16 mm

Maximum attenuation 2.85 L/s



Stormwater Runoff Calculation									
Haigh Workman Ltd							Slimline Tank		
Project:	25 016 Lot 1					Roof area	82	m2	
Location:	Donald Road					Slimline tank dimentions L x W	3.00 x 0.57	m	
Client:	He Korowai Trust					Diameter of orifice	14	mm	
Designer:	TMA					Maximum attenuation	2.08	L/s	
Date:	16-Apr-25								



Stormwater Runoff Calculation

Haigh Workman Ltd

Project: 25 016 Lots 2-6

Location: Donald Road

Client: He Korowai Trust

Designer: TMA

Date: 16-Apr-25

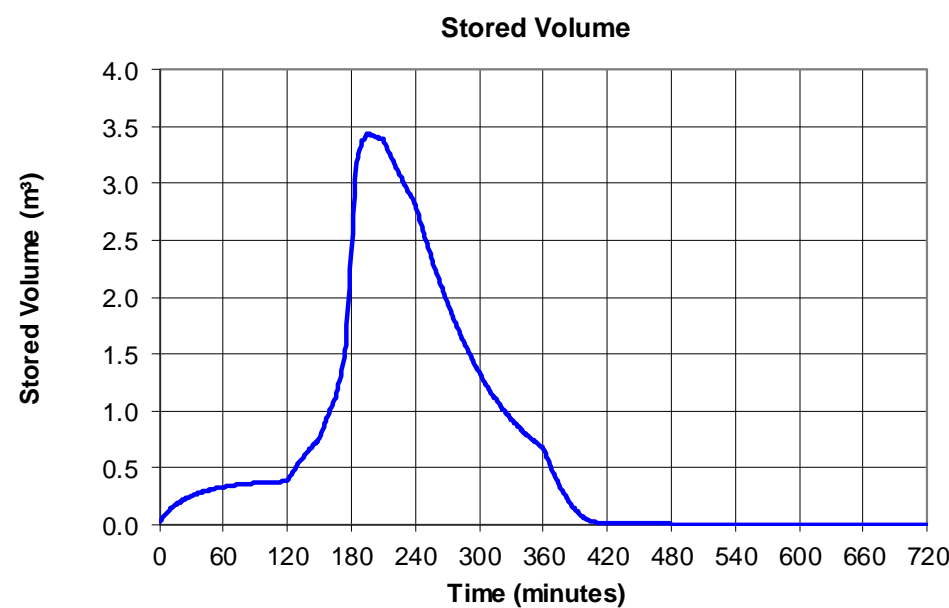
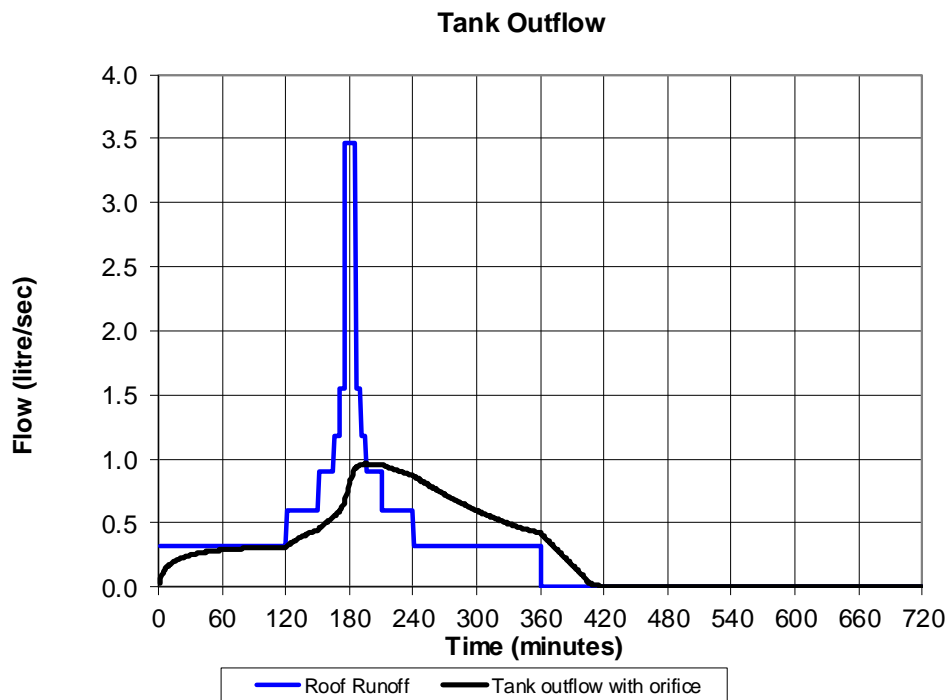
Slimline Tank

Roof area 107.4 m²

Slimline tank dimensions L x W 3.00 x 0.57 m

Diameter of orifice 18 mm

Maximum attenuation 2.51 L/s



Stormwater Runoff Calculation				Slimline Tank	
Haigh Workman Ltd				Roof area	107.4 m ²
Project:	25 016 Lots 7-8			Slimline tank dimensions L x W	3.00 x 0.57 m
Location:	Donald Road			Diameter of orifice	18 mm
Client:	He Korowai Trust			Maximum attenuation	2.51 L/s
Designer:	TMA				
Date:	16-Apr-25				

