

# Application for resource consent or fast-track resource consent



Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes  No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- |  |   |
|--|---|
| <input type="radio"/> Land Use   | <input type="radio"/> Discharge: Total volume = <input type="text" value=""/> m <sup>3</sup><br><i>Note; volumes &gt;3m<sup>3</sup> requires NRC Consent.</i> |
| <input type="radio"/> Fast Track Land Use*                                 | <input type="radio"/> Subdivision   |
| <input type="radio"/> Change of Consent Notice (s.221(3))                  | <input type="radio"/> Existing Use Certificate (s.139A)   |
| <input type="radio"/> Certificate of Compliance (s.139)                    | <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil)                                     |
| <input type="radio"/> Extension of time (s.125)                            |   |
| <input type="radio"/> Other (please specify) <input type="text" value=""/> |   |

*\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the fast track process?

Yes  No

## 4. Consultation

Have you consulted with iwi/Hapū?  Yes  No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact:  
The Resource Consents Planning Technicians, [planning\\_technicians@fndc.govt.nz](mailto:planning_technicians@fndc.govt.nz)

## 5. Applicant details

**Name/s:**

GP Flynn Limited

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991?  Yes  No

If yes, please provide details.

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## 6. Address for correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Williams & King, Attention: Natalie Watson

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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## 7. Details of property owner/s and occupier/s

*Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

As per applicant.

Property address/  
location:

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## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/  
location:

  
  
 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?  Yes  No

Is there a dog on the property?  Yes  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

2009  2023

## 10. Would you like to request public notification?

Yes  No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)?  Yes  No  Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result?  Yes  No  Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

## 13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025?  Yes  No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

Flooding

Active Faults

Landslips

Liquefaction

Coastal Erosion

Tsunami

Coastal Inundation

*Please ensure all relevant technical reports are submitted with the application.*

## 14. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application  Yes

## 15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision?  Yes  No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 16. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

GP Flynn Limited

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

GREGORY FLYNN

**Signature:**

(signature of bill payer)

**Date** 11-May-2026

**MANDATORY**

## 17. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz) These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 18. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name** (please write in full)

GREGORY FLYNN

**Signature**

**Date** 11/5/26

*A signature is not required if the application is made by electronic means*

*See overleaf for a checklist of your information...*

## Checklist of your information

*Please tick if information is provided*

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application.  
Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

# GP Flynn Limited

## Proposed Subdivision Waingaro Lane, Kerikeri

Williams & King, Kerikeri<sup>1</sup>  
12 May 2026

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<sup>1</sup> Williams & King - a Division of Survey & Planning Solutions (2010) Ltd  
Surveyors, Planners, Resource Managers - Kerikeri and Kaitia  
PO Box 937 Kerikeri Phone (09) 407 6030 Email: nat@saps.co.nz

## 1. Overview

GP Flynn Limited propose to subdivide a property legally described as Lot 2 DP 198106 and held in the Record of Title NA127A/547 to create four additional Records of Title. The subject property is located off Waingaro Lane in Kerikeri.

Lots 1 - 4 are allotments with areas between 2.019ha and 8.801ha, while Lot 5 is the balance lot with an area of 37.081ha.

Each lot has legal frontage to a legal road, either directly or via right of way easement, which is intended to be formed via an extension to Waingaro Lane. The process to initiate road vesting over an area of land subject to a restrictive covenant off the end of Waingaro Lane has commenced, with Council indicating their support for this to happen.

Within the subdivision, vehicle access will be formed to the boundary of each lot and over proposed easement "A".

The proposal is supported by a Site Suitability and Civil Infrastructure Report prepared by LDE.

The subject site is zoned Rural Production in the Operative Far North District Plan, and the proposed subdivision complies with the restricted discretionary activity standard for subdivision in the zone, as set out in Rule 13.8.1(c), which allows "*a maximum of 5 lots in a subdivision (including the parent lot) where the minimum size of lots is 2ha, and where the subdivision is created from a lot that existed at or prior to 28 April 2000*".

Under the Proposed Far North District Plan, the site is zoned Horticulture. Relevant rules with immediate effect are EW-R12 and EW-R13, both of which can be satisfied as a permitted activity via consent conditions and an advice note. There are no other relevant rules with legal effect under the Proposed District Plan at this time.

This assessment accompanies the Resource Consent application made by the Applicant and is provided in accordance with Schedule 4 of the Resource Management Act 1991 ("RMA"). It is intended to provide the necessary information, in sufficient detail, to provide an understanding of the proposal and any actual or potential effects the proposed activity may have on the environment.

## 2. Description of Proposal

The purpose of the proposal is to subdivide the application site to create four additional Records of Title. Lots 1, 2, 3, 4 and 5 will have areas of 2.133ha, 2.019ha, 5.049ha, 8.801ha and 37.081ha respectively. The Scheme Plan is attached in **Appendix 1**. All areas and dimensions are subject to final survey.

*Table 1: Summary of Proposed Subdivision*

Lot Number	Area (Subject to Survey)	Existing / Proposed Use
Lot 1	2.133ha	Vacant rural lifestyle lot.
Lot 2	2.019ha	Vacant rural lifestyle lot.
Lot 3	5.049ha	Vacant rural lifestyle lot.
Lot 4	8.801ha	Vacant rural or rural lifestyle lot.
Lot 5	37.081ha	Balance rural lot.

A Site Suitability and Civil Infrastructure Report prepared by LDE is attached in **Appendix 2**. This details the suitability of Lots 1 - 4 in terms of civil engineering and geotechnical suitability matters.

Lots 1 - 5 have legal frontage to a legal road, either directly or via right of way easement, which is intended to be formed via an extension to Waingaro Lane. The process to initiate road vesting over an area of land subject to a restrictive covenant off the end of Waingaro Lane has commenced, with Council indicating their support for this to happen. The relevant area is shown as covenant area "Z" on DP 416979. The corresponding condition in consent notice 8213736\_1 says that:

- *"Areas "Y" and "Z" are restrictive covenants for the purposes of future road. The Far North District Council is entitled to take the covenanted land for road at any time without compensation".*
- *No buildings or structures are to be constructed within the covenanted areas or within 10 metres.*
- *The Council will not require the current land owner or its successors in title to contribute to the cost of construction of any road constructed on the covenanted land unless the owner was carrying out a development on the land.*

Covenant area "Z" connects to the paper road adjoining the subject site.

Consultation with Council regarding the vesting of area "Z" as legal road has been on-going, and correspondence is attached in **Appendix 3**, including an indication that Council is willing to accept the area as road to vest, subject to the formation being completed and as built data provided.

This application is proceeding on the understanding that the Waingaro Road extension will be formed in accordance with the Low Volume Band 1 rural unsealed road requirements as described in the 2023 FNDC Engineering Standards *Table 3-4 Rural Road Design Criteria – Unsealed Roads*. This involves a minimum 3m wide carriageway width.

Vehicle crossings will be provided directly to Lots 1 and 2, and to the start of easement "A", which provides shared access to Lots 3 – 5.

Private access over easement A will be formed to provide an unsealed carriageway – refer to Section 4.5.2 of the Site Suitability and Civil Infrastructure Report. This will require minor cuts and fills.

## 3. Application Site Details and Description

### 3.1 Location

The site is located to the south of Puketotara Stream, to the west of Waingaro Lane in Kerikeri. Part of the northern boundary of the property is Crown Grant Road, which separates the subject site from Puketotara Stream. Refer to the Location and Cadastral Maps in **Figures 1 and 2**.

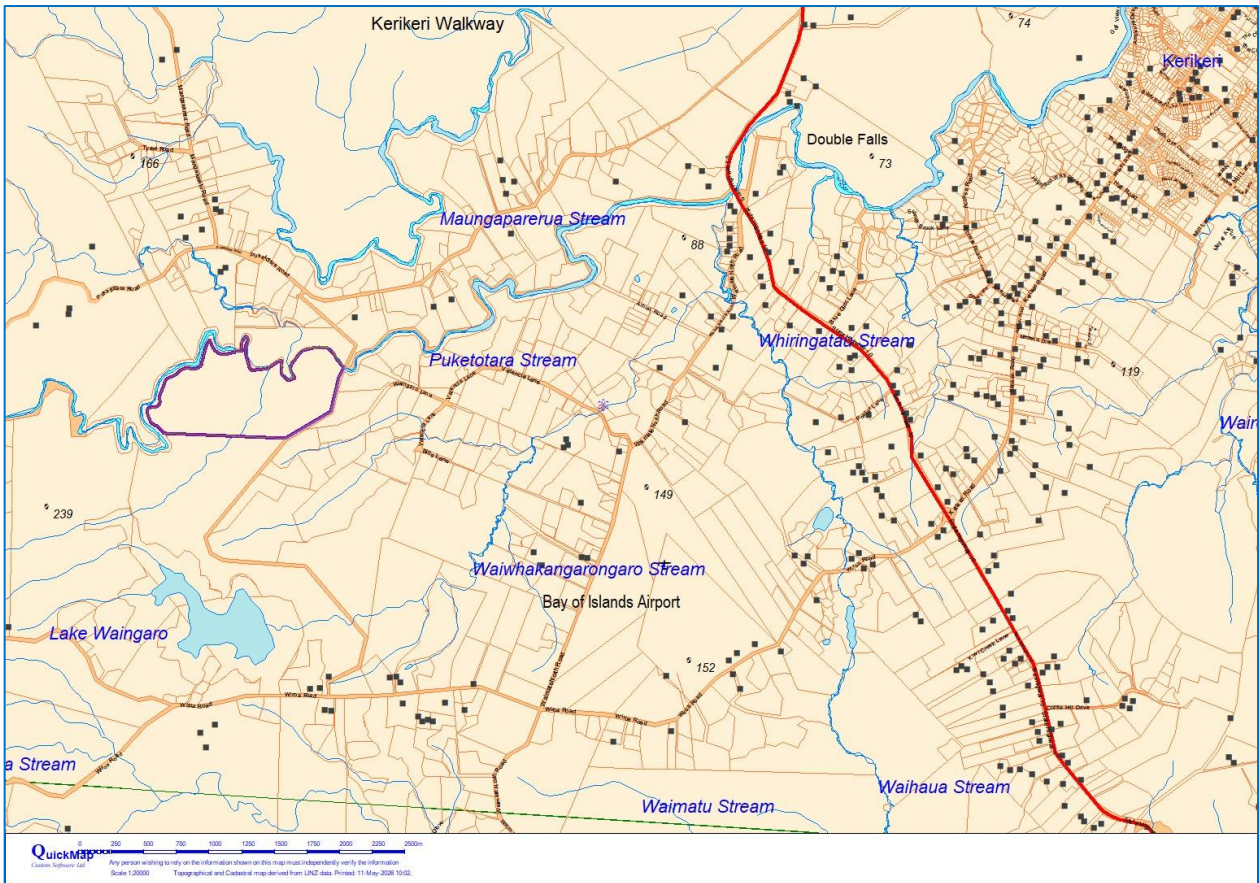


Figure 1: Location Map. Source: QuickMap.

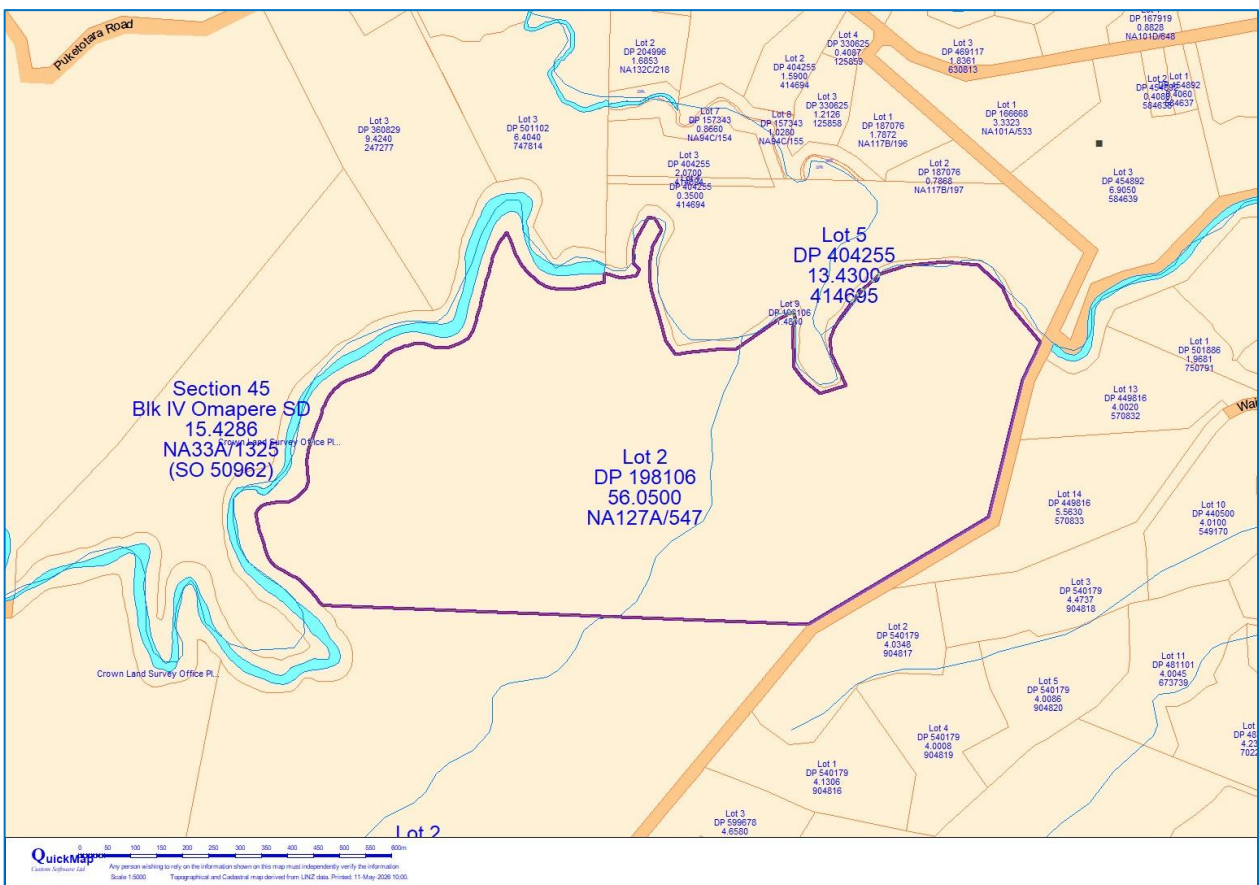


Figure 2: Cadastral Map. Source: QuickMap.

### 3.2 Legal Details

Legal details of the application site are summarised in Table 2 and in the Record of Title (**Appendix 4**).

*Table 2: Summary of Legal Details*

RECORD OF TITLE	APPELLATION	TITLE AREA
NA127A/547	Lot 2 DP 1989106	56.0500ha more or less

Interests recorded on the Record of Title are summarised below.

- Subject to Section 168A Coal Mines Act 1925 (affects part)
- Subject to Section 8 Mining Act 1971 (affects part)
- D450974.6 Esplanade Strip Instrument pursuant to Section 232 RMA 1991 in favour of The Far North District Council. (*20m wide esplanade strip along Puketotara Stream*).
- 9162334.1 & 9381012.1: Caveat by Top Energy Limited.

### 3.3 Existing Land Use

The pasture over the site is used for cattle grazing and is fenced into paddocks for this purpose. Refer to **Photographs 1 – 6**.



*Photograph 1: Lots 1 & 2 building sites, trough is located near the proposed boundary between these lots.*



*Photograph 2: View east over Lots 2 – 3.*



*Photograph 3: View north over Lots 3 and 4, towards Puketotara Stream.*



*Photograph 4: View west across gully area towards Lot 5.*



*Photograph 5: View towards eastern part of Lot 5.*



*Photograph 6: Existing farm race formation over paper road.*

### 3.4 Natural & Recorded Features

The topographical characteristics, geological setting and ground conditions are described in detail in the Site Suitability and Civil Infrastructure Report. Refer to **Appendix 2**. The site has a predominant pasture cover with areas of indigenous bush around the tributaries and margins of Puketotara Stream.

The subject site is not part of the coastal environment and does not include any areas of high or outstanding natural character, or outstanding natural landscapes or features as recorded in the Regional Policy Statement.

The site contains a tributary of Puketotara Stream, located within proposed Lot 5.

The margins of the Puketotara Stream are recorded within the Department of Conservation Protected Natural Area mapping as part of the 'Puketotara River Bush' ecological unit (P05/095) in the Natural areas of Kerikeri Ecological District.<sup>2</sup> Refer to **Figure 3**.

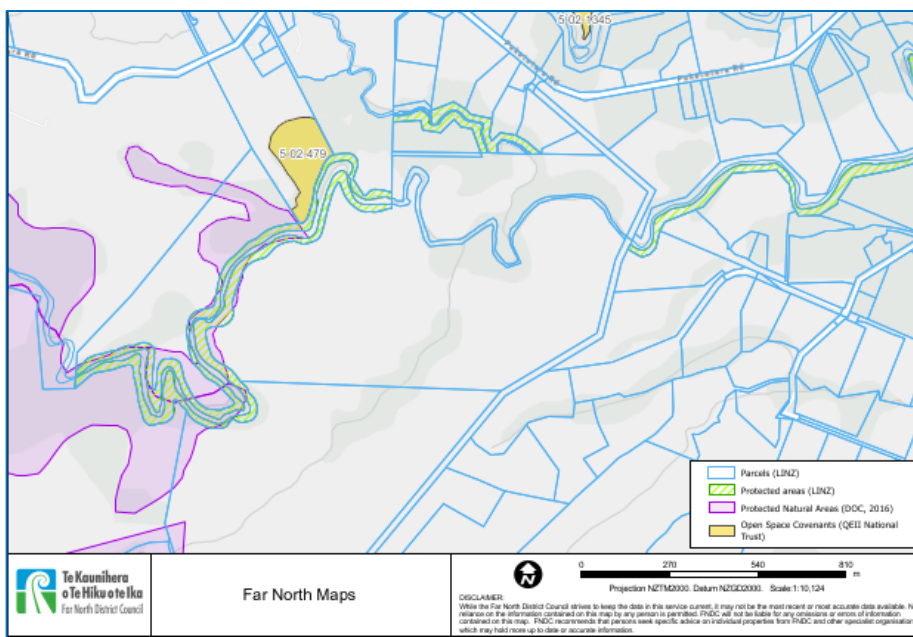


Figure 3: Natural Environment map: Far North Atlas

The site is mapped as being located within a 'kiwi present' habitat in Far North Maps "Species Distribution (DoC)" Map.<sup>3</sup>

The mapping related to kiwi habitat and Protected Natural Areas are non-statutory documents.

The subject site is zoned Rural Production under the Operative District Plan and Horticulture under the Proposed District Plan. The site is mapped as predominantly comprising Land Use Capability ("LUC") unit 4e2, excluding an area of land near the southern eastern boundary of the site, which is within LUC Unit 3s2. Refer to **Figure 4** below.

<sup>2</sup> Conning, L. & Miller, N. (1999): *Natural areas of Kerikeri Ecological District Reconnaissance Survey Report for the Protected Natural Areas Programme*. Department of Conservation, Whangarei, New Zealand.

<sup>3</sup> A map showing the distribution of Northland Brown Kiwi and Northland Mudfish in the Far North District. Kiwi habitat distribution based on call count monitoring in 2019 by Department of Conservation: Craig, E. (2020): Call count monitoring of Northland brown kiwi 2019. Department of Conservation, Whangarei, New Zealand.

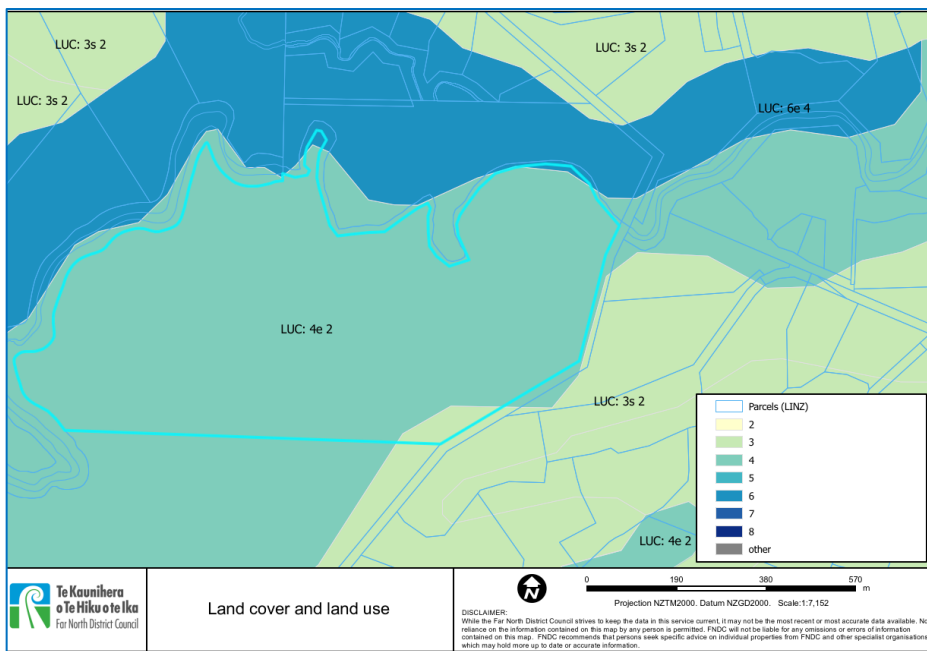


Figure 4: Land cover and land use map. Source: Far North Maps.

Of these two units, 3s2 meets the definition of ‘highly versatile soils’ as per the Regional Policy Statement and ‘highly productive land’ as per the transitional provisions of the National Policy Statement for Highly Productive Land 2022, while 4e2 does not.

### 3.5 Vehicle Access

The subject site has frontage to the western side of an area of legal road, which is partly formed with a farm race. This connects to Council maintained road via covenant areas over Lots 2 and 3 DP 540179, which link to Waingaro Lane, refer to Section 2 of this report. This is the preferred access option.

Existing private access provisions are also described in the Site Suitability and Civil Infrastructure Report.

## 4. District Plan Assessment

### 4.1 Operative Far North District Plan (“ODP”)

The application site is zoned Rural Production and is not subject to any Resource Features. The proposal is assessed against the relevant rules of the ODP as follows.

#### 4.1.1 Rural Production Zone

Rule	Discussion	Compliance
<b>8.6.5.1 PERMITTED ACTIVITIES</b>		
8.6.5.1.1 Residential Intensity	A single residential unit for a single household is anticipated on each lot.	Complies
8.6.5.1.2 Sunlight	No issues.	Complies
8.6.5.1.3 Stormwater management	Existing / anticipated future coverage on each lot will be less than 15%.	Complies

8.6.5.1.4 Setback from Boundaries	No issues.	Complies
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#### 4.1.2 Natural & Physical Resources

Rule	Discussion	Compliance
<b>PERMITTED ACTIVITIES</b>		
12.3.6.1.1 Excavation and/or filling ...	Earthworks are required to complete private access over easement A, which will be within the permitted activity limits.	Complies
12.7.6.1.4 Land use activities involving discharge of human sewage effluent	Each vacant lot has area for the on-site treatment and disposal of wastewater, which can be located more than 30m any waterbody.	Complies

#### 4.1.3 Subdivision

Rule	Discussion	Compliance
<b>13.6 GENERAL RULES</b>		
13.6.5 Legal Frontage	Each lot is proposed to have frontage to a legal road, likely via the Waingaro Lane extension, and in the case of Lot 4, via right of way A.	Complies
13.6.8 Subdivision Consent Before Work Commences	Earthworks required to complete the proposal are minor works associated with completion of access over easement A. Future earthworks to prepare building sites are to be completed at lot development stage.	Complies
13.6.12 Suitability for Proposed Land Use	The land is considered suitable for the proposal, as described in the Site Suitability and Civil Infrastructure Report. Detailed geotechnical assessment will be undertaken at Building Consent stage if construction is proposed outside of the building restriction lines on Lots 1 & 2 or outside of the assessed building platforms.	Complies
<b>13.7 CONTROLLED ACTIVITIES</b>		
13.7.2.1 Minimum Area for Vacant New Lots .....	The areas of Lots 1 - 4 do not comply with the controlled activity minimum lot size.	Does not comply
13.7.2.2 Allotment Dimensions	Each lot includes a dimension of 30 x 30m, plus 10m boundary setbacks.	Complies
<b>13.8 RESTRICTED DISCRETIONARY ACTIVITIES</b>		
13.9.1 Subdivision within the Rural Production zone	The proposed lots comply with restricted discretionary activity Rule 13.8.1(c): <i>"A maximum of 5 lots in a subdivision (including the parent lot) where the minimum size of lots is 2ha, and where the subdivision is created from a lot that existed at or prior to 28 April 2000"</i> The subject site's Record of Title was issued in 1993.	Complies

#### 4.1.4 Financial Contributions

Rule	Discussion	Compliance
<b>PERMITTED ACTIVITIES</b>		
14.6.1 Esplanade Areas	Tributaries of Puketotara Stream will be retained within Lot 5, which exceeds 4ha.	No esplanade areas necessary.

#### 4.1.5 Transportation

Rule	Discussion	Compliance
<b>15.1.6C.1 PERMITTED ACTIVITIES</b>		
15.1.6C.1.1 Private Accessway in all Zones	Access will be formed over easement A as described in the Site Suitability and Civil Infrastructure Report, in accordance with this Rule.	Complies
15.1.6C.1.3 Passing Bays on Private Accessways in all Zones	Passing bays will be installed as required within easement A.	Complies
15.1.6C.1.5 Vehicle crossing standards in Rural ... Zones	Vehicle crossings can be formed to Lots 1, 2 and easement A, in accordance with this Rule.	Complies
15.1.6C.1.7 General Access Standards	Adequate area for existing / future onsite manoeuvring is available on each lot.	Complies
15.1.6C.1.8 Frontage to Existing Roads	The adjoining legal road has sufficient legal width. Its carriageway is to be formed to meet FNDC Engineering Standards and Guidelines.	Complies

#### 4.1.6 Summary of Activity Status under the ODP

Overall, the proposal has been assessed as a restricted discretionary activity.

### 4.2 Far North Proposed District Plan (“PDP”)

The application site is zoned Horticulture in the PDP. The proposal is assessed against the relevant rules of the PDP as follows.

#### 4.2.1 Area-Specific Matters - Horticulture Zone

Rule	Discussion	Compliance
HZ-R2 Impermeable Surface Coverage	Existing and anticipated future coverage on Lots 1 - 5 will not exceed the permitted standard.	These rules do not have legal effect.
HZ-R3 Residential activity	A single residential unit per lot is intended.	
HZ-S2 Height in Relation to Boundary	No issues in terms of the proposed new boundaries to be created by the subdivision.	
HZ-S3 Setback	No issues in terms of the proposed new boundaries to be created by the subdivision.	
HZ-S5 Building or structure coverage	Building or structure coverage on Lot 2 will be less than 12.5% to comply with this standard.	

#### 4.2.2 District-Wide Matters – General District-Wide Matters – Energy, Infrastructure, & Transport - Transport

Rule	Discussion	Compliance
TRAN-R2 Vehicle crossings and access, including private accessways	Shared private access over easement A will serve less than 8 household equivalents and is not off the road types listed in PER-3. Access widths will be sufficient for fire fighting, manoeuvring will be available within the lots. Passing bays will be supplied as required. There will be no unused vehicle crossings. Vehicle crossing will comply with TRAN-S2.	This rule does not have legal effect.

#### 4.2.3 District Wide Matters – Subdivision

Rule	Discussion	Compliance
SUB-R3 Subdivision of land to create a new allotment.	<p>CON-1</p> <ul style="list-style-type: none"> <li>Each lot includes a 30 x 30m dimension, plus 10m boundary setbacks. HRZ-S3 requires habitable buildings to be setback 30m from the boundary of an unsealed road.</li> <li>Onsite water storage, including for fire-fighting is proposed.</li> <li>Stormwater management can be achieved on site - see Engineering Assessment.</li> <li>On-site wastewater disposal is feasible.</li> <li>Power and telecommunications connections can be supplied at land use stage if required.</li> <li>Easements are shown on the scheme plan.</li> </ul> <p>CON-2</p> <ul style="list-style-type: none"> <li>Controlled activity minimum allotment sizes are not achieved by Lots 1 – 4, discretionary activity minimum lot size not achieved by Lots 1 &amp; 2. .</li> <li>No esplanade reserve requirements (existing esplanade strip / Marginal Strip).</li> </ul>	This rule does not have legal effect.

#### 4.2.4 Earthworks

Rule	Discussion	Compliance
EW-R6 Earthworks for formation ... of ... private accessways	Earthworks will be undertaken for this purpose. Standards reported on below.	This rule does not have legal effect.
EW-R12 Earthworks and the discovery of suspected sensitive material	An Accidental Discovery Protocol advisory note can be added to the resource consent.	Complies. Refer to EW-S3 below.
EW-R13 Earthworks and erosion and sediment control	Erosion and sediment control will be implemented in association with the proposed earthworks – detailed design will be provided at Engineering Plan Approval stage.	Complies. Refer to EW-S5 below.
EW-S1 Maximum earthworks thresholds.	Less than 5000m <sup>3</sup> / 2,500m <sup>2</sup> proposed.	These rules do not have legal effect.
EW-S2 Maximum depth and slope	Will comply.	
EW-S3 Accidental Discovery Protocol	Will be complied with.	Complies
EW-S4 Site reinstatement	Will comply.	This rule does not have legal effect.
EW-S5 Erosion and sediment control	Will be complied with.	Complies

#### 4.2.5 Summary of Activity Status under the PDP

Rules with legal effect are EW-R12 and EW-R13, both of which can be satisfied as a permitted activity via consent conditions and an advice note.

## 5. Assessment of Environmental Effects

*Clauses 6 and 7 of Schedule 4 of the RMA indicate the information requirements and matters that must be addressed in or by an assessment of environmental effects, both of which are subject to the provisions of any policy statement or plan. Therefore, the following assessment of environmental effects considers the relevant matters over which Council has restricted the exercise of its discretion to as listed in Rule 13.8.1, i.e. the matters listed in Rule 13.7.3 and the matters listed in 13.8.1(i) and (ii).*

### 5.1 Property access

The additional traffic generated by the proposal is in the order of forty daily one-way traffic movements. Vehicle access to the boundary of Lots 1 - 5 will be provided as described in the Site Suitability and Civil Infrastructure Report, involving vesting and upgrade of access over the previously described covenant area over Lots 2 & 3 DP 540179, then upgrade of access over the legal road adjoining the site and over easement A to private access standards.

With these works proposed, the proposal is considered to provide a reasonable and adequate level of service, which sufficiently mitigates against any adverse effects of increased traffic movements.

### 5.2 Natural and other hazards, mitigation of fire hazard

The Site Suitability and Civil Infrastructure Report provides an assessment of natural hazards included in Section 106 of the RMA, and concludes a low level of risk for all of the listed hazards, other than those related to expansive and erodible soils and slope instability, where there is a medium level of risk. This medium level of risk can be mitigated using the recommendations of the Site Suitability and Civil Infrastructure Report, leading to the conclusion that “we consider that the site is suitable for development. We consider that the risk of natural hazards impacting on the development to be low subject to the recommendations given in Section 6 being adopted in full”. Refer to **Appendix 2**.

The proposed subdivision does not have any known adverse effects related to soil contamination - see Section 6.1.1 of this Report.

A typical consent notice condition, requiring that the on-site water supply that is established at the time that a dwelling is built on Lots 1 - 4 be suitable for fire fighting use, is anticipated as part of the subdivision consent. Likewise, the suitability of vehicle access for use by fire fighting vehicles will depend on the final location and design of the dwelling and its individual access.

Those matters aside, each lot has suitable building areas that are located more than 20m from areas of vegetation, in order to avoid and minimise the risk of fire hazard to a less than minor level.

### 5.3 Water supply

Potable water to the lots for domestic use will be supplied within each lot via collection and storage of rainwater. The typical consent notice condition, which requires onsite water supply to be designed to be adequate for fire-fighting purposes, can be applied. The proposal will not result in any adverse effects in terms of water supply.

### 5.4 Stormwater disposal

Future development of Lots 1 - 4 is likely to result in a small percentage of impermeable area within the sites, all of which will comply with the permitted activity standard of the Rural Production Zone of the Operative District Plan.

The Site Suitability and Civil Infrastructure Report discusses conceptual stormwater management for the subdivision, including runoff from developed surfaces associated with future lot development

being collected in attenuation tanks to achieve stormwater neutrality, and being discharged in a dispersive manner (e.g. using a spreader pipe).

Stormwater management within the proposed subdivision is designed to control stormwater flows, reduce scour and ensure compliance with District and Regional Plan rules. In particular, the Site Suitability and Civil Infrastructure Report notes that:

- The proposed impervious areas are roof areas, associated hardstand area and ROW serving Lots 3, 4 and 5. The roof areas and associated hardstand for each Lot are to be attenuated by an above-ground tank. The ROW area is to be attenuated by a pond.
- The proposed design attenuates the increase in stormwater runoff for 50 %, 10 % and 1 % AEP storm events, accounting for a 20 % increase in climate change in the post-development scenario.
- All outlet flows must be directed to the west and carried to the base of the slope or to such a point that they do not cause or exacerbate land instability. A spreader bar can be used to convert flow from the attenuation device to sheet flow. The bar must be located on a slope having a maximum gradient of 1 in 6. Erosion control in the form of riprap or other suitable measures should be installed at all stormwater outlets.

With the proposed management of stormwater at subdivision and then lot development stage, it is considered that the effects of the proposal in terms of stormwater quality and quantity will be less than minor.

## 5.5 Sanitary sewage disposal

On-site treatment and disposal of wastewater is addressed in the Site Suitability and Civil Infrastructure Report in **Appendix 2**, which provides a concept design summary of a secondary wastewater treatment quality with surface or subsurface laid dripper lines, with a dripper irrigation rate of 3.5mm per day. Indicative areas on Lots 1 - 4 available for effluent disposal are shown Figure 6 of the Site Suitability and Civil Infrastructure Report, and these will be subject to final design depending on the house site location and occupancy. As the site conditions have been deemed suitable for onsite wastewater treatment and disposal, and this will be achievable in accordance with the relevant permitted activity District and Regional rules, it is considered that the proposal avoids adverse effects in relation to sanitary sewage disposal.

Final design of the effluent treatment and disposal system will be submitted at building consent stage, and a consent notice condition for Lots 1 - 4 to this effect can be applied.

## 5.6 Energy and telecommunications supply

Top Energy has nil requirements. Refer to the correspondence from Top Energy in **Appendix 5**. No new connections will be installed as part of this subdivision as these are not required by Rule 13.7.3.7 given that the subdivision does not create urban allotments. The standard consent notice condition advising that electricity and telecommunications have not been made a condition of the subdivision consent can be applied to the lots.

## 5.7 Easements for any purpose

Easement 'A' over Lot 5 is shown on the Scheme Plan for right of way, and the right to convey electricity, water and telecommunications. This facilitates shared access to Lots 3 – 5.

## 5.8 Preservation of heritage resources

Archaeological site P05/4 is recorded across the boundary of Lot 3 and the unformed legal road. This is located away from any of the proposed building sites and is not near the part of the legal

road reserve that required formation. The proposed subdivision does not involve any works that will disturb the relevant area of land. Nevertheless, an archaeological assessment has been commissioned and will be provided to Council and to Heritage New Zealand for comment as soon as possible.

### **5.9 Preservation of vegetation and fauna, including effects on significant indigenous flora and significant habitats of indigenous fauna**

Lots 1 – 4 all contain building sites that are located on areas of pasture, and which do not require any clearance of indigenous vegetation. Likewise, these lots do not include any part of the Puketotara River Bush ecological unit within the Kerikeri Ecological District, as mapped by the Department of Conservation. Refer to **Figure 3**.

Potential adverse effects on kiwi habitat will arise through the intensification of residential activity over the subject site, through future residential development of Lots 1 - 4. These effects are able to be avoided and mitigated through standard consent notice conditions, allowing pets to be permitted to remain on the lots with appropriate conditions for dogs requiring micro-chipping, kiwi aversion training, being kept within a dog proof fence, on a lead or under effective control when outside the fenced area, being kept in a kennel at night, and for cats, that they be de-sexed and kept indoors at night. With these controls in place, it is considered that potential adverse effects on kiwi are able to be avoided and mitigated to present a less than minor effect.

Lot 5 includes a tributary of Puketotara Stream. No earthworks or vegetation clearance is required in this area as part of the proposed subdivision. Lot 4 contains low lying areas and an area where rainwater sometimes ponds due to a bund near Puketotara Stream. Lots 1 - 4 have ample area, allowing them to be developed while maintaining suitable setbacks from these freshwater areas. Provided that best practice erosion and sediment control is undertaken during access upgrades and in long term stormwater disposal to avoid exacerbating erosion and prevent sediment from entering the freshwater features within the site, adverse effects on the freshwater quality can be avoided.

### **5.10 Landscape preservation**

The proposed lots do not contain any recorded landscape features, or sites of cultural significance. The site is not within the coastal environment. The proposed subdivision is considered to avoid adverse landscape effects.

### **5.11 Access to reserves and waterways**

Interest D450974.6 recorded on the record of title is an existing Esplanade Strip Instrument pursuant to Section 232 RMA 1991 in favour of The Far North District Council, providing a 20m wide esplanade strip along Puketotara Stream, where the Crown Owned Marginal Strip isn't in place. Public access via the Marginal Strip and esplanade strip, subject to the covenants specified in D450974.6, is therefore already provided, and it is considered that the proposal has no further implications in terms of public access to Puketotara Stream.

### **5.12 Land use compatibility**

The subject site is located within a rural environment. Lots 1 - 4 are located adjacent to an existing rural lifestyle area formed by the development off Waingaro Lane, Valencia Lane and Bills Lane. Remaining nearby land is generally rural production land, primarily used for low intensity stock grazing. The lots are of sufficient size that they can achieve suitable setbacks from existing grazing activities with space for further planting around their boundaries. Furthermore, Lots 1 – 3 are clustered together, with an intervening gully to provide separation from the majority of Lot 5. Overall, the proposed subdivision is not considered to generate any adverse effects associated with land use compatibility or reverse sensitivity issues that will be more than minor.

### 5.13 Proximity to airports

The subject site is outside of the Kerikeri Airport Buffer Area in the Operative District Plan, and is more than 500m from the nearest boundary of land used for the airport. The proposal avoids adverse effects related to the proximity to airports.

### 5.14 Effects on the ability of the Department of Conservation to manage and administer its land

The site adjoins a Marginal Strip, which separates part of it from Puketotara Stream. No effects on the ability of the Department of Conservation to manage this Marginal Strip are anticipated.

## 6. Statutory Assessment

*Section 104(1)(b) of the RMA requires the consent authority, subject to Part 2 of the Act, to have regard to any relevant provisions of a national environmental standard, other regulations, a national policy statement, a New Zealand coastal policy statement, a regional policy statement, a plan or proposed plan, and any other matter the consent authority considers relevant and reasonably necessary to determine the application. Of relevance to the proposed activity are the following documents, which are commented on in the proceeding Sections 6.1 – 6.6 of this Report. This is followed by an assessment of Part 2 of the Act.*

- *Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011*
- *Resource Management (National Environmental Standards for Freshwater) Regulations 2020*
- *National Policy Statement for Highly Productive Land*
- *National Policy Statement for Indigenous Biodiversity*
- *National Policy Statement for Natural Hazards*
- *Regional Policy Statement for Northland*
- *Operative Far North District Plan*
- *Proposed Far North District Plan*
- *Proposed Regional Plan for Northland*

### 6.1 National Environmental Standards

#### 6.1.1 Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (“NESCS”)

The subject land is not recorded on the Northland Regional Council Selected Land-use Register as a site that has been used for any activity included in the Ministry for the Environment’s Hazardous Activities and Industries List.<sup>4</sup>

Review of historic aerial photography using Retrolens, and more recent aerial and satellite photography indicates that the property has been predominantly in pasture since 1953, with areas of natural vegetation in the gully areas of the site, and possibly some area of pine forestry in the early 1980s.<sup>5</sup> There is no apparent evidence that the site has been used for any of the activities listed on the Hazardous Activities and Industries List.

Therefore, using Method 6(2), the subject site is not considered to be a ‘piece of land’ in terms of the above regulations.

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<sup>4</sup> Northland Regional Council (n.d.): *Selected Land-use Register Map*. Retrieved 7 May 2026 from <https://localmaps.nrc.govt.nz/localmapsviewer/?map=65b660a9454142d88f0c77b258a05f21>

<sup>5</sup> Sourced from <http://retrolens.nz> and licensed by LINZ CC-BY 3.0

### 6.1.2 National Environmental Standard for Freshwater

The subject site does not include any mapped wetland areas within the Northland Regional Council Biodiversity Wetlands mapping.

The site contains tributaries of Puketotara Stream, and areas of ponded water arise from time to time in parts of Lot 4, where a stop bank prevents water from discharging into Puketotara Stream. The proposal does not involve any drainage works that would result in the drainage of any wet areas, and does not involve earthworks, vegetation clearance or stormwater diversion within 100m of any of these features.

Therefore, the proposal is not considered to have any implications in terms of Part 3 (Standards for other activities that relate to freshwater), Subparts 1 and 3, of the above regulations.

## 6.2 National Policy Statements

### 6.2.1 National Policy Statement for Highly Productive Land 2022 – Amended December 2025 (“NPS-HPL”)

Council must, subject to Part 2 and section 77M, have regard to any relevant provisions of the above National Policy Statement, as specified in Section 104(1)(b) of the RMA.

The sole objective of the NPS-HPL is that “highly productive land is protected for use in land-based primary production, both now and for future generations”.

The subject site is zoned Rural Production and Horticulture under the Operative and Proposed District Plans respectively. It partly includes Land Use Capability (“LUC”) unit 3s2 land, which meets the definition of ‘highly productive land’ in the NPS-HPL.

The most relevant policy of the NPS-HPL in terms of this proposed activity is Policy 7:

*Policy 7: The subdivision of highly productive land is avoided, except as provided in this National Policy Statement.*

Implementation of the objective and policies of the NPS-HPL is guided by a non-exhaustive list of things that local authorities must do, which is set out in Part 3.

The implementation of Policy 7 is guided by Section 3.8 of the NPSHPL, the relevant parts of which are commented on below.

#### *3.8 Avoiding subdivision of highly productive land*

*(1) Territorial authorities must avoid the subdivision of highly productive land unless one of the following applies to the subdivision, and the measures in subclause (2) are applied:*

*(a) the applicant demonstrates that the proposed lots will retain the overall productive capacity of the subject land over the long term:*

*(2) Territorial authorities must take measures to ensure that any subdivision of highly productive land:*

*(a) avoids if possible, or otherwise mitigates, any potential cumulative loss of the availability and productive capacity of highly productive land in their district; and*

*(b) avoids if possible, or otherwise mitigates, any actual or potential reverse sensitivity effects on surrounding land-based primary production activities.*

**Figure 4** of this report shows the extent of class III soils over the subject site. The majority of the site does not meet the definition of ‘highly productive land’ under this National Policy Statement.

To reiterate, the class III soils encompass the south eastern area of the site, generally within parts of Lots 1 - 3, covering approximately 8688m<sup>2</sup>, or 1.6% of the record of title area.

The minimum lot sizes and density proposed are in accordance with the restricted discretionary activity standard for subdivision in the Rural Production Zone under the Operative District Plan.

RMA Section 104(1)(b) requires Council to “have regard to” the NPS HPL when considering an application for resource consent, and Council may give this matter weight as it sees fit, and as part of a fair evaluation of the overall application. In this instance, as the proposed subdivision complies with the restricted discretionary activity subdivision standards, where effects on soil are not a relevant matter over which Council has restricted the exercise of its discretion.

The creation of Lots 1 - 3 as rural lifestyle lots naturally does not avoid subdivision of highly productive land, however; the long term overall productive capacity of the land is considered to remain practically unchanged as a result of the subdivision, as per clause 3.8(1)(a), as described below.

With reference to **Figure 4** of this report, it can be seen that the area of Class III soils within Lots 1 – 3 is located on the edge of the LUC unit and is adjacent to an existing area of rural lifestyle development off Waingaro Lane and Valencia Lane. The ~8,688m<sup>2</sup> of class III land in this area is adjacent to the legal road and the area of rural lifestyle development to the east and is not of a size that would cater for a commercially viable productive use.

The majority of the LUC 3s2 land in this area is already developed for rural lifestyle use.

Land use compatibility is a relevant matter in terms of any measures to avoid or otherwise mitigate any actual or potential reverse sensitivity effects on surrounding land-based primary production activities on highly productive land. This matter is relevant in considering how the future residential use within Lots 1 – 4 will interact with surrounding land-based primary production activities. Lots 1 - 4 have been located where they will cause the least disruption to the continued farming operation on Lot 5. It is anticipated that Lots 1 – 4 will be developed as rural lifestyle sites, including a dwelling and accessory buildings with a curtilage containing lawn and gardens, while the remainder may be used for small scale rural production activities, for example, grazing of a small number of stock, or keeping of horses.

In this location, immediately surrounding land-based primary production activities predominantly occur in the form of pasture production for stock grazing, which by nature produces little and infrequent effect in terms of dust, noise, odour and other emissions, and spray drift.

The development envelopes on Lots 1 and 2 are separated from farming activities on Lot 5 by the gully area. Lot 1 will adjoin a rural property to the south, which is also owned by the applicant.

The dimensions of Lots 3 and 4 are large enough that there are multiple building sites available, and adequate setbacks of future dwellings from surrounding properties can be achieved. There is ample area available for screen planting or landscaping to provide separation along the external boundaries of the lot. Lot 3 also adjoins the similarly sized rural lifestyle properties to the east. Potential reverse sensitivity effects on areas of continued primary production on Lot 5 are able to be self-managed on the lot and no conditions are considered necessary.

### 6.2.2 National Policy Statement for Indigenous Biodiversity (“NPSIB”)

The objective of the above policy statement is set out in 2.1, as copied below:

*(1) The objective of this National Policy Statement is:*

- (a) to maintain indigenous biodiversity across Aotearoa New Zealand so that there is at least no overall loss in indigenous biodiversity after the commencement date; and
- (b) to achieve this:
- (i) through recognising the mana of tangata whenua as kaitiaki of indigenous biodiversity; and
  - (ii) by recognising people and communities, including landowners, as stewards of indigenous biodiversity; and
  - (iii) by protecting and restoring indigenous biodiversity as necessary to achieve the overall maintenance of indigenous biodiversity; and
  - (iv) while providing for the social, economic, and cultural wellbeing of people and communities now and in the future.

There is no SNA included in the district plan, or as identified in a policy statement or plan.

The 17 listed policies set out to achieve this objective. Of most relevant to this proposal is Policy 8:

*Policy 8: The importance of maintaining indigenous biodiversity outside SNAs is recognised and provided for.*

Part 3 guides the implementation of the NPSIB. Of relevance is the following approach to implementing the NPSIB.

### *3.16 Indigenous biodiversity outside SNAs*

*(1) If a new subdivision, use, or development is outside an SNA and not on specified Māori land, any significant adverse effects of the new subdivision, use, or development on indigenous biodiversity outside the SNA must be managed by applying the effects management hierarchy.*

Effects Management Hierarchy is defined as follows.

*effects management hierarchy means an approach to managing the adverse effects of an activity on indigenous biodiversity that requires that:*

- (a) adverse effects are avoided where practicable; then*
- (b) where adverse effects cannot be avoided, they are minimised where practicable; then*
- (c) where adverse effects cannot be minimised, they are remedied where practicable; then*
- (d) where more than minor residual adverse effects cannot be avoided, minimised, or remedied, biodiversity offsetting is provided where possible; then*
- (e) where biodiversity offsetting of more than minor residual adverse effects is not possible, biodiversity compensation is provided; then*
- (f) if biodiversity compensation is not appropriate, the activity itself is avoided.*

Direct ecological effects are avoided as the subdivision does not necessitate any clearance of indigenous vegetation, and as future building sites are available in areas which will not disturb any indigenous vegetation. Potential adverse effects on kiwi habitat through the introduction of new dwellings are able to be mitigated to be no more than minor through typical consent notice conditions, including the requirement that dogs be kept within dog proof fenced areas, on a lead or under effective control when outside the fenced area, and being kept indoors or in a kennel at night, in addition to them being micro-chipped and having kiwi aversion training. It is therefore considered that the proposal is consistent with the above National Policy Statement.

## 6.2.2 National Policy Statement for Natural Hazards 2025 (“NPS-NH”)

Refer to the Site Suitability and Civil Infrastructure Report, which includes an assessment of the proposal in terms of the NPS-NH. It assesses a low to medium level of unmitigated natural hazard risk. With mitigation, the overall level of natural hazard risk can be reduced to low.

An assessment of the NPS-NH objective and policies is provided below.

## Part 2: Objective and policies

### 2.1 Objective

1. *Natural hazard risk to people and property associated with subdivision use and development is managed using a risk-based proportionate approach.*

This has been considered using the risk matrix and in response to the policies below.

### 2.2 Policies

**Policy 1:** *When considering natural hazard risk associated with subdivision, use or development, the risk level must be assessed using the risk matrix.*

A low level of natural hazard risk has been assessed, provided that recommendations of the Site Suitability and Civil Infrastructure Report are adhered to.

**Policy 2:** *Natural hazard risk associated with subdivision, use and development must be managed using an approach that is proportionate to the level of natural hazard risk.*

Refer to the Site Suitability and Civil Infrastructure Report.

**Policy 3:** *Where subdivision, use or development is assessed as having very high natural hazard risk, that risk must be avoided.*

Not applicable.

**Policy 4:** *Where subdivision, use or development, including any associated mitigation measures, will create or increase significant natural hazard risk on other sites, that risk must be avoided or mitigated using an approach that is proportionate to the level of natural hazard risk.*

Not applicable.

**Policy 5:** *Natural hazard risk assessment and decisions must be based on the best available information and must be made even when that information is uncertain or incomplete.*

Most recent natural hazard mapping and site-specific investigations have been used.

**Policy 6:** *The potential impacts of climate change to at least 100 years into the future must be considered.*

Not applicable.

## 6.3 Regional Policy Statement for Northland

The Regional Policy Statement for Northland provides an overview of resource management issues and gives objectives, policies, and methods to achieve integrated management of natural and physical resources of the region.

The subject site is not in the coastal environment, does not include any outstanding natural landscapes or features and does not include any areas of high or outstanding natural character. The relevant policies from the RPS are addressed below.

Policy 4.4.1 – Maintaining and protecting significant ecological areas and habitats. As the site is outside the coastal environment, clause (1) requires subdivision, use and development to avoid, remedy or mitigate adverse effects so that they are no more than minor on threatened or at risk

indigenous taxa, significant indigenous vegetation and habitats, and areas set aside for protection of indigenous biodiversity under other legislation. Where clause (1) does not apply, clause (3) specifies that subdivision, use and development must avoid, remedy or mitigate adverse effects on areas of predominantly indigenous vegetation, habitats of indigenous species important for recreational, commercial, traditional or cultural purposes, and indigenous ecosystems and habitats that are particularly vulnerable to modification. Where adverse effects cannot be reasonably avoided, remedied or mitigated, clause (5) suggests consideration of the next steps in the mitigation hierarchy.

This proposed subdivision and subsequent land use activities are consistent with policies (1) and (3), as they do not necessitate the clearance of indigenous vegetation and therefore avoids direct adverse effects on the listed features. Little of the vegetation on the site is within the Department of Conservation's protected natural area mapping. Potential indirect adverse effects arising from increased residential use on the land, including the keeping of pets that may threaten bird life, can be avoided and mitigated through ensuring that future owners keep their pets responsibly, using standard consent notice conditions.

Policy 5.1.1 – Planned and coordinated development, requires co-ordinated location, design and building or subdivision, use and development. Relevant matters are listed under (a), (c), (e), (f), (g) and (h). These matters have been considered in preceding sections of this report. In particular:

- Servicing with the necessary infrastructure is viable, with onsite storage of potable water and onsite wastewater disposal being feasible, as described in the Engineering Assessment. Power and telecommunication connections are not expected to be made a condition of consent as they will be supplied at the time that the lot is developed, if required by the property owner.
- The site is not near any significant mineral resources;
- The new building sites are not in close proximity to incompatible land use activities and can avoid reverse sensitivity;
- The proposal does not affect landscape or natural character values or transport corridors;
- The proposal has no direct effect on historic or cultural heritage features.
- The proposal avoids direct and indirect adverse effects on areas of indigenous vegetation, potential adverse effects on kiwi habitat can be mitigated;
- Adverse effects associated with natural hazards and downstream flooding are avoided. Existing and future impermeable surface coverage is likely to be low.
- The site does contain highly versatile soils; however, the proposal complies with the restricted discretionary activity subdivision standards under the Operative Far North District Plan and is therefore a change that is anticipated and provided for;
- Matters such as renewable energy, sustainable design technologies can be further addressed at the time that development on the vacant lots is proposed.

## **6.4 Objectives and Policies – ODP**

The objectives and policies of the Rural Environment, Rural Production Zone, Subdivision and Transportation Sections of the ODP are relevant to this proposal. As the proposal meets the restricted discretionary activity subdivision standards, and does not generate any land use rule infringements in terms of the Rural Production Zone or Transportation standards, it is considered that the proposal will be consistent with the strategies for the Rural Environment, Rural Production Zone and Subdivision sections of the ODP.

## **6.5 Objectives and Policies - PDP**

Relevant objectives and policies set out under the chapters 'Horticulture Zone' and 'Subdivision', and are commented on below, and it is concluded that the proposal will be consistent with some, but not all of the relevant strategies.

## **HORTICULTURE ZONE**

### **OBJECTIVES**

*HZ-O3 Land use and subdivision in the Horticulture zone:*

- a. avoids land sterilisation that reduces the potential for highly productive land to be used for a horticulture activity;*
- b. avoids land fragmentation that compromises the use of land for horticultural activities;*
- c. avoids any reverse sensitivity effects that may constrain the effective and efficient operation of primary production activities;*
- d. does not exacerbate any natural hazards;*
- e. maintains the rural character and amenity of the zone;*
- f. is able to be serviced by on-site infrastructure.*

The subdivision creates additional rural lifestyle sites on the property, these predominantly occupy land that is not highly productive; however, parts of Lots 1 – 3 are located on an area of mapped versatile soils. This area of highly productive land is, in itself, too small to be used for commercial horticulture, and unlikely to materially reduce potential for it to be used for horticulture. However, land fragmentation is proposed, and in the case of Lots 1 and 2 would likely prevent the use of those lots for horticultural activities. The balance lot will continue to be used for primary production. Lots 1 – 4 are located adjacent to existing rural lifestyle development and are otherwise bound by Puketotara Stream. An advisory consent notice could be applied to Lots 1 - 4 to draw attention to the existing primary production activities lawfully occurring within surrounding primary production land.

Natural hazards are not exacerbated, and there will be no change to the existing rural character or amenity values of the site and wider area. On-site infrastructure can be provided for each lot.

### **POLICIES**

*HZ-P5 Manage the subdivision of land in the Horticulture zone to:*

- a. avoid fragmentation that results in loss of highly productive land for use by horticulture and other farming activities;*
- b. ensure the long-term viability of the highly productive land resource to undertake a range of horticulture uses;*
- c. enable a suitable building platform for a future residential unit; and*
- d. ensure there is provision of appropriate onsite infrastructure.*

As per the comments on HZ-O3, the subdivision is considered to have a negligible effect in terms of the loss of highly productive land for primary production use. Suitable building platforms are available with onsite infrastructure being conceptually feasible.

*HZ-P7 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:*

- a. whether the proposal will increase production potential in the zone;*
- b. whether the activity relies on the productive nature of the soil;*
- c. consistency with the scale and character of the rural environment;*
- d. location, scale and design of buildings or structures;*
- e. for subdivision or non-primary production activities:*
  - i. scale and compatibility with rural activities;*
  - ii. potential reverse sensitivity effects on primary production activities and existing infrastructure;*
  - iii. the potential for loss of highly productive land, land sterilisation or fragmentation*
- f. at zone interfaces:*
  - i. any setbacks, fencing, screening or landscaping required to address potential conflicts;*
  - ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable;*
- g. the capacity of the site to cater for on-site infrastructure associated with the proposed activity, including whether the site has access to a water source such as an irrigation network supply, dam or aquifer;*
- h. the adequacy of roading infrastructure to service the proposed activity;*
- i. Any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity;*
- j. Any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

As outlined above, effects related to reverse sensitivity and loss of highly productive land are considered to be minor. Onsite and roading infrastructure can be provided, or is feasible. Adverse effects on heritage, cultural and natural features and values are avoided by the proposed

subdivision, nevertheless, detailed assessment of a recorded archaeological site has been commissioned to ensure that adverse effects on it can be avoided by future land use activities.

#### **SUBDIVISION OBJECTIVES**

*SUB-O1 Subdivision results in the efficient use of land, which:*

- a. achieves the objectives of each relevant zone, overlays and district wide provisions;*
- b. contributes to the local character and sense of place;*
- c. avoids reverse sensitivity issues that would prevent or adversely affect activities already established on land from continuing to operate;*
- d. avoids land use patterns which would prevent land from achieving the objectives and policies of the zone in which it is located;*
- e. does not increase risk from natural hazards or risks are mitigates and existing risks reduced; and*
- f. manages adverse effects on the environment.*

The subdivision provides for the creation of four additional lots, which are located near to existing rural lifestyle development, and is considered to be an efficient use of the land as per the listed objectives.

*SUB-O2 Subdivision provides for the:*

- a. Protection of highly productive land; ...*

As noted, the site contains a limited area of highly productive land, which is located opposite an existing area of rural lifestyle development off Waingaro Lane and Valencia Lane. The extent of highly productive land within the site is considered to be too small to be used for a commercially viable primary production use.

*SUB-O3 Infrastructure is planned to service the proposed subdivision and development where:*

- a. there is existing infrastructure connection, infrastructure should provided in an integrated, efficient, coordinated and future-proofed manner at the time of subdivision; and*
- b. where no existing connection is available infrastructure should be planned and consideration be given to connections with the wider infrastructure network.*

The lots will use onsite infrastructure, to be installed at lot development stage.

#### **POLICIES**

*SUB-P3 Provide for subdivision where it results in allotments that:*

- a. are consistent with the purpose, characteristics and qualities of the zone;*
- b. comply with the minimum allotment sizes for each zone;*
- c. have an adequate size and appropriate shape to contain a building platform; and*
- d. have legal and physical access.*

Lots 1 and 2 do not meet the minimum controlled or discretionary activity lot sizes for the Zone but contain a suitable building platform. The subdivision design is based on the placement of these lots to achieve suitable building platforms and represents the best practicable option in terms of avoiding effects on the continued pastoral grazing use of Lot 5. Legal access is to be provided through vesting and upgrade of road, and is otherwise available using existing legal road provision and proposed private access.

*SUB-P4 Manage subdivision of land as detailed in the district wide, natural environment values, historical and cultural values and hazard and risks sections of the plan.*

In terms of natural environment values, historical and cultural values and natural hazards, these can be managed using conditions of consent.

*SUB-P6 Require infrastructure to be provided in an integrated and comprehensive manner by:*

- a. *demonstrating that the subdivision will be appropriately serviced and integrated with existing and planned infrastructure if available; and*
- b. *ensuring that the infrastructure is provided in accordance the purpose, characteristics and qualities of the zone.*

New onsite infrastructure will be provided at lot development stage.

*SUB-P11 Manage subdivision to address the effects of the activity requiring resource consent including (but not limited to) consideration of the following matters where relevant to the application:*

- a. *consistency with the scale, density, design and character of the environment and purpose of the zone;*
- b. *the location, scale and design of buildings and structures;*
- c. *the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; or the capacity of the site to cater for on-site infrastructure associated with the proposed activity;*
- d. *managing natural hazards;*
- e. *Any adverse effects on areas with historic heritage and cultural values, natural features and landscapes, natural character or indigenous biodiversity values; and*
- f. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6*

As discussed above, adverse effects are largely avoided.

### 6.5.3 Weighting assessment of Operative and Proposed Far North District Plan

The current District Plan review process was initiated in 2016. Submissions and further submissions have been received and it is expected that the Council will give notice of its decision on the PDP this year. At this stage, it is considered that more weight should be applied to the provisions of the ODP as decisions have not yet been issued.

There are some provisions of the PDP which have immediate legal effect, and the proposal will comply with these rules. Under the PDP, the site is proposed to be zoned Horticulture. An assessment of the proposal against the relevant ODP and PDP objectives and policies has been provided above.

## 6.6 Regional Plans

### 6.6.1 Regional Plan for Northland

As noted in the Site Suitability and Civil Infrastructure Report, stormwater management within the proposed subdivision is designed to control stormwater flows, reduce scour and ensure compliance with the District and Regional Plan Rules.

Discharge of sewage effluent onto land is controlled by permitted activity rule C.6.1.3 of the Regional Plan for Northland. A feasible design that complies with that standard can be located on Lots 1 - 4 as outlined in the Site Suitability and Civil Infrastructure Report.

Minimal earthworks are required to complete the subdivision, being those associated with completion of vehicle access over easement A. These will be well within the permitted activity standards of the Regional Plan.

No consents are considered necessary for the proposed subdivision under the Regional Plan for this proposal, although careful design of the onsite wastewater system and earthworks will be required at building consent stage.

## 6.7 Part 2 of the Resource Management Act 1991

An assessment of the proposal in relation to the relevant purpose and principles of Part 2 of the RMA is given below.

### **PART 2 PURPOSE AND PRINCIPLES**

#### **5 Purpose**

- (1) *The purpose of this Act is to promote the sustainable management of natural and physical resources.*
- (2) *In this Act, sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety while-*
  - (a) *Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
  - (b) *Safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*
  - (c) *Avoiding, remedying, or mitigating any adverse effects of activities on the environment.*

#### **6 Matters of national importance**

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall recognise and provide for the following matters of national importance:*

- (a) *the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use and development;*
- (c) *the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna;*
- (h) *the management of significant risks from natural hazards.*

#### **7 Other matters**

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development and protection of natural and physical resources, shall have particular regard to-*

- (b) *The efficient use and development of natural and physical resources;*
- (c) *The maintenance and enhancement of amenity values;*
- (f) *Maintenance and enhancement of the quality of the environment;*

#### **8 Treaty of Waitangi**

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).*

The proposal is considered to promote sustainable management as per the purpose of the Act (Section 5) by creating four additional allotments while avoiding adverse effects. The proposed lots have been assessed as suitable in terms of onsite servicing, and public and private access. The proposed subdivision represents a scale of subdivision anticipated by the Operative District Plan as a restricted discretionary activity with an adequate level of service for public and private access proposed. It provides for the economic and social well-being of the owner of the subject property by creating four additional Records of Title, which are deemed suitable for their intended purpose, are located to cause the least disruption to continued farming activities within Lot 5, and can be developed in such a way that avoids and mitigates adverse effects resulting from additional traffic, property access, wastewater treatment and disposal, and stormwater disposal.

The proposal avoids adverse effects on the areas of indigenous vegetation on the site, with building platforms located outside these features, in accordance with matter 6(c). Existing vegetation along the gully areas will be retained, and the natural character of these areas will be preserved as per matter 6(a).

The Site Suitability and Civil Infrastructure Report provides an assessment of natural hazards included in Section 106 of the RMA, and with the proposed recommendations being implemented, there is no significant risk from natural hazards that would cause Section 106 of the RMA to apply.

The proposed subdivision is considered to be an efficient use of this land. A future building site on Lots 1 - 4 can be developed without affecting overall amenity values, and the predominant rural character will be retained. The proposal will maintain amenity values and the overall quality of the environment in terms of section 7.

The proposal has no known implications in terms of the Treaty of Waitangi.

Overall, the proposal is considered to be consistent with the purpose and principles of the RMA.

## 7. Consultation & Notification Assessment

### 7.1 Consultation

Comments have been sought from the Department of Conservation. Refer to **Appendix 6**. Their comments will be forwarded as soon as possible.

The subject site does not include any historic site, building or object as listed in Appendix 1E of the Operative District Plan. However, an archaeological site is recorded as straddling the boundary of Lot 3 and the adjoining paper road. This is being investigated by Geometria archaeologists, and a copy of the resulting report will be forwarded to Heritage New Zealand for their comments.

### 7.2 Public Notification

Step 1: Public notification is not requested. Sections 95A(3)(b) and (c) do not apply.

Step 2: Public notification is not precluded in terms of Section 95A(5).

Step 3: There are no relevant rules that require public notification, and the adverse effects of the proposal have been assessed as being less than minor. As such, public notification is not considered necessary.

Step 4: No special circumstances exist to warrant public notification.

### 7.3 Limited Notification

Step 1: There are no affected protected customary rights groups or affected customary marine title groups, the land is not subject to a statutory acknowledgement.

Step 2: Limited notification is not precluded.

Step 3: Section 95E describes when a person is an affected person. No person is considered to be an affected person in terms of this proposed activity as:

- The proposed subdivision is in accordance with the intensity provided for as a restricted discretionary activity under the Operative District Plan.
- The site is located more than 500m from the nearest boundary of land used as an airport.
- There will be no adverse effects on any downstream land in terms of flooding or inundation.
- Additional traffic will be provided for through upgrades to existing public and private access.

No person is expected to suffer from adverse effects that exceed a 'less than minor' level. As such, the proposal has no adverse effects on any person, and limited notification is not required.

Step 4: There are no special circumstances to warrant notification to any person.

### 7.4 Summary of Notification Assessment

As outlined above we are of the opinion that the proposal satisfies the statutory requirements for non-notification, and we respectfully request that it be processed on that basis.

## 8. Conclusion

In terms of sections 104 and 104C of the RMA, we consider that:

- Considering the matters over which Council has restricted the exercise of its discretion in the Operative District Plan:
- The adverse effects on the environment resulting from the proposed activity will be less than minor.
- The proposal is considered to be consistent with the relevant objectives and policies of the Operative District Plan;
- The proposal is consistent with some but not all of the relevant objectives and policies of the Proposed District Plan;
- The Operative District Plan is considered to be afforded greater weight at this time.
- The proposal is consistent with the relevant Regional and National Policy Statements.
- The proposal is in accordance with the Purpose and Principles of the RMA.

We also note that:

- No written approvals have been sought as it is considered that there are no persons who will be adversely affected by the proposed activity.

For these reasons it is requested this application be considered to be a non-notified application, and that the Council grant consent to the proposal, under delegated authority, as detailed in the application and supporting information.



Signed .....  
Natalie Watson,  
Resource Planner

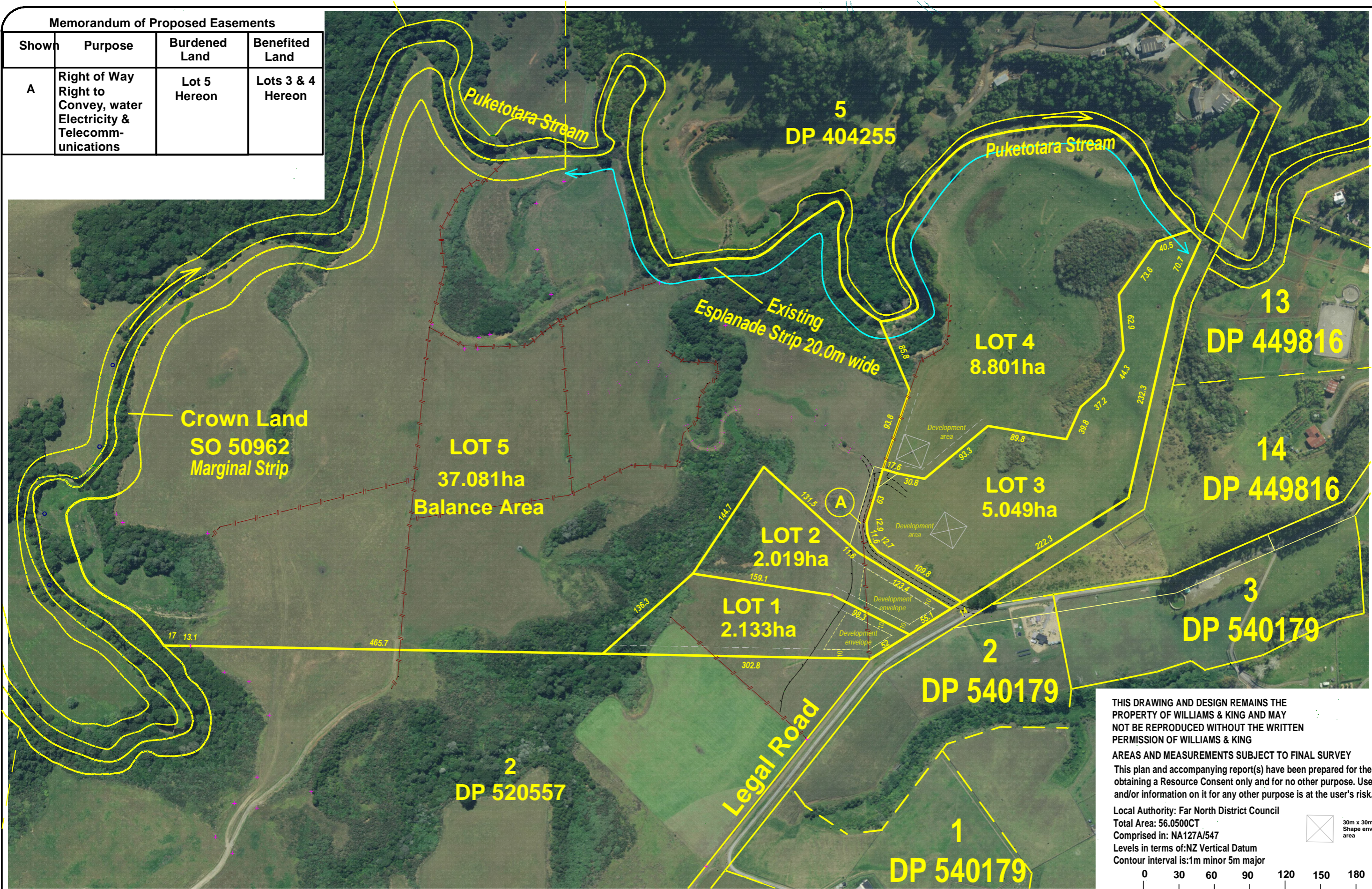
Date: 12 May 2026  
WILLIAMS & KING  
Kerikeri

## 9. Appendices

- Appendix 1** Scheme Plan
- Appendix 2** LDE Engineering Assessment
- Appendix 3** Correspondence regarding vesting of covenanted land (Waingaro Lane Extension) as Legal Road
- Appendix 4** Record of Title
- Appendix 5** Top Energy Correspondence
- Appendix 6** Department of Conservation Consultation Record

**Memorandum of Proposed Easements**

Shown	Purpose	Burdened Land	Benefited Land
A	Right of Way Right to Convey, water Electricity & Telecommunications	Lot 5 Hereon	Lots 3 & 4 Hereon



THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF WILLIAMS & KING AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF WILLIAMS & KING

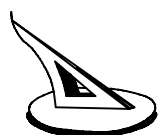
AREAS AND MEASUREMENTS SUBJECT TO FINAL SURVEY

This plan and accompanying report(s) have been prepared for the purpose of obtaining a Resource Consent only and for no other purpose. Use of this plan and/or information on it for any other purpose is at the user's risk.

Local Authority: Far North District Council  
 Total Area: 56.0500CT  
 Comprised in: NA127A/547  
 Levels in terms of: NZ Vertical Datum  
 Contour interval is: 1m minor 5m major

30m x 30m Shape envelope area

Prepared for: GP Flynn Limited



**WILLIAMS AND KING**  
 Registered Land Surveyors, Planners &  
 Land Development Consultants

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**PROPOSED SUBDIVISION OF  
 LOT 2 DP 198106**

Survey	Name	Date	ORIGINAL SCALE	SHEET SIZE
Design	W & K	Mar 2026		
Drawn				
Rev				

**24809**



G P Flynn Ltd

# **SITE SUITABILITY AND CIVIL INFRASTRUCTURE REPORT**



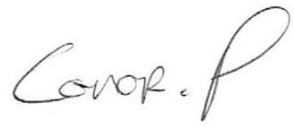
Lot 2 DP 198106 Waingaro Road, Kerikeri

**Project Reference: 30827**  
**May 11, 2026**


## DOCUMENT CONTROL

Version	Date	Comments
A		Issued for Consent

## GEOTECHNICAL ASSESSMENT

Prepared By	Reviewed By	Authorised By
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## CIVIL INFRASTRUCTURE ASSESSMENT

Reviewed & Authorised By
 <b>Hamish Gibson</b> Northern Civil Team Lead <i>BEngTech – Civil, MEngNZ</i>

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## 1 INTRODUCTION

LDE Ltd was engaged by G P Flynn Ltd to undertake a civil and geotechnical engineering assessment for the proposed subdivision of Lot 2 DP 198106, Waingaro Road, Kerikeri (Figure 1). It is proposed to subdivide the existing property to create four additional residential lots and a balance lot. Lots 1 and 4 will contain a proposed building platform, Lot 5 will be a balance lot, and will remain as rural production land use and is not significantly discussed further within this report

This report has been prepared for submission to Far North District Council, alongside a Resource Consent application.



Figure 1: Location of the subject site in relation to Kerikeri (Source: Google Earth<sup>1</sup>).

## 2 PROPOSED DEVELOPMENT

It is proposed to subdivide the site into four residential lots, and one balance lot. New metalled accessways will be required for each proposed residential lot. The proposed Lot 1 is to have a land area of approximately 2.1ha, the proposed Lot 2 a land area of approximately 2.0 ha, the proposed Lot 3 a land area of approximately 5.0 ha, and

<sup>1</sup> Google Earth Pro (<https://earth.google.com/web/>)

the proposed Lot 4 a land area of approximately 8.8 ha, the proposed Lot 5 (Balance Area) a land area of approximately 37 ha.

For the purpose of our analysis, we have identified a 20x20 m building platform on each of the proposed lots 1 - 4 (marked with red squares Figure 2). The proposed scheme plan is shown in figure 2 below.

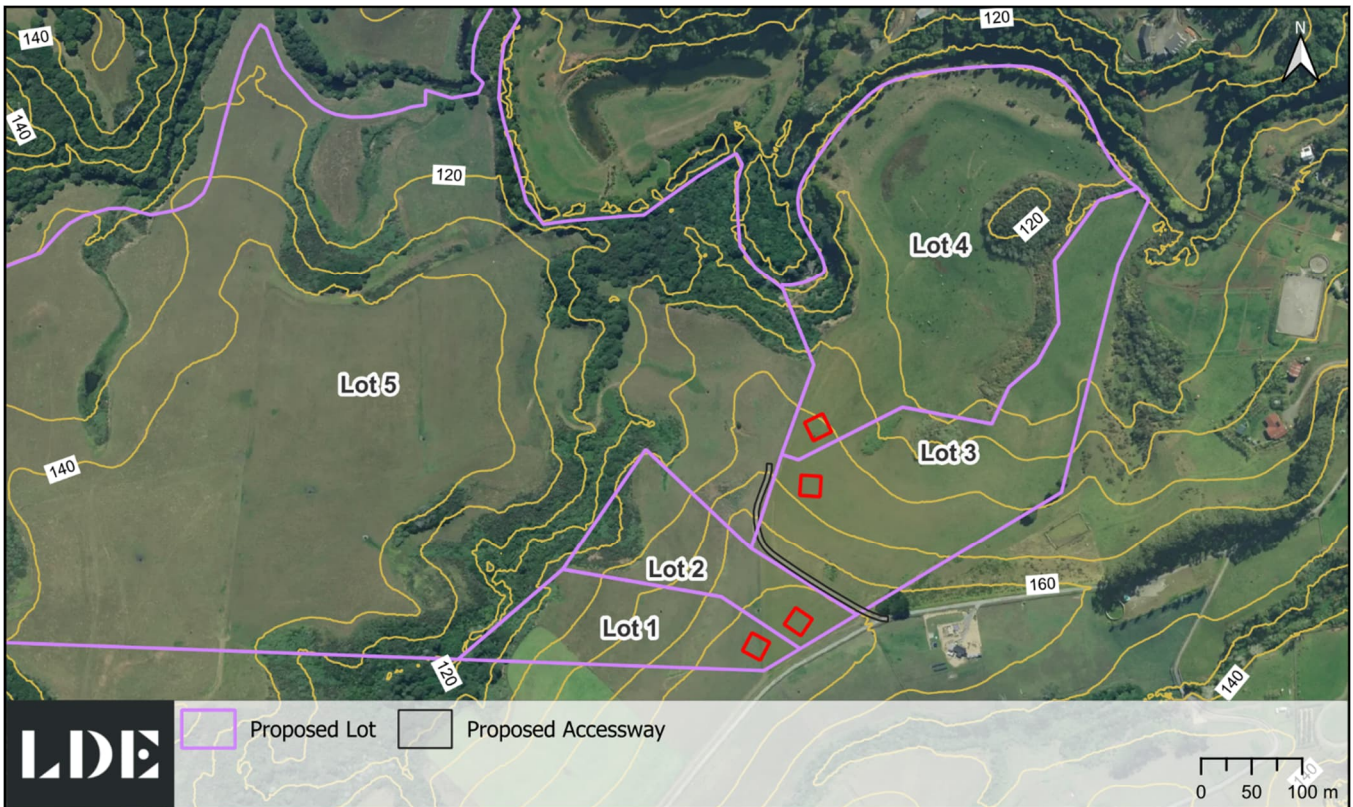


Figure 2: Site plan of proposed subdivision

### 3 DESKTOP STUDY

#### 3.1 Site Description

The subject site is situated approximately 6 km to the southwest of the Kerikeri township. Legally described as Lot 2 DP 198106, the property is an irregular-shaped agricultural lot comprising approximately 55 ha of land. The surrounding area consists mainly of agricultural land and rural residential properties and is zoned Rural Production under the Operative District Plan.

The portion of the site proposed for development (lots 1-4) occupies the ridge and flanks of a NE trending spur ridge. The eastern side of the development area, including Lots 3 and 4 is generally sloping towards the north-northeast, with a slope grade of 8-15° while the western side of the site, including Lot 1 and 2, consists of a broad, flat area at the top of the ridge, flanked by generally northwest facing slopes with a slope angle of approximately 8°. Note that a ridge feature separates lots 1 and 2 and lots 3 and 4.

The slope angle generally increases significantly towards the north, where the banks of the Puketotara Stream are located. Slope angle in this area of the property were measured at  $\geq 40^\circ$ . Small, densely vegetated depressions and minor gullies were present on the eastern side of the property; however, these are situated well outside any proposed building platforms.

No evidence of obvious land instability is visible within the vicinity of the proposed building platforms, however, the steeper slopes towards the north of the property show evidence of slumping. It is expected that this failure is related to fluvial processes associated with the Puketotara Stream, located at the base of these slopes. Outside of these northern slopes, minor soil creep was observed across the property, particularly on slopes steeper than  $18^\circ$ .

The property currently has access off Waingaro Lane via a metalled private lane which runs through a paper road, we understand that the lane is subject to a process of vestment with FNDC. No existing structures, other than farm fencing and water troughs are present within the development areas.

The proposed lots are not serviced by the town water supply or the reticulated stormwater and wastewater systems.

## 3.2 Mapped Hazards

LDE reviewed FNDC's Far North Maps (Te Kaunihera o Te Hiku o te Ika (FNDC), 2026) and NRC's Hazard Maps (Northland Regional Council, 2026). The site is mapped as being impacted by or potentially susceptible to the following natural hazards:

- Flood Susceptibility: The lower portions of the property (small northern portions of Lot 3 and 4) are situated within flood zones associated with the Puketotara Stream. While the mapped area of this hazard stops at the property boundary, extrapolating the data indicates that the flood zones would extend the length of the stream and therefore, influence the subject sites. However, as the proposed building platforms are  $>30\text{m}$  elevation above the base of the stream channel the hazard is not expected to impact the proposed building platforms.
- Liquefaction vulnerability: The vulnerability to liquefaction in the vicinity of the building platforms is mapped as unlikely.

## 3.3 Historical Information

LDE's review of relevant historical information including historic aerial photographs revealed the following:

- The site was observed to be vacant and used predominantly for pastoral land since at least 1951. No land use changes or structures were observed within the imagery.

## 4 CIVIL INFRASTRUCTURE ASSESSMENT

This infrastructure assessment aims to demonstrate that the proposed subdivision can be serviced with respect to three waters and access.

### 4.1 Water Supply

#### 4.1.1 Existing Infrastructure

A review of public infrastructure from the Far North District Council (FNDC) GIS indicates that there is no public water infrastructure available in the vicinity of the development.

An active water bore has been identified, approximately 140 m south of the parent lot, see Figure 3 below.



Figure 3: Existing water infrastructure at the subject property, source FNDC GIS

#### 4.1.2 Proposed Potable Water Supply System

With an annual average rainfall of approximately 1,720 mm (as per rainfall figures from NRC's Environmental Data) and sufficient roof catchment area, the proposed development can operate with a potable water supply system that is fully reliant on rainwater tanks. The values indicated in the Table 1 below confirm these assumptions.

Table 1: Roof water supply values

Description	Detail
Water supply	Catchment from roof areas
Roof area	200 m <sup>2</sup>
Annual rainfall (NRC environmental data)	1,720 mm/year
Rainwater volume	1,720 mm/year x 200 m <sup>2</sup> = 344,000 L
Average volume per month	344,000/12 = 28,600 L
Number of bedrooms incl. study office etc.	4
Number of People	6
Daily consumption (L/person/day)	180 L/person/day
Daily demand per household	180 L/person/day x 6person = 1,080 L
Tank size	50,000 L approx..
Number of weeks for tank water supply based on 180L/person/day	7-weeks approx.
Alternatively, if using water-reduction fittings	120 L/person/day
Number of weeks water supply based on 120L/person/day	10-weeks

A minimum potable water storage of 50,000 L per lot is required to provide sufficient drought resistance and reduce the need to purchase water. However, this is at the property owner's discretion. Alternate storage may be provided depending on their needs and the proposed dwelling design.

The tank locations shall be determined as part of the building consent process, based on the final location of the new dwellings. The proposed water supply tank shall be connected directly to the roof downpipes, and the overflow

pipes shall be directed away from any slopes with grades greater than 1V:6H and connected to a level spreader bar or similar device. Erosion control in the form of riprap or other suitable measures should be installed at all stormwater outlets.

## 4.2 Water Supply for Firefighting Purposes

### 4.2.1 Existing Infrastructure

A review of public infrastructure from the Far North District Council (FNDC) GIS indicates that there is no public firefighting infrastructure available in the vicinity of the development.

### 4.2.2 Proposed Firefighting Water Supply System

In accordance with the Fire Services Fire Fighting Water Supply Code of Practice (NZS PAS 4509:2008), Appendix B – Alternative Fire Fighting Water Sources, two water tanks will provide sufficient firefighting volume within the development.

The tanks should be located adjacent to the ROW/paper road to provide unobstructed access to the firefighting supply from the common accessway. This location will also be within 90 m of all proposed dwellings. To optimise the space available and amenity value, the proposed fire tanks can be buried or partially buried tanks if required.

The tanks must be full of water at all times and should be inspected regularly. If they are found to be low, then they must be topped up to ensure adequate firefighting volume is stored within the development.

Each tank should be provided with an outlet pipe and coupling to provide 750 L/min (12.5 L/s) of fighting flow. These firefighting supply tanks should be installed and filled as part of the subdivision's physical works.

The following specifications (Table 2) are proposed for the development:

Table 2: Firefighting water supply details

Description	Detail
Maximum distance from water storage to building	90 m
Building floor area	200 m <sup>2</sup>
Water supply classification	FW2
Firefighting time	30 min
Required firefighting volume	45,000 L
Proposed firefighting supply	2 x 25,000 L tanks

## 4.3 Onsite Wastewater Disposal

### 4.3.1 Existing Infrastructure

A review of public infrastructure from the Far North District Council (FNDC) GIS indicates that there is no public wastewater infrastructure available in the vicinity of the development.

### 4.3.2 Proposed Onsite Wastewater System

To meet the wastewater requirements of the development, it is proposed to install an on-site wastewater treatment system within each lot. No specific house plans are available at this stage of the project, so we have assumed a typical 4-bedroom dwelling to demonstrate that on-site wastewater disposal can be achieved within each proposed lot.

Specific on-site wastewater reports shall be prepared for each lot at the building consent stage if the design parameters (e.g., house size or disposal method) differ from those provided here. The engineering drawings attached to this report show that a suitable area for a wastewater disposal field is available within each proposed lot boundary. The location of the fields is indicative only and should be confirmed during detailed design.

Category 4 soils, as defined in GD06: Onsite Wastewater Management by Auckland Council, have been adopted for the site, given the silty soils encountered in the LDE geotechnical investigation. Details of the underlying soils are provided in the geotechnical section of the report. Accordingly, it is envisaged that the proposed system will consist of a secondary-treated onsite wastewater system with dripper lines installed for irrigation of the designated planted areas of the lot. Primary values of the proposed system are indicated below.

Table 3: Onsite wastewater design summary

Description	Detail
Number of bedrooms incl. study, office etc	4
Number of people	6
Outflow per person	180 L/person/day
Total daily flow	1,080 L/day
Sludge Accumulation Volume	
Sludge accumulation per person per year	80L/year
Volume	480L/year
Desludging frequency	5years

Total sludge volume	2,400 L
<b>Minimum Volume of Septic Tanks</b>	
1 x daily flow (to allow 24hours of settlement period)	1,080 L
1 x daily flow (to allow for 24-hours emergency storage either within septic tank or pump chamber)	1,080 L
Total required capacity of single tank	$2 \times 1,080 \text{ L} + 2,400 \text{ L} \approx 4,500 \text{ L}$
<b>Disposal</b>	
Level of wastewater treatment	Secondary
Application system	Pressure-compensating dripperline irrigation system
Dosing rate	3.5 L/m <sup>2</sup> /day
Slope reduction factor	20 % (for slope of up to 20 %, as per Table M2 of AS/NZS 1547:2012)
Design dosing rate	$3.5 \text{ L/m}^2/\text{day} \times 0.8 = 2.8 \text{ L/m}^2/\text{day}$
Required area for disposal	400 m <sup>2</sup>
Reserve area for disposal	200 m <sup>2</sup>
<b>Setbacks</b>	
Minimum setbacks	As per Table 9 from NRC's Regional Plan, TP58 and/or NZS1547
Property boundaries	1.5 m
Building or other structures	3 m
Overland flow path	5 m
River/rural drain	>15 m
Offset from the highest groundwater level	>0.6 m

In the proximity of the site, the flood model and contour data are available on NRC's GIS, but not for the site. Upon review of the available NRC flood data in proximity to the site (downstream), it can be observed that 1% flood event is mostly confined within the 110 m contour line, while the proposed field (for resource consent purposes) for all proposed lots is at least 10 m above that flood level. Based on the above review, we consider that each lot has sufficient space for a disposal field.

The specific size and locations of the proposed systems shall be determined as part of the building consent process and based on the final location and size of the new dwelling. We also recommend confirming flood levels for the lot-specific design of the disposal field if any part of the proposed field is to be situated below an elevation of 120 m (i.e., within 10 m of the modelled flood height).

## **4.4 Stormwater Management**

### **4.4.1 Existing Infrastructure**

A review of public infrastructure from the Far North District Council (FNDC) GIS indicates that there is no public stormwater infrastructure available in the vicinity of the development.

### **4.4.2 Flooding**

In the proximity of the site, the flood model and contour data are available on NRC's GIS, but not for the site. Upon review of the available NRC flood data in proximity to the site (downstream), it can be observed that 1% flood event is mostly confined within the 110m contour line, while the proposed field (for resource consent purposes) for all proposed lots is at least 5m above that flood level, see Figure 4 below. Based on the above review, we consider sufficient space available within each lot for development.

The specific building location, accessway, associated levels, etc., are to be determined as part of the building consent process. We also recommend confirming flood levels and habitable floor levels for the lot-specific design.

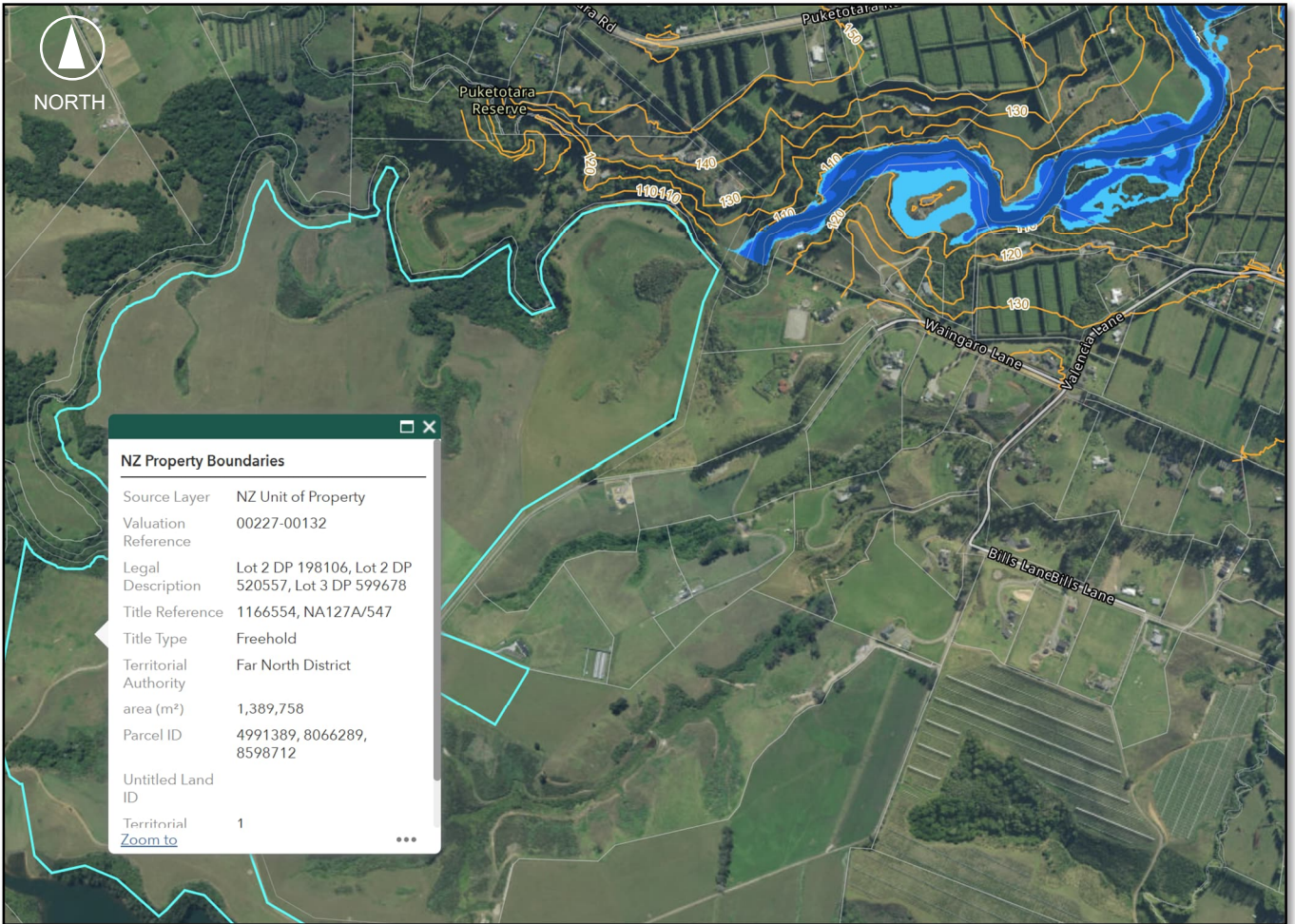


Figure 4: NRC flood hazard in the vicinity of the site (shown in cyan line)

#### 4.4.3 Proposed Stormwater Management and Analysis

As with any development, new impervious areas will be created as part of the subject proposal, and these will be mitigated in accordance with council guidelines, with analysis outlined in the following sections.

The proposed impervious areas are roof areas, associated hardstand area and ROW serving Lots 3, 4 and 5 as shown in Figure 5 below. The roof areas and associated hardstand for each Lot are to be attenuated by an above-ground tank. The ROW area is to be attenuated by a pond.

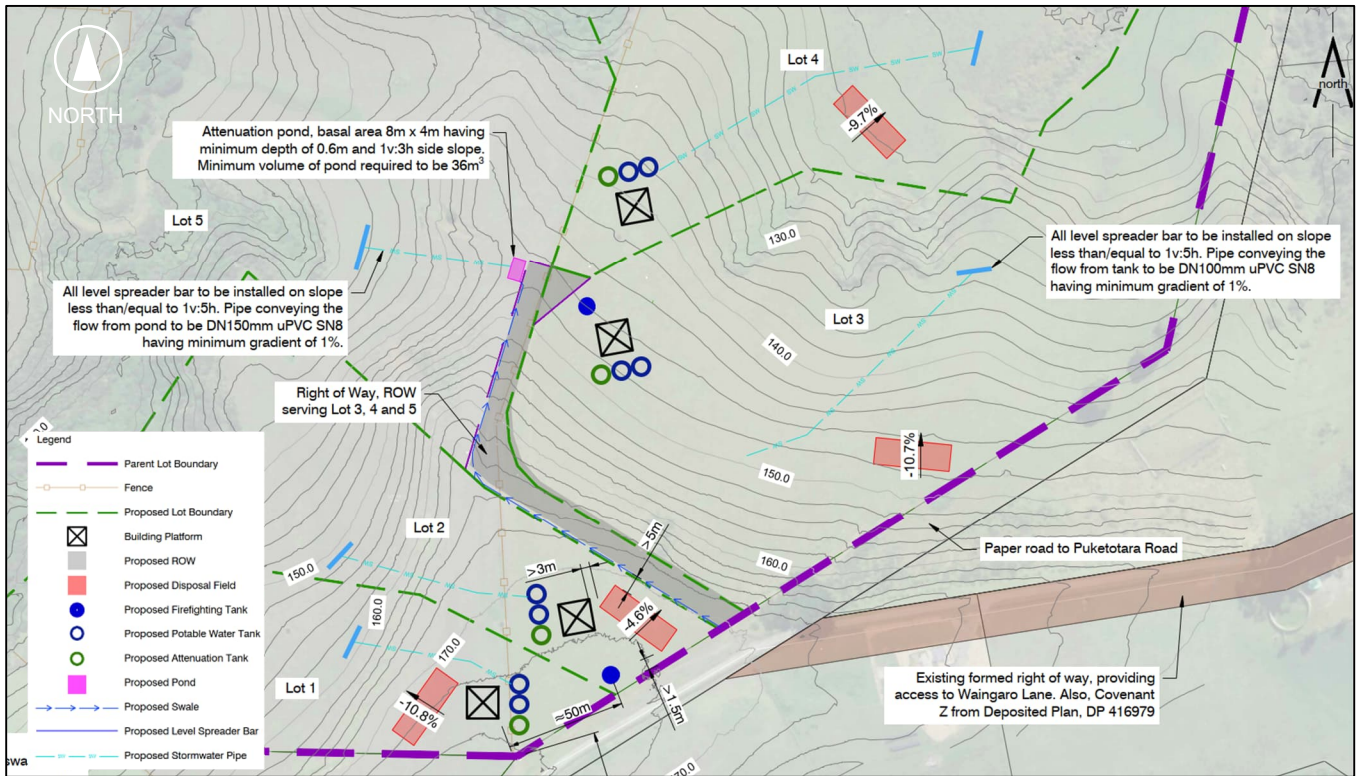


Figure 5: Layout of various services and access to the proposed subdivision

The proposed design attenuates the increase in stormwater runoff for 50 %, 10 % and 1 % AEP storm events, accounting for a 20 % increase in climate change in the post-development scenario.

#### 4.4.3.1 Hydrology

Rainfall data from NIWA HIRDS V4 were used in the analysis. The 24hr duration for designing AEP rainfall events, with allowance of 20 % for climate change, was used in the modelling, see Table 4 below. A TR-55 Type 1A storm profile was used for the modelling.

Table 4: Rainfall depth summary  
 Rainfall Depth for 24-hour Storm Duration, mm

	50 % AEP	20 % AEP	1 % AEP
Historical	128	168	302
Historical + 20% CC*	154	202	362

\*CC stands for climate change

Type B soils were adopted for the subject site, given the silt encountered in the geotechnical investigation. Accordingly, the following runoff curve numbers were chosen for modelling in accordance with FNDC’s Engineering Standards, see Table 5 below.

Table 5: Curve number summary

Pre-development		Post-development	
Surface Cover	CN	Surface Cover	CN
Grass	74	Roof, Sealed Driveway	98
		Gravel ROW	89

#### 4.4.3.2 Design Impervious Areas for Attenuation

In accordance with the subdivision and development proposal, it is assumed that each lot will have the following characteristics (Table 6):

Table 6: Site cover summary, pre- and post-development scenarios

Post-development			Pre-development	
	Description	Cover (m <sup>2</sup> )	Description	Cover (m <sup>2</sup> )
Lot-specific	Roof	200	Grass	900
	Hardstand (sealed)	150		
ROW	Hardstand (gravel)	550*		
Total		900*	Total	900

\*Total ROW area based on 4.5m carriageway is approximately 1,100m<sup>2</sup>. As the ROW is shared between three lots, half of the ROW is attenuated to demonstrate that a representative lot attenuation is achievable for resource consent purposes.

A swale will receive runoff from the ROW and convey it to the pond for attenuation purposes.

#### 4.4.3.3 HEC-HMS Modelling

- Peak flow analysis was undertaken for each governing storm event.
- Attenuation design and corresponding devices were sized (tank) for each lot based on 350m<sup>2</sup> impervious areas. The remainder of the lot areas are considered to stay permeable, grassed and landscaped; therefore, it is not included in the analysis.
- Attenuation of was undertaken; the pavement area will drain to a roadside swale. A suitable attenuation device (pond) is sized to attenuate the peak runoff from his area.

#### 4.4.3.4 HEC-HMS Modelling Results

The tables below show the pre-development and attenuated post-development peak flow rates from the subject site. The detailed output tables from HEC-HMS modelling are appended to this report. The results show that the proposed design attenuates post-development peak flow rates to less than 80 % of pre-development flow rates for the 50 %, 10 % and 1 % AEP storm events. Detailed output from HEC-HMS is appended to this report.

##### **Single Lot Attenuation**

Attenuation using an above-ground tank having a capacity of 30,000 L (Promax Xpress 30,000 L tank or similar) is achievable, based on the assumed impervious areas mentioned above, within each lot. Table 7 below, provides a summary of the pre-development and post-development peak flow rates. See the appended HEC-HMS output for more information.

Table 7: Pre- and post-development peak flow summary for lot-specific impervious cover

Storm Event	Pre-development Peak Flow (L/s)	Post-development Peak Flow (L/s)
50% AEP	1.7	1.3
20% AEP	2.5	2.0
1% AEP	5.6	3.4

The orifice arrangement of the proposed attenuation tank to achieve the above summarised post-development peak flow is shown in Table 8 below.

Table 8: Orifice layout for above-ground attenuation tanks

Orifice	Diameter (mm)	Elevation from bottom of tank/structure to centre of orifice (m)
1	25	0.1
2	22	1.0
3	100 (overflow)	2.4

##### **ROW Attenuation**

ROW attenuation using a pond with a capacity of 36 m<sup>3</sup> is achievable, based on the assumed impervious areas mentioned above. See appended engineering drawings for more information. Pond basal area is assumed to be 8 m x 4 m, having 0.6 m depth and 1v:3h side slope. Table 9 below provides a summary of the pre-development and post-development peak flow rates; see the appended HEC-HMS output for more information.

Table 9: Summary of peak flow rate pre- and post-development for ROW

Storm Event	Pre-development Peak Flow (L/s)	Post-development Peak Flow (L/s)
50% AEP	3.9	2.5
20% AEP	5.4	3.0
1% AEP	10.5	5.2

The orifice arrangement of the proposed attenuation pond to achieve the above summarised post-development peak flow is shown in Table 10 below.

Table 10: Orifice layout for attenuation pond for ROW

Orifice	Diameter (mm)	Elevation from bottom of tank/structure to centre of orifice (m)
1	50	0.05
2	35	0.4
3	Overflow	0.6

#### 4.4.3.5 Outfall

All outlet flows must be directed to the west and carried to the base of the slope or to such a point that they do not cause or exacerbate land instability. A spreader bar can be used to convert flow from the attenuation device to sheet flow. The bar must be located on a slope having a maximum gradient of 1 in 6. Erosion control in the form of riprap or other suitable measures should be installed at all stormwater outlets.

## 4.5 Access

### 4.5.1 Existing Access

Our desktop study shows that the site is currently accessed via a gravel road that connects to Waingaro Lane. We understand that the site does not have access rights to the Lane. There is also a paper road along the southern boundary of the site, intended to provide access to Puketotara Road (see below). From our communication with the surveyors, planner and FNDC, the council is in the process of taking over the ROW from Waingaro Lane as discussed in Section 4.5.2.

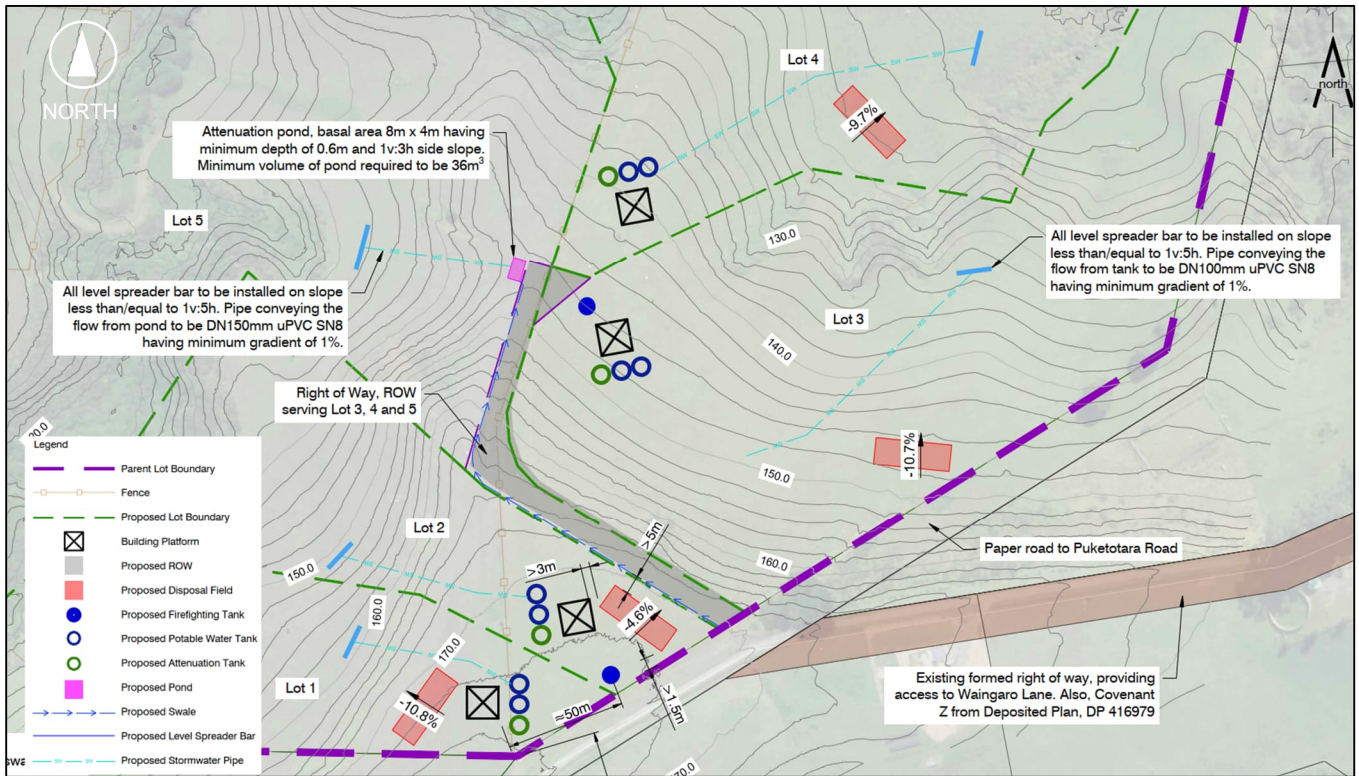


Figure 6: access via existing ROW and paper road to Puketotara Road

#### 4.5.2 Proposed Access and Vehicle Crossing

We understand that access to the lots is to be from Waingaro Lane, to be provided via a newly vested road, which consists of Area Z on Lot 2 and 3 DP 540179, Lot 10 DP440500 and Lot 13 D 436427, in accordance with the consent notice for that title shown on the figure below. Area Z is shown on Figure 7. We understand that FNDC is in the process of investing in the road. The FNDC reference for this process is RFS4264753.

Lots 1 and 2 to be accessed from accessways formed to the legal road, Lots 3, 4 and 5 via a ROW to be sealed/unsealed, and its design can be confirmed during the Engineering Plan Approval (EPA) phase. Figure 8 below shows a typical rural vehicle crossing sourced from FNDC Engineering Standards.

##### All Lots

- Areas "Y" & "Z" are restrictive covenants for the purposes of future road. The Far North District Council is entitled to take the covenanted land for road at any time without compensation.

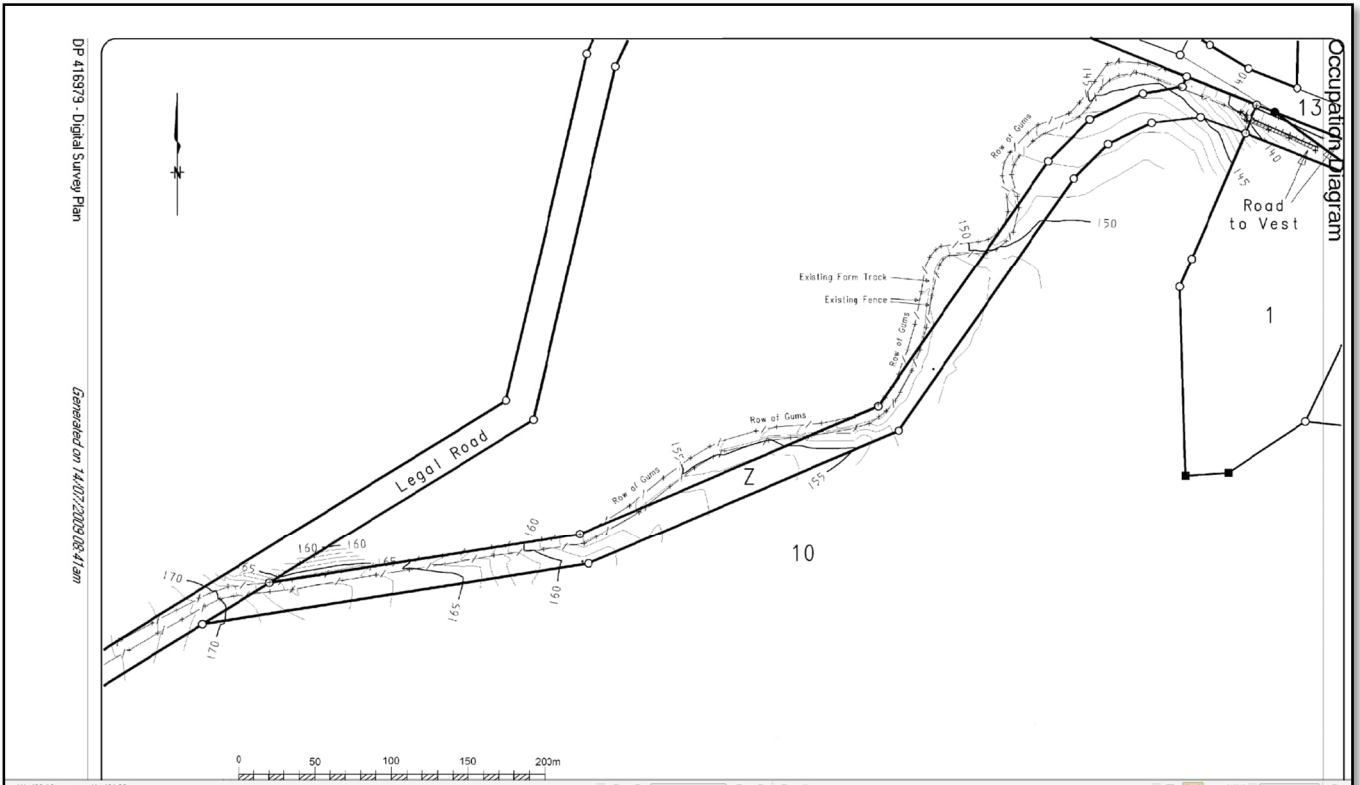


Figure 7: Extract from consent notice and Covenant Z

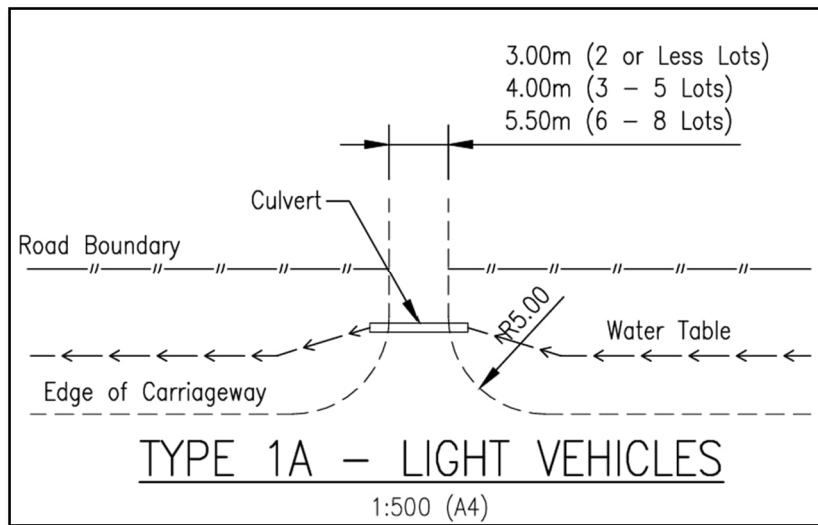


Figure 8: Typical rural vehicle crossing sourced from FNDC Engineering Standards

As per Table 3-16 of FNDC, we recommend a minimum road formation to be 4.5 m wide, including 250 mm of shoulder space on either side. It is proposed that the runoff from the ROW will drain to a pond or similar device via a swale, and site neutrality can be achieved. See the stormwater section of the report above for more information.

## 5 GEOTECHNICAL SUITABILITY ASSESSMENT

LDE undertook a geotechnical assessment at the site to assess ground conditions and quantify any potential geotechnical hazards which may impact on the subject development. This assessment included a walkover by a senior engineering geologist, mapping of observed geomorphological features and hand testing to develop a geological model of the site which is presented in the stability analyses wit.

### 5.1 Geology

The 1:250k Geology Map of New Zealand (Heron, 2020) GNS Science identifies the site as being underlain by Late-Miocene aged Basalt lava flows of the Kerikeri Volcanic Group – Bay of Islands Volcanic Field. Our assessment of the site indicates that the basalt has weathered to an iron-stained, residual soil.

### 5.2 Geomorphology

The subject site and surrounding area consist of rolling hill country. The proposed development area occupies the ridge and flanks of a NE trending spur. The local slopes, generally have a northeast to northwest aspect, with slope angles typically ranging between 10° and 20°. To the north of the property, the meandering Puketotara Stream is present, with steep banks exhibiting slope angles of up to approximately 55°. These steeper slopes show evidence of localised instability, including relatively large slumping failures (Figure 9) and the presence of multiple, deep tension cracks (observed to be up to 600 mm deep and 500 mm wide) situated along the length of the lower part of the banks (Figure 10).



Figure 9: Photograph of the type of failure located on the northern slopes above the Puketotara Stream.



Figure 10: Photograph of the tension cracks identified on the northern slopes down to the Puketotara Stream.

The proposed building platforms for lots 1 and 2 are essentially level and are located along the top of the ridge, with an adequate setback from adjacent slope crests (Figure 11). Lots 3 and 4 are situated on the eastern side of the ridge on gently sloping ground, with slope angles across the proposed building platforms, generally between 6° and 12° (Figure 12). No evidence of instability was observed within the vicinity any of the proposed building platform areas.

A ridge feature extends between Lot 2 and Lots 3 and 4, forming a natural divide in slope direction. Areas of essentially level ground are present to the northeast and west of the property, however, these areas are well isolated from the proposed building platforms. Minor soil creep was observed along the steeper slopes across the property.



Figure 11: Photograph of the essential level area where the building platforms of Lots 1 and 2 are situated. Note the change in direction of the north arrow



Figure 12: Photograph of the existing site conditions across the proposed building platforms for Lots 3 and 4. Note the change in direction of the north arrow.

### 5.3 Site Investigation

A site walkover and hand testing were undertaken on the 31/03/2026 by two engineering geologists from LDE. 6no. hand augers were undertaken, one in the middle of each of the proposed building platforms, and two in locations down slope of the platforms to inform the slope stability assessment. Shear vane tests were undertaken every 0.2 m depth in the tests for the building platforms. Dynamic Cone Penetrometer (DCP) tests were undertaken in the base of selected holes to assess the depth to the weathering horizon. Test locations are shown on the geotechnical investigation plan below (Figure 13) and in Appendix A. Detailed test logs are provided in Appendix B.

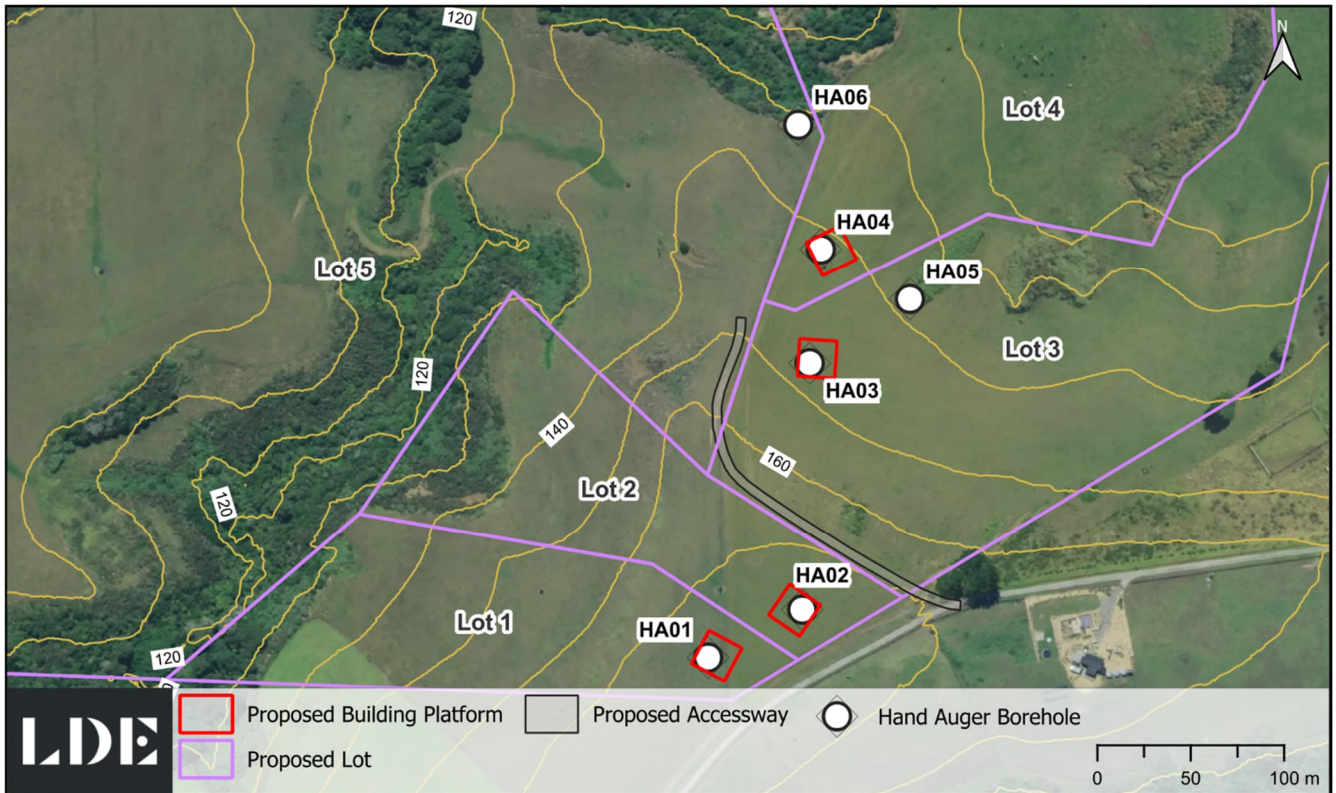


Figure 13: Geotechnical investigation plan.

## 5.4 Ground Conditions

The building platforms for Lots 1 - 4 were generally underlain by residual volcanic soils which underlie topsoil (0.4m) and extended beyond the depth of our testing (5 m). The soils consist of very stiff to hard, low plasticity, silt, clayey silt, and silty clay, consistent with residual soils of the Kerikeri Volcanic group. Measured in-situ shear strengths in the residual soils were in the range of 130 kPa to 213+ kPa, averaging >200 kPa. Soils were found to be insensitive to moderately sensitive with average ratios of peak to remoulded shear strength of 2. DCP tests were completed at the base of HA3 and HA5, DCP results were in the range of 1-6 blows/50mm down to approximately 5.5m bgl. Beyond this depth the DCP results increased to 6-10 blows/50mm, it is inferred that this depth indicates the transition zone between residual soils and completely weathered rock. No bedrock was encountered within any of the tests, however, HA1 refused at approximately 3.8 m bgl, likely on an inferred boulder, which are known to be present within this soil type.

Groundwater was not encountered within any of the boreholes and is expected to lie 7-10 m below the ground level, based on the elevation and distance to surrounding watercourses.

## 5.5 Natural Hazards

This section summarises our assessment of the natural hazards within the property in close proximity to the proposed building platforms as broadly required by Section 106 of the Resource Management Act (1991 and subsequent amendments) and including geotechnical and coastal hazards given in Section 71(3) of the Building Act (2004). This includes erosion, inundation, subsidence, and slippage.

This section also includes our assessment of ground beneath the building site which is outside the definition of “Good Ground” as defined by NZS3604 (2011) “Timber Framed Buildings”.

### 5.5.1 Natural Hazards Risk Assessment

A risk assessment is provided in accordance with the National Policy Statement for Natural Hazards 2025 (Ministry for the Environment, 2025). This requires the assessment of a likelihood of the hazard occurring at the site in terms of Annual Exceedance Probability for any given year (AEP) or Average Recurrence Interval or ‘return period’ (ARI).

Where possible, this information is taken from existing reporting or site assessments, for example region wide coastal inundation reporting or council flood mapping available from online GIS hazard mapping databases. Table 11 below from the NPS-NH 2025 outlines the risk levels for various combinations of likelihoods and consequence levels.

Table 11: NPS-NH 2025 Risk Matrix  
 Likelihood Level

		Almost Certain	Very Likely	Likely	Possible	Unlikely	Rare	Very Rare
ARI (years)		up to 10	10-20	20-50	50-100	100-500	500-5000	>5000
AEP		10% or more	10% to 5%	5% to 2%	2% to 1%	1% to 0.2%	0.2% to 0.02%	<0.02%
Consequence Level	Catastrophic	Very High	Very High	Very High	High	Medium	Medium	Medium
	Major	Very High	Very High	High	High	Medium	Medium	Medium
	Moderate	High	High	High	Medium	Medium	Low	Low
	Minor	Medium	Medium	Medium	Medium	Low	Low	Low
	Negligible	Low	Low	Low	Low	Low	Low	Low

Table 12, below, sets out the consequence of any given hazard in terms of damage to property and potential for injury or fatalities.

Table 12 - Consequence Table

Consequence Level	Damage to property	Potential for injury or fatalities
Catastrophic	Severe damage to land and building(s), potential for collapse or total destruction of structures. Building(s) need to be demolished, rebuilt or relocated.	High threat to life safety, with probable fatalities and/or critical injuries.
Major	Major damage to land and building(s), including structural damage. Loss of use and substantial repair required.	Unsafe for people, with potential for many injuries, or critical injuries and/or fatalities.
Moderate	Some damage to land and non-structural damage to building(s). Limited loss of use, repairs required.	Unsafe for people, with potential for injuries, although expected to be minor.
Minor	Minor damage to land and building(s). No loss of use, minimal repairs required.	Isolated minor injuries possible.
Negligible	No loss of use, no building repairs required.	No injuries.

A summary of the results of the assessment of the risk to the development for different hazards is presented in Table 13. Hazards for which the risk to land or the proposed development is assessed as being medium or higher are discussed in further detail in the sections that follow. Engineering mitigation measures are provided in Section 6.

Table 13: Summary of natural hazards, their impacts on the development and the interpreted risk.

Hazard		Assessment Description	Consequence	Likelihood	Risk
Ground Conditions	<b>Low Bearing Materials</b>	The surficial soils beneath the site are typically very stiff to hard. The surficial soils are expected to have a static geotechnical ultimate bearing capacity (GUBC) of >300 kPa	Minor	Unlikely	Low
	<b>Compressible Soils</b>	Uncertified fill and compressible soils were not encountered in our hand testing.	Negligible	Unlikely	Low
	<b>Expansive Soils</b>	The plasticity of the surficial soils encountered on site ranges from low to moderate. The anticipated reactivity of site subsoils based on field methods is moderate, with Characteristic surface deformations anticipated to be 22-44 mm.	Moderate	Possible	Medium
	<b>Erodible Soils</b>	The silty, volcanic subsoils are considered to be erodible, measures are required to reduce the erosion risk, particularly around stormwater outlets.	Minor	Likely	Medium
Earthquake	<b>Surface Fault Rupture</b>	The GNS Active Faults Database (2022) does not show any faults passing beneath the site. There also does not appear to be any surface expressions which would indicate the presence of an active fault beneath or within proximity to the site.	Minor	Very Rare	Low
	<b>Seismicity</b>	The national seismic hazard model for New Zealand shows that the area has low seismicity.	Moderate	Rare	Low
	<b>Liquefaction</b>	The site is mapped by FNDC as being unlikely to be impacted by liquefaction. Ground conditions at the site reflect this assessment.	Negligible	Rare	Low
	<b>Cyclic Softening</b>	The clay soils encountered at the site were generally low to insensitive; hence the risk of cyclic softening is considered low.	Negligible	Rare	Low
	<b>Lateral Spreading</b>	The risk of lateral spreading occurring at the site is considered to be low given the low liquefaction risk.	Negligible	Rare	Low
<b>Tsunami</b>	The site is elevated at >100 m and is not considered to be at risk of inundation during a Tsunami.	Negligible	Rare	Low	
<b>Slope Instability</b>	The property consists of rolling hill country with Lots 3 and 4 situated on gently sloping land. Additionally, steep slopes and ongoing instability are evident on the stream banks to the north of the site. Soil creep was also observed on the steeper slopes around the development areas.	Moderate	Possible	Medium	
<b>Flooding</b>	The lowest building platform is elevated approximately 30 m above the nearest water course and modelled flood extents and is not considered to be at risk from flooding.	Minor	Unlikely	Low	
<b>Coastal Hazards</b>	The site is not located near the coast and is not considered to be at risk from coastal hazards.	Negligible	Very Rare	Low	
<b>Notes</b>					
<ul style="list-style-type: none"> <li>LDE risk matrixing index values are as per Table 1 from NPS-NH 2025</li> </ul>					

## 5.5.2 Site Subsoil Class

Based on the published geological information for the region discussed in 5.1, we consider that the site classification of C- "Shallow Soil" Site is appropriate as defined by NZS 1170.5 (2004).

## 5.5.3 Seismic Actions

In accordance with the NZ Building Code and NZS 1170.5 (2004): Any proposed structures at the site are likely to be Importance Level 2 (IL2) with a design working life of 50 years, and therefore: -

- The Serviceability Limit State (SLS) design earthquake has an annual exceedance probability of 1/25.
- The Ultimate Limit State (ULS) design earthquake has an annual exceedance probability of 1/500
- Furthermore, an intermediate state event (ILS) has been considered in accordance with Module recommendations (New Zealand Geotechnical Society (NZGS) & Ministry of Business Innovation and Employment (MBIE), 2021) for an annual exceedance probability of 1/100.

Ground motions adopted in accordance with Module 1 (2021) for geotechnical design are summarised in Table 14.

Table 14: Summary of adopted seismic parameters

Seismic Parameters	SLS	ILS	ULS
Horizontal Peak Ground Acceleration (PGA), g	0.03	0.07	0.19
Effective Magnitude, Mw	5.8	5.8	6.5

## 5.5.4 Slope Stability

## 5.6 Numerical Stability Assessment

Given the steepness of the slopes below the proposed lots 3 and 4, and the presence of ongoing instability along the banks of the Puketotara Stream, it was necessary to undertake a detailed, numerical assessment, to determine whether instability of the slopes may impact on the proposed development.

Two design cross-sections were considered for the assessment of slope stability, the cross-sections extend from the top of the ridge, through the proposed building platforms, and to the stream / level at the base of the slope. The topographic profiles for the cross-sections were derived from a 1 m digital elevation model (DEM) of the site, itself derived from the 2018-2020 Northland Regional LiDAR survey. The locations of the cross-sections are shown on the site plan in Appendix A. The analysis results are provided in Appendix E.

### 5.6.1 Methodology & Assumptions

The stability of the site has been assessed based on the geomorphology of the surrounding slopes, shallow ground testing data, and numerical stability analyses carried out using specialist geotechnical software (Rocscience Inc. SLIDE 2 Modeler v. 9.008).

The numerical analyses included assessments of the slope stability under likely worst case groundwater conditions over the life of potential future dwelling (long term design conditions), the extreme condition of an elevated saturated slope, and SLS, ILS and ULS seismic conditions.

The GLE/Morgenstern-Price method, which considers interslice forces, has been adopted, with non-circular failure surfaces used within the analysis. A staged pseudo-static method proposed by Duncan et al (1990) is used to analyse the stability of slopes during earthquake shaking. The soil strength parameters used in the analyses are shown in Table 15 and were generally derived by back-analysis, or from published and unpublished correlation charts and tables. Consideration has been given to the behaviour of the materials with long term loading, and their strength under likely worst case moisture content levels. The factor of safety criteria for each design scenario are shown in Table 16. The adopted model geometry adopts a weathering profile, like that observed in the hand testing. The analysis limits were adjusted through experimentation to focus the analysis on the location of the proposed building platforms, and areas which were found to impact these.

Table 15: Adopted material strength parameters.

Material	Unit Weight (kNm <sup>-3</sup> )	Strength Type	Internal Friction Angle (°)	Cohesion (kPa)	UCS (kPa)	GSI	Mi
Residual Soil	18	Mohr-Coulomb	32	3	-	-	-
Completely Weathered Materials	20	Mohr-Coulomb	35	5	-	-	-
Colluvium	18	Mohr-Coulomb	30	2			

**Notes:**  
 Undrained parameters were used for stability modelling in seismic cases.

Table 16: Minimum factor of safety criteria for each design scenario.

Design Case	Factor of Safety (FOS)
Design Groundwater Conditions	1.5
Extreme Groundwater Conditions	1.3
SLS Seismic Event	1.3
ULS Seismic Event	1.0

## 5.7 Erodible Soils

Evidence at the site suggests that the silty subsoils are highly erodible/dispersive, with narrow, fluted gullies formed across the slopes, and riling/channelling in areas of exposed soils. Poorly controlled stormwater discharges and poor ground cover can exacerbate erosion of dispersive soils. Recommendations are provided in Section 6 to reduce the risk of soil erosion to the development.

## 5.8 Results

A summary of the slope stability results is presented in Table 17 below. The results consider both the inundation risk (over-slip) from the slope above the building platform and the instability hazard (under-slip) of the slope below the building platform.

Table 17: Summary of slope stability results.

Cross Section Line	Case No.	Conditions of Analysis	Minimum Required FoS	Achieved FoS	
				Global	Building Platform
Cross-section A-A'	1	Design Groundwater – Static	1.5	1.9	2.4
	2	Extreme Groundwater – Static	1.3	1.5	1.7
	4	ULS Seismic Undrained (Duncan Wright Wong (1990) method)	1.0	1.2	1.2
Cross-section B-B'	1	Design Groundwater – Static	1.5	0.9	2.65
	2	Extreme Groundwater – Static	1.3	0.9	2.0
	4	ULS Seismic Undrained (Duncan Wright Wong (1990) method)	1.0	0.7	1.24
<b>Notes:</b>					
<ul style="list-style-type: none"> <li>All FoS given are GLE/Morgenstern-Price.</li> <li>Cases where the achieved FoS does not meet the required FoS are indicated in red.</li> </ul>					

The results of the numerical assessment show close agreement with the geomorphology of the slopes and evidence of historic instability events in the incised river valley to the north of Lot 4.

### Analysis of Cross-section A-A'

Under existing groundwater, and elevated groundwater conditions the surrounding slopes are generally stable, and achieve the required design criteria, returning FOS > 1.5. Additionally, modelling of the slopes under ULS seismic loading scenarios finds them to be stable and the design criterion is achieved (FOS ≥ 1.0).

### Analysis of Cross-section B-B'

The analysis indicates that the slopes within the development area are stable and meet the design criteria for each design scenario. However, the banks of the Puketotara river, located some 50 m north of the development area, were found to be unstable under all analysed conditions, the analyses returning critical FOS < 1.0. Slip circles with FOS less than the design criteria were confined to the steep valley slopes situated to the north of the property which are well isolated from the proposed building platforms (>50 m from the nearest proposed platform of Lot 4). All FOS values across the proposed building platforms exceeded the minimum required values with no unsatisfactory slip circles crossing or encroaching the proposed platforms. The results of the analysis align with our field observations, which found that the banks of the river, to the north of the development, were subject to ongoing instability, but that the slopes in the vicinity of the development showed no evidence of recent instability.

The design criterion is satisfied for the proposed development areas in all analysed scenarios.

### 5.8.1 Expansive Soils

No laboratory testing of the soil properties was completed. Based on field tests, the surficial soils display characteristics of low plasticity at the field moisture content and may maintain plastic behaviour over a broad range of moisture contents. By extension of soil mechanics principles, the soils are best regarded as potentially being moderately reactive. The site subsoils are therefore best regarded as being class 'M' – Moderately Expansive when assessed in accordance with B1/AS1 (2021). A 500-year design characteristic ground movement (ys) of up to 44 mm is expected.

Foundations shall be embedded the minimum depths as outlined in Section 0 below where effects of soil volume changes between seasons is expected to be minor.

## 5.9 Conclusions

From our assessment of the natural hazard and ground deformation risks presented to the proposed development we consider that the site is suitable for development. We further consider that the risk of natural hazards impacting on the development to be low subject to the recommendations given in Section 6 being adopted in full.

## 6 ENGINEERING RECCOMENDATIONS

### 6.1 Building Restriction Limits

**Lots 1 and 2** - No part of any future building should be constructed outside of the area encompassed by building restriction lines, located 20 m from the crest of any slopes >1V:4H without specific engineering assessment. The locations of the building restriction lines are shown on the below site plan (Figure 14) and in Appendix E. If construction is proposed outside of these restrictions, additional geotechnical testing and slope stability analysis will be required at building consent to confirm the suitability of the site.

**Lots 3 and 4** – The nominated 20x20 m building platforms have been assessed as having a low risk of being impacted by slope instability. All future building should be confined to the assessed building platforms or require specific engineering assessment of slope instability.

### 6.2 Erosion Protection

Due to the erodible nature of the soils at the site, all stormwater outlets and overflows will be required to be directed away from slopes steeper than 1V:6H and will require erosion protection in the form of a riprap apron and planting or other suitable measures. Additionally, vegetation cover should be maintained on the steeper slopes above the river, and around the existing gullies.

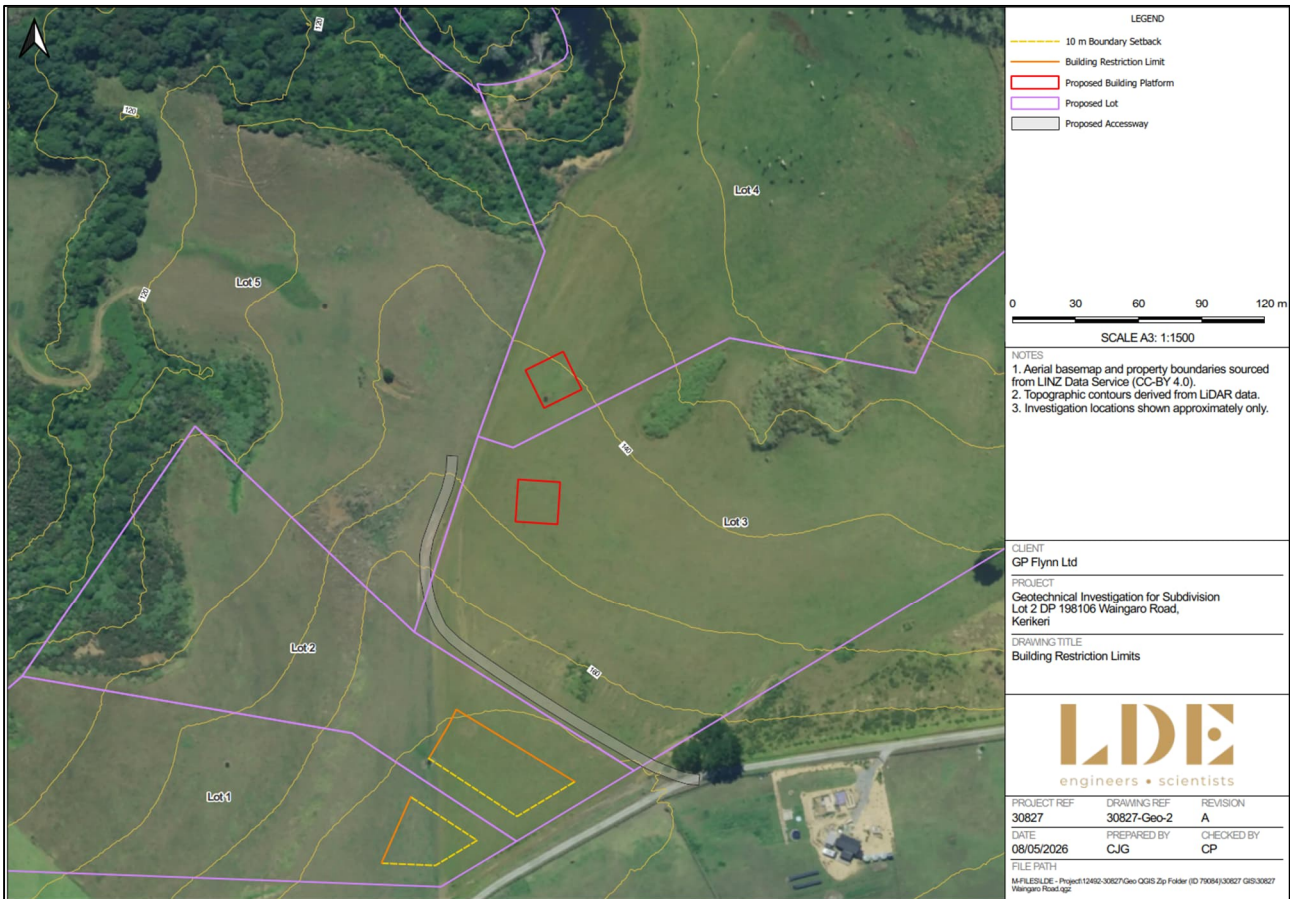


Figure 14: Proposed building restriction lines for Lots 1 and 2. The building platforms for lots 3 and 4 are shown.

## 6.3 Site Preparation and Earthworks

It is expected that a degree of cut and fill will be required to from the proposed right of way for lots 3 and 4, and that future residential dwellings may require cuts and fills to form building platforms.

### Lots 1 and 2

Site preparation to form level building platforms for these lots are expected to involve cut and fill earthworks of between 0.5 m to 1 m.

### Lots 3 and 4

Site preparation to form a level building platform for these lots are expected to involve cut and fill earthworks of between 2-3 m.

### 6.3.1 Cuts

All cut batters should be formed at a maximum slope gradient of 1V:3H and a maximum face height of 2 m or shall be otherwise supported by an engineered retaining wall.

### 6.3.2 Fills

No fills should be placed on slopes steeper than 1V:5H without specific engineering assessment. Fills for building platforms, within the building restriction limits, should not exceed 1 m depth and should be battered at a maximum slope of 1V:4H without specific geotechnical assessment. Fill placement should follow the recommendations of 6.2.3 below.

### 6.3.3 Fill Specification

All fill forming part of the building platform needs to be placed in a controlled manner to an engineering specification that follows the general methodology given in NZS 4431 (2022) “Engineered Fill Construction for Lightweight Structures”. This includes the design, inspection and certification of the fill by a Chartered Professional Engineer or Professional Engineering Geologist. This will be particularly important to enable the building proposed for the site to be able to be constructed in accordance with NZS3604 (2011) “Timber Framed Buildings”.

The following specification is recommended:

1. All topsoil and unsuitable materials, including low strength ground, uncontrolled fill, rubbish etc shall be stripped from the footprint area of the fill.
1. Where fill is placed on subgrade slopes steeper than 1V:5H the subgrade shall be benched. Fill should not be placed on slopes steeper than 1V:3H without specific assessment.
2. The fill footprint area shall be inspected by the certifying engineer’s representative prior to the placement of fill.
3. The fill shall comprise of crushed granular material compacted in layers not exceeding 200 mm loose thickness. The fill shall be compacted to achieve the minimum strengths provided in Table 1 below.
4. The compacted fill should be inspected by a suitably experienced geotechnical engineer or engineering geologist prior to constructing the foundations. The testing frequency and specification should be confirmed with the contractor prior to commencing work.

Table 18: Recommended Fill Compaction Criteria

Clegg Impact Value (CIV) – for compacted gravels		
	No Value Less Than	25

Alternatively, the material may comprise of cohesive material compacted in layers not exceeding 200mm using a sheepsfoot drum roller to achieve a minimum corrected undrained shear strength of 110 kPa and an average not less than 140 kPa. The material should be inspected and approved as suitable material by a suitably experienced geotechnical engineer or engineering geologist. Material which is wet or saturated shall not be placed unless that is the optimum moisture content for the fill. Additionally, in-field, tactile, visual moisture content assessment should be carried out by a suitably qualified geotechnical engineer or engineering geologist concurrently with nuclear densometer testing. Observations of compaction plant should be made to ensure that heave/weave of soils is not occurring during compaction.

Provision should be made to ensure that the earthworks are conducted with due respect for the weather, particularly due to the low permeability of the underlying ground. The fill should not be placed on to wet ground, especially if ponded water is present.

The engineered fill should extend a minimum of 1m beyond the edge of the building footprint or the depth of the fill outside the footprint if this exceeds 1m, whichever is greatest.

## **6.4 Site Contouring and Topsoiling**

The finished ground level should be graded so that water cannot pond against, beneath or around the buildings for the economic life of structure. To achieve this, it will be important that the building platform beneath the topsoil grades away from the site. Contouring should avoid the potential for concentration and discharge of surface water over point locations which could result in soil erosion or instability.

## **6.5 Foundation Recommendations**

### **6.5.1 Foundation Type**

Based on the site investigation and analysis, we consider that foundations comprising of shallow strip footings, or bored and poured timber piles, embedded below a depth of 600 mm, or a reinforced, waffle raft, concrete slab are likely suitable for the site conditions though this should be confirmed at building consent.

It is considered that any structure proposed to be constructed on ground steeper than 1V:5H (~11°) will require soil creep pile designs. However, so long as future building is limited to within the building restriction limits discussed above, it is expected that the sites will be located on ground <1V:6H and creep pile design is unlikely to be required, though this should be confirmed at building consent.

So long as these recommendations are adhered to, we anticipate the residual risk to the development presented by Expansive Soils and slope instability to be Low.

### **6.5.2 Design Considerations**

Based on the scope of work completed, the following aspects need to be considered in the detailed design:

- Site Class - Class C - Shallow soil
- Expansive soils – M - moderately reactive in terms of NZBC, characteristic surface movement of 44mm

## **6.6 Potable And Fire Fighting Water**

As per the report Section 4.1 and 4.2, the proposed lots can be served with tanks for both potable and firefighting water purposes.

## 6.7 Stormwater/Surface Water

As shown in the Section 4.4 of the report, stormwater neutrality can be achieved via attenuation tanks and a pond for various impervious covers. Our preliminary assessment also shows that each lot has sufficient space available, which is not prone to flooding for 1% AEP storm.

### 6.7.1 Effluent Disposal

In accordance with Section 4.3, we consider that the proposed development can achieve wastewater disposal on-site.

### 6.7.2 Service Pipes

All service pipes and stormwater structures should be designed and constructed to ensure adequate capacity, strength, and water tightness to prevent leakage into the platform through blockage, running under pressure, or structural failure.

All service pipes installed within any fill should be flexible, or flexibly joined, so that they may deflect without breaking if the ground settles.

A record should be kept of the position, type, and size of all subsoil drains, and in particular of their outlets.

## 6.8 Trees and Shrubs

Trees can cause damage through heaving as a result of root growth and / or settlement resulting from soil shrinkage from the moisture uptake of the roots. An existing large tree is located on the edge of each of the proposed building platforms for Lots 1 and 3. This should be taken into consideration when determining the location of any future buildings/determining the appropriate foundation system/installing services. Mitigation may be required to prevent adverse effects of tree roots on services and building foundations.

If new trees, shrubs or gardens are established, care should be taken to ensure:

- The vegetation does not interfere with any subfloor ventilation or services to the structure.
- Over-watering of the vegetation does not saturate the ground near the foundations.
- Trees or shrubs with the potential to develop significant root systems should be planted a minimum distance equal to the mature height of the plant away from the foundations.

## 6.9 Site Maintenance

Prompt repair of plumbing leaks should be undertaken. Blocked, broken or faulty spouting should be attended to immediately.

The discharge of uncontrolled surface water over the site and surrounding areas should be avoided at all costs.

## 7 SUSTAINABILITY

Considering sustainability as early as possible in a project's development, could lead to significant project opportunities and wider positive outcomes. Geotechnical opportunities for increased sustainability for this project include:

- Stripping and stocking topsoil for reuse (dependant on presence/ levels of contaminants).
- Designing for cut and fill balance where possible.
- Reuse of site won materials, or using materials won from other sites including use of recycled crushed concrete aggregate for hard fill.
- Contributing site investigation data to the New Zealand Geotechnical Database (NZGD) to help reduce the site investigations needed in the future.
- Using local consultants and contractors to reduce transport related emissions

## 8 CONCLUSION

The purpose of this report is to accompany a resource consent application for the proposed five lot subdivision at Lot 2 DP 198106, Kerikeri.

Following development of the site in accordance with our recommendations, we consider that:

- a) The land in respect of which a consent is sought, or any structure on the land built in accordance with our recommendations, is unlikely to be subject to material damage by erosion, falling debris, subsidence, slippage, or inundation from any source; and
- b) In accordance with the National Policy Statement on Natural Hazard 2025, all natural hazards have been assessed as low risk and/or the recommended engineering measures are sufficient to manage the risk to the development; and
- c) Any subsequent use that is likely to be made of the land is unlikely to accelerate, worsen, or result in material damage to the land, other land, or structure by erosion, falling debris, subsidence, slippage, or inundation from any source; and
- d) Sufficient provision has been made for physical access to each allotment to be created by the subdivision.
- e) the proposed development can be adequately serviced with regard to water supply, firefighting water supply, wastewater, stormwater using the recommendations outlined in this report.

## 9 LIMITATIONS

This report should be read and reproduced in its entirety including the limitations to understand the context of the opinions and recommendations given.

This report has been prepared exclusively for G P Flynn Ltd in accordance with the brief given to us or the agreed scope and they will be deemed the exclusive owner on full and final payment of the invoice. Information, opinions, and recommendations contained within this report can only be used for the purposes with which it was intended. LDE accepts no liability or responsibility whatsoever for any use or reliance on the report by any party other than the owner or parties working for or on behalf of the owner, such as local authorities, and for purposes beyond those for which it was intended.

Opinions given in this report are based on visual methods and subsurface investigations at discrete locations designed to the constraints of the project scope to provide the best assessment of the environment. It must be appreciated that the nature and continuity of the subsurface materials between these locations are inferred and that actual conditions could vary from that described herein. We should be contacted immediately if the conditions are found to differ from those described in this report.

This report was prepared in general accordance with current standards, codes and best practice at the time of this report. These may be subject to change.

## 10 REFERENCES

Duncan, J., Wright, S., & Wong, K. (1990). Slope Stability during Rapid Drawdown. *Proceedings of H. Bolton Seed Memorial Symposium*, 2.

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Standards New Zealand Te Mana Tautikanga O Aotearoa. (2004). *NZS1170.5 Structural Design Actions: Part 5: Earthquake Actions- New Zealand*. Wellington: Standards New Zealand.

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# APPENDIX A

## GEOTECHNICAL INVESTIGATION PLAN



LEGEND

Project Data

Proposals and Testing

Line Tools

- Section Line
- Landslide Lines — as1726\_\_landslide\_line\_features
- Scarp

Building Limits

- 10 m Boundary Setback
- Building Restriction Limit

Development Proposals

- Proposed Residential Structure
- Proposed Lot
- Proposed Accessway

Geotechnical Testing

- Hand Auger Borehole

0 40 80 120 160 m

SCALE A3: 1:2000

NOTES

1. Aerial basemap and property boundaries sourced from LINZ Data Service (CC-BY 4.0).
2. Topographic contours derived from LiDAR data.
3. Investigation locations shown approximately only.

CLIENT  
GP Flynn Ltd

PROJECT  
Geotechnical Investigation for Subdivision  
Lot 2 DP 198106 Waingaro Road,  
Kerikeri

DRAWING TITLE  
Building Restriction Limits



PROJECT REF 30827	DRAWING REF 30827-Geo-2	REVISION A
DATE 11/05/2026	PREPARED BY CJG	CHECKED BY CP
FILE PATH M-FILES\LDE - Project-30827\Geo QGIS Zip Folder (ID 79084)\30827 GIS\30827 Waingaro Road.qgz		

## **APPENDIX B**

## **TEST LOGS**



# Hand Auger Borehole Log

Test ID: **HA1**

Project ID: 30827

Sheet: 1 of 1

Method: 50mm Hand Auger

**Client:** G P Flynn Ltd  
**Project:** Geotechnical Assessment  
**Location:** Lot 2 DP 198106 Waingaro Lane, Kerikeri  
**Test Site:** Refer to site plan

**Coordinates:** 6098936mN, 1680420mE  
**System:** NZTM  
**Elevation:** 173m  
**Located By:** Surveyed

**Test Date:** 31/03/2026  
**Logged By:** CG  
**Prepared By:** DW  
**Checked By:** CP

Depth (m)	Geology	Graphic Log	Material Description	Water	In-situ Testing				Values	RL (m)		
					Dynamic cone penetrometer (blows / 50mm)							
					Vane undrained shear strength, $s_u$ (kPa)							
	Topsoil		Topsoil.									
0.5	Inferred Uncontrolled FILL		Silty GRAVEL; orangish brown. Very stiff; moist.					UTP		172.5		
			Clayey SILT; pinkish grey and brown. Hard; moist; low plasticity.					UTP				
			Silty CLAY; brown. Very stiff; moist; low plasticity.					227+				
1.0			0.90m - 1.00m: With some gravel.					UTP		172.0		
			1.20m: With some silt; silt, pinkish grey.					227+				
1.5			Silty CLAY; pinkish grey and brown. Very stiff; moist; low plasticity.					UTP		171.5		
			Clayey SILT; pinkish brown. Very stiff; moist to wet; low plasticity.					227+				
2.0	Kerikeri Volcanics			Groundwater not encountered				227+		171.0		
					227+		170.5					
					227+		170.0					
					227+		169.5					
					227+		169.0					
					227+		168.5					
					227+		168.0					
					227+		167.5					
4.0					Clayey SILT; orangish brown with orange. Very stiff; moist; low plasticity.					UTP		169.0
4.5												168.5
5.0										168.0		
5.5										167.5		

**Hole Depth:** 3.80m      **Termination:** Auger spin on hard geology

**Remarks:**

Materials are described in general accordance with NZGS 'Field Description of Soil and Rock' (2005).  
 No correlation is implied between shear vane and DCP values.

- Vane peak
- Vane residual
- ◆ Vane UTP
- ▼ Standing water level
- ◁ Groundwater inflow
- ▷ Groundwater outflow

UTP = Unable to Penetrate

Generated with CORE-GS by Geroc - HAXTP Log v9 - 29/04/2026 11:26:32 am



# Hand Auger Borehole Log

Method: 50mm Hand Auger

Test ID: **HA2**

Project ID: 30827

Sheet: 1 of 1

**Client:** G P Flynn Ltd  
**Project:** Geotechnical Assessment  
**Location:** Lot 2 DP 198106 Waingaro Lane, Kerikeri  
**Test Site:** Refer to site plan

**Coordinates:** 6098961mN, 1680470mE  
**System:** NZTM  
**Elevation:** 172.2m  
**Located By:** Surveyed

**Test Date:** 31/03/2026  
**Logged By:** DW  
**Prepared By:** DW  
**Checked By:** CP

Depth (m)	Geology	Graphic Log	Material Description	Water	In-situ Testing				Values	RL (m)	
					Dynamic cone penetrometer (blows / 50mm)						
					Vane undrained shear strength, $s_u$ (kPa)						
					2	4	6	8	Vane ID: 3246		
					50	100	150	200	peak / residual (sensitivity)		
0.0 - 0.2	Topsoil		SILT, with trace sand; dark blackish brown; moist; low plasticity; sand, fine; rootlets. 0.20m: Gravelly; with light orange mottles.	Groundwater not encountered						172.0	
0.2 - 0.6	Kerikeri Volcanics		SILT, with some gravel, with minor clay; light orangish brown with grey mottles. Hard; moist; low plasticity; gravel, fine to medium, subangular. 0.60m: Clayey; greyish brown. 0.80m: Light purple mottles.						●	UTP	171.5
0.6 - 1.1			1.10m: With minor clay and sand; light greyish brown; sand, fine.							●	UTP
1.1 - 1.5			1.50m: With trace gravel; gravel, fine to medium, subangular.						●	UTP	170.5
1.5 - 2.1			2.10m: With trace clay.						●	UTP	170.0
2.1 - 2.5			2.50m: With minor clay.						●	UTP	170.0
2.5 - 2.6			2.60m: Wet.						●	UTP	169.5
2.6 - 3.0									●	UTP	169.5
3.0 - 3.0									●	UTP	169.0
3.0 - 3.5											169.0
3.5 - 4.0											168.5
4.0 - 4.5											168.0
4.5 - 5.0										167.5	
5.0 - 5.5										167.0	
5.5 - 6.0										166.5	

**Hole Depth:** 3.00m      **Termination:** Target depth reached

**Remarks:**

Materials are described in general accordance with NZGS 'Field Description of Soil and Rock' (2005).  
 No correlation is implied between shear vane and DCP values.

- Vane peak
- Vane residual
- ◆ Vane UTP
- ▼ Standing water level
- ◁ Groundwater inflow
- ▷ Groundwater outflow

UTP = Unable to Penetrate

Generated with CORE-GS by Geroc - HAX-TP Log v9 - 29/04/2026 11:26:33 am



# Hand Auger Borehole Log

Method: 50mm Hand Auger

Test ID: **HA3**

Project ID: 30827

Sheet: 1 of 1

**Client:** G P Flynn Ltd  
**Project:** Geotechnical Assessment  
**Location:** Lot 2 DP 198106 Waingaro Lane, Kerikeri  
**Test Site:** Refer to site plan

**Coordinates:** 6099093mN, 1680474mE  
**System:** NZTM  
**Elevation:** 147.3m  
**Located By:** Surveyed

**Test Date:** 31/03/2026  
**Logged By:** DW  
**Prepared By:** DW  
**Checked By:** CP

Depth (m)	Geology	Graphic Log	Material Description	Water	In-situ Testing				Values	RL (m)
					Dynamic cone penetrometer (blows / 50mm)					
					Vane undrained shear strength, $s_u$ (kPa)					
	Topsoil		SILT, with trace sand; dark blackish brown; moist; low plasticity; sand, fine; rootlets.		2	4	6	8	Vane ID: 3246 peak / residual (sensitivity)	147.0
0.5			Clayey SILT; dark greyish brown. Hard; moist; low plasticity.							UTP
1.0									UTP	146.0
1.20m			1.20m: Greyish brown with light orange mottles.						UTP	145.5
1.5									UTP	145.0
2.0									UTP	144.5
2.10m			2.10m: Light orangish brown.						UTP	144.0
2.30m			2.30m: Light greyish brown mottles.						UTP	144.0
2.40m			2.40m: With minor clay.						UTP	144.5
2.90m			2.90m: Greyish brown.						216+	144.5
3.00m			3.00m: Clayey; with light purple mottles.						216+	144.0
3.5									UTP	144.0
3.70m			3.70m: With some sand, with trace silt.						UTP	143.5
3.80m			3.80m: Clayey.						UTP	143.5
4.0									UTP	143.0
4.10m			4.10m: Wet.						UTP	142.5
4.5									UTP	142.5
5.0									UTP	142.0
5.5										141.5

**Hole Depth:** 5.00m      **Termination:** Target depth reached

**Remarks:**

Materials are described in general accordance with NZGS 'Field Description of Soil and Rock' (2005).  
 No correlation is implied between shear vane and DCP values.

- Vane peak
- Vane residual
- ◆ Vane UTP
- ▼ Standing water level
- ◁ Groundwater inflow
- ▷ Groundwater outflow

UTP = Unable to Penetrate

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# Hand Auger Borehole Log

Method: 50mm Hand Auger

Test ID: **HA4**

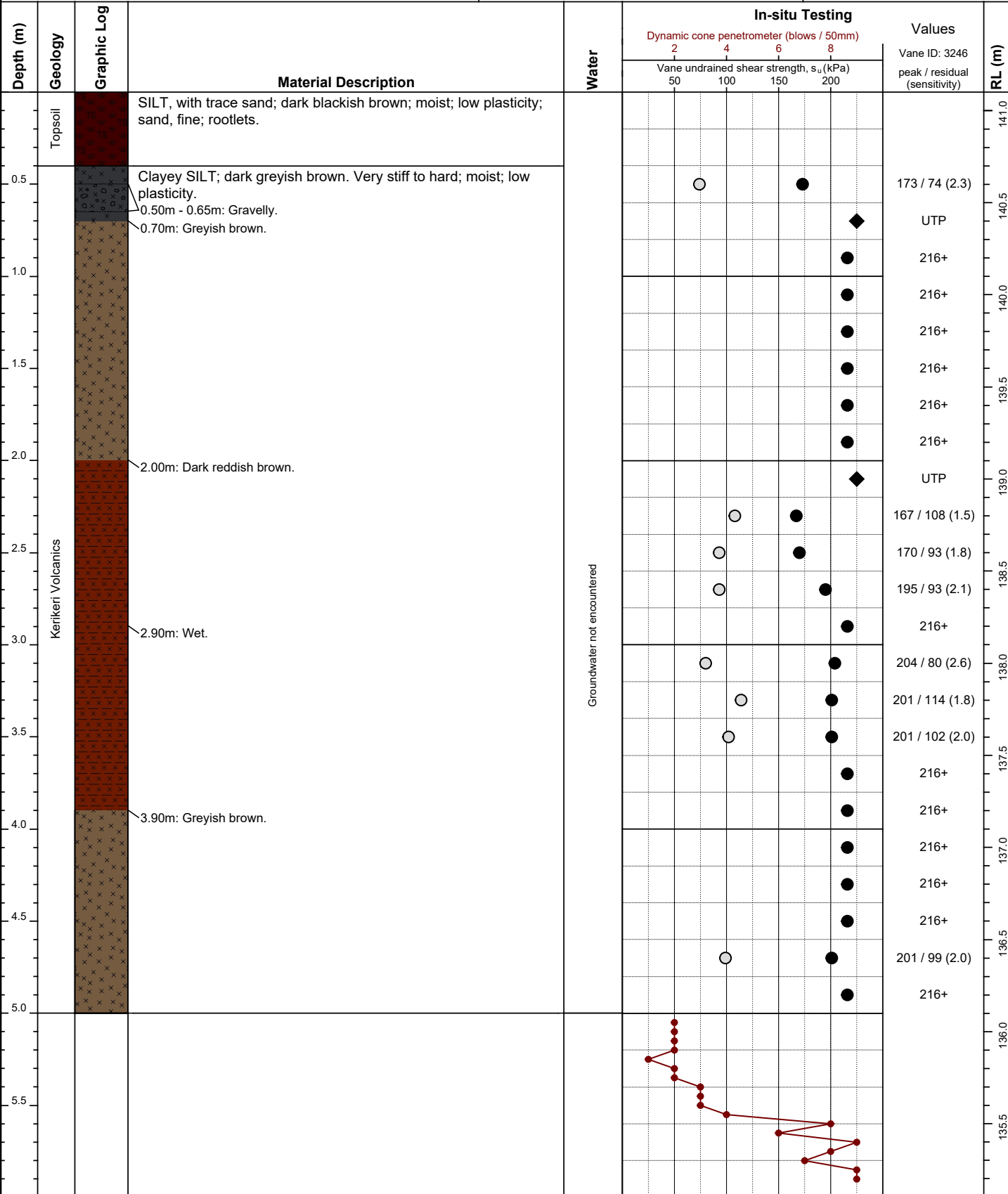
Project ID: 30827

Sheet: 1 of 1

**Client:** G P Flynn Ltd  
**Project:** Geotechnical Assessment  
**Location:** Lot 2 DP 198106 Waingaro Lane, Kerikeri  
**Test Site:** Refer to site plan

**Coordinates:** 6099155mN, 1680480mE  
**System:** NZTM  
**Elevation:** 141.1m  
**Located By:** Surveyed

**Test Date:** 31/03/2026  
**Logged By:** DW  
**Prepared By:** DW  
**Checked By:** CP



**Hole Depth:** 5.00m      **Termination:** Target depth reached

**Remarks:**

Materials are described in general accordance with NZGS 'Field Description of Soil and Rock' (2005).  
 No correlation is implied between shear vane and DCP values.

● Vane peak      ▼ Standing water level  
 ○ Vane residual      ◁ Groundwater inflow  
 ◆ Vane UTP      ▷ Groundwater outflow  
 UTP = Unable to Penetrate

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# Hand Auger Borehole Log

Method: 50mm Hand Auger

Test ID: **HA5**

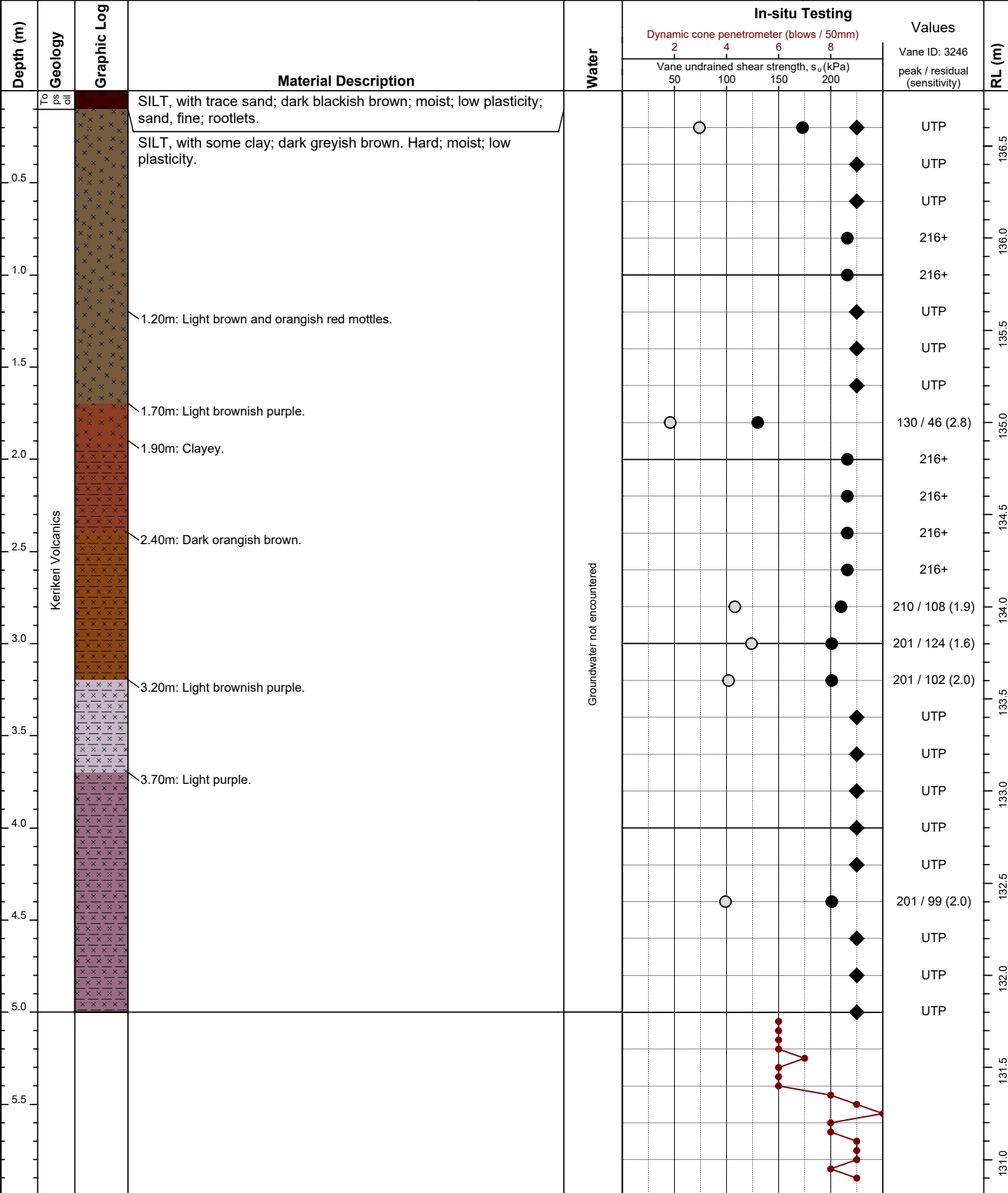
Project ID: 30827

Sheet: 1 of 1

**Client:** G P Flynn Ltd  
**Project:** Geotechnical Assessment  
**Location:** Lot 2 DP 198106 Waingaro Lane, Kerikeri  
**Test Site:** Refer to site plan

**Coordinates:** 6099128mN, 1680528mE  
**System:** NZTM  
**Elevation:** 136.8m  
**Located By:** Surveyed

**Test Date:** 31/03/2026  
**Logged By:** DW  
**Prepared By:** DW  
**Checked By:** CP



**Hole Depth:** 5.00m      **Termination:** Target depth reached

**Remarks:**

Materials are described in general accordance with NZGS 'Field Description of Soil and Rock' (2005).  
 No correlation is implied between shear vane and DCP values.

● Vane peak      ▼ Standing water level  
 ○ Vane residual      ◁ Groundwater inflow  
 ◆ Vane UTP      ▷ Groundwater outflow  
 UTP = Unable to Penetrate

Generated with CORE-GS by Geroc - HAX-TP Log v9 - 29/04/2026 11:26:35 am



# Hand Auger Borehole Log

Method: 50mm Hand Auger

Test ID: **HA6**

Project ID: 30827

Sheet: 1 of 1

**Client:** G P Flynn Ltd  
**Project:** Geotechnical Assessment  
**Location:** Lot 2 DP 198106 Waingaro Lane, Kerikeri  
**Test Site:** Refer to site plan

**Coordinates:** 6099222mN, 1680468mE  
**System:** NZTM  
**Elevation:** 131.9m  
**Located By:** Surveyed

**Test Date:** 31/03/2026  
**Logged By:** DW  
**Prepared By:** DW  
**Checked By:** CP

Depth (m)	Geology	Graphic Log	Material Description	Water	In-situ Testing				Values Vane ID: 3246 peak / residual (sensitivity)	RL (m)
					Dynamic cone penetrometer (blows / 50mm)					
					Vane undrained shear strength, $s_u$ (kPa)					
			SILT, with trace sand; dark blackish brown; moist; low plasticity; sand, fine; rootlets.							
			Clayey SILT; greyish brown. Very stiff to hard; moist; low plasticity.							
0.5									173 / 59 (2.9)	131.5
									201 / 93 (2.2)	
									216	
1.0									216	131.0
									216	
1.5									216	130.5
									216	
2.0									178 / 83 (2.1)	130.0
									185 / 86 (2.2)	
2.5									173 / 77 (2.2)	129.5
									124 / 62 (2.0)	
3.0									179 / 108 (1.7)	129.0
									185 / 108 (1.7)	
3.5									185 / 102 (1.8)	128.5
									133 / 71 (1.9)	
4.0									142 / 77 (1.8)	128.0
									201 / 77 (2.6)	
4.5									179 / 102 (1.8)	127.5
									185 / 93 (2.0)	
5.0									182 / 96 (1.9)	127.0
5.5										126.5
										16.0

**Hole Depth:** 4.20m      **Termination:** Refusal due to swelling and difficulty removing the hand auger

**Remarks:**

- Vane peak
  - Vane residual
  - ◆ Vane UTP
  - ▼ Standing water level
  - ◁ Groundwater inflow
  - ▷ Groundwater outflow
- UTP = Unable to Penetrate

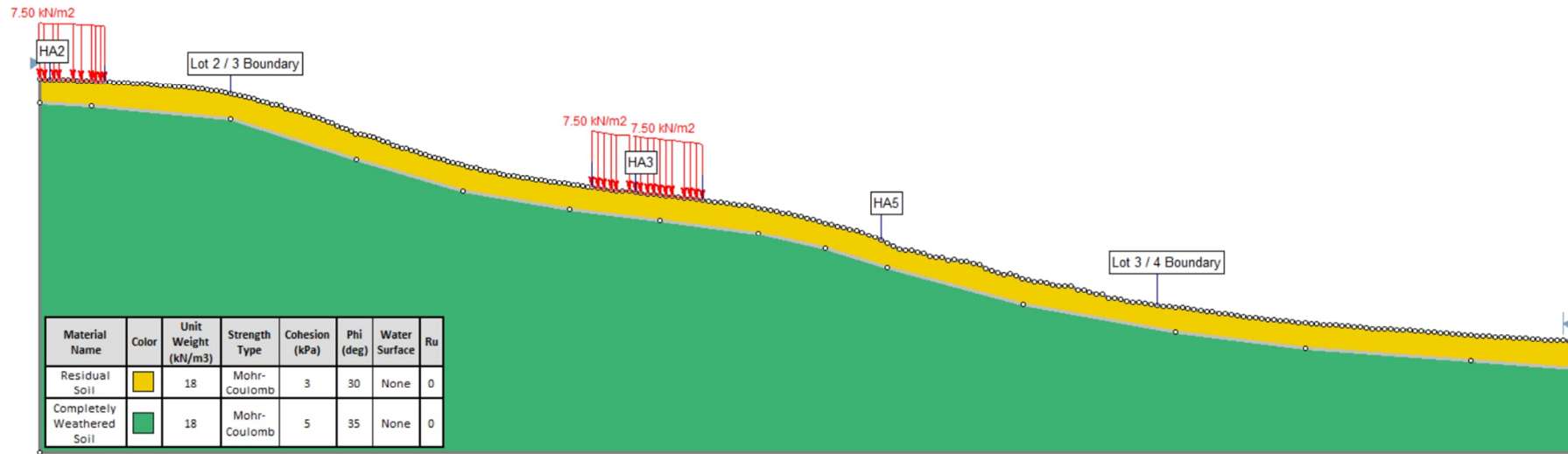
Materials are described in general accordance with NZGS 'Field Description of Soil and Rock' (2005).  
 No correlation is implied between shear vane and DCP values.

Generated with CORE-GS by GeroC - HAX-TP Log v9 - 29/04/2026 11:26:36 am

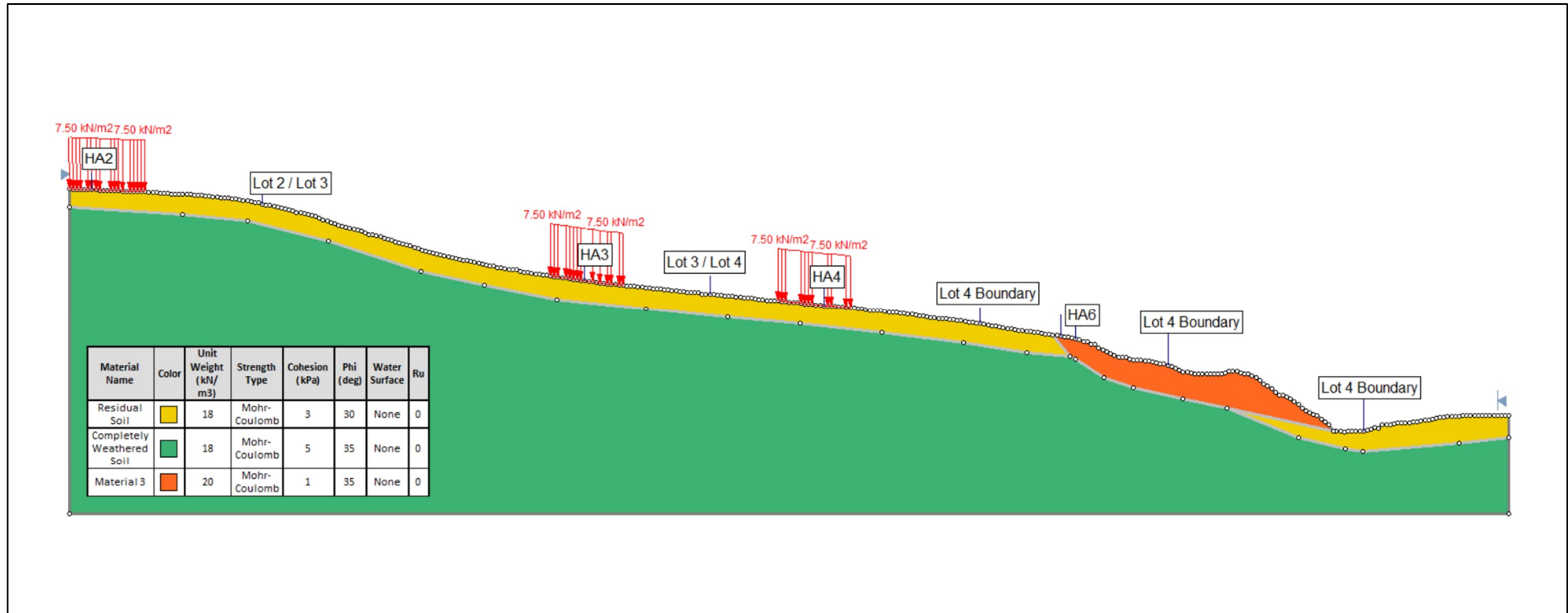
# APPENDIX C

## ENGINEERING CROSS SECTIONS 1 & 2

Cross-Section Section 1



Cross-Section Section 2



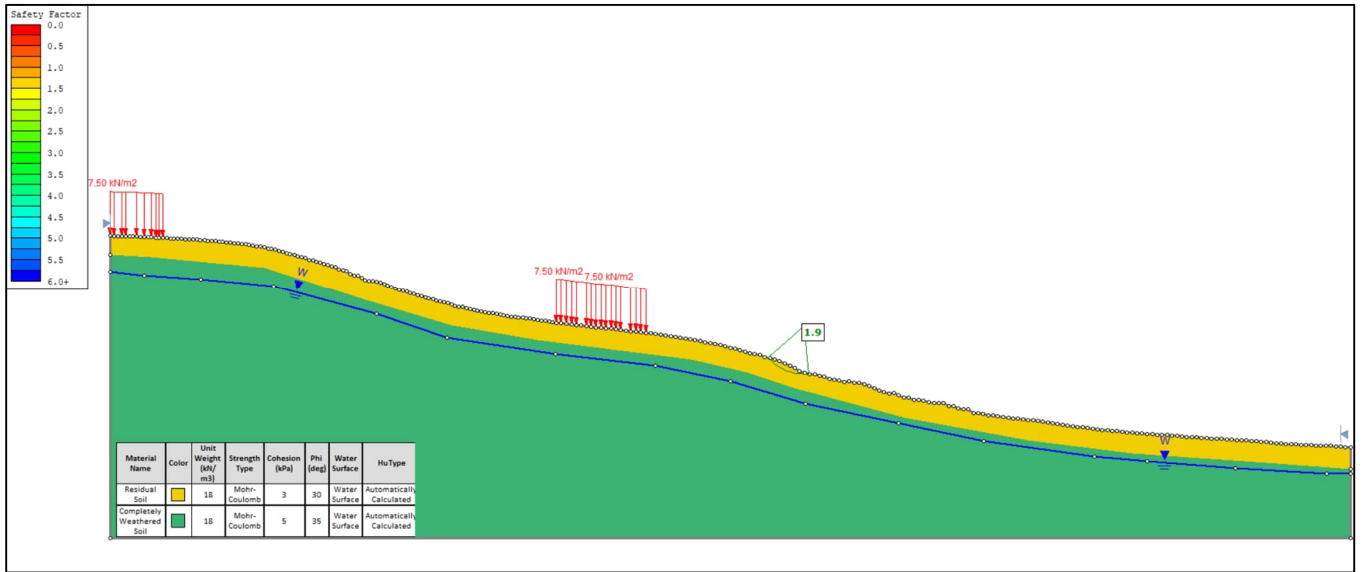
# APPENDIX D

## SLOPE STABILITY

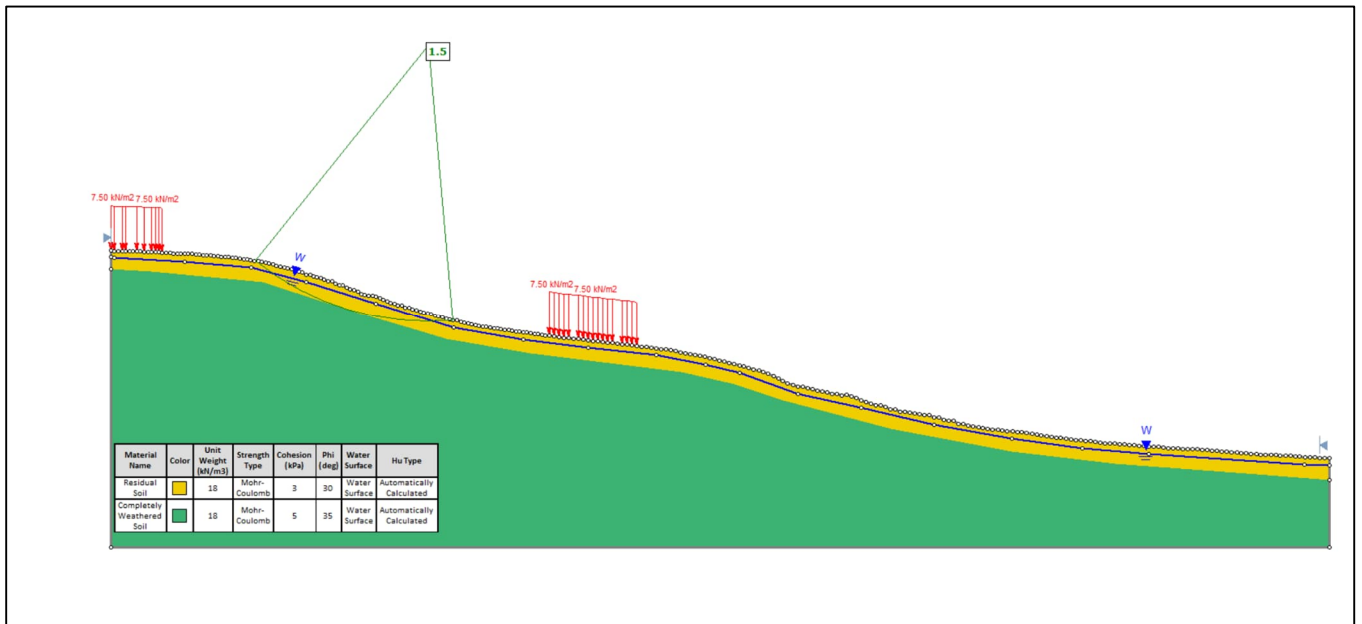
## Existing Slope Stability Analyses

### Section 1 - Circular

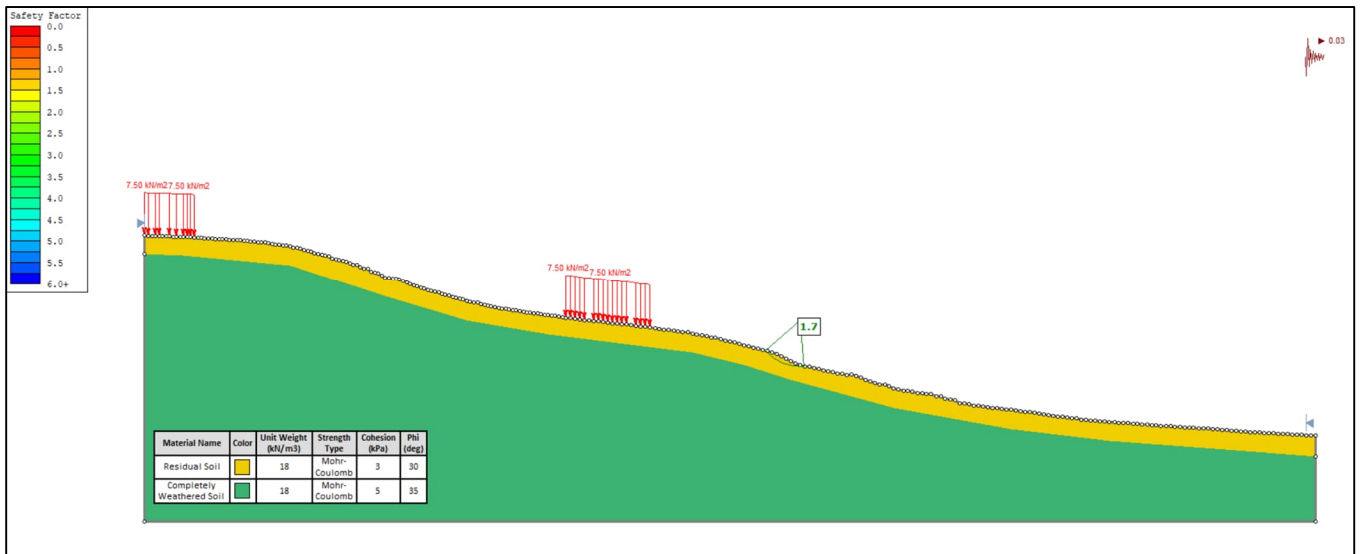
#### Static / Realistic groundwater – Global Minimum



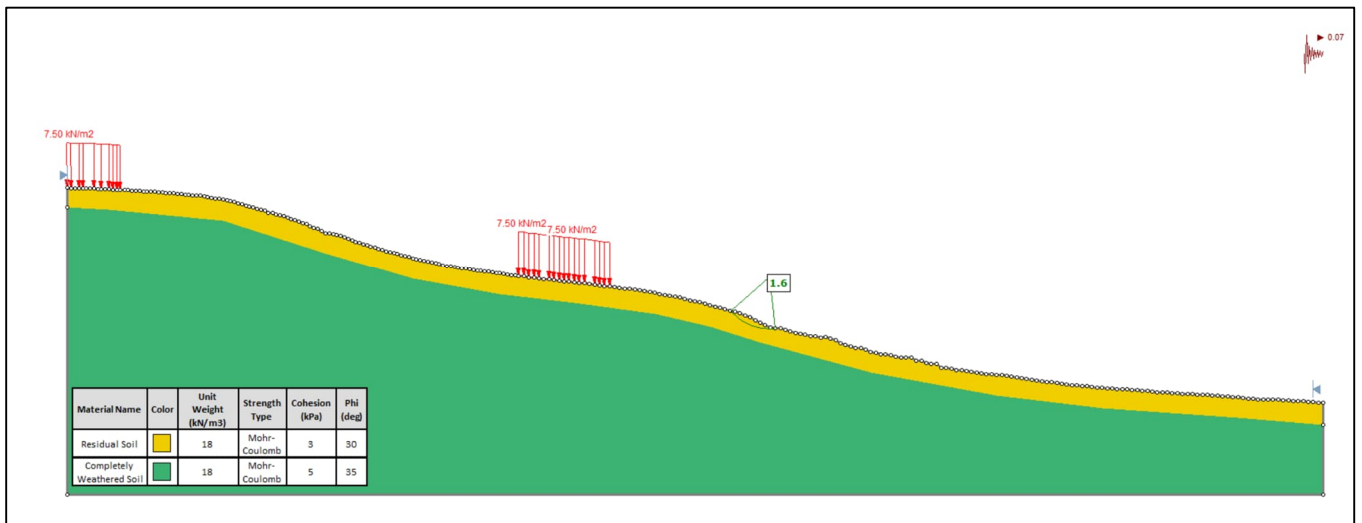
#### Elevated Groundwater – Global Minimum



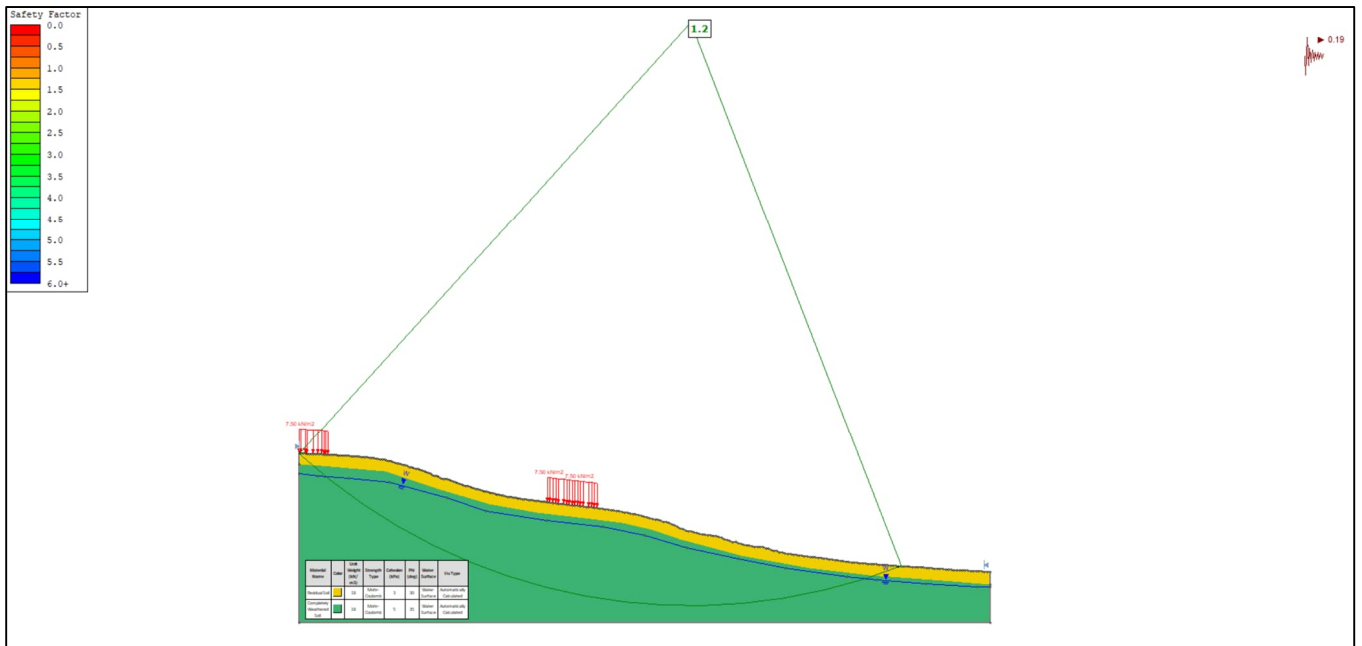
**SLS (0.03g) – Global Minimum**



**ILS (0.07g) – Global Minimum**

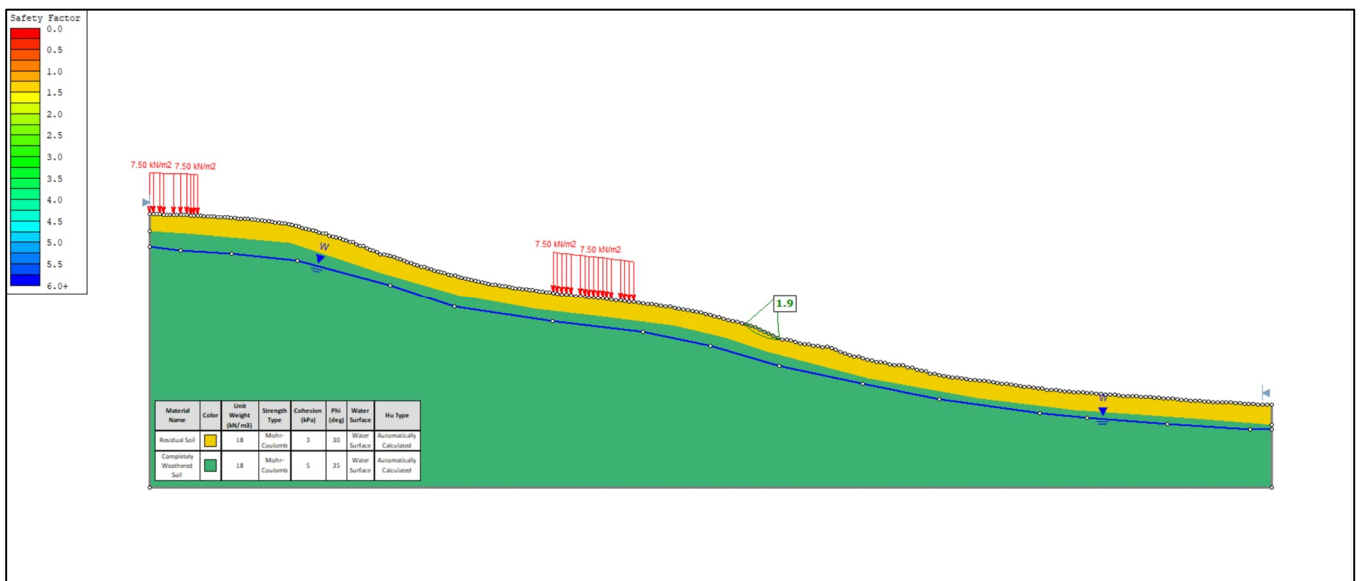


**ULS (0.19g) – Global Minimum**

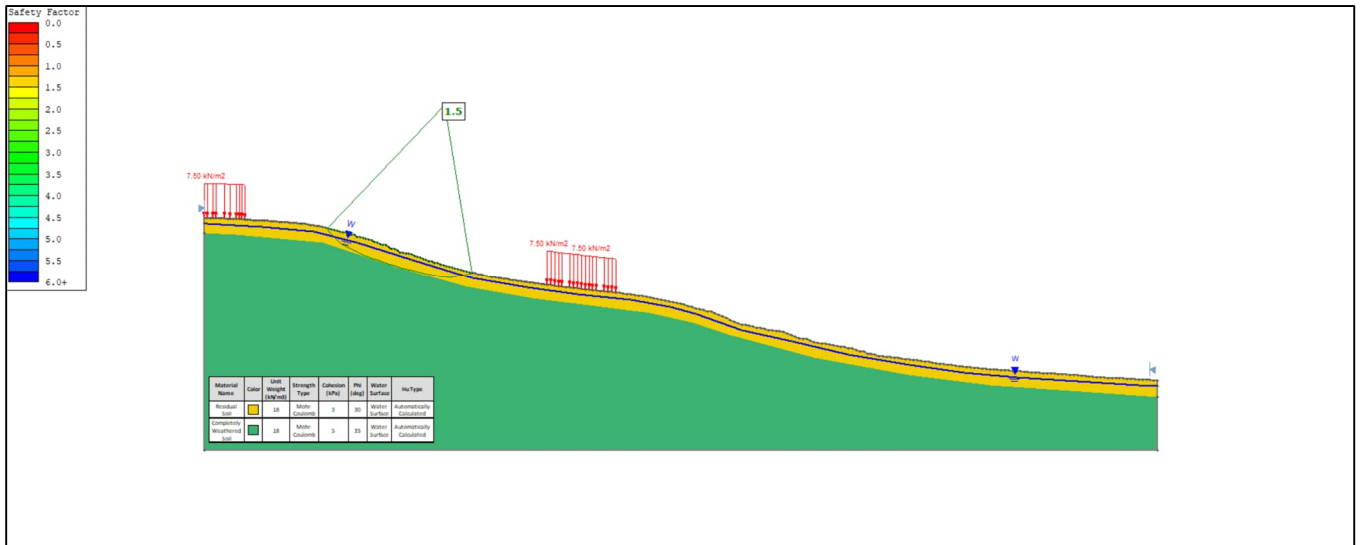


**Section 1 - Non-Circular**

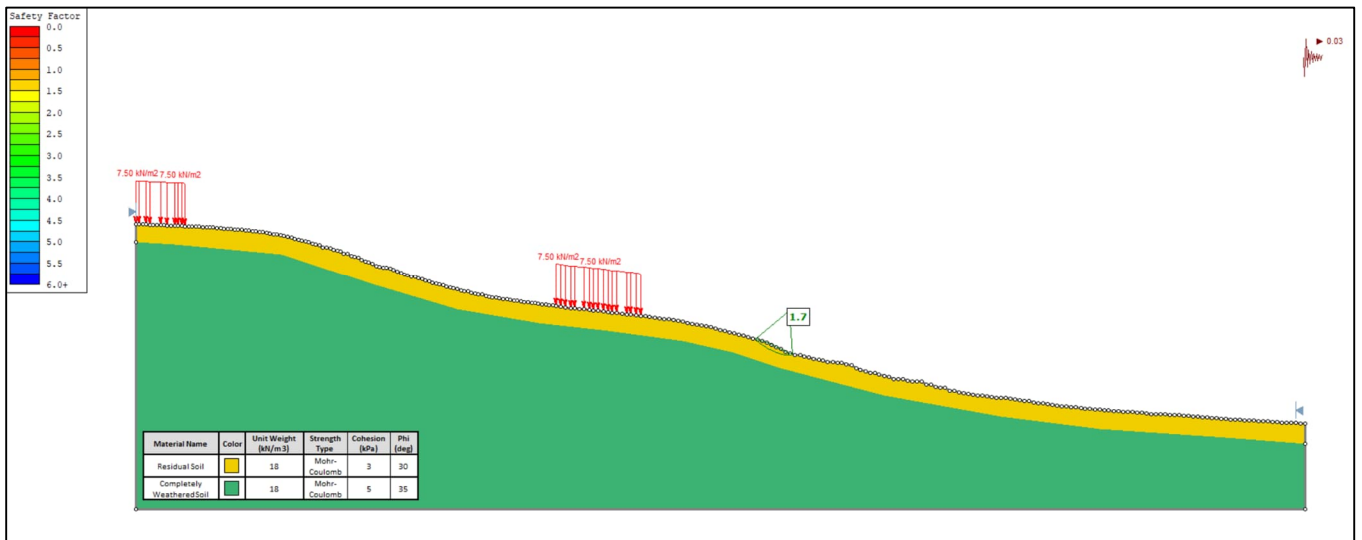
**Static – Global Minimum**



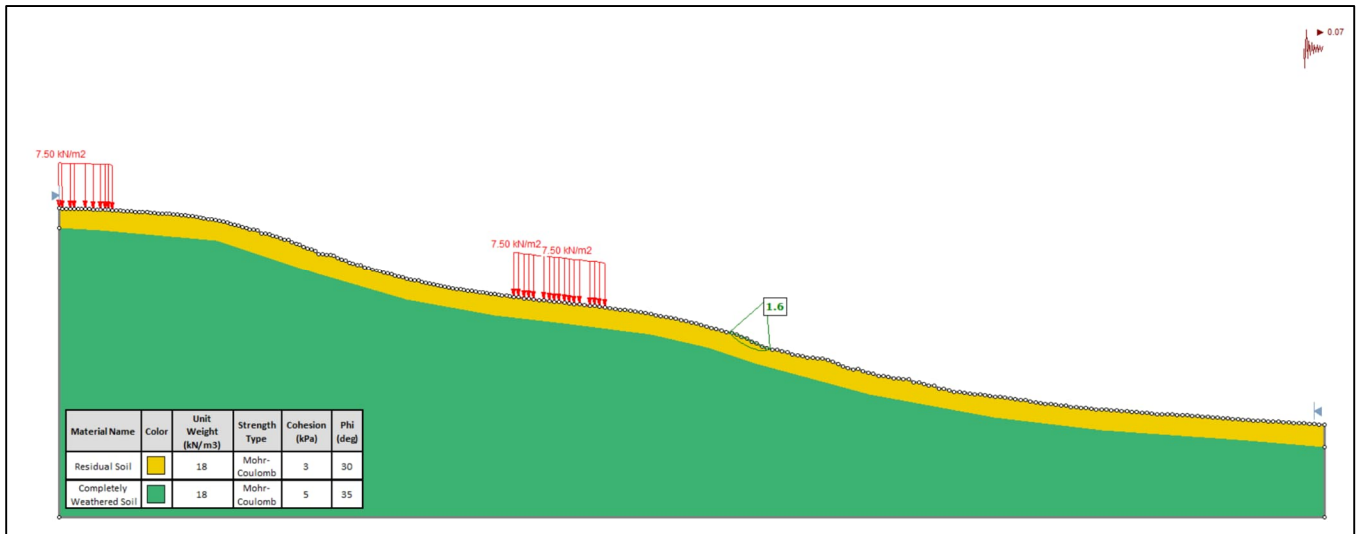
### Elevated Groundwater – Global Minimum



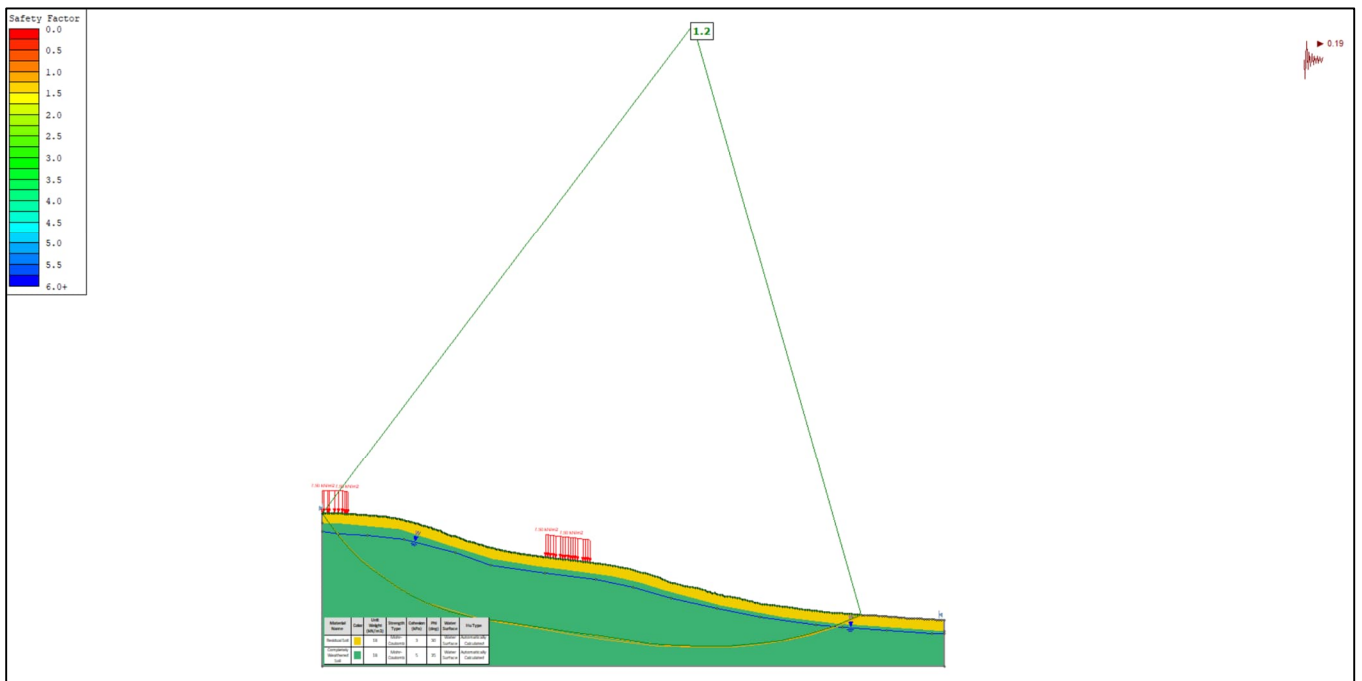
### SLS (0.03g) – Global Minimum



**ILS (0.07g) – Global Minimum**

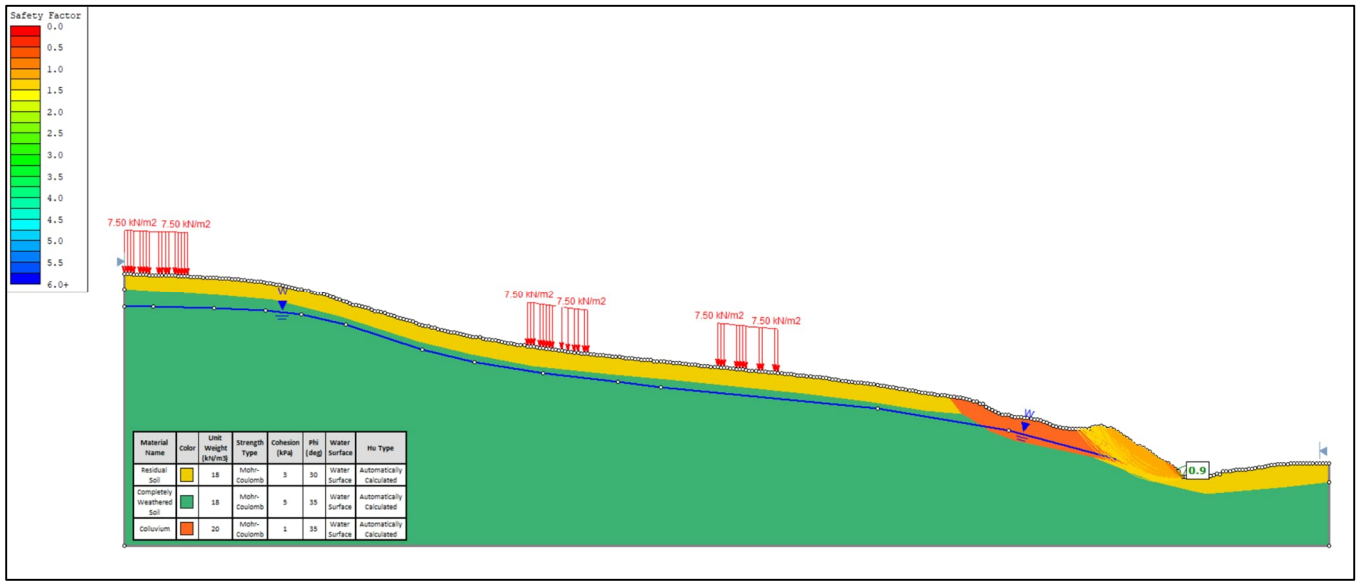


**ULS (0.19g)- FOS<1.3**

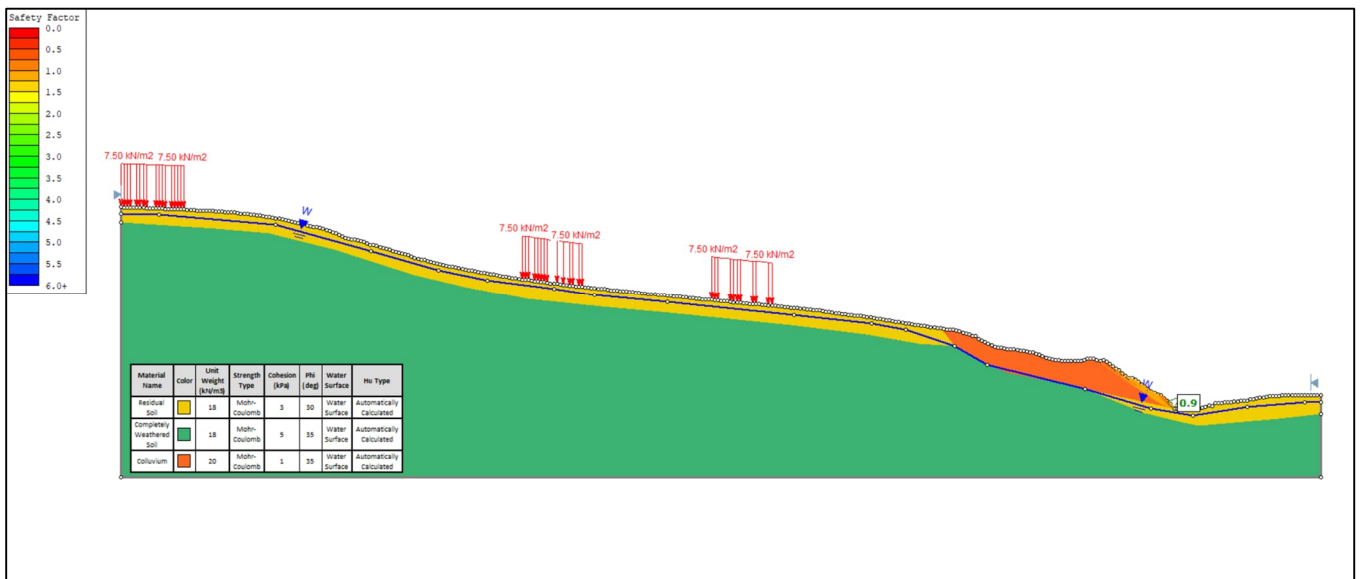


### Section 2 - Circular

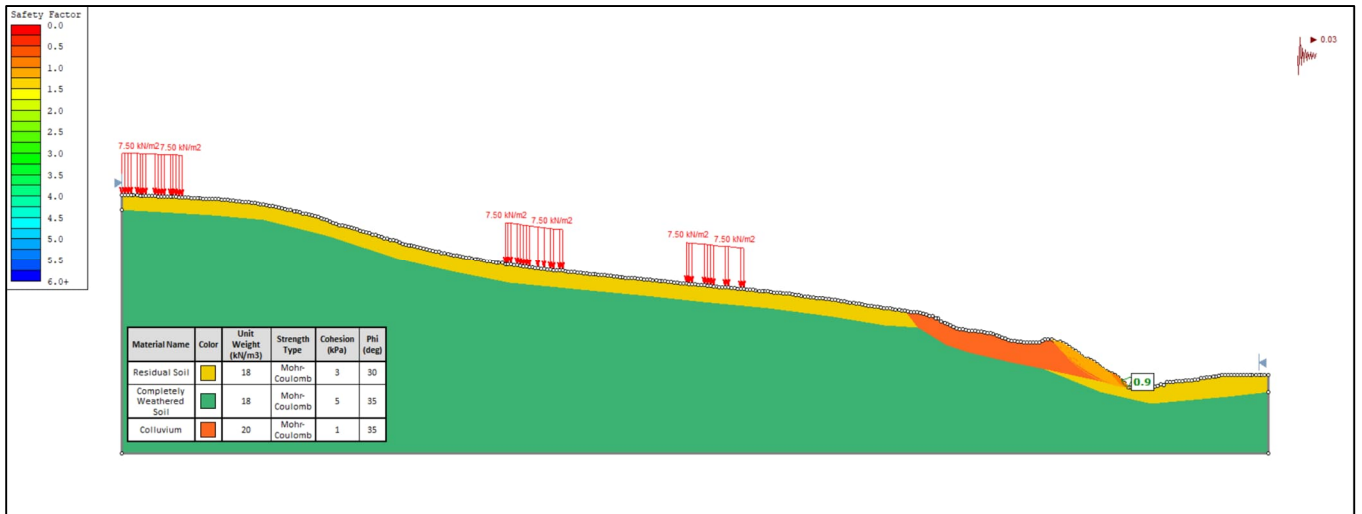
#### Static – Realistic Groundwater – FOS<1.5



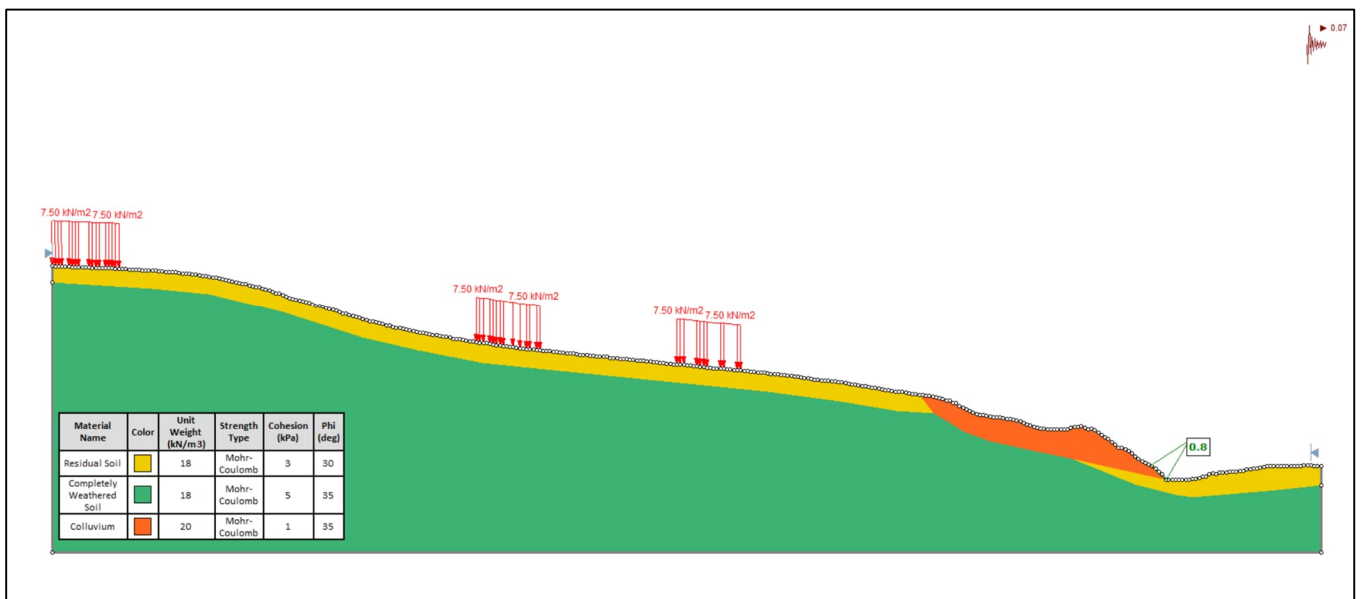
#### Elevated Groundwater - FOS<1.3



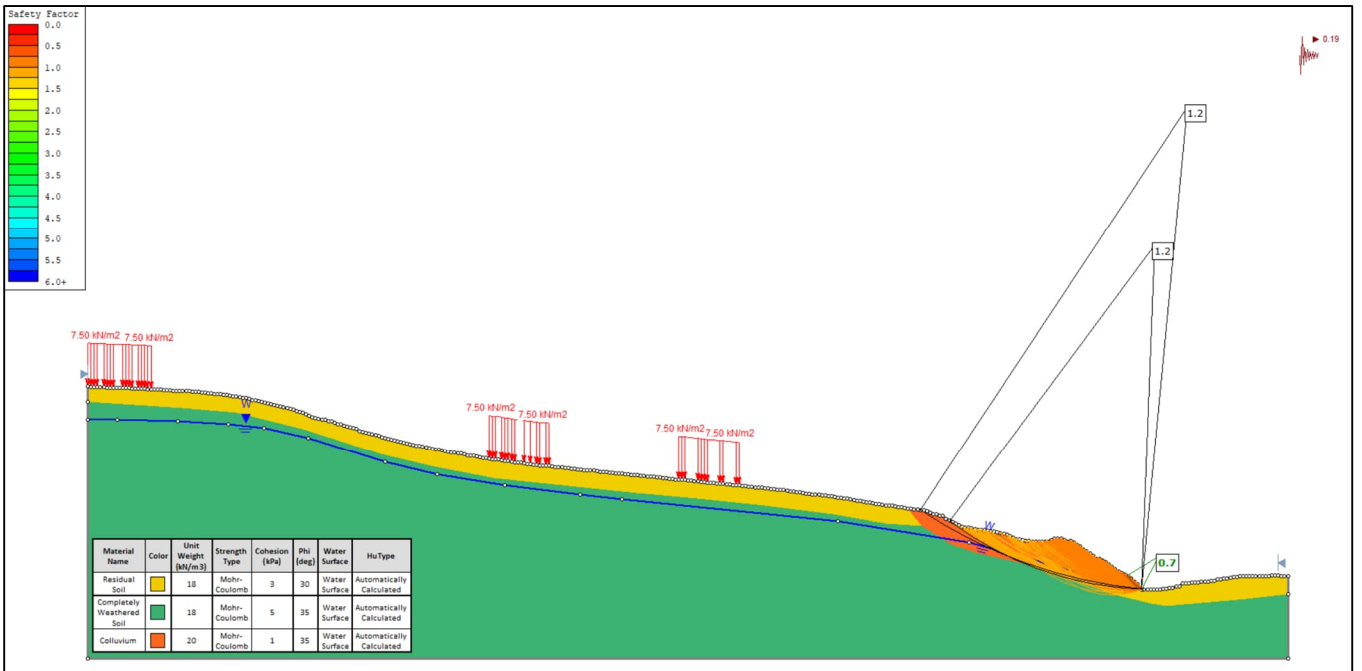
**SLS (0.03g) - FOS<1.3**



**ILS (0.07g) - FOS<1.3**

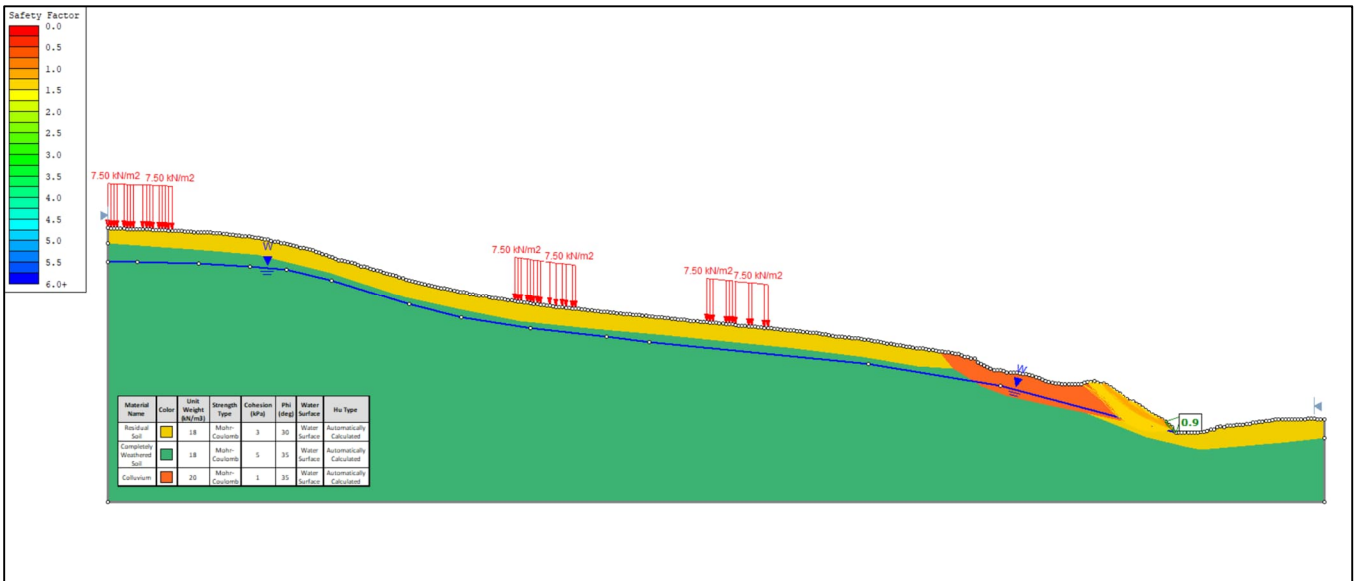


**ULS (0.19g) - FOS<1.3**

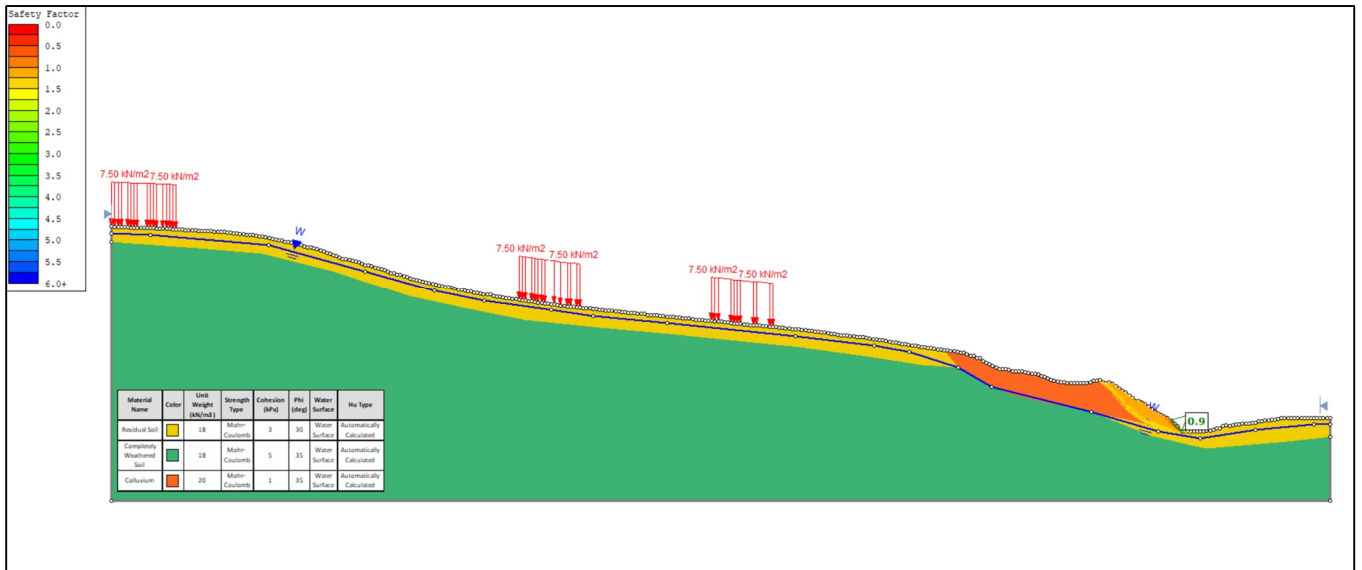


**Section 2 – Non-Circular**

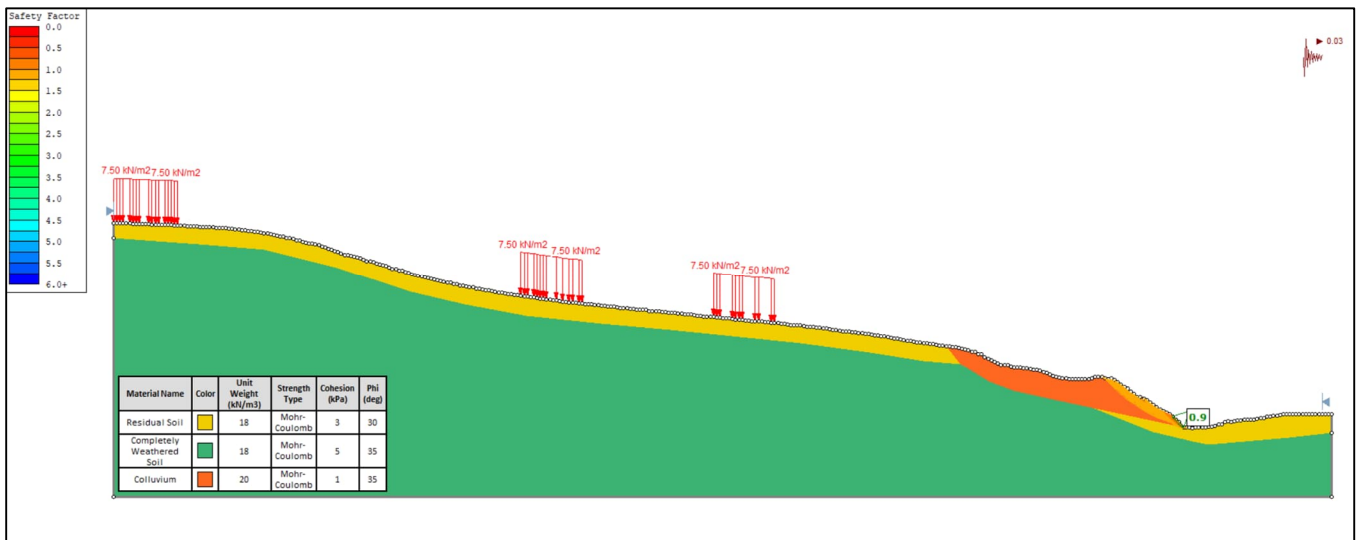
**Static - FOS<1.5**



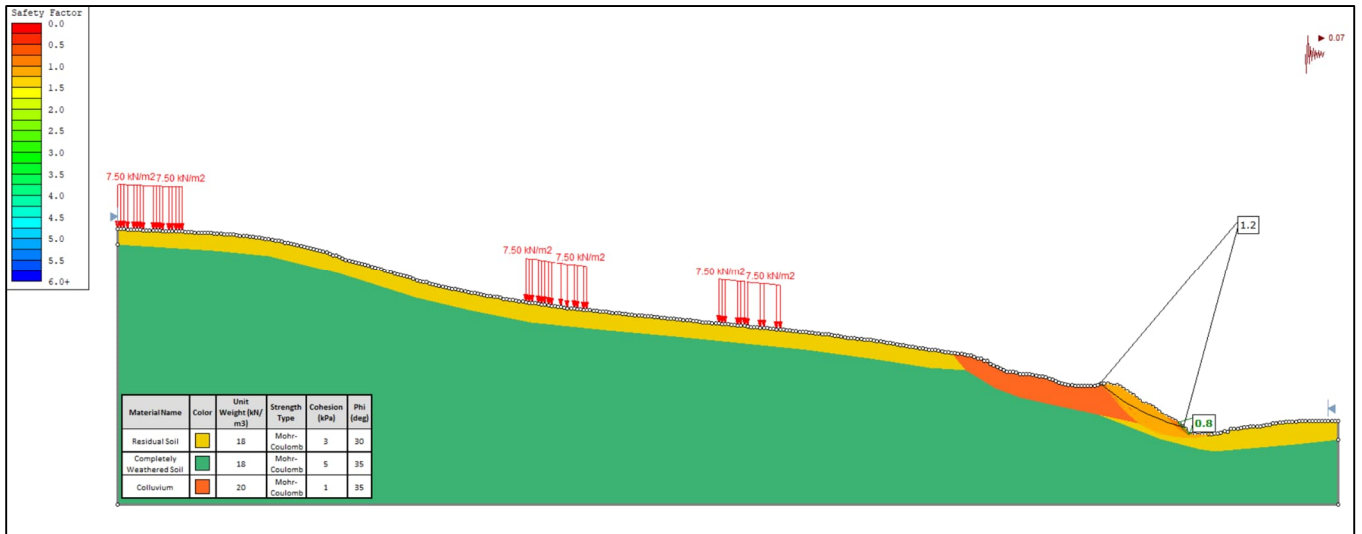
**Elevated Groundwater - FOS<1.3**



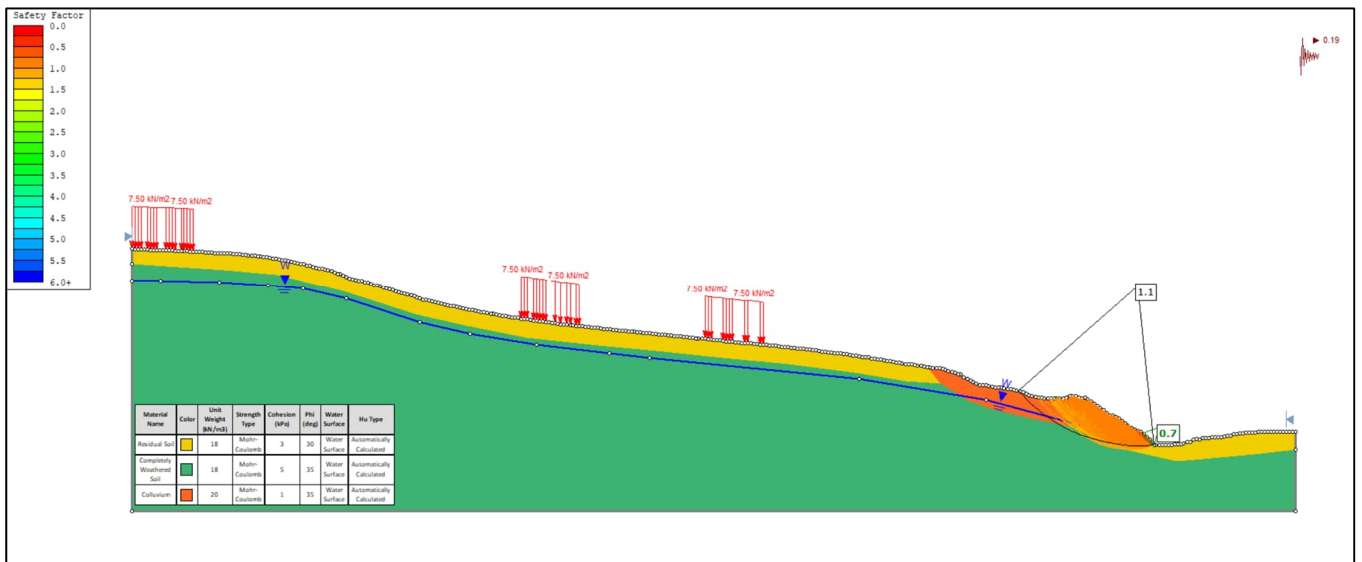
**SLS (0.03g) - FOS<1.3**



**ILS (0.07g) - FOS<1.3**



**ULS (0.19g) - FOS<1.3**



# **APPENDIX E**

## **BULDING RESTRICTION LIMITS**



LEGEND

- 10 m Boundary Setback
- Building Restriction Limit
- Proposed Building Platform
- Proposed Lot
- Proposed Accessway

0 30 60 90 120 m

SCALE A3: 1:1500

NOTES

1. Aerial basemap and property boundaries sourced from LINZ Data Service (CC-BY 4.0).
2. Topographic contours derived from LiDAR data.
3. Investigation locations shown approximately only.

CLIENT  
GP Flynn Ltd

PROJECT  
Geotechnical Investigation for Subdivision  
Lot 2 DP 198106 Waingarō Road,  
Kerikeri

DRAWING TITLE  
Building Restriction Limits



PROJECT REF 30827	DRAWING REF 30827-Geo-2	REVISION A
DATE 08/05/2026	PREPARED BY CJG	CHECKED BY CP

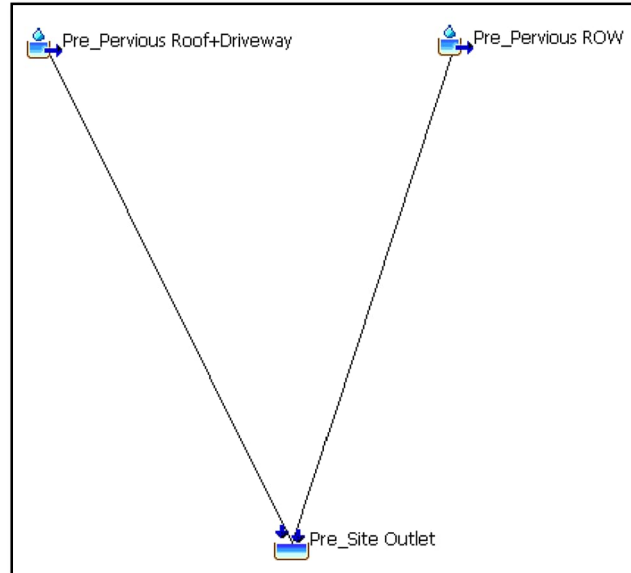
FILE PATH  
M-FILES\LDE - Project\12492-30827\Geo QGIS Zip Folder (ID 79084)\30827 GIS\30827 Waingarō Road.qgz

# APPENDIX E

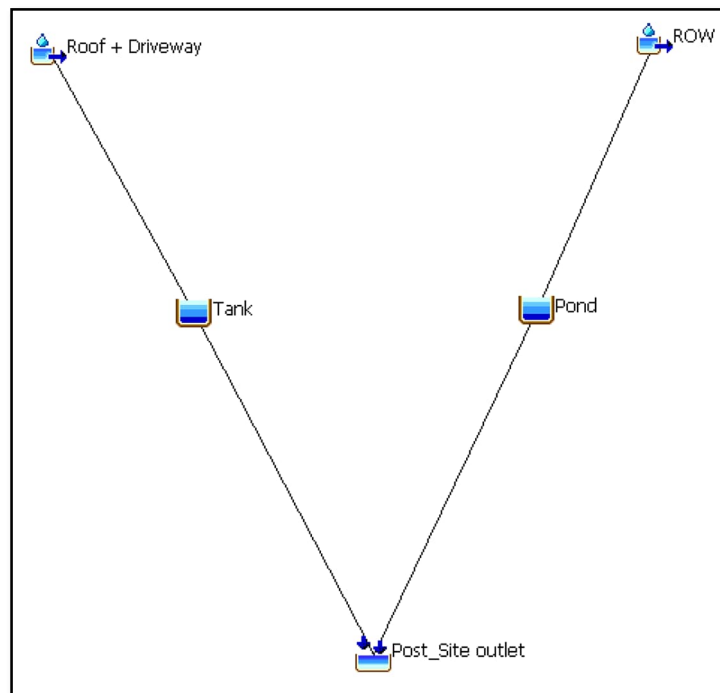
## HEC-HMS RESULTS

# HEC HMS LAYOUT

## PRE-DEVELOPMENT



## POST-DEVELOPMENT



## 50%AEP

Global Summary Results for Run "2yr Pre\_Run"

Project: HEChms Model Simulation Run: 2yr Pre\_Run

Start of Run: 01Jan2000, 00:00 Basin Model: Pre-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 2yr pre Metro setup  
 Compute Time:17Apr2026, 09:27:12 Control Specifications:Control 1

Show Elements: All Elements Volume Units:  MM  1000 M3 Sorting: Watershed Explorer

Hydrologic Element	Drainage Area (KM2)	Peak Discharge (M3/S)	Time of Peak	Volume (MM)
Pre_Pervious ROW	0.00055	0.00390	1 January 2000, 0...	100.04763
Pre_Pervious Roof...	0.00035	0.00169	1 January 2000, 0...	73.05106
Pre_Site Outlet	0.00090	0.00559	1 January 2000, 0...	89.54896

Global Summary Results for Run "2yr Post\_Run"

Project: HEChms Model Simulation Run: 2yr Post\_Run

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 2yr post Metro setup  
 Compute Time:24Apr2026, 09:55:47 Control Specifications:Control 1

Show Elements: All Elements Volume Units:  MM  1000 M3 Sorting: Watershed Explorer

Hydrologic Element	Drainage Area (KM2)	Peak Discharge (M3/S)	Time of Peak	Volume (MM)
Roof + Driveway	0.00035	0.00354	1 January 2000, 0...	148.55855
ROW	0.00055	0.00556	1 January 2000, 0...	148.55855
Pond	0.00055	0.00254	1 January 2000, 0...	151.45705
Tank	0.00035	0.00130	1 January 2000, 0...	147.23185
Post_Site outlet	0.00090	0.00383	1 January 2000, 0...	149.81392

Summary Results for Reservoir "Tank"

Project: HEChms Model Simulation Run: 2yr Post\_Run  
 Reservoir: Tank

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 2yr post Metro setup  
 Compute Time:DATA CHANGED, RECOMPUTE Control Specifications:Control 1

Volume Units:  MM  1000 M3

Computed Results

Peak Inflow: 0.00354 (M3/S)	Date/Time of Peak Inflow: 01Jan2000, 07:58
Peak Discharge: 0.00130 (M3/S)	Date/Time of Peak Discharge:01Jan2000, 08:44
Inflow Volume: 148.55855 (MM)	Peak Storage: 0.00944 (1000 M3)
Discharge Volume:147.23185 (MM)	Peak Elevation: 0.94695 (M)

Summary Results for Reservoir "Pond"

Project: HEChms Model Simulation Run: 2yr Post\_Run  
 Reservoir: Pond

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 2yr post Metro setup  
 Compute Time: 24Apr2026, 09:55:47 Control Specifications: Control 1

Volume Units:  MM  1000 M3

Computed Results

Peak Inflow:	0.00556 (M3/S)	Date/Time of Peak Inflow:	01Jan2000, 07:58
Peak Discharge:	0.00254 (M3/S)	Date/Time of Peak Discharge:	01Jan2000, 08:23
Inflow Volume:	148.55855 (MM)	Peak Storage:	0.01115 (1000 M3)
Discharge Volume:	151.45705 (MM)	Peak Elevation:	0.25197 (M)

## 20%AEP

Global Summary Results for Run "5yr Pre\_Run"

Project: HEChms Model Simulation Run: 5yr Pre\_Run

Start of Run: 01Jan2000, 00:00 Basin Model: Pre-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 5yr pre Metro setup  
 Compute Time: 17Apr2026, 09:27:14 Control Specifications: Control 1

Show Elements: All Elements Volume Units:  MM  1000 M3 Sorting: Watershed Explorer

Hydrologic Element	Drainage Area (KM2)	Peak Discharge (M3/S)	Time of Peak	Volume (MM)
Pre_Pervious ROW	0.00055	0.00542	1 January 2000, 0...	138.65820
Pre_Pervious Roof...	0.00035	0.00254	1 January 2000, 0...	107.11246
Pre_Site Outlet	0.00090	0.00795	1 January 2000, 0...	126.39041

Global Summary Results for Run "5yr Post\_Run"

Project: HEChms Model Simulation Run: 5yr Post\_Run

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 5yr post Metro setup  
 Compute Time: 24Apr2026, 09:55:49 Control Specifications: Control 1

Show Elements: All Elements Volume Units:  MM  1000 M3 Sorting: Watershed Explorer

Hydrologic Element	Drainage Area (KM2)	Peak Discharge (M3/S)	Time of Peak	Volume (MM)
Roof + Driveway	0.00035	0.00465	1 January 2000, 0...	196.38624
ROW	0.00055	0.00731	1 January 2000, 0...	196.38624
Pond	0.00055	0.00300	1 January 2000, 0...	198.95755
Tank	0.00035	0.00205	1 January 2000, 0...	193.97513
Post_Site outlet	0.00090	0.00506	1 January 2000, 0...	197.01994

Summary Results for Reservoir "Tank"

Project: HEChms Model Simulation Run: 5yr Post\_Run  
 Reservoir: Tank

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 5yr post Metro setup  
 Compute Time: DATA CHANGED, RECOMPUTE Control Specifications: Control 1

Volume Units:  MM  1000 M3

Computed Results

Peak Inflow:	0.00465 (M3/S)	Date/Time of Peak Inflow:	01Jan2000, 07:58
Peak Discharge:	0.00205 (M3/S)	Date/Time of Peak Discharge:	01Jan2000, 08:25
Inflow Volume:	196.38624 (MM)	Peak Storage:	0.01242 (1000 M3)
Discharge Volume:	193.97513 (MM)	Peak Elevation:	1.24558 (M)

Summary Results for Reservoir "Pond"

Project: HEChms Model Simulation Run: 5yr Post\_Run  
 Reservoir: Pond

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 5yr post Metro setup  
 Compute Time: 24Apr2026, 09:55:49 Control Specifications: Control 1

Volume Units:  MM  1000 M3

Computed Results

Peak Inflow:	0.00731 (M3/S)	Date/Time of Peak Inflow:	01Jan2000, 07:58
Peak Discharge:	0.00300 (M3/S)	Date/Time of Peak Discharge:	01Jan2000, 08:28
Inflow Volume:	196.38624 (MM)	Peak Storage:	0.01590 (1000 M3)
Discharge Volume:	198.95755 (MM)	Peak Elevation:	0.33219 (M)

## 1% AEP

Global Summary Results for Run "100yr Pre\_Run"

Project: HEChms Model Simulation Run: 100yr Pre\_Run

Start of Run: 01Jan2000, 00:00 Basin Model: Pre-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 100yr pre Metro setup  
 Compute Time: 17Apr2026, 09:27:10 Control Specifications: Control 1

Show Elements: All Elements Volume Units:  MM  1000 M3 Sorting: Watershed Explorer

Hydrologic Element	Drainage Area (KM2)	Peak Discharge (M3/S)	Time of Peak	Volume (MM)
Pre_Pervious ROW	0.00055	0.01045	1 January 2000, 0...	270.25529
Pre_Pervious Roof...	0.00035	0.00563	1 January 2000, 0...	229.95103
Pre_Site Outlet	0.00090	0.01609	1 January 2000, 0...	254.58141

Global Summary Results for Run "100yr Post\_Run"

Project: HEChms Model Simulation Run: 100yr Post\_Run

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 100yr post Metro setup  
 Compute Time: 24Apr2026, 09:55:46 Control Specifications: Control 1

Show Elements: All Elements Volume Units:  MM  1000 M3 Sorting: Watershed Explorer

Hydrologic Element	Drainage Area (KM2)	Peak Discharge (M3/S)	Time of Peak	Volume (MM)
Roof + Driveway	0.00035	0.00835	1 January 2000, 0...	355.88590
ROW	0.00055	0.01313	1 January 2000, 0...	355.88590
Pond	0.00055	0.00518	1 January 2000, 0...	356.60837
Tank	0.00035	0.00340	1 January 2000, 0...	346.57557
Post_Site outlet	0.00090	0.00858	1 January 2000, 0...	352.70673

Summary Results for Reservoir "Tank"

Project: HEChms Model Simulation Run: 100yr Post\_Run  
 Reservoir: Tank

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 100yr post Metro setup  
 Compute Time: DATA CHANGED, RECOMPUTE Control Specifications: Control 1

Volume Units:  MM  1000 M3

Computed Results

Peak Inflow: 0.00835 (M3/S)	Date/Time of Peak Inflow: 01Jan2000, 07:58
Peak Discharge: 0.00340 (M3/S)	Date/Time of Peak Discharge: 01Jan2000, 08:28
Inflow Volume: 355.88590 (MM)	Peak Storage: 0.02353 (1000 M3)
Discharge Volume: 346.57557 (MM)	Peak Elevation: 2.36081 (M)

Summary Results for Reservoir "Pond"

Project: HEChms Model Simulation Run: 100yr Post\_Run  
 Reservoir: Pond

Start of Run: 01Jan2000, 00:00 Basin Model: Post-development  
 End of Run: 02Jan2000, 00:00 Meteorologic Model: 100yr post Metro setup  
 Compute Time: 24Apr2026, 09:55:46 Control Specifications: Control 1

Volume Units:  MM  1000 M3

Computed Results

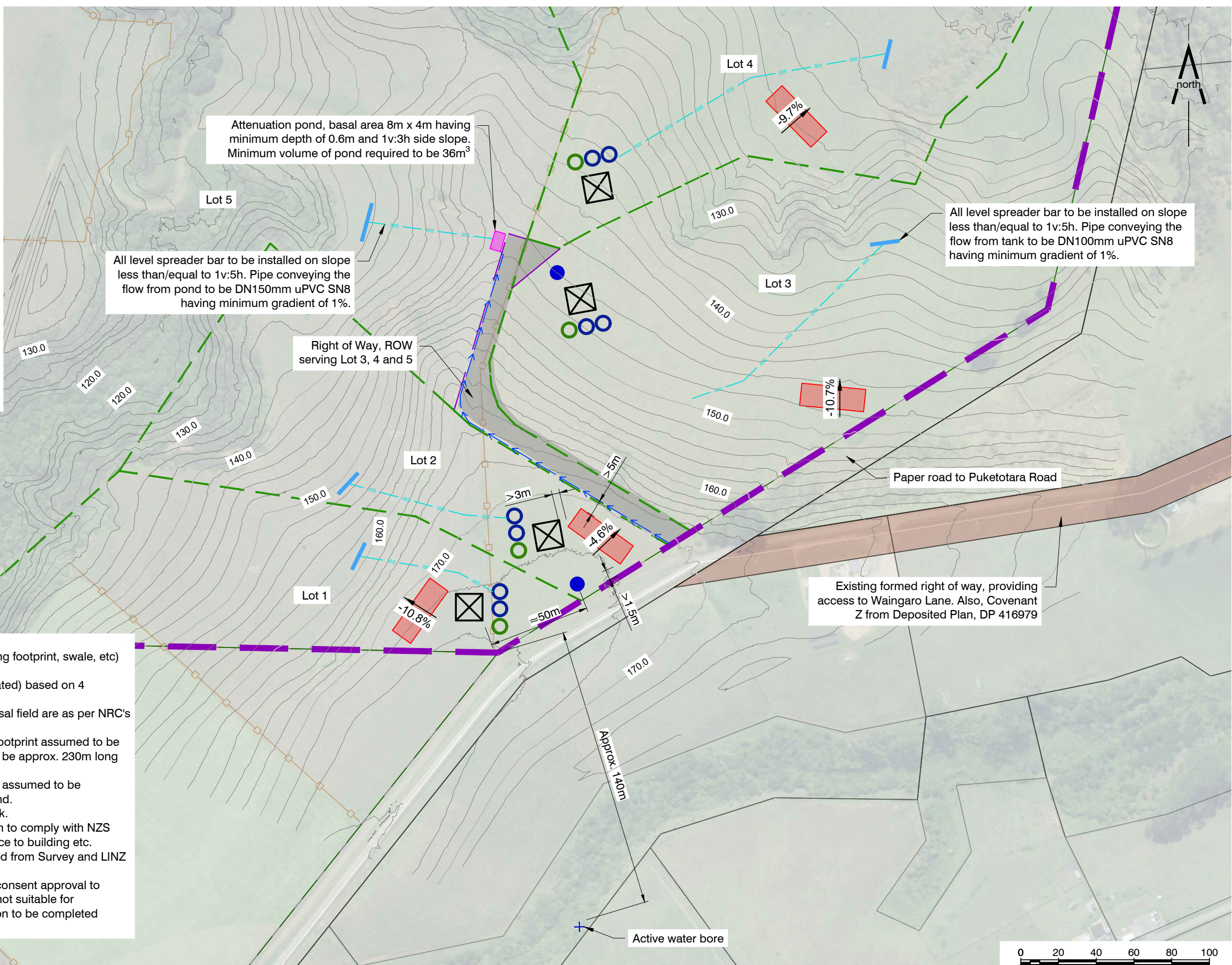
Peak Inflow: 0.01313 (M3/S)	Date/Time of Peak Inflow: 01Jan2000, 07:58
Peak Discharge: 0.00518 (M3/S)	Date/Time of Peak Discharge: 01Jan2000, 08:30
Inflow Volume: 355.88590 (MM)	Peak Storage: 0.03308 (1000 M3)
Discharge Volume: 356.60837 (MM)	Peak Elevation: 0.56445 (M)

# APPENDIX G

## SCHEMATIC PLAN

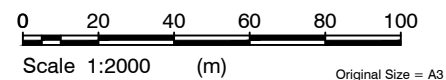
Legend

- Parent Lot Boundary
- Fence
- - - Proposed Lot Boundary
- Building Platform
- Proposed ROW
- Proposed Disposal Field
- Proposed Firefighting Tank
- Proposed Potable Water Tank
- Proposed Attenuation Tank
- Proposed Pond
- Proposed Swale
- Proposed Level Spreader Bar
- Proposed Stormwater Pipe



Notes:

1. Locations of all proposed development (building footprint, swale, etc) are indicative only.
2. Effluent disposal field is 400m<sup>2</sup> (secondary treated) based on 4 bedroom house.
3. All vertical and horizontal offset from the disposal field are as per NRC's Regional Plan.
4. For stormwater attenuation analysis, building footprint assumed to be 200m<sup>2</sup> and 150m<sup>2</sup> of hardstand areas. ROW to be approx. 230m long and 4.5m wide.
5. New impermeable areas on each lot and ROW assumed to be attenuated through a network of tanks and pond.
6. Potable water tank assumed to be 50,000L tank.
7. Two firefighting water tanks to be 25,000L each to comply with NZS PAS4509:2008, meeting maximum 90m distance to building etc.
8. Site boundaries, elevation data etc are imported from Survey and LINZ and subject to source and scaling errors.
9. Engineering drawing is provided for resource consent approval to demonstrate feasibility of the subdivision and not suitable for construction. Detailed design for the subdivision to be completed during Engineering Plan Approval.



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CLIENT  
G P Flynn Ltd

PROJECT  
Subdivision of Lot 2 DP 198106  
Waingaro Lane  
Kerikeri

DRAWING TITLE  
Site Plan



DESIGN:	G Grover
DRAWN:	G Grover
DATE:	21/04/26
CHECKED:	H Gibson
BY:	
DATE:	21/04/2026
SCALE AS:	1:2000

PROJECT STATUS: <b>For Consent</b>	
PROJECT: 30827	SHEET: 1 of 1
DRAWING No: C01	REV: A

## Natalie Watson

---

**From:** Mike Fox <Michael.Fox@fndc.govt.nz>  
**Sent:** Thursday, 23 April 2026 1:26 pm  
**To:** Natalie Watson  
**Subject:** RE: RFS4264753 - 39A Waingaro Lane, Kerikeri

Hi Natalie,

I've asked our Property Legalisation team for an update- will be in touch when I hear back from them.

If I don't get back to you soon, by all means chase me up again.

Kind regards,

Mike.



**Mike Fox**

Reynard Civil - Transportation Capital Works and Renewals  
Michael.Fox@fndc.govt.nz

Te Kaunihera o Te Hiku o te Ika | Far North District Council

---

Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029  
[fndc.govt.nz](http://fndc.govt.nz)



---

**From:** Natalie Watson <nat@saps.co.nz>  
**Sent:** Thursday, 23 April 2026 10:35 am  
**To:** Mike Fox <Michael.Fox@fndc.govt.nz>  
**Subject:** FW: RFS4264753 - 39A Waingaro Lane, Kerikeri

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Hi Mike,

Hope you are well. Any updates from the FNDC legalisation team regarding this road vesting? Let me know if I can help or move things along in any way.

Thank you,  
Natalie

WILLIAMS & KING  
P +64 9 407 6030  
27 Hobson Ave  
P.O. Box 937, Kerikeri 0230, NZ  
<http://www.saps.co.nz>

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---

**From:** Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>  
**Sent:** Tuesday, 17 February 2026 11:33 am  
**To:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>; Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>  
**Subject:** RE: RFS4264753 - 39A Waingaro Lane, Kerikeri

Hi Natalie,

I've asked our legalisation team for an update.

I should be able to get back to you soon.

Kind regards,

Mike.



**Mike Fox**

Reynard Civil - Transportation Capital Works and Renewals

[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)

Te Kaunihera o Te Hiku o te Ika | Far North District Council

---

Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029

[fndc.govt.nz](http://fndc.govt.nz)



---

**From:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>  
**Sent:** Tuesday, 17 February 2026 9:44 am  
**To:** Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>; Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>  
**Subject:** RE: RFS4264753 - 39A Waingaro Lane, Kerikeri

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Hi Mike,

Hope you are well. Are you able to give us an update on this road vesting?

Thank you,  
Natalie

**WILLIAMS & KING**

P +64 9 407 6030

27 Hobson Ave

P.O. Box 937, Kerikeri 0230, NZ

<http://www.saps.co.nz>

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---

**From:** Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>  
**Sent:** Wednesday, 17 December 2025 2:13 pm  
**To:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>; Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>  
**Subject:** RE: RFS4264753 - 39A Waingaro Lane, Kerikeri


Hi Natalie,

I've just been talking with our legal team about this matter- there are apparently some covenants or similar on the land that must be dealt with before it can be vested. They are therefore taking a little while to get back to us- we'll be in touch with you when this happens.

As regards the table, you have found the correct one.

Kind regards,

Mike.

 **Mike Fox**  
Reynard Civil - Transportation Capital Works and Renewals  
[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)  
Te Kaunihera o Te Hiku o te Ika | Far North District Council

---

Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029  
[fndc.govt.nz](http://fndc.govt.nz)    

---

**From:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>  
**Sent:** Wednesday, 17 December 2025 1:56 pm  
**To:** Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>  
**Cc:** Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>  
**Subject:** RE: RFS4264753 - 39A Waingaro Lane, Kerikeri

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Hi Paul,

Did you get any feedback from Council's legal rep?

In terms of the formation / standard required, can we confirm this just so that the applicant's know what they are in for.

'Low Volume Band 1', is described in the 2023 FNDC Engineering Standards *Table 3-4 Rural Road Design Criteria – Unsealed Roads* with the following requirements:

Classification	Characteristics <sup>12</sup>	Minimum Legal Road Width <sup>8</sup>	Carriageway Requirements		
			Minimum Width	Maximum Width	Pavement Depth
Low Volume	Band 1	20.0	3.0	4.0	100.0

Is this correct?

Thanks,  
Natalie

WILLIAMS & KING  
P +64 9 407 6030  
27 Hobson Ave  
P.O. Box 937, Kerikeri 0230, NZ  
<http://www.saps.co.nz>

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**From:** Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>  
**Sent:** Monday, 8 December 2025 10:50 am  
**To:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>  
**Cc:** Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>  
**Subject:** RE: RFS4264753 - 39A Waingaro Lane, Kerikeri

Wonderful.

Thanks Natalie. Yes we are willing to take this on.

Our legal rep is on leave today, but I've let her know and will follow up with her tomorrow.

Paulie

**From:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>  
**Sent:** Friday, 5 December 2025 11:33 am  
**To:** Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>

Cc: Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>

Subject: RE: RFS4264753 - 39A Waingaro Lane, Kerikeri

You don't often get email from [nat@saps.co.nz](mailto:nat@saps.co.nz). [Learn why this is important](#)

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Hi Paul,

To answer your queries:

1. **Can you please confirm that your position hasn't changed and that you would like to proceed.**

Yes please – Bruce and Jodie Baxter are keen to progress this matter asap.

2. **Can you please confirm that you have legally vested the road in FNDC;**

No – the applicant does not own this land, but as mentioned in the earlier correspondence, a consent notice relating to the area intended to be vested states that "Areas 'Y' & 'Z' are restrictive covenants for the purposes of a future road. The FNDC is entitled to take the covenanted land for a road at any time without compensation." These covenants connect to a paper road adjoining the GP Flynn Ltd property, which previously obtained an agreement from the NTA. According to the notes in the request, NTA agreed to accept this land provided that GP Flynn Ltd bore the costs to legalize the vesting of the road and formed the road to FNDC standards. Can you confirm that it is still the case that FNDC wants to accept the land?

3. **Can you please confirm that the road has been built to Council standards (Low Volume Band 1 as per the attached table, plus meeting other requirements in our Engineering Standards). Can you please provide the as-builts so we can add it to our asset database appropriately.**

We haven't got to the stage of recording any as built plans – we need agreement first from Council that they want to accept the road to vest, and an idea of the process to achieve this. Will Council deal with the relevant landowners for the legalisation?

Thank you,  
Natalie Watson

**WILLIAMS & KING**

P +64 9 407 6030

27 Hobson Ave

P.O. Box 937, Kerikeri 0230, NZ

<http://www.saps.co.nz>

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---

From: Paul Nicoll <[Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)>

Sent: Thursday, 4 December 2025 9:05 AM

**To:** Natalie Watson <[nat@saps.co.nz](mailto:nat@saps.co.nz)>  
**Cc:** Mike Fox <[Michael.Fox@fndc.govt.nz](mailto:Michael.Fox@fndc.govt.nz)>  
**Subject:** RFS4264753 - 39A Waingaro Lane, Kerikeri

Kia ora Natalie,

I hope this finds you well.

First of all, our apologies for the delayed response. The recent changes in our transportation team have resulted in a bit of a backlog, and we are diligently working to catch up.

I am working with my FNDC colleagues to pick up this matter from where it was left. To ensure we address everything accurately and thoroughly, I would appreciate your confirmation on a few queries following on from Elizabeth's email in April.

1. Can you please confirm that your position hasn't changed and that you would like to proceed.
2. Can you please confirm that you have legally vested the road in FNDC;
3. Can you please confirm that the road has been built to Council standards (Low Volume Band 1 as per the attached table, plus meeting other requirements in our Engineering Standards). Can you please provide the as-builts so we can add it to our asset database appropriately.

Once we have the above confirmations, we will send one of our engineers to the site to verify the upgrade and condition, and subsequently add it to the RAMM (Road Assessment and Maintenance Management) database and the maintenance brought into council.

Thank you for your assistance and understanding. We look forward to your response.

Nga mihi,



**Paul Nicoll (External)**

RFS Coordinator – Roading

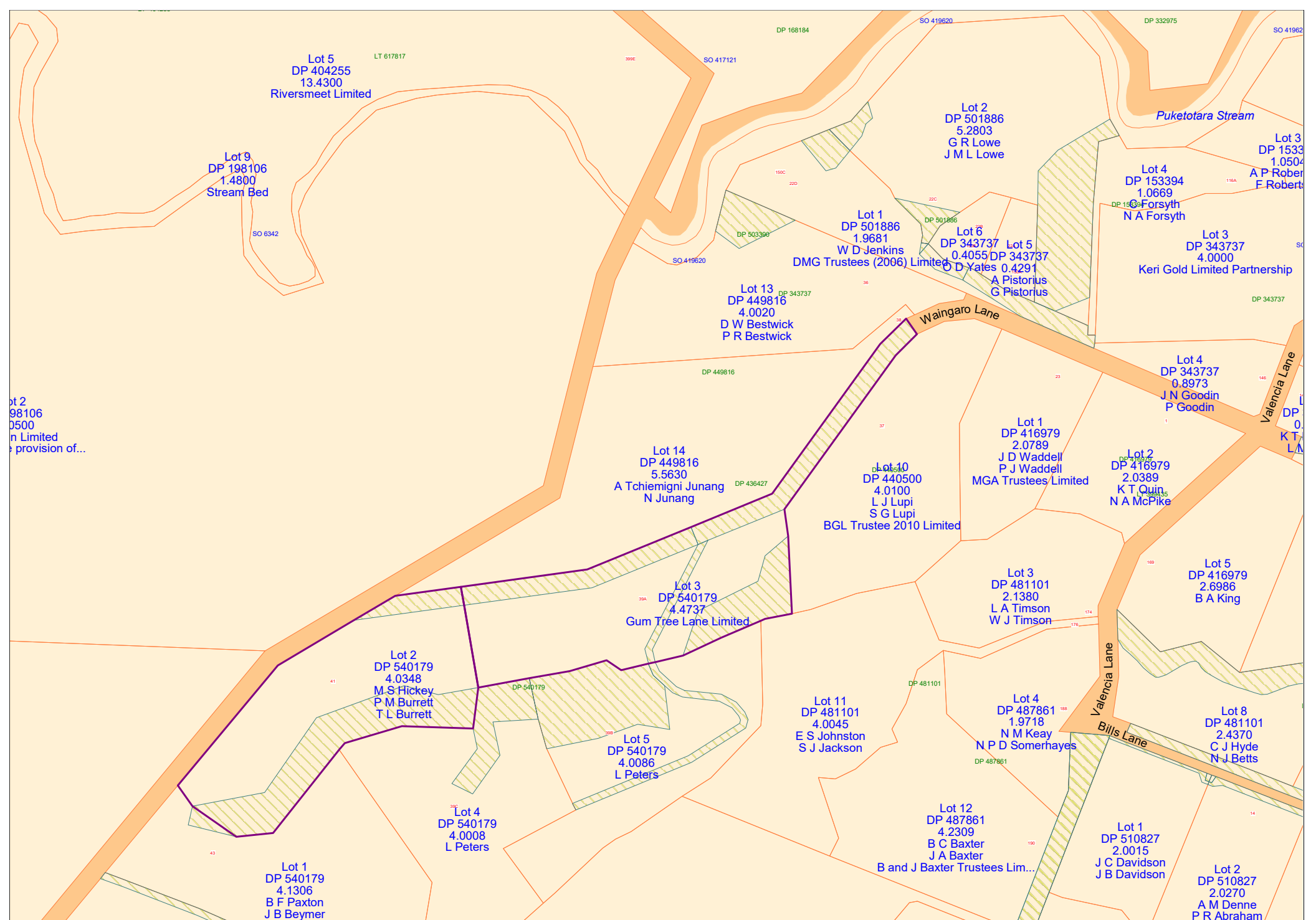
M: 027 700 4470

E: [Paul.Nicoll@fndc.govt.nz](mailto:Paul.Nicoll@fndc.govt.nz)

Te Kaunihera o Te Hiku o te Ika | Far North District Council

Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029  
[fndc.govt.nz](http://fndc.govt.nz)







**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land  
Transfer Act 2017**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA127A/547**  
**Land Registration District** **North Auckland**  
**Date Issued** 15 December 1999

**Prior References**  
NA93C/380

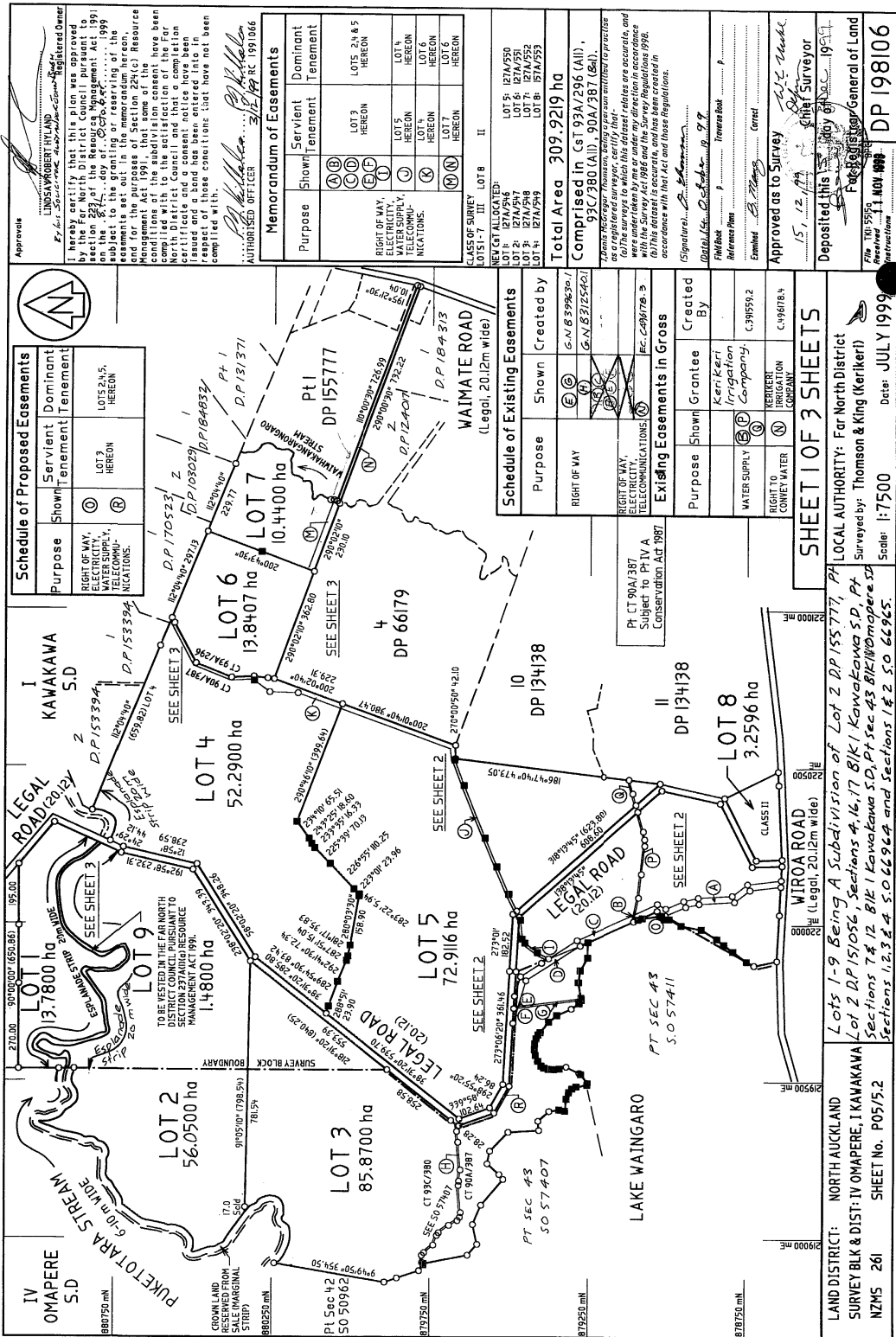
---

**Estate** Fee Simple  
**Area** 56.0500 hectares more or less  
**Legal Description** Lot 2 Deposited Plan 198106  
**Registered Owners**  
GP Flynn Limited

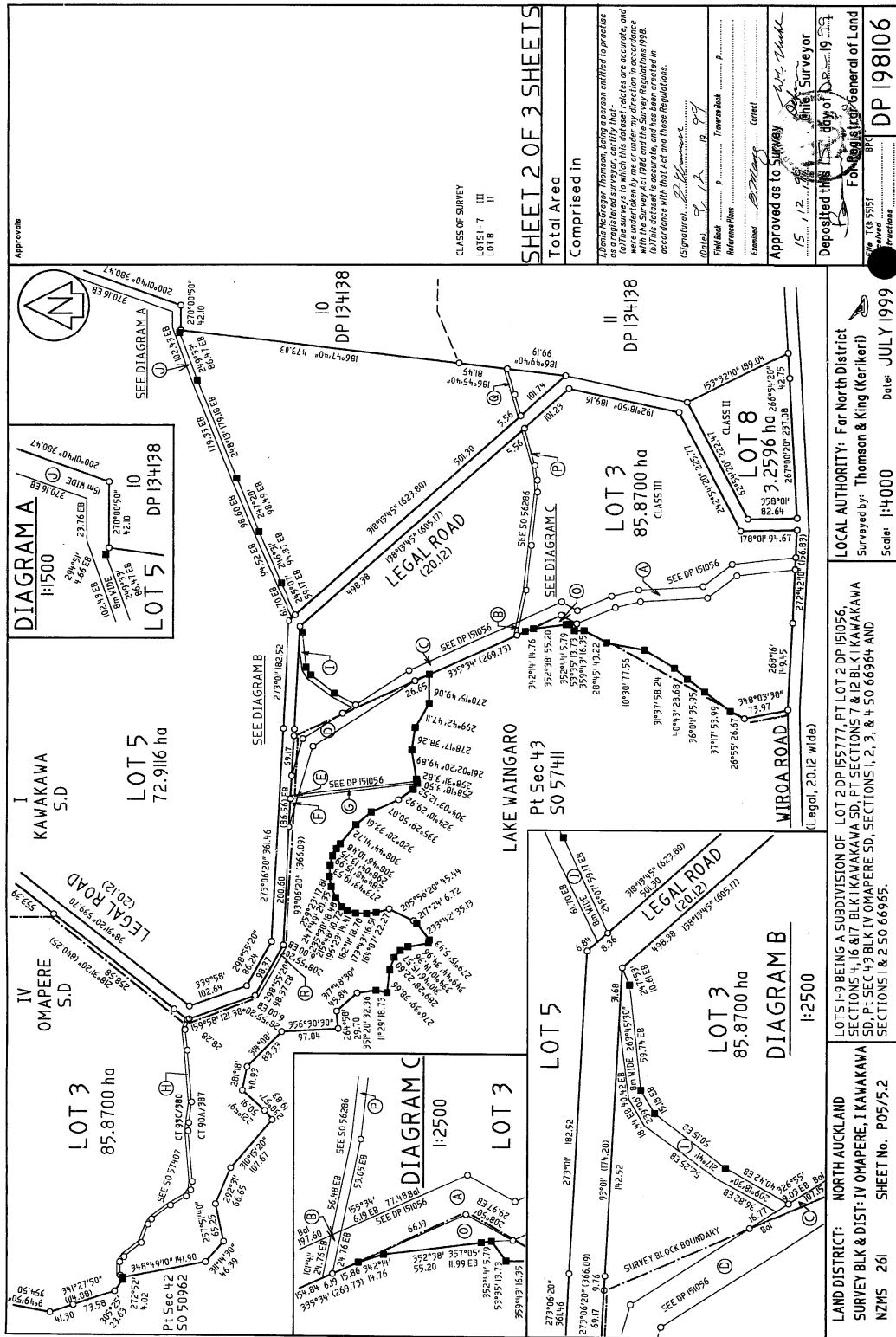
---

**Interests**

Subject to Section 168A Coal Mines Act 1925 (affects part)  
Subject to Section 8 Mining Act 1971 (affects part)  
D450974.6 Esplanade Strip Instrument pursuant to Section 232 Resource Management Act 1991 in favour of The Far North District Council - produced 11.11.1999 at 2:05 pm and entered 15.12.1999 at 9:00 am  
9162334.1 CAVEAT BY TOP ENERGY LIMITED - 22.8.2012 at 4:19 pm  
9355672.3 Mortgage to Rabobank New Zealand Limited - 19.4.2013 at 12:37 pm  
9381012.1 CAVEAT BY TOP ENERGY LIMITED - 24.4.2013 at 5:09 pm



20 DEC 1999



Approvals

CLASS OF SURVEY  
 LOTS I - 7 III  
 LOT B II

SHEET 2 OF 3 SHEETS  
 Total Area  
 Comprised in

Planning Registrar, Hamilton, being a person entitled to practise as a registered surveyor, certify that the above plan is a true and correct copy of the original plan as deposited with me in accordance with the Survey Act 1986 and the Survey Regulations 1991. This certificate is accurate, and has been created in accordance with that Act and those Regulations.

(Signature) *P. Williams*

Field Book .....  
 Instrument File .....  
 Exhibited ..... Correct

Approved as to Survey by *[Signature]* Chief Surveyor

Deposited this 15 day of Dec 1999

For Registrar General of Land

DP 198106

REF: 5957/AVLAND

DIAGRAM A  
 1:500

LOT 5  
 72.9116 ha

LOT 3  
 85.8700 ha

LEGAL ROAD  
 (20.12)

LAKE WAINGARO  
 Pt Sec 43  
 50 574H

DIAGRAM B  
 1:2500

LOT 3  
 85.8700 ha

DIAGRAM C  
 1:2500

LOT 3

LEGAL ROAD  
 (20.12)

WIROA ROAD  
 (Legal, 20.12 wide)

DIAGRAM B  
 1:2500

LOT 3  
 85.8700 ha

LOT 5  
 72.9116 ha

LEGAL ROAD  
 (20.12)

LEGAL ROAD  
 (20.12)

IV OMAPERI S.D.

KAWAKAWA S.D.

LOT 3

LOT 5

LEGAL ROAD

LAKE WAINGARO

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

IV OMAPERI S.D.

KAWAKAWA S.D.

LOT 3

LOT 5

LEGAL ROAD

LAKE WAINGARO

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

IV OMAPERI S.D.

KAWAKAWA S.D.

LOT 3

LOT 5

LEGAL ROAD

LAKE WAINGARO

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

IV OMAPERI S.D.

KAWAKAWA S.D.

LOT 3

LOT 5

LEGAL ROAD

LAKE WAINGARO

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

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LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

LEGAL ROAD

IV OMAPERI S.D.

KAWAKAWA S.D.

LOT 3

LOT 5

LEGAL ROAD

LAKE WAINGARO

LEGAL ROAD

LEGAL ROAD

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LEGAL ROAD

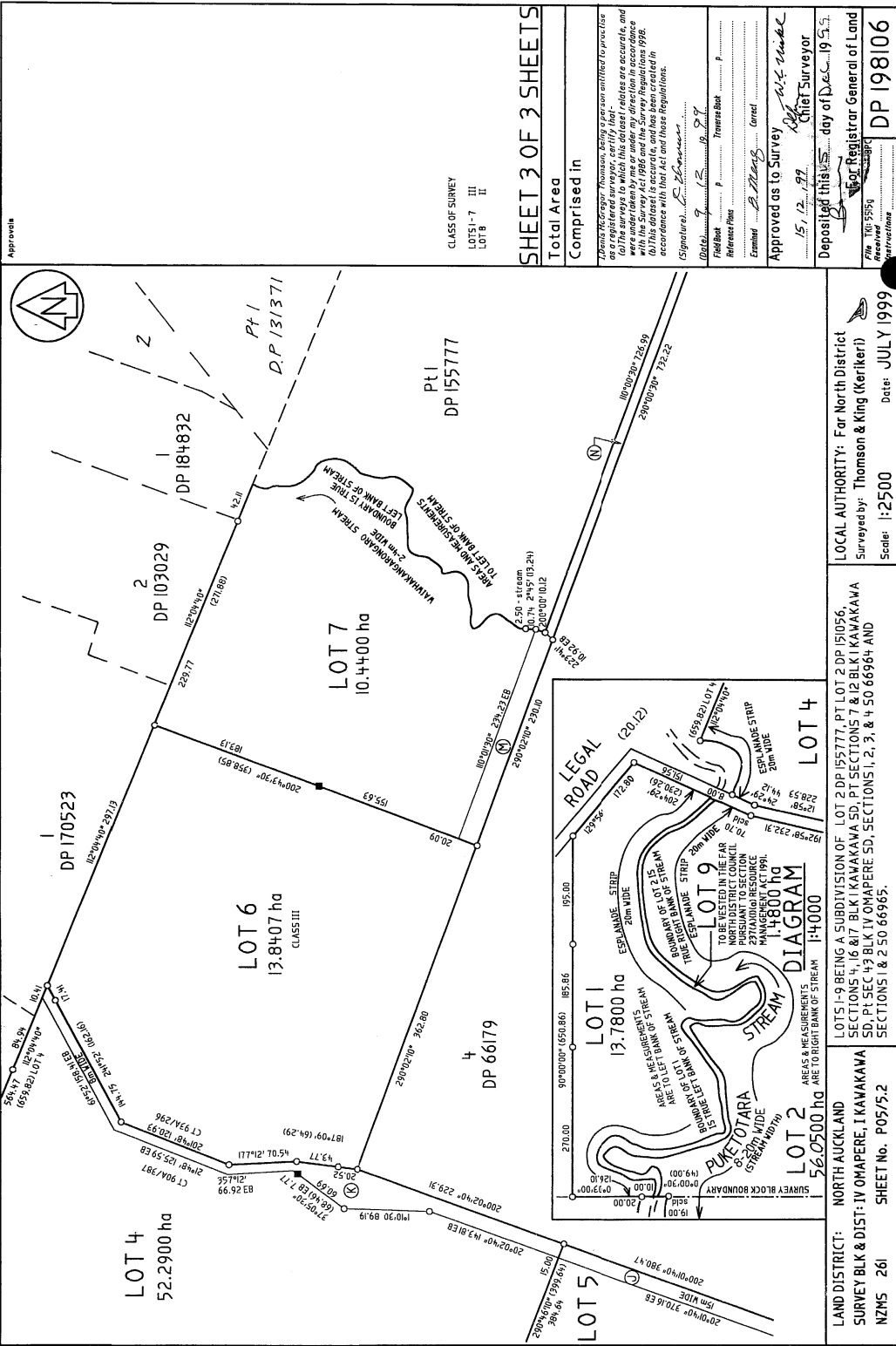
LEGAL ROAD

LOCAL AUTHORITY: Far North District  
 Surveyed by: Thomson & King (Kerikeri)  
 Scale: 1:4000 Date: JULY 1999

LAND DISTRICT: NORTH AUCKLAND  
 SURVEY BLK & DIST: IV OMAPERI, I KAWAKAWA  
 SD, Pt SEC 43, 2 BLK IV OMAPERI SD, SECTIONS 1, 2, 3, & 4 SO 66964 AND  
 SECTIONS 1 & 2 SO 66965.

LAND DISTRICT: NORTH AUCKLAND  
 SURVEY BLK & DIST: IV OMAPERI, I KAWAKAWA  
 SD, Pt SEC 43, 2 BLK IV OMAPERI SD, SECTIONS 1, 2, 3, & 4 SO 66964 AND  
 SECTIONS 1 & 2 SO 66965.

LAND DISTRICT: NORTH AUCKLAND  
 SURVEY BLK & DIST: IV OMAPERI, I KAWAKAWA  
 SD, Pt SEC 43, 2 BLK IV OMAPERI SD, SECTIONS 1, 2, 3, & 4 SO 66964 AND  
 SECTIONS 1 & 2 SO 66965.



CLASS OF SURVEY  
 LOTS I - 7 III  
 LOT 9 II

**SHEET 3 OF 3 SHEETS**

Total Area Comprised in

*Thomas Thomson* being a person entitled to practice as a registered surveyor, certify that to the survey to which this dataset relates are accurate, and that the survey was conducted in accordance with the Survey Act 1986 and the Survey Regulations 1998.

(Signature) *Thomas Thomson*

Date: *15.12.99*

Printed Name: *Thomas Thomson*

Employed: *Contract*

Approved as to Survey by: *Chief Surveyor*

Deposited this *15.12.99* day of *December* 19*99*.

For Registrar General of Land

File No: *TA 5550*

Reference: *DP 198106*

REF: 5550/MLAND

Scale: 1:2500 Date: JULY 1999

LOCAL AUTHORITY: Far North District  
 Surveyed by: Thomson & King (Kerikeri)

LAND DISTRICT: NORTH AUCKLAND  
 SURVEY BLK & DIST: IV OMAPERU, I KANAKAWA  
 NZMS 261

LOTS 1-9 BEING A SUBDIVISION OF LOT 2 DP 15056 SECTIONS 4, 16 & 17 BLK I KANAKAWA SD PT SECTIONS 7 & 12 BLK I KANAKAWA SD PT SEC 13 BLK IV OMAPERU SD, SECTIONS 1, 2, 3, & 4 SO 66964 AND SECTIONS 1 & 2 SO 66965.

LAND DISTRICT: NORTH AUCKLAND  
 SURVEY BLK & DIST: IV OMAPERU, I KANAKAWA  
 NZMS 261

LOTS 1-9 BEING A SUBDIVISION OF LOT 2 DP 15056 SECTIONS 4, 16 & 17 BLK I KANAKAWA SD PT SECTIONS 7 & 12 BLK I KANAKAWA SD PT SEC 13 BLK IV OMAPERU SD, SECTIONS 1, 2, 3, & 4 SO 66964 AND SECTIONS 1 & 2 SO 66965.

20 DEC 1999



**INSTRUMENT FOR ESPLANADE STRIP**

**1. RECITALS:**

- 1.1 LINDSAY ROBERT HYLAND of Kerikeri ("the Grantor"), is registered as proprietor of the land described in schedule A hereto ("the land").
- 1.2 THE FAR NORTH DISTRICT COUNCIL ("the Grantee"), is a body corporate under the provisions of the Local Government Act 1974 in whose district the land is located.

**2. CREATION OF ESPLANADE STRIP:**

The Grantor creates in favour of the Grantee, an esplanade strip over and along the boundaries of the land described in Schedule B hereto ("the strip").

**3. COVENANTS:**

- 3.1 The Grantor and the Grantee covenant:
- 3.2 The Following acts are prohibited on the land over which the esplanade strip has been created:
  - (a) Wilfully endangering, disturbing or annoying any lawful user of the strip (including the owner or occupier of the strip):
  - (b) Wilfully damaging or interfering with any structure adjoining or on the land, including any building, fence, gate, stile, marker, bridge or notice:
  - (c) Wilfully interfering with or disturbing any livestock lawfully permitted on the strip.

The prohibitions referred to in paragraphs (b) and (c) above do not apply to the owner or occupier of the strip or to any employees or agents authorised by the owner or occupier.

3.3 The following further acts are prohibited on the land:

- (a) Lighting any fire:
- (b) Carrying any firearm:
- (c) Discharging or shooting any firearm:
- (d) Camping:
- (e) Taking any animal on to, or having charge of any animal on, the land:
- (f) Taking any vehicle on to, or driving or having any charge or control of any vehicle on, the land (whether the vehicle is motorised or non-motorised):
- (g) Wilfully damaging or removing any plant (unless acting in accordance with the Noxious Plants Act 1978 or the Biosecurity Act 1993):
- (h) Laying any poison or setting any snare or trap (unless acting in accordance with the Agricultural Pests Destruction Act 1967 or the Biosecurity Act 1993).

The prohibitions referred to in paragraphs (e) and (f) above do not apply to the owner or occupier of the strip.

*Handwritten initials: PJ LR*

*Instrument*

3.3 The following other restrictions apply on the strip:

Nil.

3.4 The following fencing requirements on the land shall be made in respect of the strip:

Nil.

3.5 Access to the strip:

Any person shall have the right to enter and remain on the strip for the purpose of recreation provided however that there shall be no access during the hours of darkness without the prior consent of the owner or occupier of the strip.

**SCHEDULE A**

13.700 hectares more or less being Lot 1 Deposited Plan 198106, 54.5500 hectares more or less being Lot 2 Deposited Plan 198106, and 52.2900 hectares more or less being Lot 4 Deposited Plan 198106 (North Auckland Registry).

**SCHEDULE B**

Those parcels of land 20 metres wide marked "Esplanade Strip" on Deposited Plan 198106.

**DATED** this *8th* day of *October* 1999.

**SIGNED** by the said )  
**LINDSAY ROBERT HYLAND**)  
in the presence of:- )

*L.R. Hyland*

*J. Jonson*

JAN DOROTHY JONSON  
LEGAL EXECUTIVE  
TO LAW NORTH PARTNERS  
KERIKERI

Signed for **THE FAR NORTH** )  
**DISTRICT COUNCIL** under )  
delegated authority )

*P.J. Hales*  
Authorized Officer

Correct for the Purposes of the Land Transfer Act 1952

LINDSAY ROBERT HYLAND

Grantor

Solicitor for the Grantee

THE FAR NORTH DISTRICT COUNCIL

Grantee

Particulars entered in the Register as shown herein on the date and at the time endorsed below.

**INSTRUMENT FOR ESPLANADE STRIP**

Registrar General of Land - North Auckland

*Instrument created pursuant to Section 223 of the Land Transfer Act 1952*  
*for the purpose of the Far North District Council*

LAW NORTH PARTNER  
SOLICITORS  
KERIKERI

PARTICULARS ENTERED IN REGISTER  
LAND REGISTRY NORTH AUCKLAND  
for REGISTRAR-GENERAL OF LAND

205 11 NOV 99 D 450974

LINE COPY



27/11/99  
509



# View Instrument Details

**Instrument Type** Caveat against dealings with land under s137 Land Transfer Act 1952  
**Instrument No** 9162334.1  
**Status** Registered  
**Date & Time Lodged** 22 August 2012 16:19  
**Lodged By** Wyse, Kelly Jayne

---

Affected Computer Registers	Land District
NA127A/547	North Auckland
NA127A/548	North Auckland
NA127A/550	North Auckland

---

**Registered Proprietor**  
M J & C M PINNY LIMITED

---

**Caveator**  
Top Energy Limited

---

**Estate or Interest claimed**  
Pursuant to Agreement to Grant Easement dated 17 August 2012 between the Registered Proprietor as Grantor and the Caveator as Grantee.

---

**Notice**  
Take notice that the Caveator forbids the registration of any instrument, having the effect of charging or transferring, or otherwise affecting, the estate or interest protected by this caveat, until this caveat has been withdrawn by the Caveator, removed by order of the High Court, or until the same has lapsed under the provisions of Section 145 or Section 145A of the Land Transfer Act 1952.

---

**Address for Service of Caveator**  
Meredith Connell (Kelly Wyse)  
PO Box 2213  
Auckland  
New Zealand  
1140

---

**Address for Registered Proprietor**  
Peter Macauley  
PO Box 269  
Kaikohe  
New Zealand  
0440

---

**Caveator Certifications**

---



# View Instrument Details

## Caveator Certifications

I certify that I have the authority to act for the Caveator and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

## Signature

Signed by Kelly Jayne Wyse as Caveator Representative on 22/08/2012 12:07 PM

**\*\*\* End of Report \*\*\***



# View Instrument Details

**Instrument Type** Caveat against dealings with land under s137 Land Transfer Act 1952  
**Instrument No** 9381012.1  
**Status** Registered  
**Date & Time Lodged** 24 April 2013 17:09  
**Lodged By** Wyse, Kelly Jayne

---

<b>Affected Computer Registers</b>	<b>Land District</b>
NA127A/547	North Auckland
NA127A/548	North Auckland
NA127A/550	North Auckland

---

**Registered Proprietor**  
GP Flynn Limited

---

**Caveator**  
Top Energy Limited

---

**Estate or Interest claimed**  
Pursuant to Agreement to Grant Easement dated 18 April 2013 between the Registered Proprietor as Grantor and the Caveator as Grantee.

---

**Notice**  
Take notice that the Caveator forbids the registration of any instrument, having the effect of charging or transferring, or otherwise affecting, the estate or interest protected by this caveat, until this caveat has been withdrawn by the Caveator, removed by order of the High Court, or until the same has lapsed under the provisions of Section 145 or Section 145A of the Land Transfer Act 1952.

---

**Address for Service of Caveator**  
Greenwood Roche Chisnall (Kelly Wyse)  
PO Box 106 006  
Auckland  
New Zealand  
1143

---

**Address for Registered Proprietor**  
Hammonds Law (D B Dennis)  
PO Box 16  
Dargaville  
New Zealand  
0340

---

**Caveator Certifications**

---



# View Instrument Details

## Caveator Certifications

I certify that I have the authority to act for the Caveator and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

## Signature

Signed by Hadleigh Morton Yonge as Caveator Representative on 22/05/2013 09:50 AM

\*\*\* End of Report \*\*\*

Natalie Watson  
Williams & King  
PO Box 937  
KERIKERI 0230

Email: [nat@saps.co.nz](mailto:nat@saps.co.nz)

To Whom It May Concern:

**RE: PROPOSED SUBDIVISION**  
**GP Flynn Limited – Waingaro Lane, Kerikeri. Lot 2 DP 198106.**


Thank you for your recent correspondence with attached proposed subdivision scheme plans.

Top Energy's requirement for this subdivision is nil. Design and costs to provide a power supply could be provided after application and an on-site survey have been completed.

Link to application: [Top Energy | Top Energy](#)

In order to get a letter from Top Energy upon completion of your subdivision, a copy of the resource consent decision must be provided.

Yours sincerely



**Aaron Birt**  
Planning and Design  
E: [aaron.birt@topenergy.co.nz](mailto:aaron.birt@topenergy.co.nz)

## Natalie Watson

---

**From:** RMA <RMA@doc.govt.nz>  
**Sent:** Monday, 11 May 2026 3:38 pm  
**To:** Natalie Watson  
**Subject:** RE: Proposed Subdivision for GP Flynn Limited - Waingaro Lane, Kerikeri

**Importance:** Low

Kia ora Natalie,

Thank you for sending your information to the Department of Conservation. I have lodged your request into our system for response. Your request has been assigned the reference number **RC3749**, so please refer to this in any future correspondence.

### What happens next

Your request will firstly be assessed to see what interest DOC has, and how conservation values could be affected. If the result is that DOC has no concerns, we will let you know (this usually takes about a week).

If there are concerns that need to be considered further, your application will be forwarded to the local DOC office for assessment, and they will let you know the outcome (that process usually takes 4-6 weeks).

Note that if the outcome is that DOC does not support your request, you will be able to discuss this further with staff to see whether concerns can be addressed in some way.

If you have any further queries, or there are any changes to your proposal in the interim, please contact [RMA@doc.govt.nz](mailto:RMA@doc.govt.nz).

Kia pai to ra, tena koe

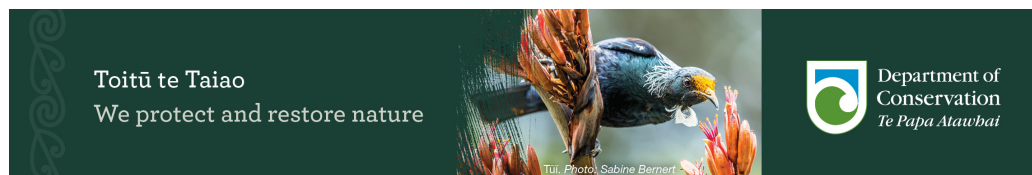
Trix Heigan

Statutory Process Support Officer – Resource Management | Apiha Tautoko Tukanga Ture – Whakahaere Rauemi  
Hamilton Office | Kirikiriroa  
Department of Conservation | Te Papa Atawhai  
[www.doc.govt.nz](http://www.doc.govt.nz)

**Kia piki te oranga o te ao tūroa, i roto i te ngātahitanga, ki Aotearoa.**

**To work with others to increase the value of conservation for New Zealanders.**

[www.doc.govt.nz](http://www.doc.govt.nz)



---

**From:** Natalie Watson <nat@saps.co.nz>

**Sent:** Monday, 11 May 2026 12:37 pm

**To:** RMA <rma@doc.govt.nz>

**Subject:** Proposed Subdivision for GP Flynn Limited - Waingaro Lane, Kerikeri

Good afternoon,

I am writing with respect to a proposed subdivision off Waingaro Lane in Kerikeri, for GP Flynn Limited.

The subdivision proposes four additional lots, leaving a 37ha + lot balance area. Please refer to the attached scheme plan.

The subject site contains tributaries of Puketotara Stream. The margins of Puketotara Stream are within the Department of Conservation Protected Natural Area mapping as part of the 'Puketotara River Bush' ecological unit (P05/095) in the Natural areas of Kerikeri Ecological District.

The subject site adjoins a Marginal Strip, located between the site and Puketotara Stream. No effects on the ability of the Department of Conservation to manage this Marginal Strip are anticipated.

The site is mapped as being located within a 'kiwi present' habitat in Far North Maps "Species Distribution (DoC)" Map. Potential adverse effects on kiwi habitat arising through the intensification of residential activity over the subject site within Lots 1 – 4 are able to be mitigated through standard consent notice conditions, allowing pets to be permitted to remain on the lots with appropriate conditions requiring micro-chipping, dogs being kept within a dog proof fence, on a lead or under effective control when outside the fenced area, being kept indoors or in a kennel at night.

Please let me know if the Department of Conservation has any comment to make with respect to this proposed subdivision, or otherwise feel free to contact me if you require any further information.

Kind regards  
Natalie Watson

**WILLIAMS & KING**

P +64 9 407 6030

27 Hobson Ave

P.O. Box 937, Kerikeri 0230, NZ

<http://www.saps.co.nz>

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