

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No Nick Williamson and Swetha Maharaj

## 2. Type of Consent being applied for

*(more than one circle can be ticked):*

- |   |   |
|---|---|
| <input type="radio"/> Land Use  | <input type="radio"/> Discharge                           |
| <input type="radio"/> Fast Track Land Use*  | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision   | <input type="radio"/> Extension of time (s.125)           |
| <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil) |   |
| <input type="radio"/> Other (please specify) _____  |   |

*\* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

## 4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant Details

**Name/s:**

Angela Vujcich - Advance Build

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

## 6. Address for Correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Angela Vujcich - Advance Build

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

*\* All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

## 7. Details of Property Owner/s and Occupier/s

*Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

Sonny, Karen, Charlotte and Nikki Cherrington

**Property Address/  
Location:**

Te Wairenga Rd, Waiomio

**Postcode**

## 8. Application Site Details

*Location and/or property street address of the proposed activity:*

**Name/s:**

**Site Address/  
Location:**

  
  
  
 **Postcode**

**Legal Description:**

**Val Number:**

**Certificate of title:**

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request Public Notification?

☐ Yes ☐ No

## 11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard consent

☐ Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

## 13. Assessment of Environmental Effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☐ Yes

## 13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No Unless agreed



## 14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full) Advance Build Ltd - Please use our account

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Angela Vuicich

**Signature:**

(signature of bill payer)

**Date** 16-Jun-2025

**MANDATORY**

## 15. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 15. Important information continued...

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name:** (please write in full)

Angela Vujcich

**Signature:**



**Date** 16-Jun-2025

*A signature is required if the application is made by electronic means*

### Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☒ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☒ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.





# Assessment of Environmental Effects

Application for Resource Consent: Resource Consent for Papakainga Housing, Waiomio

Prepared for: Nikki Cherrington-Riley  
Prepared by Mark Day | Advance Build Planner

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## 1.0 APPLICANT & PROPERTY DETAILS

Applicant	Nikki Cherrington-Riley
Address for Service	Advance Manufacturing Limited 2077 State Highway 10, Waipapa C/O – Mark Day  <a href="mailto:mark@advancebuild.co.nz">mark@advancebuild.co.nz</a> 021 589 551
Legal Description	Motatau 2 Section 21B2A
Record Of Title	498993
Physical Address	State Highway 1, Waiomio, Far North
Site Area	35.8437ha
Owner of the Site	Refer to Record of Title Appendix 1
District Plan Zone	Rural Production
District Plan Features	Nil
Archaeology	Nil
Kiwi	Kiwi Present
NRC Overlays	River Flood Hazard Zone (10, 50, 100 yr)
Soils	4e8 & 4w1 & 4s4
Protected Natural Area	Nil
HAIL	Nil according to NRC SLU

Schedule 1



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## 2.0 SUMMARY OF PROPOSAL

Proposal	The proposal is for an additional 2 x Papakainga dwellings be added to land that has 5 existing dwellings and an existing farm shed. The proposal will take place on Māori Freehold Land. This will increase the Papakainga House to six dwelling.
Reason for Application	The proposal breaches: <ul style="list-style-type: none"><li>• 8.6.5.2.2 Papakainga Housing.</li><li>• 15.1.6C.1.1 Private Accessway in All Zones</li></ul>
Appendices	Appendix 1 – Record of Title Appendix 2 – Engineering Report & Plans Appendix 3 – Assessment of Relevant Rules Appendix 4 – Objective & Policy Assessment Appendix 5 – Correspondence with NZTA
Consultation	Nil
Pre Application Consultation	Nil
Relevant Applications	RC 2220837

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## 3.0 INTRODUCTION & PROPOSAL

### 3.1 Report Requirements

This report has been prepared for the Nikki Cherrington-Riley in support of a land use consent application at Motatau 2 Section 21B2A.

The application has been prepared in accordance with the provisions of Section 88 and the Fourth Schedule of the Resource Management Act 1991. This report serves as the Assessment of Environmental Effects required under both provisions.

The report also includes an analysis of the relevant provisions of the Far North District Plan, relevant National Policy Statements and Environmental Standards, as well as Part 2 of the Resource Management Act 1991.

### 3.2 Proposal

Application Site: A range of details regarding the site are outlined in Schedule 1 of this report. These details are supplemented by the Record of Title and relevant instruments located in Appendix 1. A broader description of the site is provided for in Section 4 below.

Land Use Consent:

This proposal includes the addition of two Papakainga houses. The subject site has 6 existing dwellings and farm sheds. The papakainga gains access from the existing state highway crossing.

Activity Status: The proposal is considered to be a Discretionary Activity.



#### 4.4 Topography & Natural Features

The site is relatively flat with some sloping areas going towards the middle of the property. The site is also subject to some River Flood hazard. This is shown in [Figure 2](#) below. The Engineering Report considers this overlay.

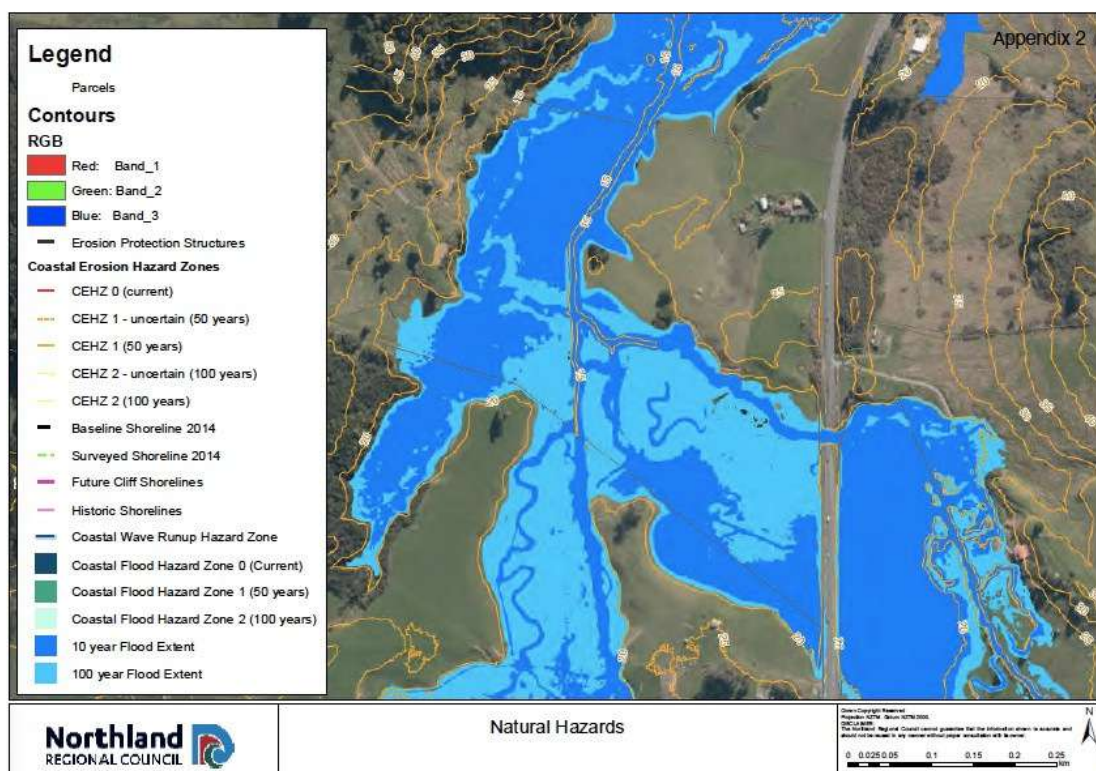


Figure 2 – Topography & Hazards (Source: NRC Local Maps)

#### 4.5 Built Form & Access

There are six existing dwellings and a farm shed on site. The accessway into the site from State Highway 1 is existing, upgrades have been made to ensure the accessway services the proposed dwellings that are located further into site than the existing buildings. The site plan, located in [Appendix 2](#), outlines the existing and proposed developments.



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#### 4.6 Surrounding Environment

The surrounds are rural in nature, with a large area of forestry to the west of the site and an Outstanding Landscape to the south east of the site. A waterway runs through the site, however as shown in the site plan, development occurs at least 30m away from this. There are no features that will be affected or have effect on this proposal.

#### 4.7 Consent History

There is no relevant consent history.

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## 5.0 ASSESSMENT OF RELEVANT RULES

### 5.1 Assessment Summary

An assessment of the relevant rules of the Far North District Plan has been undertaken and this is provided in Appendix 3.

In summary, the proposal breaches:

- 8.6.5.2.2 Papakainga Housing – Controlled Activity.
- 15.1.6C.1.1 Private Accessway in All Zones – Discretionary Activity.

Overall, the proposal is a Discretionary Activity.

Clause 2(1)(d) of Schedule 4 of the RMA requires applicants to identify other activities of the proposal with the intention of capturing activities which need permission or licensing under other enactments.

Section 7.3 provides a more considered assessment of relevant NPS's and NES's and in summary, no consents are required under these higher order documents.

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## 6.0 NOTIFICATION ASSESSMENT

### 6.1 Public Notification

The table below outlines the steps associated with public notification insofar as it relates to s95 of the Act.

<u>Step 1</u>	<u>Mandatory public notification in certain circumstances</u>	
S95A(3)(a)	Has the applicant requested that the application be publicly notified?	No
S95A(3)(b)	Is public notification required under section 95C?(after a request for further information)	TBC
S95A(3)(c)	Has the application been made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.	No
<u>Step 2</u>	<u>if not required by step 1, public notification precluded in certain circumstances</u>	
S95A(5)(a)	Is the application for a resource consent for 1 or more activities and each activity is subject to a rule or national environmental standard that precludes public notification?	No
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but no other, activities; (i) a controlled activity; (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;	No

The proposed development does not meet the tests for mandatory public notification, nor does it meet the tests for precluding public notification.

Therefore, an assessment of the proposals effects on the environment is required to ascertain the effects of the development and whether public notification is required. The section below provides this assessment.

## 7.0 EFFECTS ON THE ENVIRONMENT

Effects on persons who are owners and occupiers of the land in, on, or over which the application relates, or of adjacent land must be disregarded when considering effects on the environment (s 95D(a)).

Those persons are outlined in in [Figure 3](#) below.



*Figure 3 - Adjoining Properties (Source: NRC Local Maps)*

<u>Legal Description</u>	<u>Property Address</u>	<u>Owner(s)</u>
Motatau 2 Section 23A1B Block	22 Tarakihi Road	Heta Brown, Noi Hautai Brown, Tahuu Cooper, Philippe Paul Gerard Kozuls, Aniata Patsy Mackie, Aniata Paraone, Johanah Norma Parsons, and Mere Ripia.
Motatau 2 Section 25N4	0 State Highway 1, Waiomio, Far North	Edward Beattie, Mary Beuker, Murray Roberts, Nick Tautari, Phillip Tautari, Winnie Tautari, and Te Warati Ututaonga.



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Motatau 2 Section 25N 2A Block	4980A-B State Highway 1, Waiomio, Far North	Te Aroha Pani Te Mihinga Cassidy Nanai, Waimarie Martin, Ramona Albert McGaughey, and Heemi Joseph Wilcox.
Section 1 Survey Office Plan 63050	4980A-B State Highway 1, Waiomio, Far North	Hinemoa Albert, Jacqueline Ena Kilmartin, Kathleen Te Riwhi Ormsby, Louisa Parsons, and Frederick Robin Wilcox.
Part Lot 25S, 27 Deposited Plan 9584 and Part Lot 28 Deposited Plan 9583 and Section 2 Survey Office Plan 39281.	0 State Highway 1, Waiomio, Far North	Richard Scott & Bevan Taylor.
Part Motatau 2 Section 21B2E Block and Part Motatau 2 Section 21B2E Block.	304 Range Road, Kawakawa	Ken Finlayson, Gloria Christina Kelleher, Michael Kelleher, Polly Lillian Reihana McFarlane, Jennifer Nikita Ngahuia Pickering, Lucky James Pickering, Eugene Franklyn Reihana, Tehere Ethel Reihana, and Zeneth Maliu Latu Talasinga.
Motatau 2Sec23A1A1 Block Maori Land Plan 423792	0 Range Road, Waiomio, Far North	Maraea Brown, Garry Charles Cooper, Leonard John Cooper, Michael Van Cooper, Robin John Cooper, Terrence Ernest Cooper, and Jane Rex.
Motatau 2Sec23A1A2 Block Maori Land Plan 423792	312 Range Road, Waiomio	Sonny Kopa.

*Table 1 - Adjoining Properties (Source: Prover)*

## 7.1 Effects that May be Disregarded

The permitted baseline may be taken into account should the Council deem it relevant. In relation to the scale and size of existing and proposed development, there are little permitted activities that could result.

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## 7.2 Effects Assessment

The following assessment has been prepared in accordance with Section 88 and Schedule 4 of the Act which specifies that the assessment of effects provided should correspond with the scale and significance of the proposal.

Item	Assessment Criteria	Comments
Positive Effects	Nil	<ul style="list-style-type: none"><li>• The proposal will provide accommodation for the whanau to reconnect to their ancestral land in a safe and warm home.</li><li>• The proposal, from application through to development, employs (and will employ) a number of services providers and sellers of goods.</li><li>• The proposal includes new infrastructure allowing for appropriate mitigation of effects on the environment.</li><li>• The proposal has less than adverse effects on the overall character, landscape and surrounding environments due to the isolation and the availability of land on adjacent sites for mitigation efforts.</li></ul> <p>Considering the matters above, the proposal exhibits a number of positive effects for the Far North District and its communities.</p>
Papakainga Housing	Derived from 8.6.5.3.6	Owing to the breach of the access rule, unfortunately the Papakainga Housing rule cannot be used

		<p>(a) effects on the natural character of the coastal environment for proposed residential units which are in the coastal environment.</p> <p><b>N/A not in Coastal Environment</b></p> <p>(b) for residential units within 500m of land administered by the Department of Conservation, effects upon the ability of the Department to manage and administer its land;</p> <p><b>N/A no DoC estate within 500m</b></p> <p>(c) effects on areas of significant indigenous flora and significant habitats of indigenous fauna.</p> <p><b>Nil. No clearance proposed.</b></p> <p>(d) the mitigation of fire hazards for health and safety of residents.</p> <p><b>Nil. No vegetation inside 20m</b></p> <p>(e) the character and appearance of building(s) and the extent to which the effects they generate can be avoided, remedied or mitigated.</p> <p><b>Modern dwellings to be built by Advance Build.</b></p> <p>(f) the siting of the building(s), decks and outdoor areas relative to adjacent dwellings and properties (including the road boundary) in order to avoid visual domination and loss of privacy and sunlight to those adjacent dwellings and properties.</p> <p><b>Refer Appendix 2 drawings. Sufficient separation is provided.</b></p>
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		<p>(g) the size, location and design of open space associated with each residential unit, and the extent to which trees and garden plantings are utilised for mitigating adverse effects.</p> <p><b>Open space is the majority of the site as the other areas of the site will remain as a working farm. Gardens likely to occur voluntarily around dwellings.</b></p> <p>(h) the ability of the immediate environment to cope with the effects of additional vehicular and pedestrian traffic.</p> <p><b>Consultation with NZTA has been carried out.</b></p> <p>(i) any servicing requirements and/or constraints of the site.</p> <p><b>Nil – refer Engineering Report in Appendix 2.</b></p> <p>(j) the ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s).</p> <p><b>There is the ability as there is large swathes of open space remaining.</b></p> <p>(k) the extent of visual and aural privacy between residential units on the site and their associated outdoor spaces.</p> <p><b>The maori landowners have considered the design and placement of houses as appropriate. The design implies they are happy with such matters considered.</b></p> <p>(l) The extent to which the location of the building could create reverse sensitivity</p>
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		<p>effects on adjacent rural production activities.</p> <p><b>The location of the Papakainga is separate from rural production use and separated by small waterway and state highway.</b></p> <p><b>Considering the above, the proposal is considered to result in less than minor effects to the environment.</b></p>
Private Accessway in All Zones	Derived Chapter 15 – Transportation 15.1.6C.4.1 Assessment Criteria.	<p>(a) Adequacy of sight distances available at the access location.</p> <p><b>Please refer to Engineering Report in Appendix 2. Upgrades to the SH network proposed to improve sightlines.</b></p> <p>(b) Any current traffic safety or congestion problems in the area.</p> <p><b>Not known. The proposal does not breach TIF.</b></p> <p>(c) Any foreseeable future changes in traffic patterns in the area.</p> <p><b>Unlikely given zoning is largely rural production.</b></p> <p>(d) Possible measures or restrictions on vehicle movements in and out of the access.</p> <p><b>Please refer to Engineering Report in Appendix 2.</b></p> <p>(e) The adequacy of the engineering standards proposed and the ease of access to and from, and within, the site.</p>

		<p><b>Please refer to Engineering Report in Appendix 2. Upgrades have been carried out</b></p> <p>(f) The provision of access for all persons and vehicles likely to need access to the site, including pedestrian, cycle, disabled and vehicular.</p> <p><b>Pedestrians and cycle provision considered fanciful in this location.</b></p> <p>(g) The provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.</p> <p><b>Please refer to Engineering Report in Appendix 2. Upgrades have been carried out.</b></p> <p>(i) The provisions of the roading hierarchy, and any development plans of the roading network.</p> <p><b>State Highway – we are engaging with NZTA and carried out the requirements over and above proposed upgrades. Refer to Appendix 5</b></p> <p>(j) The need to provide alternative access for car parking and vehicle loading in business zones by way of vested service lanes at the rear of properties, having regard to alternative means of access and performance standards for activities within such zones.</p> <p><b>N/A</b></p> <p>(m) With respect to access to a State Highway that is a Limited Access Road, the</p>
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		<p>effects on the safety and/or efficiency on any SH and its connection to the local road network and the provision of written approval from the New Zealand Transport Agency.</p> <p><b>We are engaging with NZTA and carried out the requirements over and above proposed upgrades. Refer to Appendix 5</b></p> <p><b>This proposal is not considered to result in adverse access effects on the environment.</b></p>
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Concluding Statement:

Having considered the relevant actual and potential effects associated with the development, it is considered that the proposal results in effects that are less than minor on the environment.

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## 8.0 EFFECTS TO PEOPLE

The table below outlines the steps associated with limited notification insofar as it relates to s95 of the Act.

<u>Step 1</u>	<u>certain affected groups and affected persons must be notified</u>	
S95B(2)(a)	Are there any affected protected customary rights groups?	No
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?	No
S95B(3)(a)	Is the proposed activity on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?	No
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?	No
<u>Step 2</u>	<u>if not required by step 1, limited notification precluded in certain circumstances</u>	
S95B(6)(a)	the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:	No
S95B(6)(b)	the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land)	No

### 8.1 Affected Person Determination

As the proposed activity does not trigger mandatory limited notification, nor is it precluded, an assessment of potential affected persons must be undertaken.

The consent authority has discretion to determine whether a person is an affected person. A person is affected if an activity's adverse effects are minor or more than minor to them. The effects of the proposal on adjacent landowners have been undertaken below.

### 8.2 Written Approvals Received



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Correspondence has occurred with the NZTA which is located in [Appendix 5](#).

### 8.3 Localised Effects Assessment (Effects to Persons)

Section 7 of this report provides a graphic of the relevant adjacent persons that this assessment relates.

For the following reasons, those parties and persons are not considered to be adversely affected by the proposal:

- The proposal should have no effects to any adjacent site and their privacy due to the isolation of the site and the nature of the surrounding environment despite the breaches.
- All infrastructure is located internal to the site.
- There is no screening or planting proposed however, it is not necessary to this application as the proposed dwellings are sufficiently setback from any adjacent properties and the state highway boundary. The houses are also behind a small mound that fronts the State Highway which will also screen the dwellings.
- Access is existing therefore should have no impacts on the safety and traffic congestion on State Highway 1. A letter has been sent to NZTA regarding this accessway which is located in [Appendix 5](#). Chesters Engineers have proposed upgrades to the crossing and SH network.

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#### 8.4 Effect to Persons Conclusion

Having considered the effects above, there are considered to be no adversely affected persons resulting from the proposal.

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## 9.0 STATUTORY CONTEXT

### 9.1 Far North District Plan

An assessment of the relevant objectives and policies associated with the Far North District Plan has been undertaken and is found in [Appendix 4](#).

Having considered these sections of the Plan, it is concluded that the proposal is not inconsistent with the relevant objectives and policies of the Far North District Plan.

### 9.2 Far North District Plan (Draft)

The Far North District Council have recently released their Draft District Plan for public commentary.

At this stage this document has no statutory weight. Therefore the Operative Plan is considered to be the appropriate statutory document to consider in this instance.

### 9.3 Regional Policy Statement for Northland (RPS)

An assessment of the relevant objectives and policies associated with the RPS for Northland has been undertaken and is also found in [Appendix 4](#). The RPS sets region wide objectives and policies for the environment.

Having considered the relevant components of the RPS, it is concluded that the proposal is not inconsistent with the relevant objectives and policies.

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#### 9.4 National Policy Statements and Plans

With respect to the National Environmental Standard – Soil Contamination, the property file has been reviewed which shows no known activities that are on the HAIL. Accordingly, the NES is not considered relevant.

In terms of the NES – Freshwater Management, there are no wetlands within 100m on the site.

The site is not located in the Coastal Environment and the NZCPS is not relevant.

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## 10.0 PART 2 ASSESSMENT

### 10.1 Section 5 - Purpose of the Act

Section 5 in Part 2 of the Act identifies the purpose as being the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being which sustain those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding remedying or mitigating adverse effects on the environment.

It is considered that proposal represents Part 2, Section 5 of the Act.

### 10.2 Section 6 - Matters of National Importance

In achieving the purpose of the Act, a range of matters are required to be recognised and provided for. This includes:

- a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:
- b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:
- c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:

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- d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:
  - e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:
  - f) the protection of historic heritage from inappropriate subdivision, use, and development:
  - g) the protection of protected customary rights:
  - h) the management of significant risks from natural hazards

In context, the relevant items to the proposal and have been recognized and provided for.

### 10.3 Section 7 - Other Matters

In achieving the purpose of the Act, a range of matters are to be given particular regard. This includes:

- (a) kaitiakitanga:
- (aa) the ethic of stewardship:
- (b) the efficient use and development of natural and physical resources:
- (ba) the efficiency of the end use of energy:
- (c) the maintenance and enhancement of amenity values:
- (d) intrinsic values of ecosystems: (e) [Repealed]
- (f) maintenance and enhancement of the quality of the environment:
- (g) any finite characteristics of natural and physical resources:
- (h) the protection of the habitat of trout and salmon:



- 
- (i) the effects of climate change:
  - (j) the benefits to be derived from the use and development of renewable energy.

These matters have been given particular regard through the design of the proposal.

#### 10.4 Section 8 - Treaty of Waitangi

The Far North District Council is required to take into account the principles of the Treaty of Waitangi when processing this consent. This consent application may be sent to local iwi and hapū who may have an interest in this application.

#### 10.5 Part 2 Conclusion

Given the above, it is considered that the proposal meets the purpose of the Act.

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## 11.0 CONCLUSION

Discretionary Activity resource consent is sought from the Far North District Council to carry out the proposed development.

The proposal is considered to result in less than minor effects on the environment and through assessment, there are considered to be no affected persons.

The proposal is consistent with the objectives and policies of the Far North District Plan, the Regional Policy Statement for Northland, and achieves the purpose of the Act. Relevant NPS' and NES' have been considered with the proposal finding consistency with their general aims and intent.

Given the application history, approvals for the site, as well as the assessment carried out in this report, it is considered that this proposal can be determined non-notified under the RMA 1991.

We appreciate draft conditions to be supplied to us prior to decision being made.

Regards,

Mark Day

Advance Manufacturing Ltd



## APPENDIX 1 – RECORD OF TITLE



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
QUALIFIED**

**Guaranteed Search Copy issued under Section 60 of the  
Land Transfer Act 2017**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier**

**498993**

**Land Registration District** **North Auckland**

**Date Registered** 22 September 2009 09:00 am

**Prior References**

8293824.1 NA64A/442

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<b>Type</b>	Partition Order	<b>Instrument</b>	MFPO 8293824.1
<b>Area</b>	35.8437 hectares more or less		
<b>Legal Description</b>	Motatau 2 Section 21B2A Block		

**Registered Owners**

Haki Te Rautau Kawiti as to a 0.0226 share

Sonny Taneiterangi Cherrington, Magnolia Aneeva Christie, Kurt Thomas Raharaha, Nikki Louise Cherrington-Riley, Charlotte May Kathleen Cherrington (Lemon), Karen Vanessa Reid, Jessie Vanessa Reid and Bailey Gene Metcalfe-Cherrington as responsible trustees jointly, no survivorships to a 0.9774 share

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**Interests**

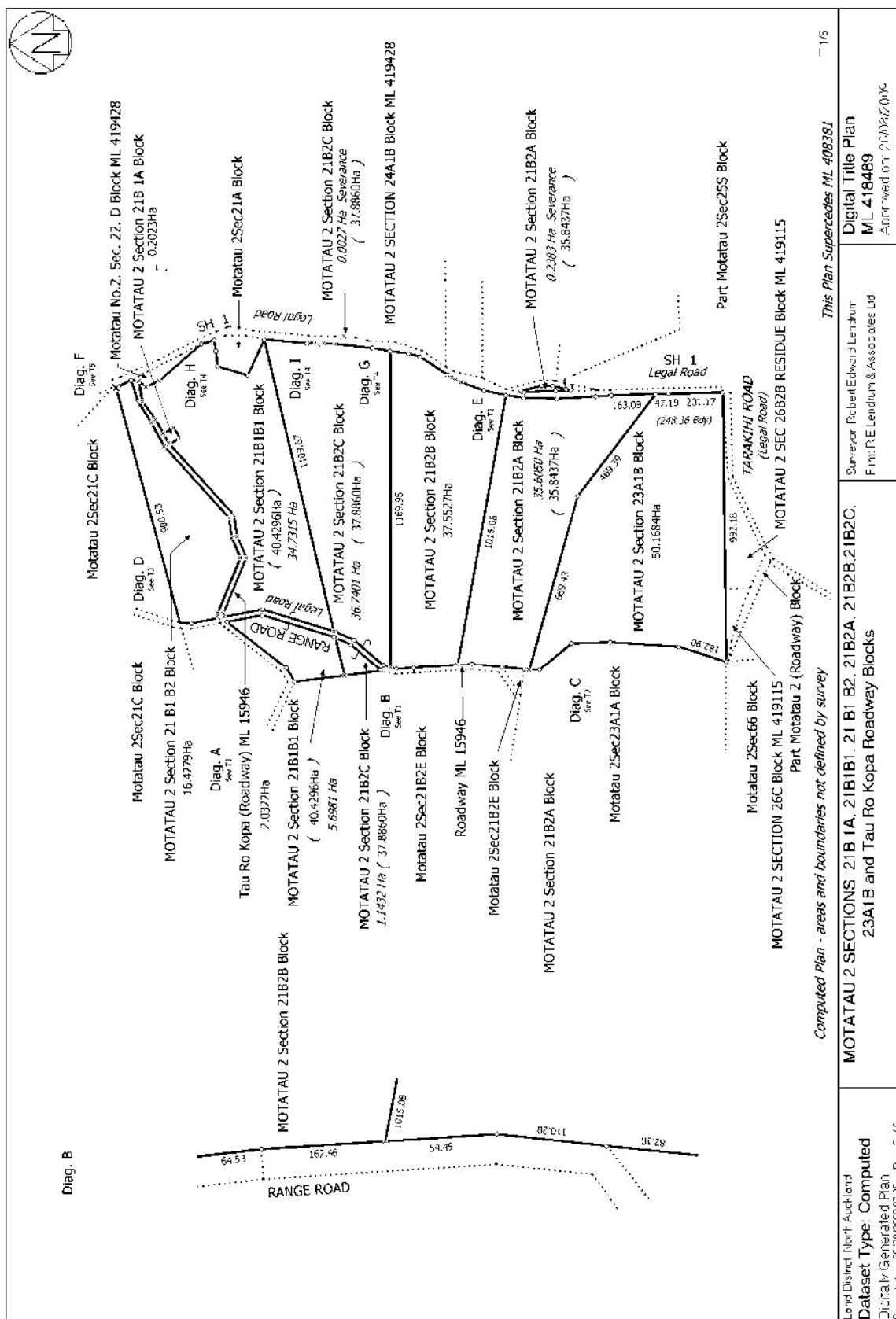
The proprietors listed above hold the shares out of a total of 1.0 shares.

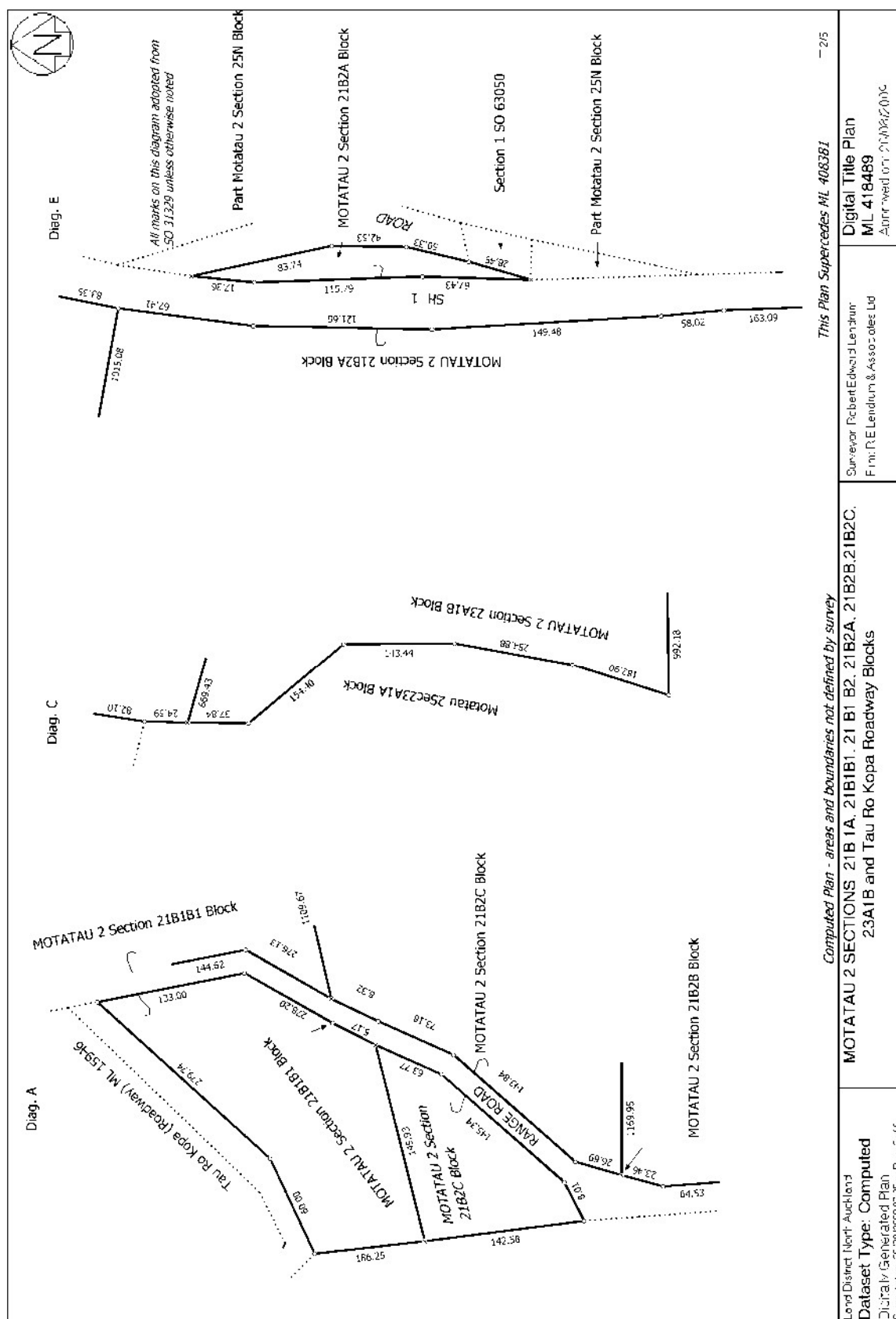
B716882.6 Mortgage to The Home Mortgage Company Limited - 13.8.1987 at 2.26 pm

The within order has been embodied in the register pursuant to Section 124(1) Te Ture Whenua Maori Act 1993. It will not be finally constituted a folium of the register until a plan has been deposited pursuant to Section 167(5) Land Transfer Act 1952

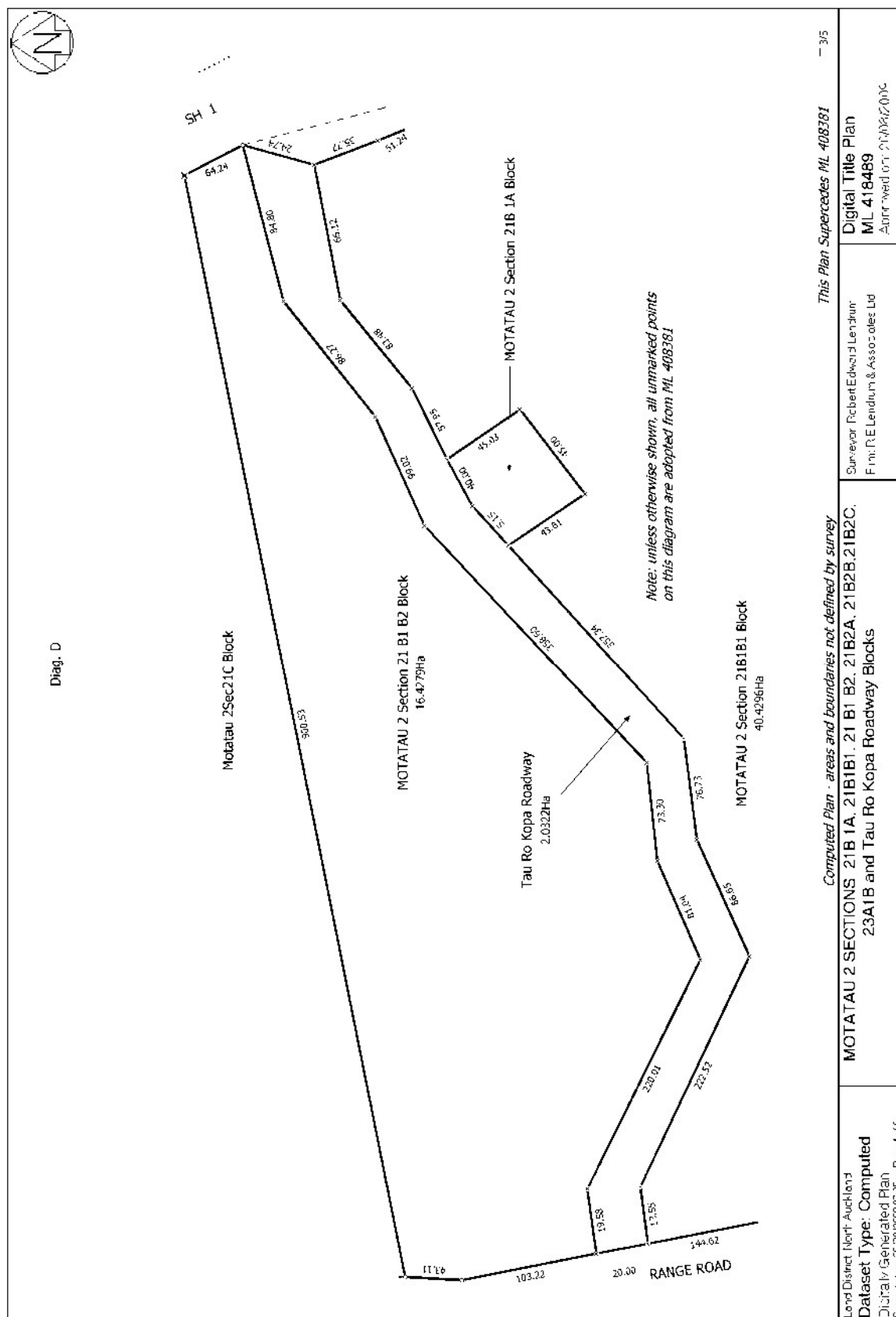
8293824.3 Status Order determining the status of the within land to be Maori Freehold Land - 22.9.2009 at 9:00 am

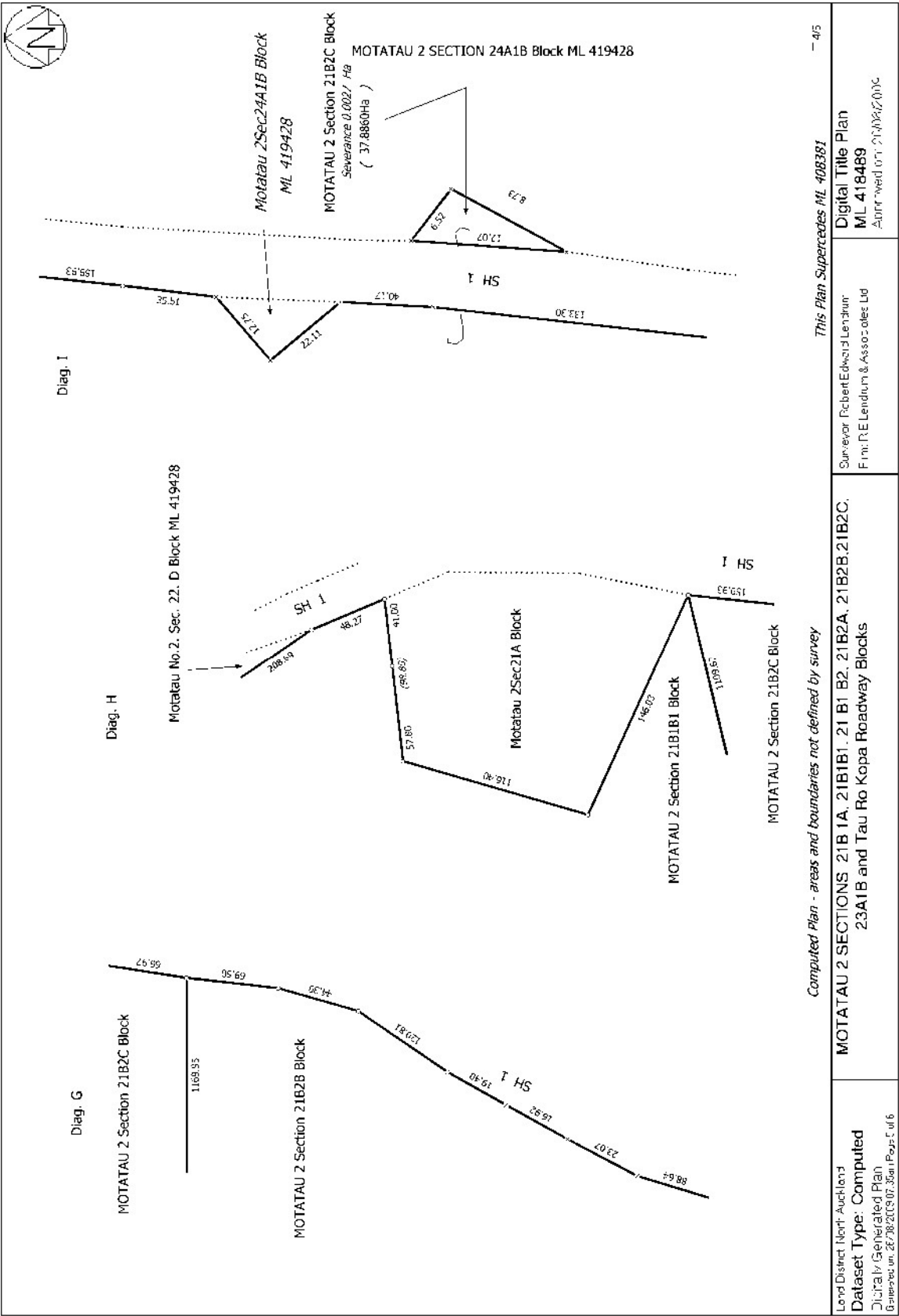
11686173.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 by Her Majesty the Queen - 14.2.2020 at 2:15 pm

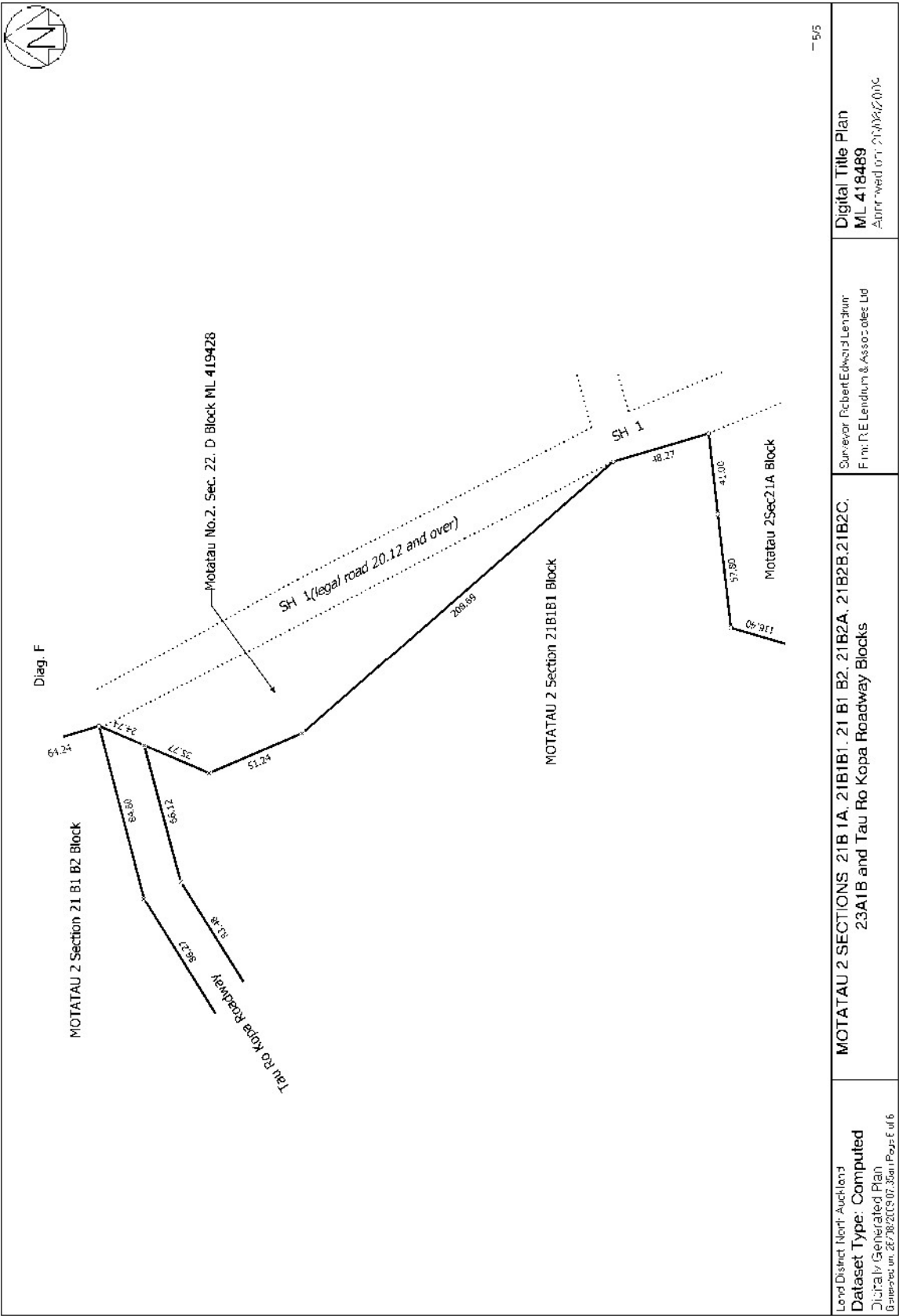












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Identifier

498993



**Report on Maori Land details for the  
following Record(s) of Title**



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**Record(s) of Title**

498993

Identified as potentially Maori Freehold Land

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**\*\*\* End of Report \*\*\***



## APPENDIX 2 – PLANS



## APPENDIX 3 – ASSESSMENT OF RELEVANT RULES

## A3.1ASSESSMENT OF RELEVANT RULES

### RURAL PRODUCTION ZONE RULE ASSESSMENT

Rule # & Name	Compliance	Evidence / Comment
8.6.5.1.1 Residential Intensity	Yes	Not relevant. This proposal is for Papakainga Housing
8.6.5.1.2 Sunlight	Yes	The proposed building will be well within setback distances
8.6.5.1.3 Stormwater Management	Yes	Due to the large size of the Lot, this rule is unlikely to be breached.
8.6.5.1.4 Setback from Boundaries	Yes	The proposed building will be well within setback distances
8.6.5.1.5 Transportation	No	Refer to assessment table below (Chapter 15 Transportation)
8.6.5.1.6 Keeping of Animals	Yes	Not relevant
8.6.5.1.7 Noise	Yes	Not relevant
8.6.5.1.8 Building Height	Yes	The proposed height is less than 12m
8.6.5.1.9 Helicopter Landing Area	Yes	Not relevant
8.6.5.1.10 Building Coverage	Yes	Building coverage will be below the permitted 12.5%
8.6.5.1.11 Scale of Activities	Yes	Residential end use is proposed
8.6.5.1.12 Temporary Events	Yes	Not relevant
8.6.5.2.2 Papakainga Housing	Yes	This proposal will allow for each dwelling to have 3,000m <sup>2</sup> of land for its exclusive use.  <u>Controlled Activity.</u>



## DISTRICT WIDE RULES ASSESSMENT

Rule # & Name	Compliance	Evidence / Comment
12.1 Landscape and Natural Features	Yes	No features exist on the property
12.2 Indigenous Flora and Fauna	Yes	No vegetation clearance is required.
12.3 Soils and Minerals	Yes	A small amount of earthworks will be required for the site and access, however this is not expected to trigger any rules
12.4 Natural Hazards	Yes	This site is subject to River Flood Hazards. This area does not affect the proposed building envelopes
12.5 Heritage and 12.5A Heritage Precincts	Yes	None exist on the site
12.6 Air	Yes	Section deleted from the Plan
12.7 Lakes, Rivers and Wetlands	Yes	Not relevant
12.8 Hazardous Substances	Yes	Nil existing or proposed.
12.9 Renewable Energy and Energy Efficiency	Yes	None proposed
13 Subdivision	Yes	None proposed
14 Financial Contributions	Yes	Not relevant
15.1 Traffic, Parking and Access	No	<u>Traffic</u> As this proposal is for Papakainga, each dwelling will result in 5 daily one-way traffic movements. Therefore this proposal will not breach the permitted 60 daily one-way traffic movements in the Rural Production Zone.

		<p><u>Parking &amp; Manoeuvring</u> There will be sufficient and appropriate parking provided as part of this proposal.</p> <p><u>Access</u> Rule 15.1.6C.1.1(e)(i) Private Accessway in All Zones – Access is not permitted as it is proposed to be onto State Highway 12.</p> <p><u>Discretionary Activity</u></p>
16 Signs and Lighting	Yes	None proposed



## APPENDIX 4 – OBJECTIVE & POLICY ASSESSMENT

## A4.1 OBJECTIVE & POLICY ASSESSMENT

### A4.1.1 Far North District Plan – Rural Production Zone

Objectives	Objective / Policy Reference	Comment
	8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.	This is believed to be achieved through the two additional dwellings proposed
	8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety	The two additional dwellings will allow for the Whanau to enhance their cultural well-being by reconnecting with their whenua.
	8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone	Amenity values are maintained. The two additional dwellings do little to impact the productive intent of the zone as there is a large amount of open space on the rest of the property to remain in rural production
	8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone	There are no SNA's on site
	8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri	Not relevant
	8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity)	Reverse sensitivity is minimised as the proposal is the same as the existing use of the land, which is residential with rural productive activities in the surrounds. It is

	within the Rural Production Zone and on land use activities in neighbouring zones.	sufficiently separated from other surrounding uses.
	8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources	There are no incompatible uses proposed.
	8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments	The proposal has a functional need to be located in this area to provide accommodation for workers on the farm
	8.6.3.9 To enable rural production activities to be undertaken in the zone.	These types of activities can continue to occur on the site.
Policies	8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity	This proposal allows for continued productive activities to occur. It also provides safe and adequate accommodation for workers to stay at the farm to allow for productive intent to continue.
	8.6.4.2 That standards be imposed to ensure that the offsite effects of activities in the Rural Production Zone are avoided, remedied or mitigated	The proposal is consistent with a range of standards and has been designed to mitigate effects.
	8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.	Wastewater practices and those required under RC conditions will be implemented.

	8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.	This development enhances the overall amenity values of the Rural Productive Zone as it allows for continued productive intent and essential accommodation for workers in this zone
	8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan	This proposal is an efficient use of resources as it will allow for continued and efficient use of the Rural Productive Zone through farming practices and accommodation.
	8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.	Not relevant.
	8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone; an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.	There are no resulting conflicting land uses.
	8.6.4.8 Those activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities	There is no reverse sensitivity effects resulting

#### A4.1.2 Far North District Plan – Transportation

	Objective / Policy Reference	Comment
Objectives	15.1.3.1 To minimise the adverse effects of traffic on the natural and physical environment	Effects are minimised through the existing use of the site which includes appropriate access and egress to the site.
	15.1.3.2 To provide sufficient parking spaces to meet seasonal demand in tourist destinations	Sufficient parking is provided for the proposed use. There is no seasonal demand for tourism purposes.
	15.1.3.3 To ensure that appropriate provision is made for on-site car parking for all activities, while considering safe cycling and pedestrian access and use of the site	Sufficient parking is provided on site.
	15.1.3.4 To ensure that appropriate and efficient provision is made for loading and access for activities	Access is existing and considered appropriate. Any upgrades required will be undertaken at time of construction. A letter has been sent to the NZTA which is located in Appendix 5.
	15.1.3.5 To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities	Access is existing and considered safe and efficient. Any upgrades require will be undertaken at the time of construction
Policies	15.1.4.1 That the traffic effects of activities be evaluated in making decisions on resource consent applications.	This proposal allows for continued productive activities to occur. It also provides safe and adequate accommodation for workers to stay at the farm to allow for productive intent to continue.
	15.1.4.2 That the need to protect features of the natural and built	There is sufficient parking for the site that will not result in any adverse effects to the natural and built environment.



	environment be recognised in the provision of parking spaces	
	15.1.4.3 That parking spaces be provided at a location and scale which enables the efficient use of parking spaces and handling of traffic generation by the adjacent roading network	Parking is sufficient for the site.
	15.1.4.4 That existing parking spaces are retained or replaced with equal or better capacity where appropriate, so as to ensure the orderly movement and control of traffic.	Parking is provided accordingly on site.
	15.1.4.5 That appropriate loading spaces be provided for commercial and industrial activities to assist with the pickup and delivery of goods.	Not relevant.
	15.1.4.6 That the number, size, gradient and placement of vehicle access points be regulated to assist traffic safety and control, taking into consideration the requirements of both the New Zealand Transport Agency and the Far North District Council.	The vehicle access point is existing, and a letter has been sent to the NZTA. Upgrades will occur as required
	15.1.4.7 That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.	While a nice thought in theory, the accessway and area has limited pedestrian and bicycle use give the locations rural nature
	15.1.4.8 That alternative options be considered to meeting parking requirements where this is deemed appropriate by the Far North District Council.	Parking is sufficient for the site.

#### A4.1.2 Regional Policy Statement for Northland (RPS)

Objective / Policy	Comment
Integrated Catchment Management	Not relevant.
Region Wide Water Quality	The wastewater system on site has been developed to the TP58 standards
Ecological Flows and Water Quality	Not relevant.
Indigenous Ecosystems & Biodiversity	There are no SNA's on site
Enabling Economic Wellbeing	The proposal allows for various goods/services in the land development sector in the Far North District
Economic Activities – Reverse Sensitivity And Sterilization	The proposal does not result in any reverse sensitivity or sterilization effects given the design of the proposal
Regionally Significant Infrastructure	The proposal does not impact any regionally significant infrastructure.
Efficient and Effective Infrastructure	The proposal seeks to use existing FNDC infrastructure where appropriate
Security of Energy Supply	Power is already provided to the boundary of the site
Use and Allocation of Common Resources	Not relevant.
Regional Form	The proposal does not result in any reverse sensitivity effects, or a change in character or sense of place.
Tangata Whenua Role in Decision Making	Not relevant in this instance
Natural Hazard Risk	The building envelopes are not affected by the River Flood Hazard Zone.

Natural Character, Outstanding Natural Features, Outstanding Natural Landscapes and Historic Heritage	Not relevant.
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## APPENDIX 5 – CORRESPONDENCE WITH NZTA



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
QUALIFIED**

**Guaranteed Search Copy issued under Section 60 of the Land  
Transfer Act 2017**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **498993**  
**Land Registration District** **North Auckland**  
**Date Registered** 22 September 2009 09:00 am

**Prior References**

8293824.1      NA64A/442

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<b>Type</b>	Partition Order	<b>Instrument</b>	MFPO 8293824.1
<b>Area</b>	35.8437 hectares more or less		
<b>Legal Description</b>	Motatau 2 Section 21B2A Block		

**Registered Owners**

Haki Te Rautau Kawiti as to a 0.0226 share

Sonny Taneiterangi Cherrington, Magnolia Aneeva Christie, Kurt Thomas Raharaha, Nikki Louise Cherrington-Riley, Charlotte May Kathleen Cherrington (also known as Charlotte May Kathleen Lemon) , Karen Vanessa Reid, Jessie Analese Cherrington and Bailey Gene Metcalfe-Cherrington as to a 0.9774 share

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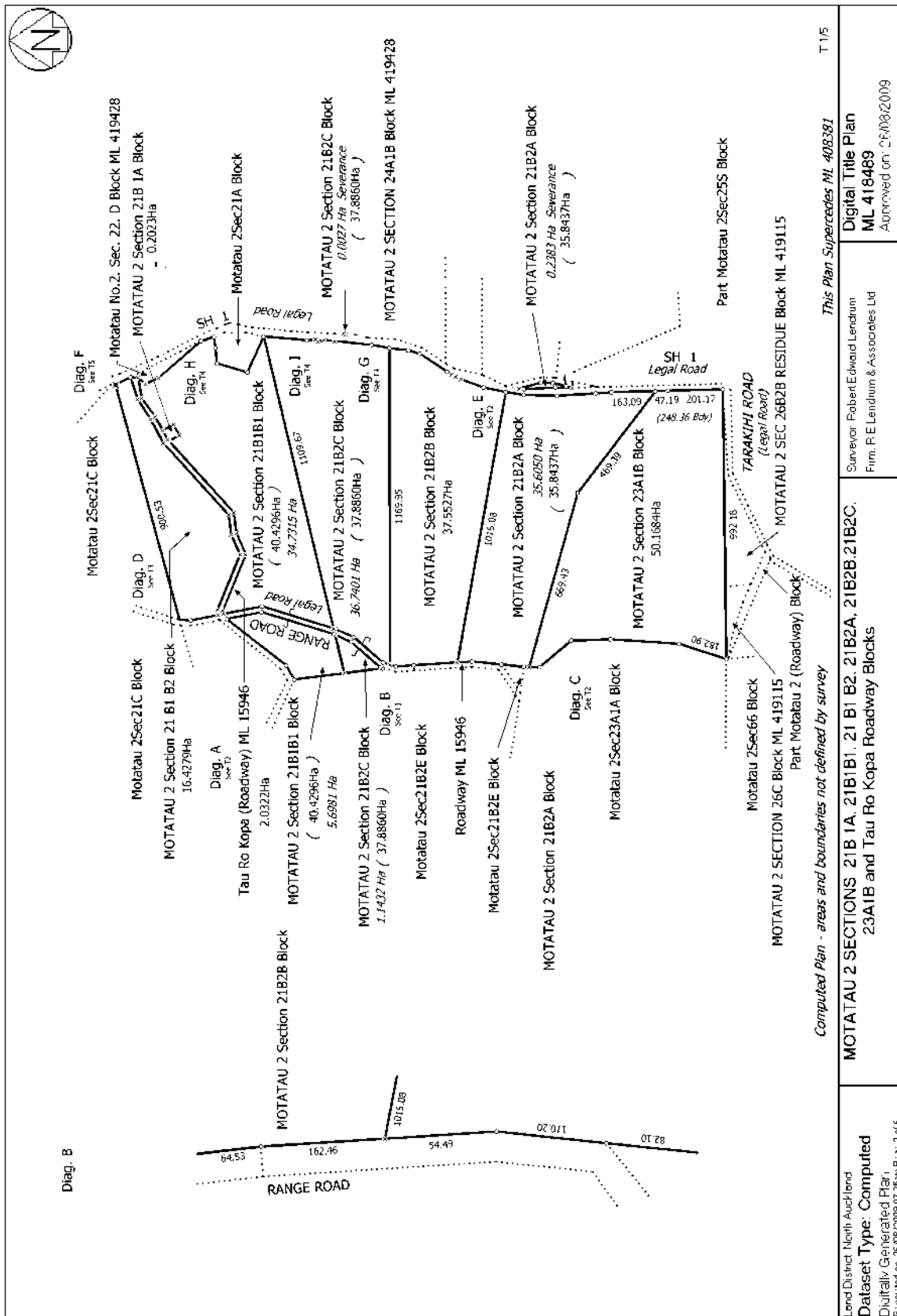
**Interests**

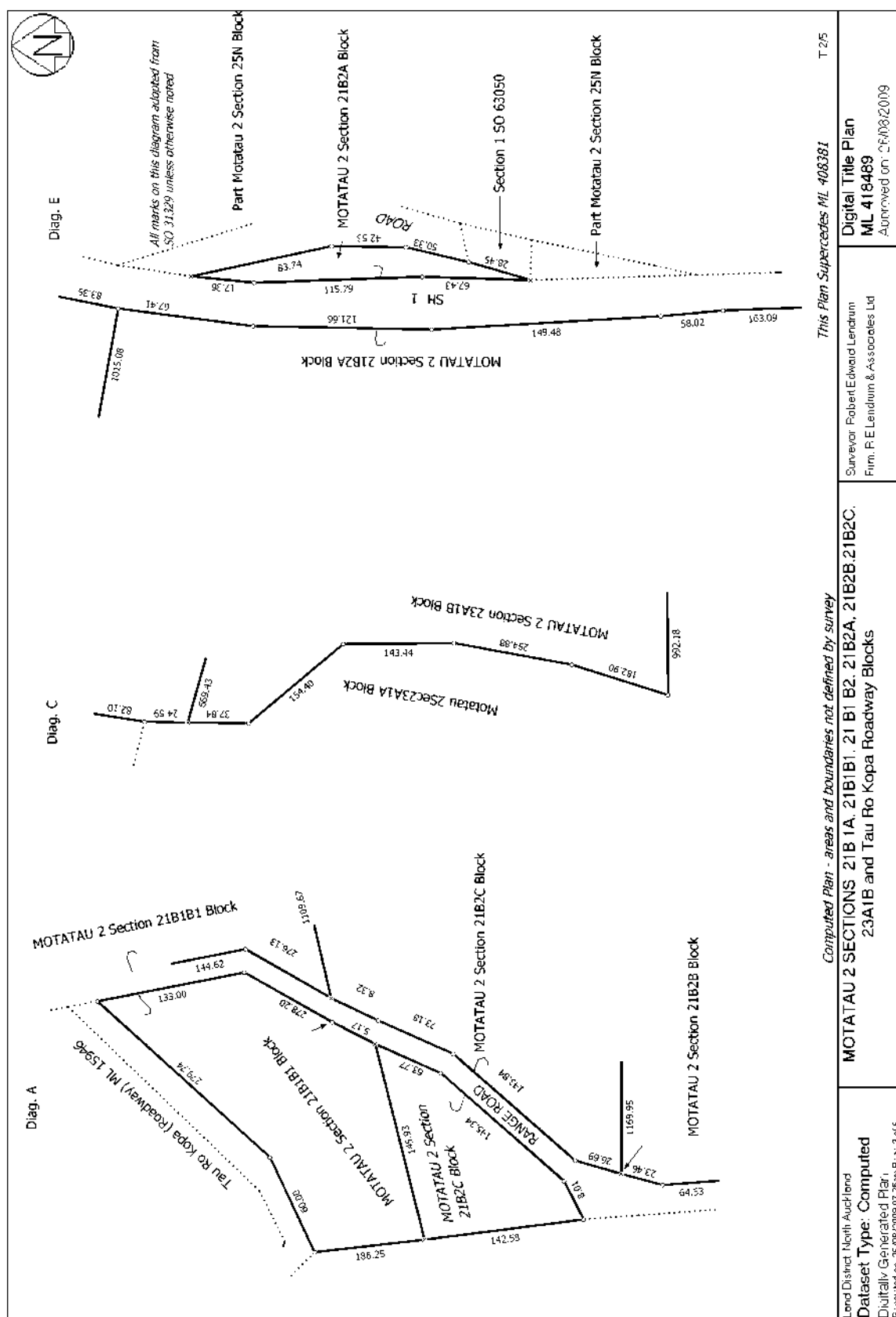
The proprietors listed above hold the shares out of a total of 1.0 shares.

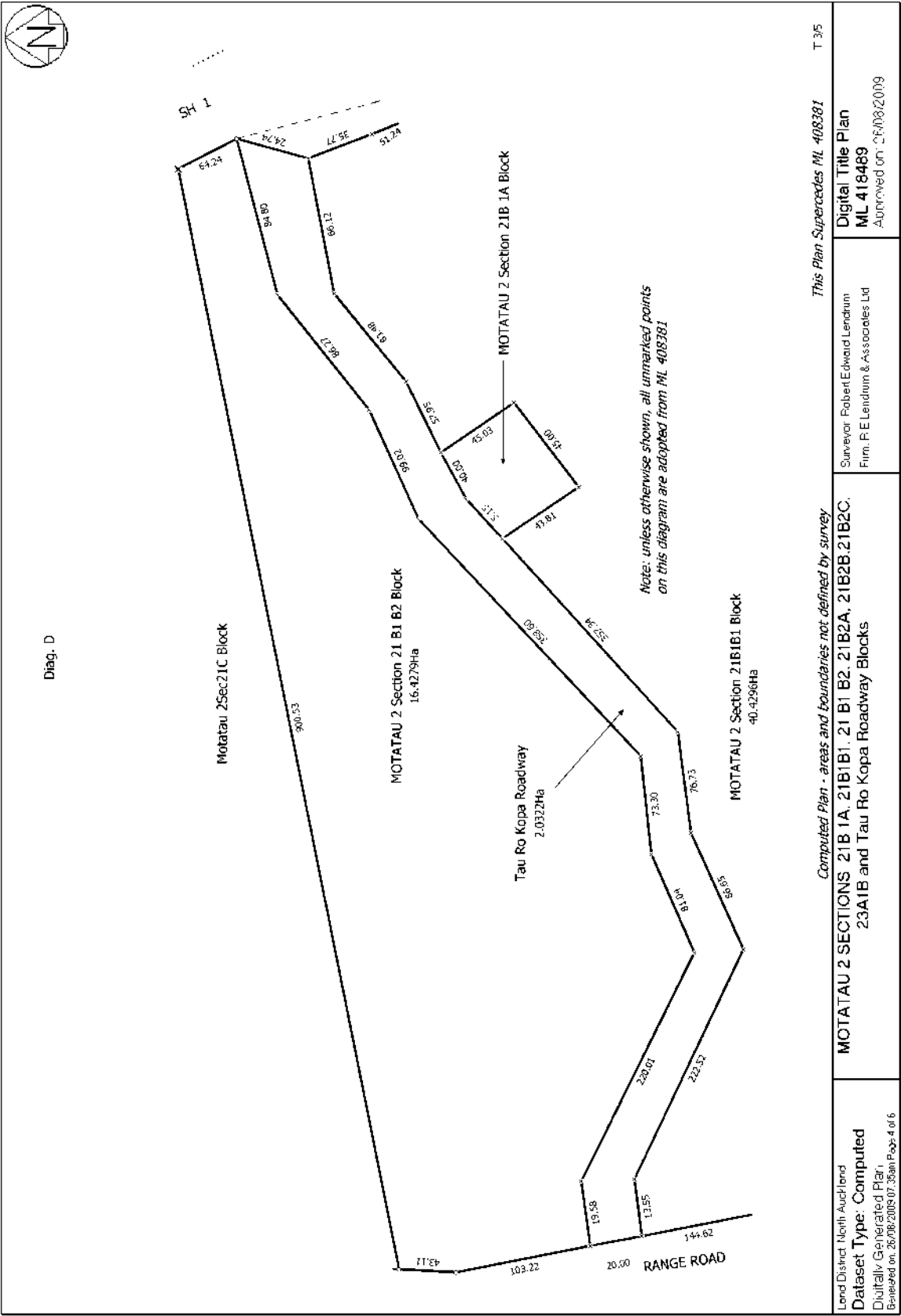
The within order has been embodied in the register pursuant to Section 124(1) Te Ture Whenua Maori Act 1993. It will not be finally constituted a folium of the register until a plan has been deposited pursuant to Section 167(5) Land Transfer Act 1952

8293824.3 Status Order determining the status of the within land to be Maori Freehold Land - 22.9.2009 at 9:00 am

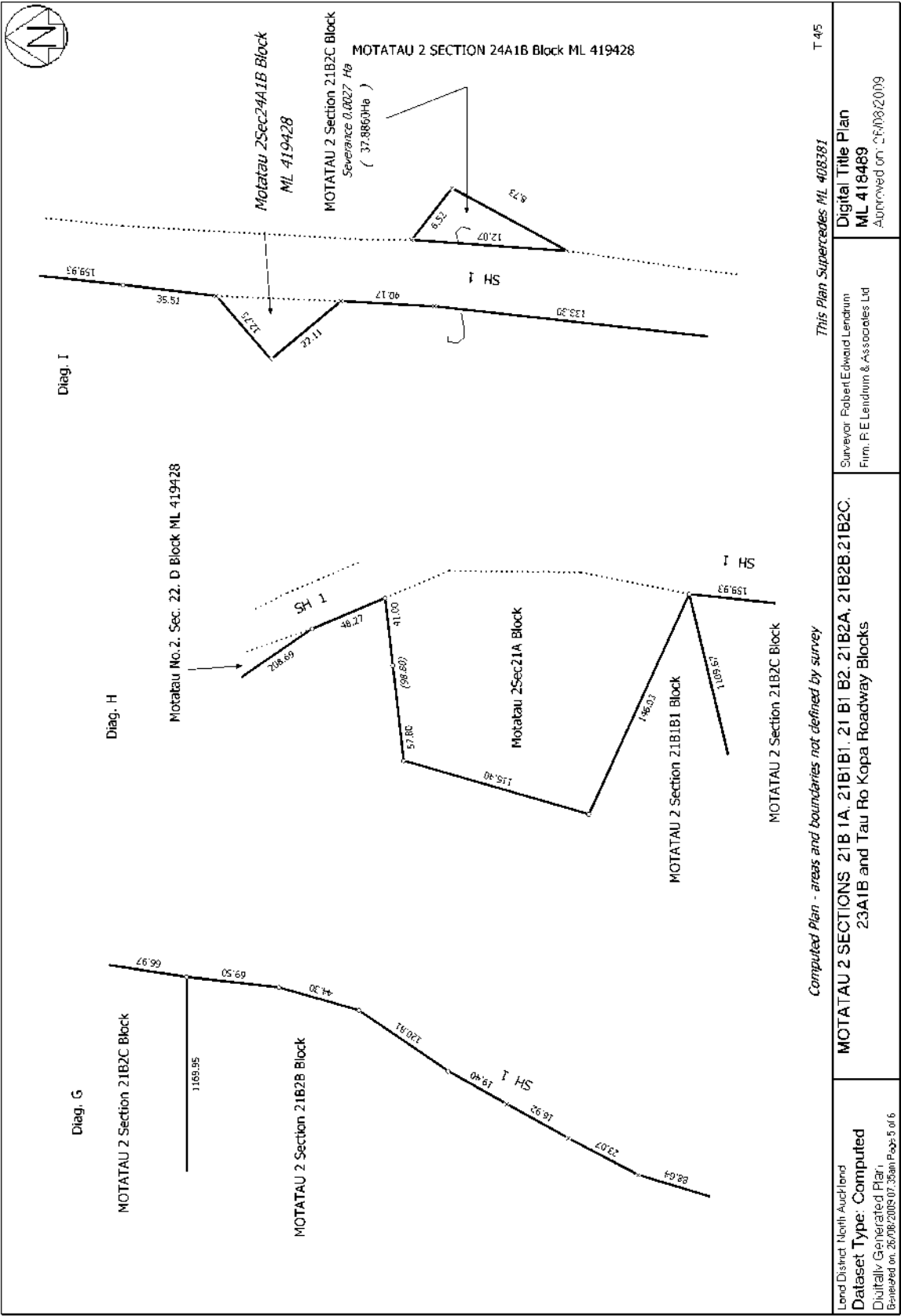
11686173.1 Compensation Certificate pursuant to Section 19 Public Works Act 1981 by Her Majesty the Queen -  
14.2.2020 at 2:15 pm

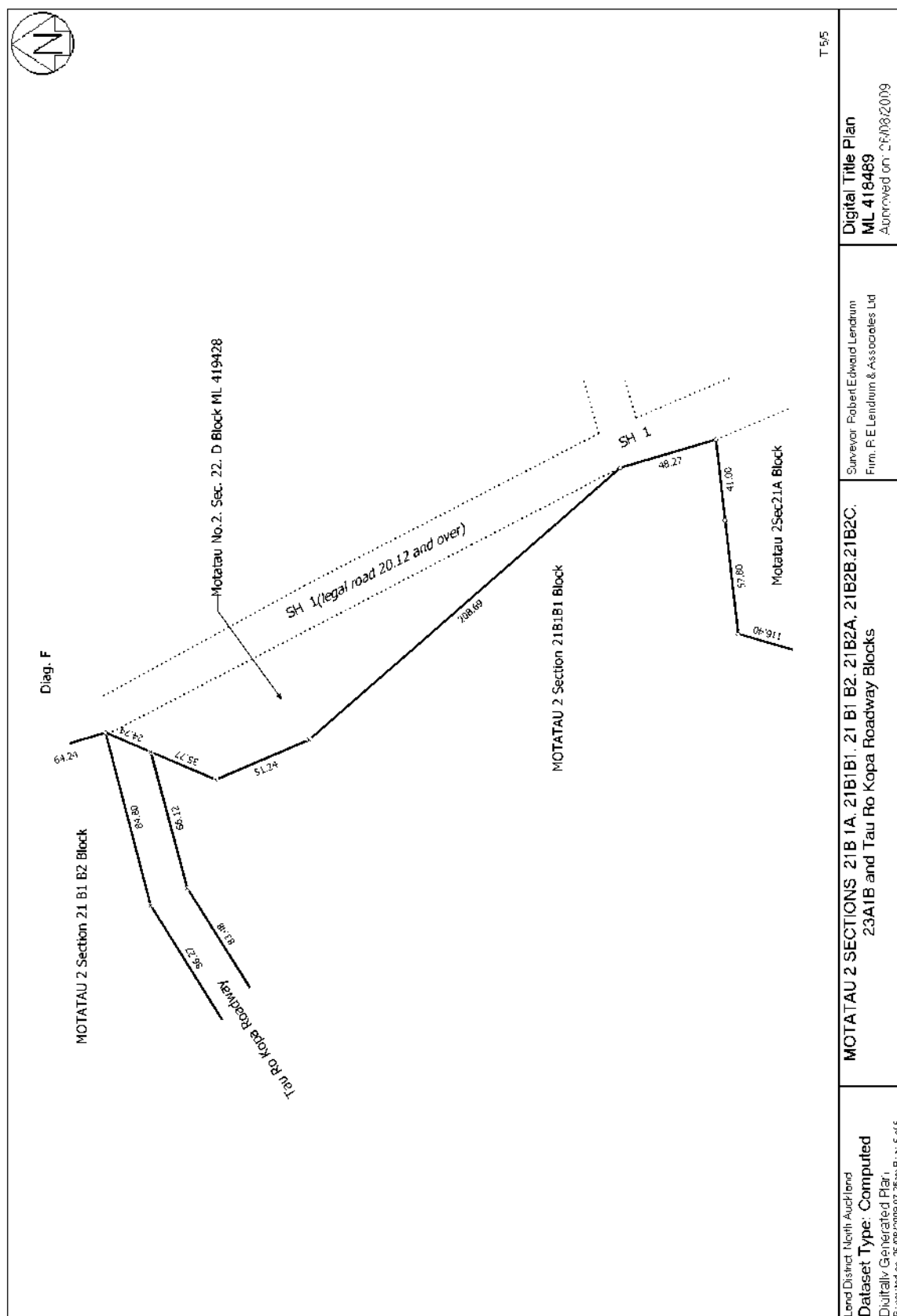














## Report on Maori Land details for the following Record(s) of Title



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**Record(s) of Title**

498993

Identified as potentially Maori Freehold Land

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**\*\*\* End of Report \*\*\***

## DECISION ON LAND USE CONSENT APPLICATION UNDER THE RESOURCE MANAGEMENT ACT 1991

### Decision

Pursuant to section 34(1) and sections 104, 104B and Part 2 of the Resource Management Act 1991 (the Act), the Far North District Council **grants** land use resource consent for a Discretionary activity, subject to the conditions listed below to:

**Council Reference:** 2220837-RMALUC  
**Applicant:** Nikki Cherrington-Riley  
**Property Address:** 5001 State Highway 1, Kawakawa 0281  
**Legal Description:** MOTATAU 2 SEC 21B2A BLOCK

#### The activities to which this decision relates are listed below:

To create four additional Papakainga dwellings breaching the Papakainga Housing and Private Accessway rules in the Rural Production zone.

### Conditions

Pursuant to sections 108 of the Act, this consent is granted subject to the following conditions:

1. The activity shall be carried out in general accordance with the approved plans prepared by Chester, referenced Proposed Papakainga Development, dated 16/02/2023, and attached to this consent with the Council's "Approved Stamp" affixed to them. These plans include the following:

- Stormwater Layout Plan – Private
- Wastewater Layout Plan - Private
- Common Access Way Plan

Including plans prepared by Advance Build, referenced Proposed New Home for 4999-5001 State Highway One, project 1185, dated 06/02/2022, and attached to this consent with the Council's "Approved Stamp" affixed to them. These plans include the following:

- Site Plan
- Floor Plan, as shown on the Site Plan as Sonny
- Elevations, as shown on the Site Plan as Sonny
- Floor Plan, as shown on the Site Plan as Vaughan
- Elevations, as shown on the Site Plan as Vaughan
- Floor Plan, as shown on the Site Plan as Margo
- Elevations, as shown on the Site Plan as Margo
- Floor Plan, as shown on the Site Plan as Nikki
- Elevations, as shown on the Site Plan as Nikki

2. Prior to occupation of the dwellings, the consent holder shall provide formed and metalled access on ROW CH90 – CH124 (as shown on drawing 800, prepared by Chester, and dated 16/02/2023) to 3m finished carriageway width with passing bays provided to comply with Rule 15.1.6.1.2 of the Far North District Plan. The formation shall include kerbing or a concreted dish channel to contain stormwater runoff as well as catch pits and culverts as required to control and direct the discharge of stormwater runoff.
3. Prior to occupation of the dwellings, the consent holder shall provide formed and metalled access on ROW CH0 – CH90 (as shown on drawing 800, prepared by Chester, and dated 16/02/2023) to 5m finished metalled carriageway width. The formation is to consist of a minimum of 200mm of compacted hard fill plus a GAP 30 or GAP 40 running course and is to include water table drains and culverts as required to direct and control stormwater runoff.
4. Prior to occupation of the dwellings, the consent holder shall provide formed and metalled access on ROW CH10 – CH74 (as shown on drawing 800, prepared by Chester, and dated 16/02/2023) to 3m finished metalled carriageway width. The formation is to consist of a minimum of 200mm of compacted hard fill plus a GAP 30 or GAP 40 running course and is to include water table drains and culverts as required to direct and control stormwater runoff.
5. Prior to occupation of the dwellings, the consent holder shall provide a formed and sealed turning circle (as shown on drawing 800, prepared by Chester, and dated 16/02/2023) according to NZS4404:2004, Figure 3.4 and FNDC Engineering Standards.
6. Prior to occupation of the dwellings, the consent holder shall ensure that the stormwater design for the internal accessway is constructed in accordance with the recommendations contained within the Site Suitability Report, referenced 14996, prepared by Chester and dated 25/05/22 and included with application documents of RC2220837.
7. Prior to occupation of the dwellings, the consent holder shall provide evidence that the requirements of New Zealand Transport Agency, as specified in their email correspondence referenced 2022-0812 - 4999-5001 State Highway 1, Waiomio, Kawakawa - Nikki Cherrington-Riley - Proposed additional 4 houses CRM:0214000244 and dated 02 February 2023 has been complied with to the satisfaction of Waka Kotahi NZ Transport Agency. When contacting NZTA to obtain such evidence, please ensure you quote the NZTA reference number CRM:0214000244 referred to above.
8. Prior to occupation of the dwellings, the consent holder shall ensure that the treatment and disposal system is constructed in general accordance with the recommendations contained within the Site Suitability Report referenced 14996, prepared by Chester and dated 16/02/2023 and included with application documents of RC2220837.
9. Prior to occupation of the dwellings, the consent holder shall install a commonly owned and maintained stormwater system including stormwater retention tanks, dispersal devices, and/or other such devices required to provide for the proper operation of the stormwater disposal system. The system shall be installed in general accordance with the recommendations contained within the Site Suitability Report referenced 14996, prepared by Chester and dated 16/02/2023 and included with application documents of RC2220837.

## Advice Notes

### Lapsing of Consent

1. Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses.
  - a) The consent is given effect to; or
  - b) An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.

### Right of Objection

2. If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.

### Archaeological Sites

3. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.

### General Advice Notes

4. Erosion and sediment control measures in accordance with Auckland Council GD05 requirements are to be implemented prior to any earthworks and construction activities commencing within the approved allotments to ensure compliance with rule EW-R13 – Erosion and Sediment Control of the Draft District Plan. Alternatively, you may obtain resource consent where compliance cannot be achieved.
5. The consent holder is advised that a Discharge Consent is required from the Regional Council as the volume of wastewater discharged per day exceeds 2m<sup>3</sup>.
6. The potential future dwelling as shown on the stamped plans, has not been assessed or approved within this resource consent.
7. The site is identified as being within a kiwi present zone. Any cats and/or dogs kept onsite should be kept inside and/or tied up at night to reduce the risk of predation of North Island brown kiwi by domestic cats and dogs.

## Reasons for the Decision

1. By way of an earlier report that is contained within the electronic file of this consent, it was determined that pursuant to sections 95A and 95B of the Act the proposed activity will not have, and is not likely to have, adverse effects on the environment that are more than minor, there are also no affected persons, and no special circumstances

exist. Therefore, under delegated authority, it was determined that the application be processed without notification.

2. The application is for a Discretionary activity resource consent as such under section 104 the Council can consider all relevant matters. In particular the matters listed in 8.6.5.2.2 – Papakainga Housing and 15.1.6C.1.1 – Private Accessways are of particular relevance.
3. In regard to section 104(1)(a) of the Act the actual and potential effects of the proposal will be acceptable.
4. In regard to section 104(1)(ab) of the Act there are no offsetting or environmental compensation measures proposed or agreed to by the applicant for the activity.
5. In regard to section 104(1)(b) of the Act the following statutory documents are considered to be relevant to the application:
  - a. Operative Far North District Plan 2009,
  - b. Proposed Far North District Plan 2022

#### *Operative Far North District Plan*

The activity is consistent with the relevant objectives, policies and assessment criteria of the Operative District Plan as follows:

##### Objectives:

8.6.3.2. The activity will allow for a range of residential development to support people and communities to provide accommodation.

##### Policies:

8.6.4.1. Enabling residential development on the site while still provide for open spaces and will allow for a range of activities on site.

#### *Proposed Far North District Plan*

##### Objectives:

MPZ-01, MPZ-02, MPZ-03. The activity will ensure future generations are provided for while enabling ongoing relationship with ancestral land.

##### Policies:

MPZ-P1, MPZ-P2, MPZ-P3, MPZ-P4. The activity will create additional Papakainga housing which is compatible with the surrounding environment, maintains character and amenity of the surrounding area and provides for the community wellbeing health and safety.

For this resource consent application, the relevant provisions of both an operative and any proposed plan must be considered. Weighting is relevant if different outcomes arise from assessments of objectives and policies under both the operative and proposed plans.

As assessed above the outcomes sought are different under the operative and proposed plan frameworks. Therefore, it is necessary to consider the weight to be given to each framework and which outcome should prevail.

The PDP has only been recently notified and as such there is potential for change as the plan goes through the statutory process. As such despite the different outcomes anticipated by the PDP little weight is given to these provisions.

6. In regard to section 104(1)(c) of the Act there are no other matters relevant to the application.
7. Based on the assessment above the activity will be consistent with Part 2 of the Act.  
  
The activity will avoid, remedy or mitigate any potential adverse effects on the environment while providing for the sustainable management of natural and physical resources and is therefore in keeping with the Purpose and Principles of the Act. There are no matters under section 6 that are relevant to the application. The proposal is an efficient use and development of the site that will maintain existing amenity values without compromising the quality of the environment. The activity is not considered to raise any issues in regard to Te Tiriti o Waitangi.
8. Overall, for the reasons above it is appropriate for consent to be granted subject to the imposed conditions.

## Approval

This resource consent has been prepared by Jo Graham, Resource Planner. I have reviewed this and the associated information (including the application and electronic file material) and for the reasons and subject to the conditions above, and under delegated authority, grant this resource consent.



**Pat Killalea**  
**Principal Planner**

Date: 1<sup>st</sup> March 2023



NZ Transport Agency Waka Kotahi Reference: Application-2025-0500

13 June 2025

Angela Vujcich  
4999-5001 State Highway 1,  
Waiomio

Sent via Email: [angela@advancebuild.co.nz](mailto:angela@advancebuild.co.nz)

Dear Angela,

**Proposed new dwelling – 4999-5001 State Highway 1, Waiomio**

Thank you for your request for written approval from NZ Transport Agency Waka Kotahi (NZTA) under section 95E of the Resource Management Act 1991. Your proposal has been considered as follows:

**Proposal**

Resource consent is sought for the following activities:

- Construction of two additional dwellings at 4999 – 5001 State Highway 1, Waitomo (Motatau 2 Section 21B2A Block).

**Assessment**

In assessing the proposed activity, NZTA notes the following:

- The site is a 35.84ha lifestyle block which contains five existing dwellings with four of these dwellings used as papakāinga housing.
- There are two existing accessways to the site via the State Highway:
  - Te Waerenga Dr (CP 91): Access to five dwellings, playground and sheds.
  - Farm gate (CP – 92): Access to the farm located south of the dwellings.
- The additional dwellings will be constructed for papakāinga housing.
- The landowner has plans to construct further dwellings on the site.
- The accessway to the site (crossing place 91) has been constructed to a Diagram D standard to meet Condition 1 in NZTA's s95 written approval issued for the construction of four additional dwellings on the site on 23 February 2023.
- An acoustic report was undertaken on the design of the new dwelling to comply with the 100m reserve sensitivity setback in condition 5a of the written approval issued on 23 February 2023.
- Papakāinga housing is a Controlled Activity under 8.6.5.2.2 of the Operative Far North District Plan.
- More than 30 one-way traffic movements when access is via a State Highway is a Restricted Discretionary Activity under 15.1.16A of the Operative Far North District Plan.

**Limited Access Road (LAR)**

Your client's site adjoins State Highway 01N which is identified as a limited access road. Per Section 91 of the Government Rounding Powers Act 1989, to access your client's site, your client requires a crossing place authorised by NZTA. In this instance crossing place 91 provides access to the proposed dwelling.

### **Conditions**

In discussion with NZTA, your client has agreed to include the following conditions as part of your client's resource consent application. The legal name of NZTA is the **New Zealand Transport Agency**; therefore our full legal name is referred to in the conditions and approval.

1. Compliance with the following reverse sensitivity provision should be demonstrated prior to occupation of new dwelling:
  - a) Any noise sensitive activities on the site that are located in or partly within 100m of the sealed edge of State Highway 1 carriageway must be designed, constructed and maintained to achieve an indoor design noise level of 40 dB LAeq (24hr) inside all habitable spaces.

### **Advice note**

Please be aware that this written approval applies to the two additional dwellings being constructed on the site as identified in the site plan Tirita Cherrington Whanau – Stage 1 (updated), revised 28 May 2025.

If the applicant/landowner intends to add further dwellings on the site, please re-engage with NZTA.

### **Determination**

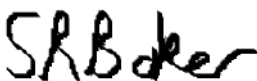
On the basis of the above assessment of the proposed activity, and the conditions volunteered by the applicant, the New Zealand Transport Agency provides written approval under section 95E of the Resource Management Act 1991.

### **Expiry of this approval**

Unless resource consent has been obtained this approval will expire two years from the date of this approval letter. This approval will lapse at that date unless prior agreement has been obtained from The New Zealand Transport Agency.

If you have any queries regarding the above or wish to discuss matters further, please feel free to contact the Environmental Planning team at [environmentalplanning@nzta.govt.nz](mailto:environmentalplanning@nzta.govt.nz).

Yours sincerely,



Shaun Baker

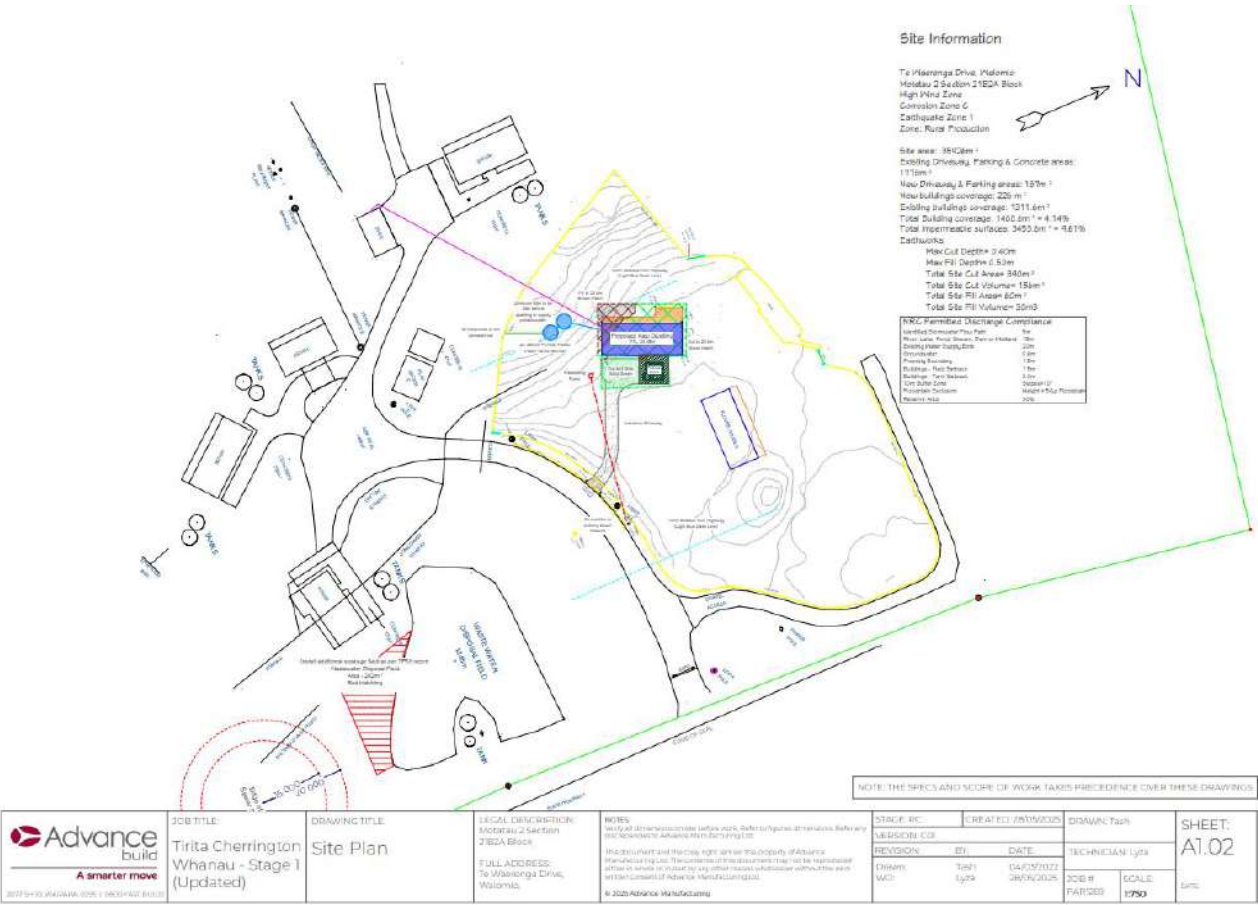
Planner

Poutiaki Taiao / Environmental Planning, System Design, on behalf of NZ Transport Agency Waka Kotahi.

Enclosed:

- Attachment 1: Proposed Site Plan

Attachment 1: Proposed Site Plan



## Project Starter Pack

### Authorisation for Council

As the legal owner/s or representative/s of property at: 4999 State Highway 1, RD 1, Waiohio

I give authority for the builder (Advance Manufacturing Ltd) or nominated delegates to apply for a PIM Report, Resource Consent, Building Consents on my behalf and to undertake site visits on my property.

Date: ..... Project Consultant: .....

- ① (Trustee) Owner/ Representative Name: Charlotte Cherrington Signature: .....
- ② (Trustee) Owner/ Representative Name: Margo Christie Signature: M. Christie
- ③ (Trustee) Owner/ Representative Name: Sonny Cherrington Signature: S. Cherrington
- ④ (Trustee) Owner/ Representative Name: Karen Cherrington Signature: .....
- ⑤ (Trustee) Owner/ Representative Name: Kurt Raharaha Signature: .....
- ⑥ (Trustee) Owner/ Representative Name: Bailey-Cere Metcalfe-Cherrington Signature: .....
- ⑦ Trustee Jessie Cherrington - A. Wright (pp)
- ⑧ Trustee Nikki Cherrington-Riley - @Riley



## Site Suitability Report

4999-5001 State Highway 1, Waiomio, Far North District, Northland

**Prepared For:**

Nikki Cherrington-Riley

**Chester Job Number:**

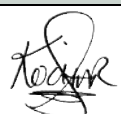

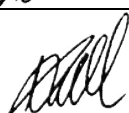
14996

**Date:**

16 February 2023

## Revision History

Revision No.	Prepared By	Description	Date
0	K. Abdullah	Original	05 May 2022
1	K. Abdullah	WWTS amendment	25 May 2022
2	K. Abdullah	EW, SW, Access and WWTS amendment	16 February 2023

Action	Name	Signed	Date
Prepared by	K. Abdullah		16 February 2023
Reviewed by	N. Jull		16 February 2023
Approved by	N. Jull		16 February 2023



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## 1 Introduction

Chester Consultants Ltd (Chester) has been engaged by client Nikki Cherrington-Riley to provide a Site Suitability Report with respect to the four proposed residential dwellings on their Papakāinga at 4999-5001 State Highway 1, Waiomio, Northland.

This report has been prepared solely for the benefit of this specific project, and the Far North District Council (FNDC). Chester accepts no liability for inaccuracies in third party information used as part of this report. The reliance by other parties on the information or opinions contained in the report shall, without our prior review and agreement in writing, be at such parties' sole risk.

This report is based on development data obtained from the FNDC and Northland Regional Council (NRC) maps current to the site at the time of this document's production. Should alterations be made which impact upon the development not otherwise authorised by this report then the design / comments / recommendations contained within this report may no longer be valid.

In the event of the above, the property owner should immediately notify Chester to enable the impact to be assessed and, if required, the design and or recommendations shall be amended accordingly and as necessary.

## 2 Site Description

The development site is legally described as Motatau 2 Section 21B2A and is located approximately 5km south of the Kawakawa township at 4999-5001 State Highway 1, Waiomio. The subject site is zoned Rural Production. The total site area is 35.8 ha.

The development site comprises approximately 9.74ha of native bush with the remaining area consisting of pastureland, driveway, residential buildings, farm sheds and stream. The development site is predominately flat with a slight slope downhill towards the Waiomio stream running through the southern extent of the proposed development site. The site can be accessed off State Highway 1 via an existing vehicle crossing located within the north-eastern corner of the site.

Figure 2-1 to 2-9 on the following pages are pictures of the site and surrounding features.



Figure 2-1: Existing vehicle crossing to proposed development site (Taken 22/03/22)





*Figure 2-2: Existing private accessway to proposed development site (Taken 22/03/22)*



*Figure 2-3: End of existing private accessway to proposed development site (Taken 22/03/2022).*







*Figure 2-4: Existing stock watering trough on development site (Taken 31/03/2022)*



*Figure 2-5: Proposed building B platform Settler 2 South facing (Taken 31/03/2022)*







*Figure 2-6: Proposed building D platform Weekender South facing (Taken 31/03/22).*



*Figure 2-7: Proposed building C platform Mission 5 South facing (Taken 31/03/22).*







*Figure 2-8: Proposed building A platform Settler 2 South facing (Taken 31/03/22).*



*Figure 2-9: Existing stream flowing south of proposed development site (Taken 31/03/22).*

### 3 Proposal

Four new dwellings with associated access and servicing are proposed as shown in Figure 3-1 below and in Appendix E. We note that the infrastructure has been designed to accommodate two future potential dwellings in addition to that proposed. This report is intended to support a Resource Consent application for the proposed land use consent and the following items are discussed:

- Natural Hazards – Flooding
- Natural Hazards – Land Hazards
- Earthworks and Erosion & Sediment Control
- Access
- Water supply
- Fire Fighting Water Supplies
- Stormwater
- Wastewater Disposal

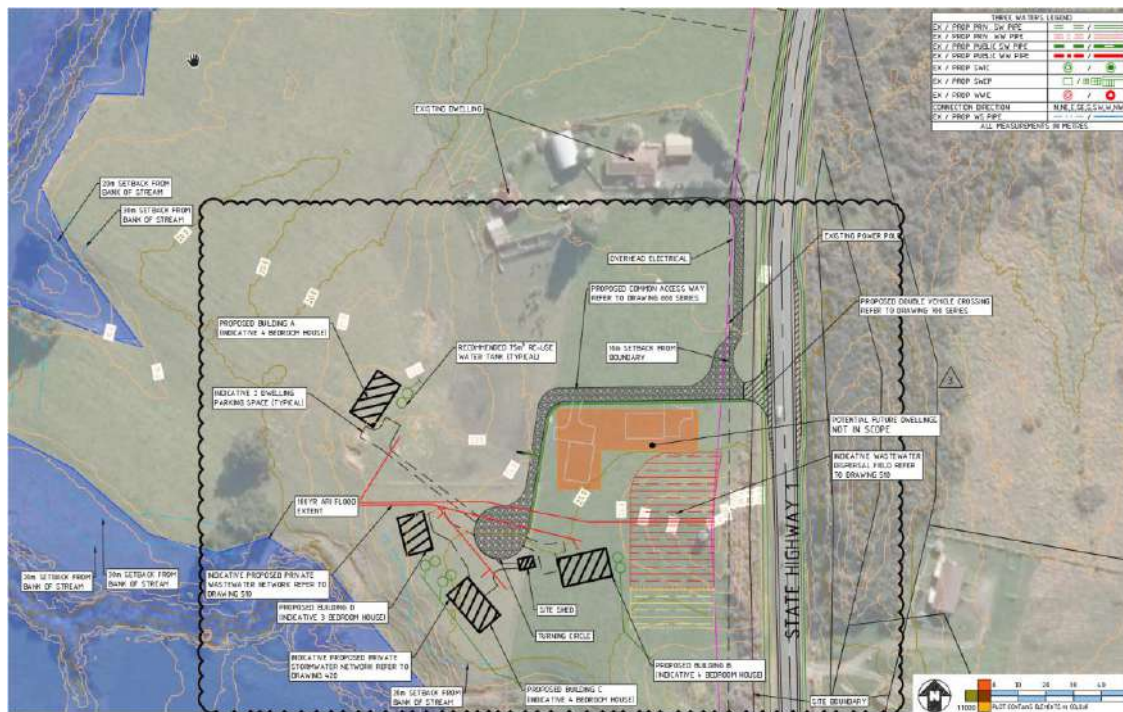


Figure 3-1: Proposed indicative site plan (Chester Consultants Limited)





## 4 Natural Hazards - Flooding

This section of the land development report is to assess the flooding hazard associated with the site and set relevant development controls. To assess the flooding risk, we have reviewed the available council flood data and visited the site. The following sets out our assessment.

### 4.1 Council Data – Natural Hazards Mapping & Flood Mapping

As per Figure 4-1 the NRC Natural Hazards Priority Rivers Flood mapping for 10-year, 50 year and 100 year events indicate that there is flooding on the site but does not affect the proposed development area i.e. the flood extent is confined to the Waiomio Stream and its natural flood plain

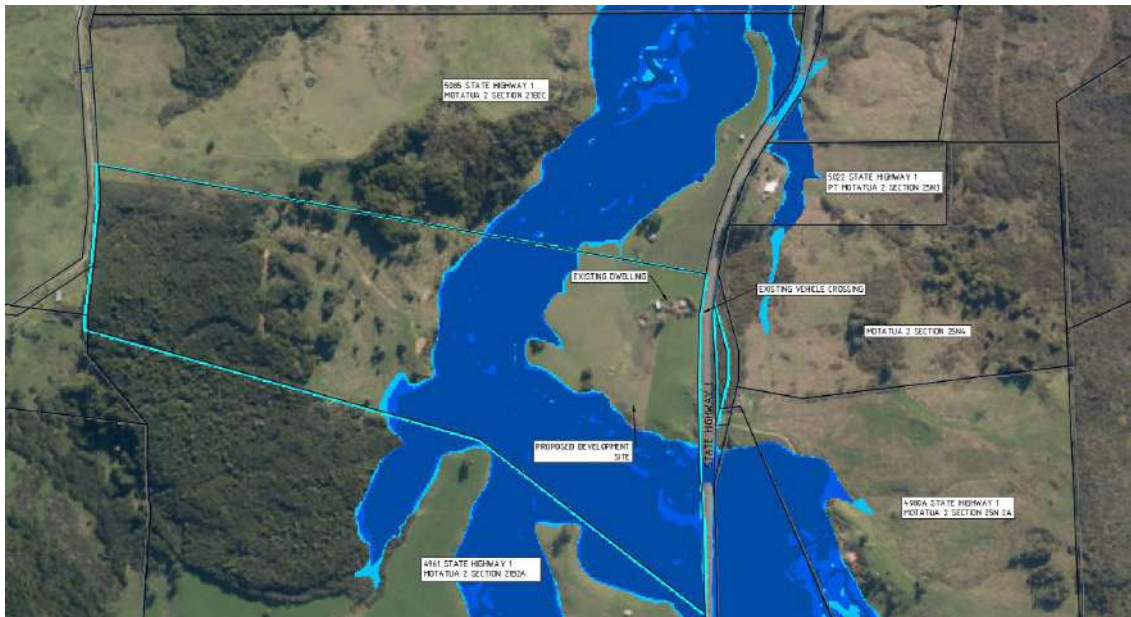


Figure 4-1: NRC Council Flood Data (FNDC Maps accessed 22/03/2022)

### 4.2 Flood Risk Discussion

The following is noted with respect to flooding on the site:

- The NRC modelling shows that proposed site is safe from river or coastal inundation flooding.
- From our site walk over we can confirm that the site topography and surrounding catchment is consistent with what is shown on the council flooding maps.
- From our site walk over we observed no localised depressions or channels which would be of concern for a proposed dwelling with respect to flooding in the general building areas on the lots.
- Given the above we conclude that NRC priority rivers flood data is fair representation of the flooding risk on the site. This modelling allows for the effects of climate change.

### 4.3 Development Controls

Given the nature of the flooding within the development site, we recommend the following building controls which have been incorporated into the proposal:

- All proposed dwellings and associated accessways are to be located clear of the 100-year ARI Flood Extent.
- At a minimum, all proposed dwellings are to maintain a 1m (minimum) freeboard above the 100-year ARI Flood Extent perpendicular to the direction of flow at the upstream boundary of the dwelling.



We note that where the dwellings are proposed is clear of the flood extent and elevated more or equal to 3m above the flood level. Therefore, in the locations that the dwellings are proposed, the minimum requirements set out in clause E1 of the New Zealand Building Code will be suitable to manage the sites wider flood risk.

## 5 Natural Hazards – Land Hazards

As per the NRC natural hazard the site is not within any Land Hazard overlays. From the site inspection with respect to the proposed building areas we did not observe obvious signs of land instability including:

- any steep slopes,
- any leaning or curved trees/posts/structures
- any toe erosion or changes in ground moisture.
- Note that at the time of the site inspection there was an extended period without rain.

From our observations on site there were no obvious signs of land instability near the proposed building areas.

We recommend that consent be granted with a consent condition requiring a geotechnical investigation to be supplied specific to the proposed dwelling locations at the building consent stage.

We note that Chester has not completed any geotechnical investigation or analysis at the subject site. Consequently, the comments above are based upon our general site observations and interpretation of the council data presented.

## 6 Earthworks, Erosion & Sediment Control

Minor works including earthworks are required to upgrade the private accessway and create building platforms. The proposed works will be well within the permitted activity requirements as per the FNDCC District Plan section 12.3.6.1.1 and the Proposed Regional Plan for Northland C.8.3.1.

### 6.1 Proposed Site Earthworks Assessment

Table 6-1 below outlines the estimated earthworks volumes.

Table 6-1: Estimated Earthwork Volumes

Work Description	Estimated Earthwork Volume
Strip topsoil and prepare sub-grades for building platforms and on-grade access at an average depth of 300mm	670m <sup>3</sup>
Install drainage at an average depth of 600mm.	175m <sup>3</sup>
Install WWTS	125m <sup>3</sup>
Complete Road Widening	85m <sup>3</sup>
Total	1055m <sup>3</sup>





## 6.2 Planning Assessment

This section of the report sets out our assessment of the proposed activity against the relevant planning rules.

### 6.2.1 Far North District Council Operative Plan

We believe that the proposal is a permitted activity under Far North District Council Operative Plan. Table 6-2 below sets out the relevant rule under Section 3, Chapter 12:

Table 6-2: FNDC Operative Plan – Permitted Activity Assessment

Rule	Assessment/Comment
<p><b>12.3.6.1.1 Land use Activities Involving Excavation and/or filling, excluding mining and quarrying, in the Rural Production Zone or Kauri Cliffs Zone.</b></p> <p><i>Excavation and/or filling, excluding mining and quarrying, on any site in the Rural Production Zone or Kauri Cliffs Zone is permitted, provided that:</i></p> <ul style="list-style-type: none"> <li>a. <i>It does not exceed 5,000m<sup>3</sup> in any 12-month period per site; and</i></li> <li>b. <i>It does not involve a continuous cut or filled face exceeding an average of 1.5m in height over the length of the face i.e., the maximum permitted average cut and fill height may be 3m.</i></li> </ul>	<p>The proposed earthworks volume for the site is approximately 1055m<sup>3</sup> which is less than 5000m<sup>3</sup></p>

### 6.2.2 Proposed Regional Plan for Northland

Table 6-3 sets out our assessment against section C.8.3.1 Earthworks – permitted activity of the Proposed Regional Plan for Northland Appeals Version, March 2022. Rule C.8.3.1: The area and volume of earthworks at a particular location or associated with a project complies with the thresholds in Table 15: Permitted activity earthworks thresholds.

Table 6-3: Proposed Regional Plan for Northland Appeals Version – Permitted Activity Assessment

Location	Earthworks Thresholds	Assessment/ Comment
<i>Within 10m of a natural wetland, the bed of a continually or intermittently flowing river or lake</i>	<i>200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.</i>	No earthworks are proposed within 10m of a natural wetland.
<i>Catchment of an outstanding lake</i>	<i>2500 square metres of exposed earth at any time.</i>	The development site is not within catchment of an outstanding lake
<i>Erosion-prone Land</i>	<i>2500 square metres of exposed earth at any time.</i>	The development site is not within any land hazard overlays



<i>High-risk flood hazard area</i>	<i>50 cubic metres of moved or placed earth in any 12-month period.</i>	Not applicable.
<i>Coastal riparian and foredune management area</i>	<i>Excluding for coastal dune restoration, 200 square metres of exposed earth at any time.</i>	The development site is not in a coastal riparian and foredune management area.
<i>Flood hazard area</i>	<i>100 cubic metres of moved or placed earth in any 12-month period.</i>	No earthworks are proposed within flood hazard area.
<i>Other areas</i>	<i>5000 square metres of exposed earth at any time.</i>	The proposed earthworks area for the site is less than 5000m <sup>2</sup> .

## 6.3 Erosion and Sediment Control (ESC)

Erosion and sediment control (ESC) measures can be implemented to reduce the amount of sediment generated, prior to the commencement of vegetation clearance and earthworks. Specific management and implementation of erosion and sediment control may be used including:

- Undertaking earthworks and construction during the drier summer months to minimise likelihood of heavy rainfall and extended periods of rainfall.
- Minimising duration and amount of exposed earth.
- Installation of sediment control bunds to divert clean water around the exposed earth site.
- Installation of silt fences/super silt fences in accordance with section F1.3/F1.4 of GD05.
- Installation of silt socks in accordance with section F1.5 of GD05.

Therefore, we can conclude that the minor earthworks required to complete the development enabling works are a permitted activity under the FNDC District Plan. Sediment control bunds and/or silt fences and/or silt socks are to be implemented prior to physical earthworks being undertaken. Minor works are required to install riprap and gabion basket erosion protection at the pipe outlet within the flood extent. This work is proposed within the existing profile of the stream bank, therefore will have no effect on streams flood conveyance.

## 7 Access

### 7.1 Traffic Generation

As per appendix 3A of the Far North District Plan houses on Papakāinga generate five daily one-way traffic movements; therefore, 30 one-way traffic movements are considered as being generated by the proposal including the two existing houses.

### 7.2 Access Upgrade to the State Highway

The site has an existing vehicle crossing in accordance with the Waka Kotahi diagram C Standard. Based on the expected volume of traffic using the accessway and state highway, (see figure 7-1 below) in this location, a diagram C accessway could be appropriate. However, from our site observations and sightline assessment it was concluded that the existing vehicle crossing does not meet the required sight distance specified of Waka Kotahi Diagram A. To mitigate this, we propose to remove the existing vehicle crossing and construct a new vehicle crossing to be in accordance with Waka Kotahi Diagram D further south of the existing vehicle crossing. Minor clearance of vegetation



will be required to achieve complying sightlines looking North. The proposed vehicle crossing will provide access to the proposed dwelling and existing dwelling and farm shed. For further details, please refer to Chester Drawing 700 series attached in the appendix.

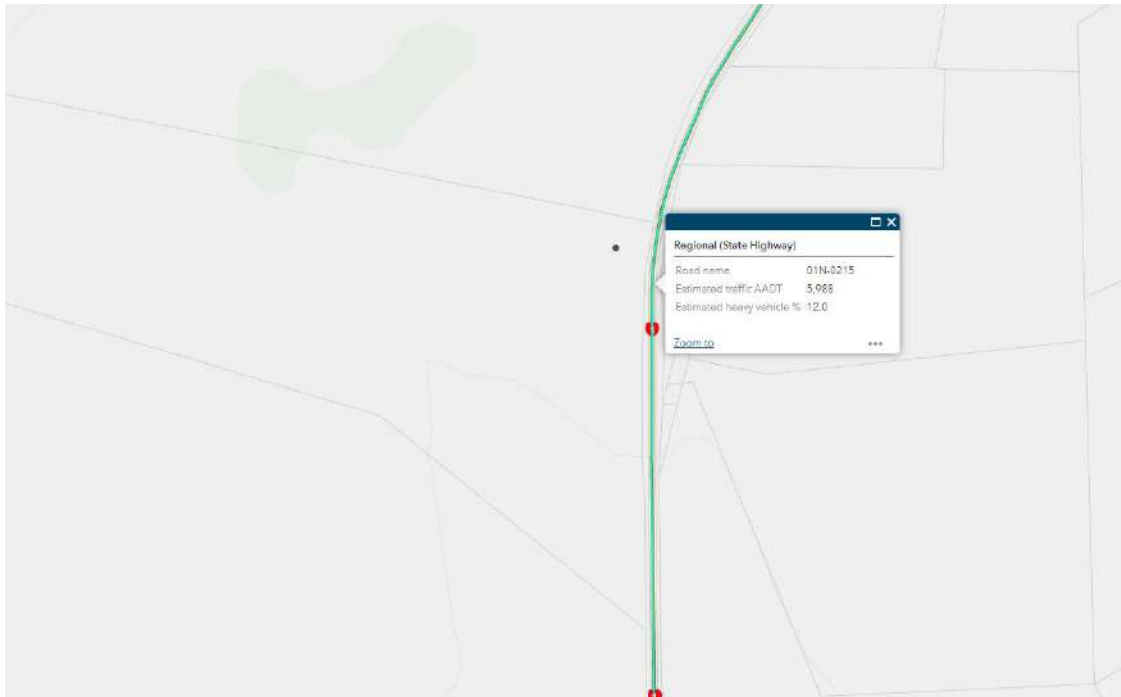


Figure 7-1: One Network Road Classification Estimated traffic AADT for State Highway 1 at development site (ONRC; accessed April 2022)



Figure 7-2: Existing vehicle crossing to be removed (Taken: 22/03/22)





Figure 7-3: Sightline looking North from proposed vehicle crossing (Taken: 22/03/22)



Figure 7-4: Sightline looking South from proposed vehicle crossing (Taken: 22/03/22)

## 7.3 Private Accessway

It is proposed to construct two new shared accessway, one to provide access to proposed dwelling and one to provide access to existing dwelling and homestead (in accordance with FNDC District Plan 15.1.6C ACCESS and APPENDIX 3B-1: STANDARDS FOR PRIVATE ACCESS). These standards specify a 3m wide formed width with passing bays when serving 3-4 houses and a 5m wide formed when serving 5 or more. Therefore, the first 90m serving the four new houses and potential future dwellings is to be 5m wide to provide passing, with the remainder 3m wide. Additionally, provision for emergency vehicle turning is proposed at the end. For further details, refer to Chester Drawing 800 series.

### APPENDIX 3B-1: STANDARDS FOR PRIVATE ACCESS

(Reference: *Part 3 District Wide Provisions, Section 15.1 Traffic, Parking and Access and Zone Maps*)

Zone	No. of H.E.s	Legal Width	Carriageway Width	Maximum Gradient		Kerb	Foot-path	Storm-water Drain <sup>1</sup>
				Unsealed	Sealed			
Rural Production Rural Living Waimate North	1	-	3.0	1:5	1:4	-	-	Yes
Horticultural Processing Carrington Estate	2	5	3.0	1:5	1:4	-	-	Yes
General Coastal Coastal Living	3 – 4	7.5	3.0 with passing bays	1:5	1:4	-	-	Yes
South Kerikeri Inlet Recreational Activities	5 – 8	7.5	5.0	1:5	1:4	-	-	Yes

<sup>1</sup> All private access must have stormwater drainage measures such that adverse effects are not created on adjoining properties or the public road, in accordance with Council's "Engineering Standards and Guidelines" (June 2004 – Revised 2009)

**Note 1:** H.E. = Household Equivalent represented by 10 vehicle movements

**Note 2:** Refer to **Rules 15.1.6B.1.1(c) and (d)**.

**Note 3:** Access for more than 8 Household Equivalents shall be by public road and constructed to a standard identified in **Appendix 3B-2**.

**Note 4:** Access carriageways in urban zones that serve two or more users shall be sealed or concreted, refer **Rule 15.1.6B.1.2(c)**.

Figure 7-5 FNDC APPENDIX 3B-1: STANDARDS FOR PRIVATE ACCESS

## 8 Water Supply

There is no public reticulated water supply available to the site.

### 8.1 Potable Water Supply

On-site rainwater tanks are proposed for potable water supply which is typical in the surrounding rural area including the subject site. The existing dwelling already has an on-site rainwater tank which will be maintained. At the time of the building consent application for the new dwellings on development site, rainwater tanks are to be designed and installed in accordance with the New Zealand Building Code. The following table extracted from the Auckland Region Countryside Living



Toolbox is a recommendation for potable water supply volumes. We have shown the recommended tank volumes per house on the accompanying drawings.

Table C12 Minimum Tank Size for RDC Homes Having Tanks as Sole Water Source					
Usable Roof Area (m <sup>2</sup> )	Bedrooms				
	1	2	3	4	5
100	20	50			
120	15	35	75		
140	10	30	60		
160		20	50		
180			45	75	
200			35	65	
220			30	55	90
240			30	50	80
260				45	70
280				40	65
300				35	60

Figure 8-1: Recommended tank sizing based on based on available roof area and bedrooms.

## 8.2 Firefighting Water Supplies

Given that the site is zoned for rural production and that there is no reticulated water supply network available to the site there is no requirement in the Far North District Council Engineering Standards to provide firefighting water supply at land use consent stage. Nevertheless, we provide the following points for consideration with respect to firefighting water supplies:

1. The existing dwellings are legally established.
2. There is an existing permanent stream flowing within 90m of the proposed accessway for the proposed development. In our opinion it is possible that the stream could be used as firefighting water supply for the development site.
3. Alternatively dedicated firefighting water supply tanks can be used as per NZS4509 if necessary.
4. An open space of 20m from indigenous vegetation (bush) to the proposed dwellings is required in accordance with section 12.1.6.1.2 of the FNDC District Plan. This is achieved in the proposal.

## 9 Stormwater

It is proposed to service the proposed dwellings with re-use water tanks, to collect the water from roof runoff and be used for potable water supply. Overflow from the tanks is to be piped away from the building platform and discharged down slope of the proposed building using an above ground level spreader or other disposal method with suitable erosion protection. Grass swales are proposed along the proposed common accessway to capture upstream catchment and discharge to the surrounding land via rip rap structure. Please see the 400 series drawings in the accompanying drawing set for details of the proposed erosion protection riprap.

### 9.1 Stormwater attenuation

There is a minor increase in the impermeable surfaces as part of the proposed development. However, as the impermeable coverage for the development is less than 15% of the total site no stormwater mitigation is required. Total site area = 35.8ha, 15% of the site area allows for 5.37ha of impervious surface coverage. Total impervious surface coverage post-development is 0.2386ha which is less than the 15% of the site area allows. Please refer to table 9-1 below.





Table 9-1: Post Development Impervious surface coverages

Control	Dwelling A	Dwelling B	Dwelling C	Dwelling D	Total
Roof Area	180m <sup>2</sup>	180m <sup>2</sup>	186m <sup>2</sup>	135m <sup>2</sup>	681m <sup>2</sup>
Parking spaces	170m <sup>2</sup>	95m <sup>2</sup>	143m <sup>2</sup>	142m <sup>2</sup>	550m <sup>2</sup>
Private Access Way	1155m <sup>2</sup>				1155m <sup>2</sup>
Total Impervious Area					<b>2386m<sup>2</sup></b> <b>=0.2386Ha</b>

## 10 Wastewater

The proposed site does not have a connection into the public wastewater network. As such, on-site wastewater treatment and disposal is proposed. We have completed a subsoil investigation to determine the soil category as well as develop an indicative design for an on-site dispersal field in accordance with ASNZS1547:2012 and the Proposed Regional Plan for Northland. The following sections summarises our assessment and indicative design.

### 10.1 Site Assessment

We have completed a desk top study of the site where we have reviewed the information available on Far North District Council GIS, Northland Regional Council GIS (including Natural Hazards maps), GNS Science Soil Maps and NIWA New Zealand River Maps, as well as undertaken a site inspection and walkover on the 22 March 2022 and again on the 31 March 2022.

### 10.2 Subsoil Investigation

An assessment of the soil characteristics has been completed within the indicative proposed dispersal areas by digging auger holes with a hand auger to the depth of 1.2m. Table 10-1 below shows the soil category selected for design. Figure 10-1 and Figure 10-2 on the following page show the general soil profile. For further details please refer to Appendix C.

Table 10-1: Selected ASNZS1547:2012 Soil Category

Selected Soil Category	Soil Description
5	Silty Clay





Figure 10-1: Soil Profile Auger hole (Taken 31/03/2022)



Figure 10-2: Soil Profile (Taken 31/03/2022)



Figure 10-3: Soil Classification Auger hole (Taken 31/03/2022)

### 10.2.1 Groundwater

No ground water was encountered within the 1.2m hand auger hole depth. We note that the augers were completed in summer but after a period of prolonged heavy rainfall. Also, given the permanent water level of the Waiomio Stream is well below the ground level (i.e., >3m), it is unlikely that the seasonal ground water level would be within 1m of the ground surface at the proposed dispersal field location.

## 10.3 Wastewater System

### 10.3.1 Treatment System

A Oxyfix FIXEUC90 Secondary Treatment System is proposed for wastewater treatment. Based on the supplier's technical information, the system's expected treatment for typical domestic wastewater with daily flow volume of up to 5700 L/d. The treatment system complies with the AS/NZS 1547:2012 effluent quality requirements.

### 10.3.2 Land Disposal System

Table 10-2 below is an indicative on-site wastewater disposal design for the proposed dwellings (3 x 4-bedroom dwellings and 3 x 3-bedroom dwellings including the potential future dwellings) using the





soil category selected. The indicative design is assuming households with standard water reduction fixtures and on-site roof water tank supply.

Table 10-2: indicative effluent dispersal field sizing

Number of bedrooms	21
Design occupancy	30
Water supply	On-site roof tank water supply
Typical design flow (standard water reduction fixtures)	145/L/person/day
Total design discharge rate	4350L/day
Soil category	5
Dispersal field slope	<10%
Treatment	Secondary Treatment
Disposal method	Subsurface pressure compensated drip irrigation (PCDI)
Design irrigation rate (DIR)	3mm/day
Primary Dispersal field	1450m <sup>2</sup>
Reserve area (30%)	435m <sup>2</sup>
Total area	1885m <sup>2</sup>

## 10.4 Planning Assessment

This section of the report sets out our assessment of the proposed activity against the relevant planning rules.

### 10.4.1 Far North District Council Operative Plan

We believe that the proposal is a permitted activity under the Far North District Council Operative Plan. Table 10-3 below sets out the relevant rule under Section 7, Chapter 12:

Table 10-3: FNDC Operative Plan – Permitted Activity Assessment

Rule 12.7.6.1.4:	Assessment/Comment
<p><i>Land use activities which produce human sewage effluent (including grey water) are permitted provided that:</i></p> <ul style="list-style-type: none"> <li>a. <i>the effluent discharges to a lawfully established reticulated sewerage system; or</i></li> <li>b. <i>the effluent is treated and disposed of on-site such that each site has its own treatment and disposal system no part of which shall be located closer than 30m from the boundary of any river, lake, wetland or the boundary of the coastal marine area.</i></li> </ul>	<p>The proposed treatment and disposal system has no part closer than 30 m from the bank of any river, lake, wetland, or the boundary of the coastal marine area.</p>



## 10.4.2 Proposed Regional Plan for Northland

Table 10-4 sets out our assessment against section C.6.1.3 Other on-site treated domestic wastewater discharge – permitted activity of the Proposed Regional Plan for Northland Appeals Version, March 2022.

Table 10-4: Proposed Regional Plan for Northland Appeals Version – Permitted Activity Assessment

Rule C.6.1.3:	Assessment/Comment
1. <i>the on-site system is designed and constructed in accordance with the Australian/New Zealand Standard. On-site Domestic Wastewater Management (AS/NZS 1547:2012), and</i>	The design has been completed in accordance with AS/NZS 1547:2012.
2. <i>the volume of wastewater discharged does not exceed two cubic metres per day, and</i>	The maximum daily design flow volume is 4.35 cubic metres per day which is more than 2 cubic metres. <b>(Not Compliant)</b>
3. <i>the discharge is not via a spray irrigation system or deep soakage system, and</i>	The discharge is <b>not</b> via a spray irrigation system or deep soakage system
4. <i>the slope of the disposal area is not greater than 25 degrees, and</i>	The max slope is <10% or <5.71 degrees.
5. <i>for wastewater that has received secondary or tertiary treatment, it is discharged via</i>  a. <i>a trench or bed system in soil categories 3 to 5 that is designed in accordance with Appendix L of Australian/New Zealand Standard On-Site Domestic Wastewater Management (AS/NZS 1547:2012); or</i>  b. <i>an irrigation line system that is dose loaded and covered by a minimum of 50 millimetres of topsoil, mulch, or bark, and</i>	The wastewater receives secondary treatment and is disposed of into category 5 equivalent soils by a drip irrigation.  The irrigation line system will be dose loaded and covered by a minimum of 50mm of topsoil.
6. <i>for the discharge of wastewater onto the surface of slopes greater than 10 degrees:</i>  a. <i>the wastewater, excluding greywater, has received at least secondary treatment, and</i>  b. <i>the irrigation lines are firmly attached to the disposal area, and</i>  c. <i>where there is an up-slope catchment that generates stormwater runoff, a diversion system is installed and maintained to divert surface water runoff from the up-slope catchment away from the disposal area, and</i>  d. <i>a minimum 10 metre buffer area down-slope of the lowest irrigation line is included as part of the disposal area, and</i>	The proposed PCDI line system is <b>sub-</b> surface and onto slope shallower than 10 degrees, so this does not apply.



<p>e. the disposal area is located within existing established vegetation that has at least 80 percent canopy cover, or</p> <p>f. the irrigation lines are covered by a minimum of 100 millimetres of topsoil, mulch, or bark, and</p>	
<p>7. the disposal area and reserve disposal area are situated outside the relevant exclusion areas and setbacks in Table 9: Exclusion areas and setback distances for on-site domestic wastewater systems, and</p>	<p>The proposal complies with all exclusion areas and setback distances set out in Table 9.</p>
<p>8. for septic tank treatment systems, a filter that retains solids greater than 3.5 millimetres in size is fitted on the outlet, and</p>	<p>The proposed system has a filter that meets this requirement.</p>
<p>9. the following reserve disposal areas are available at all times:</p> <p>a. 100 percent of the existing effluent disposal area where the wastewater has received primary treatment or is only comprised of greywater, or</p> <p>b. 30 percent of the existing effluent disposal area where the wastewater has received secondary treatment or tertiary treatment, and</p>	<p>The wastewater receives secondary treatment system, and a 30% reserve area is proposed.</p>
<p>10. the on-site system is maintained so that it operates effectively at all times and maintenance is undertaken in accordance with the manufacturer's specifications, and</p>	<p>A maintenance agreement between the applicant and supplier (or other suitably qualified contractor) is to be entered in to.</p>
<p>11. the discharge does not contaminate any groundwater water supply or surface water, and</p>	<p>Noted</p>
<p>12. there is no surface runoff or ponding of wastewater, and</p>	<p>Noted</p>
<p>13. there is no offensive or objectionable odour beyond the property boundary.</p>	<p>Noted</p>



## 11 Conclusion

In our opinion the site is suitable for the proposed development, subject to Far North District Council approval with regards to the matters addressed in this report and summarised below. The development can be undertaken in general accordance with the engineering standards that in our opinion would have no actual/potential adverse effect on the environment or persons.

### 11.1 Natural Hazards - Flooding

The proposed dwellings and access are clear of any flooding risk.

### 11.2 Natural Hazards – Land Hazards

There are no obvious signs of land instability, and we believe that proposed site can accommodate the residential dwellings subject to further geotechnical investigation and foundation design at building consent stage.

### 11.3 Earthworks, Erosion & Sediment Control

Minor earthworks are required to complete the development but will be within the permitted activity criteria under the FNDC District Plan. Sediment control measures (bunds, silt fences and or silt socks) are to be implemented prior to physical earthworks being undertaken.

### 11.4 Access

Access compliant with the FNDC requirements is proposed and a new vehicle crossing is proposed in accordance with Waka Kotahi Diagram D on State Highway 1. The existing vehicle crossing is to be removed.

### 11.5 Water Supply

The proposed houses will utilise rainwater tanks for potable water supply. The permanent stream flowing within 90m of the proposed dwellings can be used for firefighting water supply. A rainwater tank could be situated on site for exclusive fire use, if necessary, this will be confirmed at building consent stage.

### 11.6 Stormwater

Water from roof runoff will be collected be used for potable water supply. Overflow from the tanks is to be piped away from the building platform and discharged down slope of the proposed building using an above ground level spreader or other disposal method with suitable erosion protection.

#### 11.6.1 Stormwater Attenuation

The total site impervious surface coverage post-development is 0.2386 ha which is less than 15% of the site area (35.8ha). This is within the permitted activity threshold therefore no attenuation is required.

### 11.7 Wastewater

The site is suitable for the proposed dwellings to be serviced by a combined on-site wastewater treatment and disposal system designed in accordance with AS/NZS 1547:2012. The design flow volume is greater than 2m<sup>3</sup>/day therefore a regional discharge consent is required. Otherwise, the proposed activity meets all the relevant performance criteria set out in Proposed Regional Plan for Northland.



## 12 Limitations

- This assessment contains the professional opinion of Chester as to the matters set out herein, in light of the information available to it during the preparation, using its professional judgement and acting in accordance with the standard of care and skill normally exercised by professional engineers providing similar services in similar circumstances. No other express or implied warranty is made as to the professional advice contained in this report.
- We have prepared this report in accordance with the brief as provided and our terms of engagement. The information contained in this report has been prepared by Chester at the request from the client Incorporated and is exclusively for its client use and reliance. It is not possible to make a proper assessment of this assessment without a clear understanding of the terms of engagement under which it has been prepared, including the scope of the instructions and directions given to and the assumptions made by Chester. The assessment will not address issues which would need to be considered for another party if that party's particular circumstances, requirements and experience were known and, further, may make assumptions about matters of which a third party is not aware. No responsibility or liability to any third party is accepted for any loss or damage whatsoever arising out of the use of or reliance on this assessment by any third party.
- The assessment is also based on information that has been provided to Chester from other sources or by other parties. The assessment has been prepared strictly on the basis that the information that has been provided is accurate, completed, and adequate. To the extent that any information is inaccurate, incomplete or inadequate, Chester takes no responsibility and disclaims all liability whatsoever for any loss or damage that results from any conclusions based on information that has been provided to Chester.



## 13 Appendix



## Appendix A

### Chester Civil Design Drawings



## Appendix B

### Hynds Oxyfix FIXEUC90 Secondary Treatment System Specification







## Product : Sewage treatment plant

Type : Oxyfix® FIXEUC90  
Model : 5.7 m³/day - C-90 CB 38 PE (3) Tri 3x400V+N  
Process : Submerged Aerated Fixed Film (SAFF) Technology

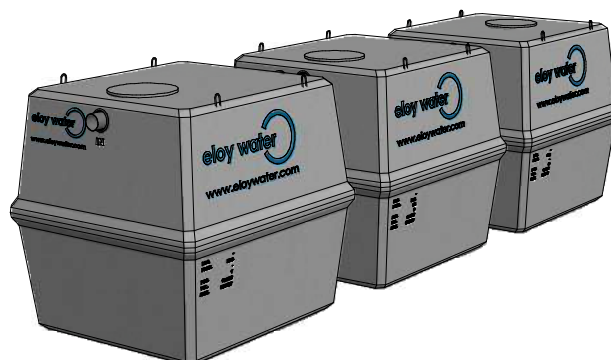
### PERFORMANCE

#### Assumed Influent Values

Application :	Wastewater Treatment*
Pollutant load BOD <sub>5</sub> :	400 mg/L
Pollutant load TSS :	600 mg/L
Pollutant load Ntot :	80 mg/L
Pollutant load Ptot :	13 mg/L

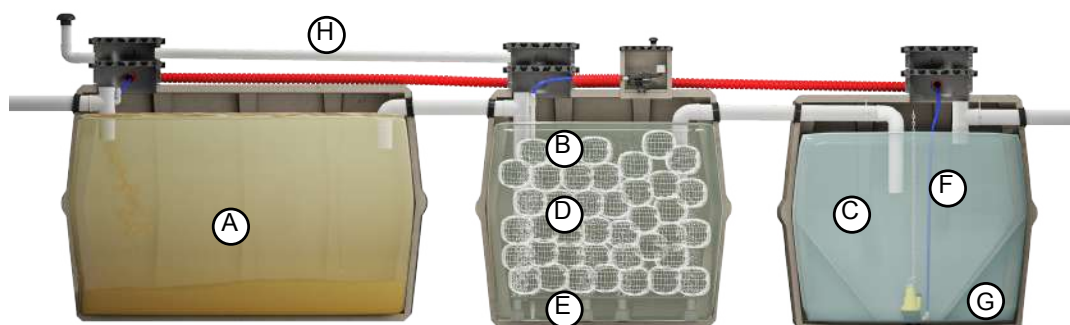
#### Purification performance

BOD <sub>5</sub> :	20 mg/L
TSS :	30 mg/L



\* We recommend placing a grease trap for treating waste water generated by a restaurant, kitchens used for commercial purposes, etc.

### FEATURES



### ELECTROMECHANICAL COMPONENTS

#### Blower

Quantity :	1 pc(s)
Type :	side channel air blower
Installed power :	0.81 kW
Power consumption :	0.68 kW
SPL (Sound Performance Lab) :	68 dB(A)
On / Off :	30/30 min.
Voltage :	3x400V

#### Air Diffusers

Quantity :	8 pc(s)
Type :	fine bubbles

#### Sludge recirculation

Type :	submerged pump
Installed power :	0.85 kW
Power consumption :	0.85 kW
On / Off :	5/55 min.


#### Control panel

Type :	inside
--------	--------

#### Legend

A	Primary settling compartment
B	Biological reactor
C	Secondary settling compartment
D	Bacterial support
E	Diffusers
F	Sludge recirculation
G	Settling cone

### APPROVALS AND CERTIFICATES

 : 2014/04/139/A  
: EN 12566-3 CPD 89/106/CEE

## DIMENSIONS | VOLUMES | WEIGHTS

Measure	Unit	Tank 1	Tank 2	Tank 3
Total height* :	(cm)	240	240	240
Entry height* :	(cm)	213	213	213
Exit height* :	(cm)	209	209	209
Length :	(cm)	260	260	260
Width :	(cm)	238	238	238
Total volume :	(m <sup>3</sup> )	10.00	10.00	10.00
Useful volume :	(m <sup>3</sup> )	9.19	9.19	9.19
Weight :	(T)	5.75	6.12	5.82
Weight (w/o shipping cover):	(T)	-	-	-
Manhole(s) :	(cm)	1 x Ø60	1 x Ø60	1 x Ø60
Ø In / Out :	(mm)	160/160	160/160	160/160

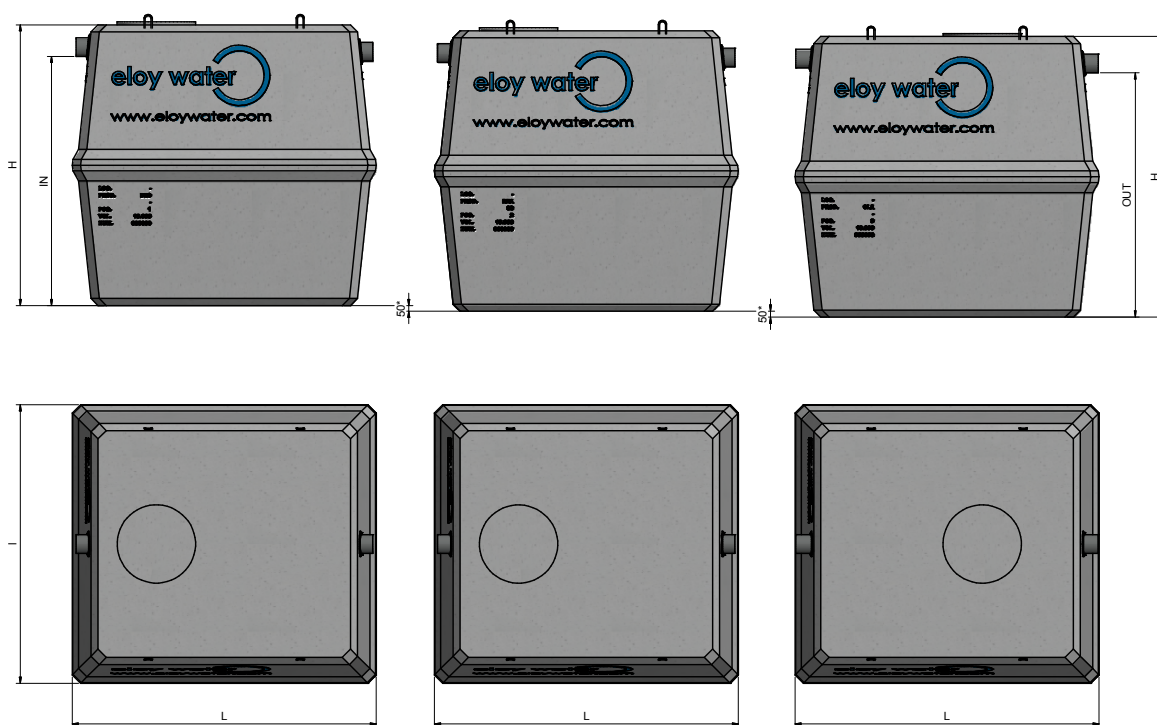
\* tolerance ± 2 cm



## Material

Tank(s):	High performance steel reinforced concrete
Biocarrier:	Recycled PP
Air feed pipes:	PVC PN16

## TANK DIMENSIONS



## OPERATION

## Useful volumes/surfaces

Primary settling compartment:	9.19	m <sup>3</sup>
Biological reactor:	9.19	m <sup>3</sup>
Clarifier:	4.41	m <sup>2</sup>

## Operation

Sampling chamber:	integrated
Theoretical desludging frequency:	every 17 months
Approximate energy consumption:	3,598.60 kW
Maintenance frequency :	annually (recommended)
Admissible load :	80 cm of fill + pedestrian load

## Consumables

Blower filter:	annually
Blower membranes:	-
Air diffusers:	every 8 years

## OPTIONS

Wall support for blower	
PE/concrete tank cover riser	3 pcs
PE/steel tank cover	3 pcs

## GUARANTEES

Electromechanical kit :	2 years
Tanks :	10 years
Resistance :	B125

## Appendix C

### ASNZS1547:2012 Soil Classification



Client: Nikki Criley..... Job: 14996..... Excavation Number: AH 1..... Logged by: AP.....  
 Address: 4999-5001 State Highway 1, Waiomio..... Surface level: R L  
 Date of inspection: 31.03.2022.....  
 Slope: < 5 % Land form element: Generally Flat... Surface conditions: Dry... Indicative drainage: None...  
 Surface stones: None... Ground cover: Pasture land... Watertable depth: >1.1m...  
 Land surface notes: ..... Parent material: .....

Layer	Lower depth (mm)	Horizon	Moisture conditions (see Note 2)	Colour (moist)	Field texture	Coarse fragments % volume	Structure (see Note 3)	Modified Emersion	Sample taken (Y/N)	Consistency (see Note 4)	Soil category	Other assessment
1	400	Surface	Moist	-	-	-	-	-	-	-	-	-
2	1100	Sub-soil	Moist	Yellow Brown Clay	Smooth	NA	Strong Pedal	None	Y	Firm	5	Silty Clay
3												

NOTES:  
 1 Use another form if >5 layers on major horizons.  
 2 Dry, moist, very moist, saturated.  
 3 Apedal (no peds) Either single grain or massive.  
 Pedal (observable peds) Weak, moderate or strong.  
 4 Strength – loose, very weak, weak, firm, very firm, strong, very strong, rigid.  
 Stickiness (when wet) – non, slightly, moderately, very.

Notes/comments/observations: 1. Soil test was conducted during the Autumn season.  
 2. The day of the test was sunny  
 3. Water table was not encountered in the 1.1m depth of the auger hole

Organisational details/Logo:

**CHESTER**

Overall soil category assigned: Silty Clay - Soil Category 5 Maximum depth of system: 1100 mm  
 Soil appears favourable for (list system types): ..... Checked by: .....

FIGURE B1 SITE-AND-SOIL EVALUATION FORM: EXCAVATION LOG – EXAMPLE

## Appendix D

### List of Water Tolerant Plants Suitable for On-site Wastewater Systems (Tp58)



## Auckland Regional Council Technical Sheet G-1

### LIST OF WATER TOLERANT PLANTS SUITABLE FOR ON-SITE WASTEWATER DISPOSAL SYSTEMS

#### GENERAL MATTERS TO CONSIDER WHEN PLANTING A LAND DISPOSAL AREA:

Plants that are suitable for planting in moist conditions, such as those associated with wastewater land disposal fields need to be selected on the basis of both their tolerance for such moist conditions and for their potential for high level of growth/high transpiration of moisture in such conditions.

Standard lawn grass is a proven effective high transpiration plant species in such conditions, as are a large number of other plant species seen in typical domestic gardens.

Consideration needs to be given to effects of roots from plants and from trees in particular on wastewater distribution pipe networks/emitter lines in land application systems. Potential for root intrusion/disruption to the pipe system must be considered prior to selection and planting of a plant or tree species.

Advice on such matters for particular plant species can be obtained from garden centre specialists and landscaping consultants.

#### NATIVE PLANTS SUITABLE FOR MOIST CONDITIONS IN THE AUCKLAND REGION:

The following list covers native plant species are considered to be suitable for planting in moist conditions, such as those associated with wastewater disposal fields in Auckland situations. They are all tolerant or fond of moist conditions and all are native to the Auckland region. Much of this information has been adapted from one of the ARC Botanic Gardens advisory leaflets; "14 – New Zealand plants for wet places" and the list edited and reviewed by Dr. Rhys Gardner Consulting Botanist, Auckland War Memorial Museum (August 2004).

##### Grasses, ground covers, and other plants

###### ***Astelia grandis* (swamp astelia)**

Large clump forming plant with bright green, flax-like foliage. Female plants produce upright panicles of orange berries in the centre of the plant. This endemic species will not tolerate eutrophic conditions and prefers peat soils.

###### ***Blechnum novaezealandiae* (kiokio)**

Large, robust fern growing to 1 or even 2m, Hardy species that tolerates most conditions, but does best in well drained, shady areas.

###### ***Carex***

There are many members of this genus which grow naturally in damp to wet areas. They all have quite fine drooping foliage and are vigorous in moist conditions. Most prefer very light shade. The following species have been identified for their suitability:

###### ***Carex dissita***

Endemic species with dull green to reddish tufts often 0.5m tall (although this can vary).

Tolerates a range of swampy habitats, but is also noted to grow on drier soils under forest cover.

###### ***Carex flagellifera***

Endemic species with dense spreading reddish-brown tufts to 0.5m tall. Prefers damp soil and full sun, but is noted to thrive in a variety of habitats including boggy pasture.

###### ***Carex geminata***

Robust and vigorous endemic species that grows to 1.5m tall. Thrives in a range of wet habitats. Suitable for a larger area.

###### ***Carex lessoniana***

Robust and vigorous endemic species that grows to 1.5m tall. Similar to *C.geminata* in that the species is spreading and suitable for a larger wet area.

###### ***Carex secta* (purei, makura)**

Endemic species that exhibits tall spreading tussocks. Has been noted to grow to 3m tall, widespread in swampy areas. Useful in the creation of bird habitat.

***Carex virgata***

Endemic species that forms dense, light green tussocks up to 1m tall. Thrives in a variety of habitats including swamps, drain margins, seepages and wet pastures. Useful in the creation of bird habitat.

***Cortaderia fulvida* (toetoe)**

Branching from the base and forming a clump to 4m high. Long strap-shaped leaves with red-orange coloured veins, flower heads cream yellow. New shoots exhibit pale waxy cover on lower parts (unlike pampas grass) Prefers good drainage and semi-shade. Will struggle to compete if dried out in summer.

***Cyperus ustulatus* (toetoe upoko-tangata, giant umbrella sedge)**

Vigorous leafy sedge growing to 1m in open damp places. Tolerates immersion in standing water within a range of habitats from seepages to wetlands.

***Dicksonia squarrosa* (wheki, tree fern)**

Tree fern up to 7m tall that exhibits tolerance of wet open ground, and floods. Found to shelter and accumulate with other native plants. The base of the fern attracts biodiversity. Useful application to streambank and seepage habitats.

***Elatostema rugosum* (parataniwha)**

Herbaceous plant up to 0.5m tall that spreads by rhizomes. Bronze coloured foliage with serrated edge. Grows on moist sites in light to heavy shade. Intolerant of dry habitats.

***Hypolepis dicksonioides***

Large fern that prefers fertile moist, but well-drained ground, grows vigorously and spores into planted areas with abundance. Does however, die back during winter.

***Phormium tenax* (harakeke, flax)**

Fast growing clump-forming flax with large stiff leaves, to 3m. Full exposure and sun. Moist to wet conditions. Does not have deep or wide roots. Easily propagated from split fans or grown from seed. Attracts birds, especially Tui.

**Trees and shrubs**

Consideration needs to be given to the effects of roots land application on wastewater distribution pipe networks. This problem can be more significant for large tree species.

***Carpodetus serratus* (putaputaweta, marbleleaf)**

Lowland forest tree up to 7m tall. Large bunches of cream coloured flowers appear in spring followed by black berries.

***Coprosma areolata***

Species that grows to 4m tall. Low tolerance to drought, with medium to high fertility.

***Coprosma robusta* (karamu, shining karamu)**

Shrubs or small trees growing to 3m+, with glossy green leaves. Masses of orange-red fruit in autumn are attractive to birds. Hardy plant.

***Coprosma tenuicaulis* (swamp coprosma)**

Endemic species that grows to 3m tall. Leaves pale green with slender branches. Will tolerate a range of swampy to boggy habitats including standing water.

***Cordyline australis* (ti kouka, cabbage tree)**

Palm-like in appearance with large heads of linear leaves and panicles of scented flowers. Sun to semi-shade. Prefers damp to moist soil. Grows eventually to 12m+ height.

***Dacrycarpus dacrydioides* (kahikatea, white pine)**

Tree that grows to 40m. Moderately growing species, which prefers wetland and boggy environments. Application of this species must consider the possible impact of its root systems on the wastewater disposal field.

***Geniostoma rupestre* (hangehange)**

Common forest shrub with pale green glossy foliage, growing to 2-3m. Tiny flowers give off strong scent in spring. Looks best in sunny position where it retains a bushy habit, and prefers well-drained soil.

***Hebe stricta* (koromiko)**

Shrub or small tree growing to 2-5m in height. Natural forms have white to bluish flowers. Plant in full sun. Tolerates exposure. (NB Many cultivars and hybrids are available commercially, but these are all unsuitable for use near existing natural vegetation.)

***Laurelia novae-zelandiae* (pukatea)**

Large upright tree (to 30m) with attractive bright green foliage and distinctive whitish bark. Fast growing and able to handle a wide variety of soils. It will tolerate periodic flooding, breathing roots develop in water logged soils. Can be grown from seed. Tolerant of some sun and frost. Not tolerant of wind.

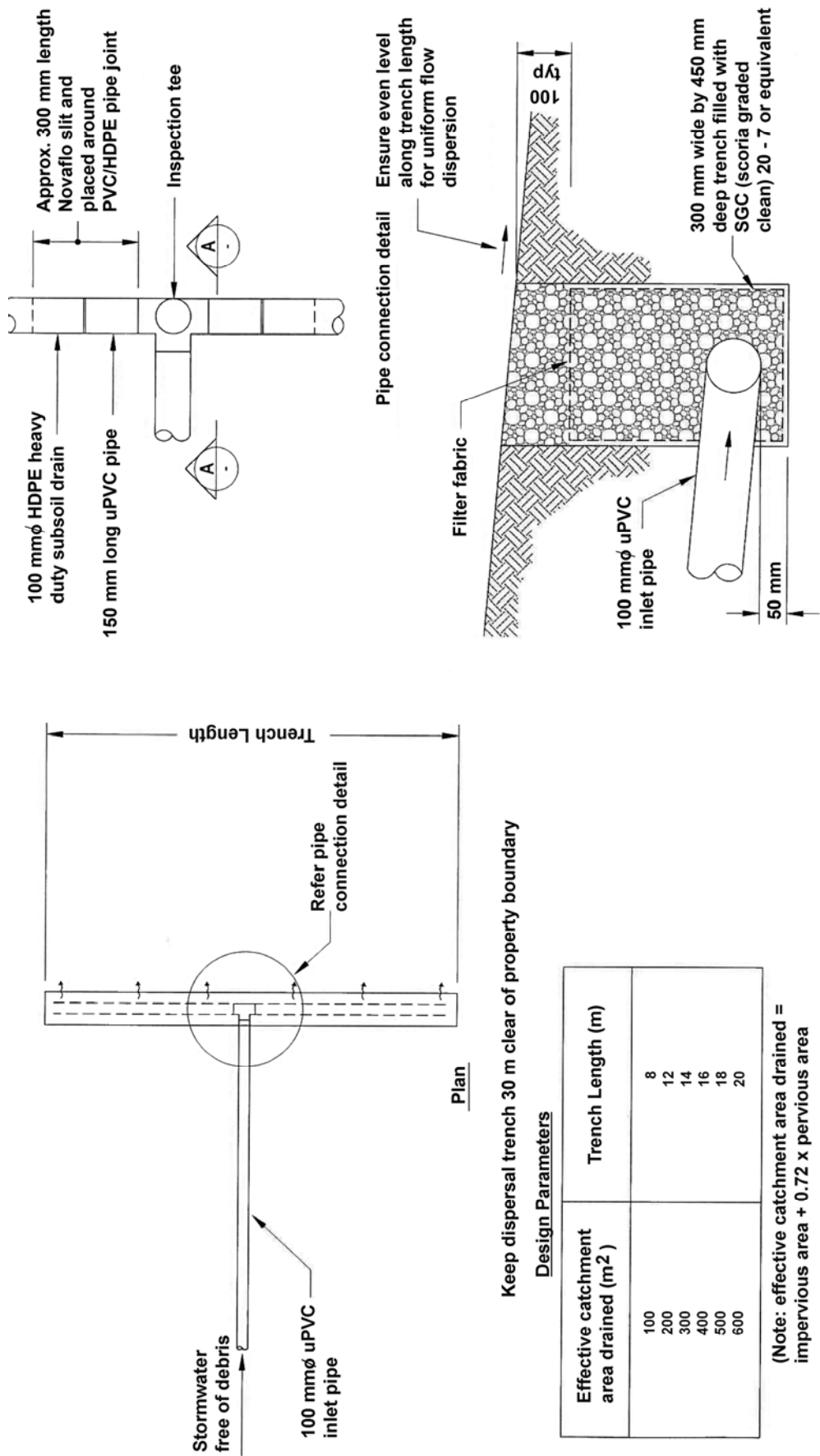
## Appendix E

### ARC Countryside Living Toolbox – Dispersal Device Options

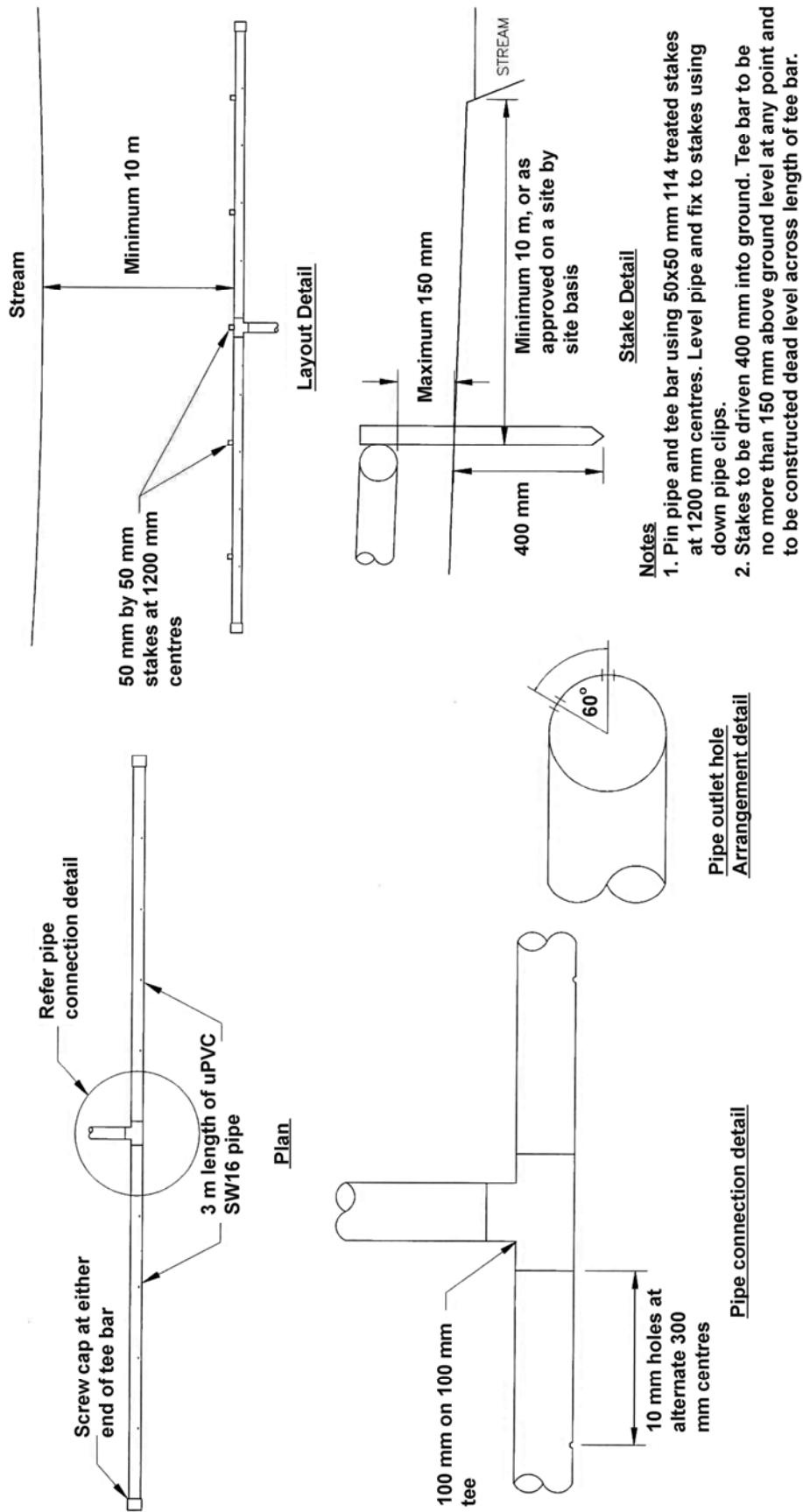




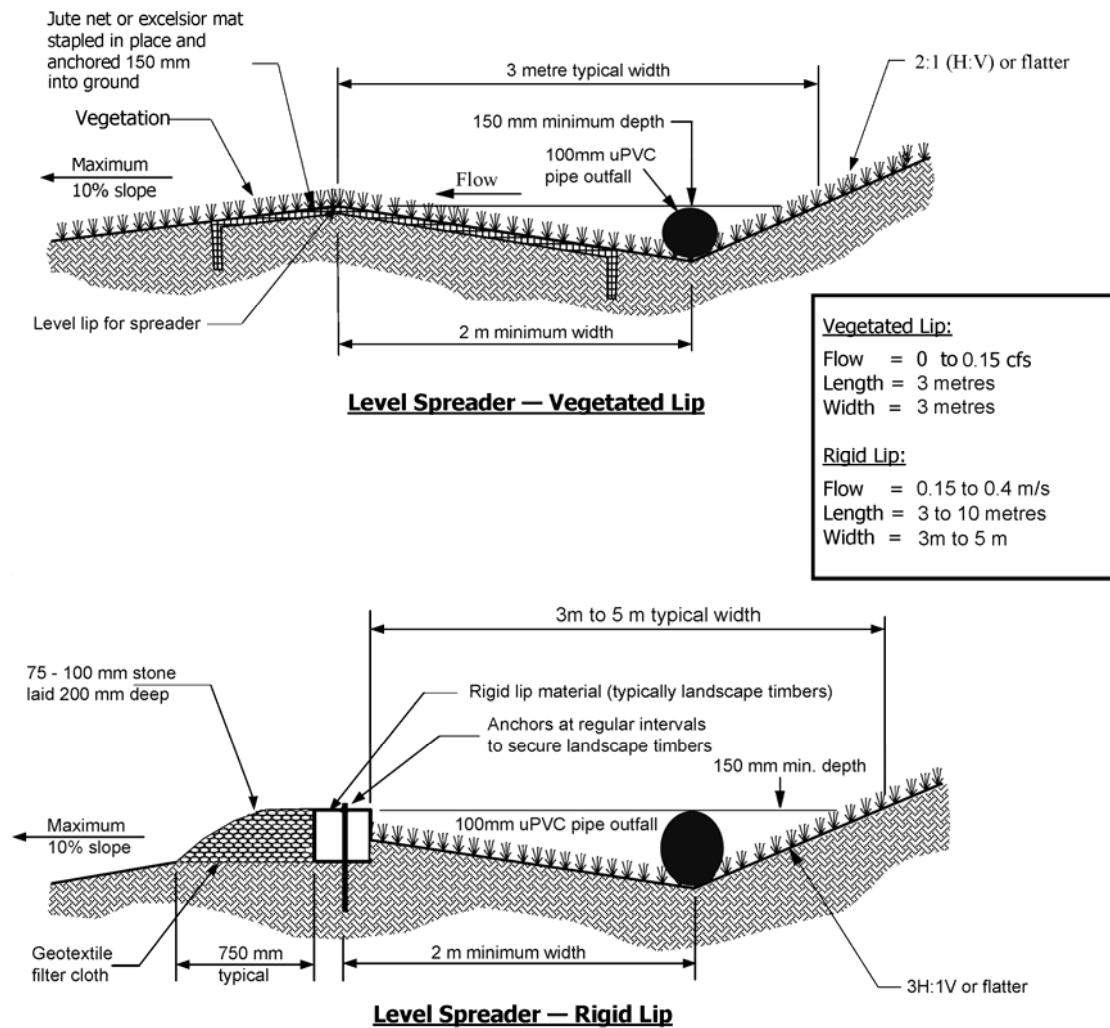
Figure C21  
 Conceptual Layout of Flow Dispersal Trench



**Figure C22**  
**Above Ground Flow Dispersal**



**Figure C23**  
**Rigid Boundary Flow Dispersal**





**Tirita Cherrington Whanau Trust**

**Licence to Occupy in favour of**

Vaughan Cherrington-Riley

And

Jessica Parangi

Dated this 2nd day of March 20[25].

**Between**

**Tirita Cherrington Whanau Trust**

And

Vaughan Cherrington-Riley

And

Jessica Parangi

**The Party's**

**The Land/Block: Motatau 2 Section 21B2A**

Being all the land comprised in partition order of the Court at MB reference 30 BI and dated 12.09.1955 and held on CIR498993.

The Licensor grants to the licensee the right to occupy a shared area of 300m2 land for a 30-year term on the conditions set out in the schedule.

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KR  
NOR  
J.C.  
OK CC de B



## Terms and Conditions

### **1. Mortgage Repayments**

Vaughan Cherrington-Riley and Jessica Parangi will maintain her/his own mortgage repayments

### **2. Maintenance of the site and buildings**

Vaughan Cherrington-Riley and Jessica Parangi will be responsible for maintaining their own site and buildings.

### **3. Rates and Insurances**

Vaughan Cherrington-Riley and Jessica Parangi will maintain land rates and home insurance as set by the local authority and insurance company - as set out in a tripartite agreement.

### **4. Term**

The term of the license is for 30 Years from the date that Vaughan Cherrington-Riley and Jessica Parangi's Licence to Occupy was accepted and agreed upon by the Trustees and Shareholder/s.

VCR  
JP  
NOR.  
KR  
U.C.  
CC  
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## Parties to the License

### Shareholder

Haki (Jack) Te Rautau Kawiti Jack Kawiti Date: 2-3-25

### Tirita Cherrington Whanau Trust Trustees

Charlotte May Kathleen Cherrington ect Date: 2.03.2025

Sonny Taneiterangi Cherrington S. Uijth Date: 2.03.25

Karen Vanessa Cherrington Cherrington Date: 02-03-2025

Margo Aneeva Christie Mwushe Date: 2-03-25

Jessie Analese Cherrington Jessie Date: 02.03.2025

Kurt Thomas Raharaha KR Date: 16.04.2025

Nikki Louise Cherrington-Riley N. L. Riley Date: 02.03.25

Bailey-Gene Metcalfe-Cherrington B. Cherrington Date: 6.4.25

### Licensee's


Vaughan Cherrington-Riley VCR Date: 21/04/25

Jessica Parangi J. Parangi Date: 21/04/25

VCR JKRF.  
KR @ NCR.  
OK @ NCR.  
CC de



**Witness to the signatures of the licensee's**

Name: Ngarimu Rinpapera Sign: 

Date: 18.04.2025

Address: 11 Te Waerenga drive, Waiomio

Phone: 0273129490

Occupation: Builder

Handwritten notes in the bottom right corner:  
KRP.  
KR  
B NCR.  
VCR  
CC  
A.C  
de