

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- |   |   |
|---|---|
| <input type="radio"/> Land Use  | <input type="radio"/> Discharge                           |
| <input type="radio"/> Fast Track Land Use*  | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision   | <input type="radio"/> Extension of time (s.125)           |
| <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil) |   |
| <input type="radio"/> Other (please specify) _____  |   |

*\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

## 4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have  
you consulted with?

Who else have you  
consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant details

**Name/s:**

ST & SA Foster

**Email:**

**Phone number:**

ie

**Postal address:**

(or alternative method of service under section 352 of the act)

Postcode 140

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☐ No

If yes, please provide details.

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## 6. Address for correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Reyburn and Bryant

**Email:**

**Phone number:**

Home

**Postal address:**

(or alternative method of service under section 352 of the act)

Postcode 140

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

------

## 7. Details of property owner/s and occupier/s

*Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

ST & SA Foster

**Property address/  
location:**

Thompson Road

Kaitia

Postcode 410

## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

ST & SA Foster

Site address/  
location:

Postcode 410

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

To subdivide two existing sites into eight at Thompson Road, Kaitaia

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request public notification?

☐ Yes ☒ No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☒ No ☐ Don't know

☒ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

## 13. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☒ Yes

## 14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☒ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

ST & SA Foster

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

**Postcode** 410

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.



## 15. Billing details continued...

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Stephen Foster

**Signature:**

(signature of bill payer)

**Date** 12-Dec-2025

**MANDATORY**

## 16. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name** (please write in full)

Joseph Henehan

**Signature**

**Date** 12-Dec-2025

*A signature is not required if the application is made by electronic means*

*See overleaf for a checklist of your information...*

## Checklist

*Please tick if information is provided*

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Subdivision Consent Application

**ST AND SA FOSTER**

Thompson Road, Kaitaia

**reyburn  
& bryant**

PLANNERS • SURVEYORS

## Subdivision Consent Application

# ST AND SA FOSTER

Thompson Road, Kaitaia

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Report prepared for:	ST and SA Foster
Author	Joseph Henehan, <i>Associate</i>
Reviewed by:	Brett Hood, <i>Director</i>
Consent Authority:	Far North District Council
Report reference:	18520
Report Status:	Final
Date:	December 2025

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## FORM 9

### APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To: Far North District Council  
Memorial Avenue  
Private Bag 752  
Kaikohe 0440

1. **ST and SA Foster** apply for subdivision consent to subdivide two existing sites into eight lots.
2. The location of the proposed activity is Thompson Road, Kaitaia.
3. The legal description of the site is Allots 61, 163–166 Kaiaka PSH. The title reference is RT 158498 and NA1111/129.
4. The applicants are the owner of the sites.
5. There are no other activities that are part of the proposal to which this application relates.
6. Aside from the amalgamation conditions and cancellations set out in section 1.5 below. No additional resource consents or statutory approvals are needed for the activity to which this application relates that have not yet been applied for.
7. We attach an assessment of effects on the environment that:
  - (a) includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
  - (b) addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
  - (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.

- 
8. We attach an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.
  9. We attach an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including information required by clause 2(2) of Schedule 4 of that Act.
  10. No other information is required to be included in the district or regional plan(s) or regulations.



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Joseph Henehan

12 December 2025

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Date

Address for service:

Reyburn and Bryant 1999 Ltd  
PO Box 191, Whangarei

Telephone:

(09) 438 3563

Email:

joseph@reyburnandbryant.co.nz

Contact person:

Joseph Henehan

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## ABBREVIATIONS

AEE	Assessment of Environmental Effects
ES	Engineering Standards
FNDC	Far North District Council
FNDP	Far North District Plan
HAIL	Hazardous Activities and Industries List
NES-SC	National Environmental Standard – Soil Contamination
NPS-HPL	National Policy Statement for Highly Productive Land



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OFNDP	Operative Far North District Plan
PFNDP	Proposed Far North District Plan
RMA	Resource Management Act, 1991
RPZ	Rural Production Zone

# 1. INTRODUCTION

## 1.1 Report basis

This report has been prepared for ST and SA Foster in support of an application to subdivide two existing sites into eight lots at Thompson Road, Kaitaia.

The application has been prepared in accordance with Section 88 and the Fourth Schedule of the Resource Management Act, 1991 (RMA). Section 88 of the RMA requires that resource consent applications be accompanied by an Assessment of Environmental Effects (AEE) in accordance with the Fourth Schedule.

The report also includes an analysis of the relevant provisions of the district, regional and national planning documents that are pertinent to the assessment and decision required under s104 of the RMA.

## 1.2 Property details

<b>Applicants and landowners</b>	ST and SA Foster
<b>Site location</b>	Thompson Road, Kaitaia
<b>Legal descriptions</b>	Allots 61, 163–166 Kaiaka PSH
<b>Records of title</b>	RT 158498 NA1111/129
<b>Total site area</b>	70.5302ha
<b>Operative District Plan Zone</b>	Rural Production Zone
<b>Operative District Plan Notations</b>	N/A
<b>Proposed District Plan Zone</b>	Rural Production Zone
<b>Proposed District Plan Notations</b>	River Flood Hazard Zone (10 Year and 100 Year ARI Events) (Part only)

*Table 1: Property details.*

### 1.3 Proposal summary

ST and SA Foster (the applicants) own several titles along Thompson Road in Kaitaia. These titles are collectively operated as an agricultural farm. The proposal is to subdivide two of these titles (RT 158498 and NA1111/129) into a total of eight lots under the restricted discretionary activity subdivision rules provided for under the District Plan.

The sites are zoned 'Rural Production' (RPZ) under both the Operative Far North District Plan (OFNDP) and the Proposed Far North District Plan (PFNDP). Although there are no Resource Areas in the OFNDP, the site is subject to the 10-year and 100-year River Flood Hazard Zones under the PFNDP.

The proposal is to subdivide each site into four lots in accordance with Rule 13.8.1(c) of the OFNDP. This provides for a maximum of five 2ha lots per site.

The scheme plan is attached in **Appendix 1**.

Overall resource consent is required as a **restricted discretionary activity** from the Far North District Council (FNDC) as the proposal complies with Rule 13.8.1 of the OFNDP.

### 1.4 Resource consents sought

#### OFNDP rule assessment

Resource consent is sought under Rule 13.8.1(c) of the OFNDP as a **restricted discretionary activity**. The proposed subdivision complies with Rule 13.8.1(c) as follows:

- Both titles were created prior to 28 April 2000.
- Only three additional lots are proposed per site.
- The proposed lots have net site areas in excess 2ha.

Council have restricted their discretion under Rule 13.8.1 to the following matters:

- Effects on the natural character of the coastal environment for proposed lots which are in the coastal environment;

- Effects of the subdivision under (b) and (c) above within 500m of land administered by the Department of Conservation upon the ability of the Department to manage and administer its land;
- Effects on areas of significant indigenous flora and significant habitats of indigenous fauna;
- The mitigation of fire hazards for health and safety of residents.

The proposal complies with the other relevant rules set out in 13.7.2.2 to 13.7.2.9 and 13.7.3.

A full assessment of the OFNDP rules is attached in **Appendix 2**.

#### **PFNDP rule assessment**

The PFNDP was publicly notified on 27 July 2022. The submission period closed on 21 October 2022, the further submission period closed on 4 September 2023, and the hearings are in progress. In accordance with s86B(3) of the RMA, the rules that would ordinarily apply to this proposal do not currently have legal effect. The proposal therefore does not require resource consent under the PFNDP.

For completeness, an assessment has been made with respect to the rules of the PFNDP, and this is attached in **Appendix 2**. If these rules were to have legal effect, the proposal would be a **non-complying activity** due to the size of the proposed lots being less than 40ha.

## **1.5 Relevant title memorials**

The site is held in two records of title, being NA1111/129 and RT 158498.

NA1111/129 is not subject to any memorials of relevance to this subdivision.

RT 158498 is subject to the following memorials:

- The property is subject to a right of way easement over parts coloured blue and yellow on DP 49413 created by Transfer 712632 (affects the part formerly in CT NA75B/241). This right of way easement (shown as Area E on the scheme plan attached in **Appendix 1**) will be unaffected by the subdivision.

- Consent Notice 6349751.1 requires specific engineering design of effluent and stormwater disposal to be provided at building consent stage for any development of this title.
- 6349751.2 Partial surrender of the right of way created by Transfer 712632 as to Lot 2 DP 338502 and CT NA1111/129
- Subject to Section 241(2) and Sections 242(1) and (2) Resource Management Act 1991. These amalgamations are addressed in section 1.6 below.
- Right of way easement 6349751.5 marked A on DP 338502. This right of way easement (shown as Area A on the scheme plan attached in **Appendix 1**) will be unaffected by the subdivision.

The title and associated memorials are attached in **Appendix 3**.

## 1.6 Other approvals required

### Amalgamation cancellation

Approval is sought pursuant to Section 241(3) of the RMA, 1991 to cancel the existing amalgamation condition holding Lot 2 DP 338502 (RT 158498), Lot 1 DP 49413 (RT 158498) and Allotment 61 PSH of Kaiaka (RT 158498) in the same record of title.

### Proposed amalgamation conditions

Pursuant to Section 220(1)(b)(iii) of the RMA, 1991, the following amalgamation conditions are proposed:

- That Lot 3 and 4 be held in the same record of title.
- That Lot 5 and 6 hereon and Allotments 163 and 164 PSH of Kaiaka (RT 1111/129) be held together in one certificate of title.

## 1.7 Processing requests

Prior to the issue of any decision for this consent, please forward the draft conditions for our review and comment.

## 2. THE SITE AND SURROUNDING ENVIRONMENT

### 2.1 The site

#### Address and location

The subject sites are located on Thompson Road, Kaitaia, approximately 260m from the intersection with State Highway 1. The properties are located in **Figure 1** below:



**Figure 1:** Location map (Source: GRIP).

#### Relevant planning notations

The site is zoned 'Rural Production' under both the Operative and Proposed Far North District Plans.

The sites are not subject to resource areas identified under the OFNDP.

Notations under the PFNDP relevant to the site include mapped flood hazard areas (10-year and 100-year ARI events) affecting the lower-lying portions of the property. No other District Plan notations or overlays are identified as affecting the site.

### **Built development and land use**

Existing built development on the sites is limited to an existing shed on Allotment 166 PSH of Kaiaka. Aside from this, the majority of the land remains in pastoral use, with farm tracks providing access across both properties.

### **Access**

Access to the subject sites is via existing farm track network, which connects to Thompson Road in two locations, as shown in **Figures 2 and 3** below:



**Figure 2:** Access to NA1111/129 (260m along Thompson Road)



**Figure 3:** Access to NA1111/129 (1km along Thompson Road)



It is noted that the existing access to RT 158498 currently passes over an adjoining site, being NA106D/835, as shown on the scheme plan and in **Figure 4** below:



**Figure 4:** Existing access trajectory across adjoining site

This is addressed further in section 3.3 of this report.

### **Topography and watercourses**

The site features a mix of gentle to steep slopes, generally falling towards the southwest. The lower-lying areas within Allotments 165 and 166 PSD of Kaiaka are situated on near-level terrain, while the remaining lots are located on broad ridgetops and moderate to steep slopes. Several gully features traverse the property, with stormwater naturally concentrated in these areas. The NRC flood hazard mapping identifies parts of the lower site as flood susceptible, though the proposed building areas are elevated above mapped flood extents by 3m or more.

### **Vegetation**

Ground cover across the site is predominantly pasture, with no significant areas of indigenous vegetation identified within the proposed building areas. Historical imagery confirms that pasture has been the dominant land use for several



decades. Some mature trees are present along fencelines and in gully areas, but these do not encroach on the identified building platforms.

According to the NRC Biodiversity Wetlands maps, there is one “Known Wetland” identified on Allotment 164 PSH of Kaiaka, see **Figure 5** below:



**Figure 5:** Identified Known Wetland on Allotment 164 PSH of Kaiaka (Source: NRC Biodiversity Wetlands maps)

### Soil Composition

Subsoil investigations undertaken by RS Eng indicate that the lower-lying areas within Allotments 165 and 166 PSD of Kaiaka are underlain by moderately over-consolidated Pleistocene alluvium (Kariotahi Group), comprising firm to very stiff clayey silts and silty clays. The ridgetop land is underlain by residual soils of Taipa Mudstone, with very stiff clayey silts and silty clays overlying weathered siltstone and sandstone. Topsoil depths range from 0.1m to 0.3m. Groundwater was encountered at depths of 0.8m to 2.1m below ground level, depending on location. The soils are classified as Class H1 (highly expansive) and are not considered “good ground” under NZS3604.

### Land use capability

The subject sites are identified as containing a mixture of Land Use Capability (LUC) Classes 2, 4 and 5. The LUC class 2 soils (shown as green in **Figure 6** below)

are classified as Highly Productive Land (HPL) under the National Policy Statement for Highly Productive Land (NPS-HPL).



**Figure 6:** LUC Class maps (Source: Our Environment)

### Cultural Heritage

No known sites of cultural heritage significance have been identified within the subject property. The site has been in agricultural use for an extended period, and no archaeological features or wāhi tapu are recorded in the District Plan or on the New Zealand Archaeological Association database for this location.

## 2.2 Surrounding Environment

The surrounding environment is characterised by rural land uses, including pastoral farming and scattered rural residential dwellings. The wider landscape includes a mix of open pasture, shelterbelts, and remnant native vegetation in gully systems. The site is not within 500m of land administered by the Department of Conservation, and there are no areas of significant indigenous flora or fauna habitats identified in proximity to the proposed subdivision.

## 3. THE PROPOSAL

### 3.1 General

The proposal is to subdivide two existing sites into eight lots.

The subdivision is advanced under the restricted discretionary activity subdivision criteria set out under Rule 13.8.1(c) of the OFNDP. This provides for a maximum of five 2ha lots per site.

While the site proposes eight lots in total, this application proposes to undertake two restricted discretionary activity subdivision under Rule 13.8.1(c) of the OFNDP of two directly adjacent sites.

The proposed lot configuration is shown on the scheme plan attached in **Appendix 1** and is summarised in **Table 2** below:

<b>Lots</b>	<b>Area<sup>1</sup></b>
Lot 1	2.3910ha
Lot 2	2.0260ha
Lots 3 and 4 (amalgamated)	6.5510ha gross (6.4195ha nett)
Lots 5 and 6 and Allotments 163 and 164 PSH of Kaiaka (amalgamated)	21.4501ha
Lot 7	10.5345ha gross (10.4925ha nett)
Lot 8	5.6074ha
Lot 9	6.8534ha
Lot 10	7.3835ha gross (7.2445ha nett)

**Table 2:** Proposed allotment details.

<sup>1</sup> These areas are approximate and subject to survey.

### 3.2 Site suitability

RS Eng has prepared a subdivision assessment in support of the proposed subdivision (see **Appendix 4**). It identifies suitable building sites on proposed the proposed lots that avoid and mitigate natural hazards.

RS Eng makes several recommendations for development on the proposed lots. These include restrictions on earthworks and specifications for foundations, wastewater, and stormwater disposal. Future buildings are to be supported by a geotechnical assessment at the building consent stage.

Subject to compliance with the recommendations in their report, RS Eng conclude that the proposed lots are suitable for residential development pursuant to s106 of the RMA.

### 3.3 Access

The amalgamated balance site (Lots 5 and 6 and Allotments 163 and 164 PSH of Kaiaka) will be provided with a separate vehicle crossing at the building consent stage in accordance with the FNDC Engineering Standards (ES).

Proposed Lots 1-4 and 7-10 will be accessed via two shared right of ways shown as areas B and C respectively on the scheme plan attached in **Appendix 1**. Both of these rights of way will be constructed in accordance with the FNDC Engineering Standards (ES) prior to the release of section 224c certification.

It is noted that the existing access to RT 158498 currently passes over an adjoining site, being NA106D/835 (see **Figure 4** of this report). The proposed right of way entrance will be relocated so that it is entirely located within right of way C. It is noted that the new right of way will need to cross an existing drain, that is currently grazed by stock. See **Figure 7** below:



**Figure 7.** ROW culvert location

While this drain does contain some reed species, it is over 50% occupied by pasture grass, meaning that it does not fall within the definition of a 'natural inland wetland' set out under the National Policy Statement for Freshwater Management (NPS-FM), nor is it mapped as a known wetland by NRC.

The identified accessways to the building platforms generally follow gentle to moderate slopes, minimising the need for significant earthworks as outlined in section 3.4 below. Gradients for the proposed driveways are less than 18%, ensuring practical and safe access to each lot.

### 3.4 Earthworks

Minor earthworks will be necessary to undertake the proposed right of way construction works. It is noted that a small area of right of way C is located within areas identified as 10 Year and 100 Year ARI Events mapped by NRC. As confirmed by RS Eng in section 7.1 of their report, earthworks in the flood hazard area are expected to be less than 50m<sup>3</sup>, and as a result, will comply with the maximum earthworks volume limits in identified flood hazard areas as set out in the PRP.

### **3.5 Wastewater**

As there is no public reticulated wastewater infrastructure available in this location wastewater will be disposed of on-site.

RS Eng considered the management of wastewater in their report. They recommend effluent disposal be via pressure compensating dripper irrigation lines in accordance with AS/NZS1547. RS Eng has calculated the size of effluent fields for each site based on a four-bedroom residential unit.

It is anticipated that the recommendations of the RS Eng report will be encapsulated in a consent notice required as a condition of consent.

### **3.6 Stormwater**

There is no public reticulated stormwater infrastructure available in this location. Therefore, RS Eng has considered the management of stormwater on-site in their report.

Attenuation will only be required at the building consent stage if impervious surfaces exceed 15% of the site area. Storage tanks with restricted orifice outlet structures will be used to slow the release of stormwater discharge to predevelopment levels.

Attenuation will not be required as part of the subdivision as the impervious surfaces will not exceed 15% of the site area.

It is anticipated that the recommendations of the RS Eng report will be encapsulated in a consent notice required as a condition of consent.

### **3.7 Water supply**

There is no public reticulated water supply available in this location.

Future residential units constructed on the proposed lots will be provided with on-site water supplies via water tanks. These arrangements will be established by future owners at the time of applying for building consents.

Firefighting water supplies will also be provided on-site in accordance with the Fire Fighting Water Supplies Code of Practice 4509:2008, or as otherwise agreed to by FENZ.

### **3.8 Electricity and telecommunications**

In this case, typical electricity connections will not be provided as part of the subdivision. Instead, future owners will utilise alternative supply options. Any required easements will be created at the survey stage in accordance with the requirements of Top Energy.

No hardwired telecommunications connections are proposed. Rather, wireless services are available.



## 4. ASSESSMENT OF ENVIRONMENTAL EFFECTS

### 4.1 Scope of assessment

The resource consent required from the FNDC is a restricted discretionary activity under Rule 13.8.1(c). Therefore, the scope of this assessment of effects on the environment is confined to the matters over which the FNDC has restricted their discretion in Rule 13.8.1(c).

### 4.2 Matters of discretion assessment

The matters over which the FNDC has restricted their discretion under Rule 13.8.1(c) are identified and assessed below:

*Effects on the natural character of the coastal environment for proposed lots which are in the coastal environment;*

Assessment – The site is not located in the coastal environment.

*Effects of the subdivision under (b) and (c) above within 500m of land administered by the Department of Conservation upon the ability of the Department to manage and administer its land;*

Assessment – There is no land within 500m of the site that is administered by the Department of Conservation.

*Effects on areas of significant indigenous flora and significant habitats of indigenous fauna;*

Assessment – There will be no adverse effects on areas of significant indigenous flora and significant habitats of indigenous fauna as the rural residential lots are located within pasture. Any stands of vegetation across the two sites will remain unaffected by any proposed development. Accordingly, any adverse effects on areas of significant indigenous flora and significant habitats of indigenous fauna will be negligible.

*The mitigation of fire hazards for health and safety of residents.*

Assessment – As detailed in Section 3.6 of this report, firefighting water supplies will be provided on-site at the building consent stage in accordance with the Fire Fighting Water Supplies Code of Practice 4509:2008, or as otherwise agreed to by FENZ. No further mitigation of fire hazards is required.



### **4.3 Adverse effects conclusion**

Overall, the adverse effects associated with this proposal will be less than minor relative to the existing environment and the permitted baseline.

## **5. PLANNING ASSESSMENT**

### **5.1 Relevant planning documents**

Section 104(1) of the RMA sets out the matters that a consent authority must, subject to Part 2, have regard to when considering all applications for resource consent.

Given the hierarchical nature of planning documents under the RMA, and the requirement for lower order documents to “give effect to” higher order documents, the relevant documents that require assessment under s104(1) of the RMA are the FNDP and the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011 (NES-CS).

### **5.2 Operative Far North District Plan objectives and policies assessment**

#### **Context**

The objectives and policies of the OFNDP are only relevant to the extent that they assist in clarifying any ambiguity in the matters of discretion. In this case, there is no ambiguity in the matters of discretion, so no specific consideration of the objectives and policies is required. Nonetheless, the following assessment has been undertaken for completeness.

#### **Assessment**

The objectives and policies of the OFNDP are zone specific. There are also other provisions that relate to district wide matters. Given the nature of this application, this assessment considers the objectives and policies in Chapter 8 ‘Rural Environment’, Chapter 13 ‘Subdivision’ and Chapter 15 ‘Transportation’.

The relevant objectives and policies of the OFNDP are assessed below.

## Chapter 8 – Rural Environment

The overarching intent of the RPZ is to enable farming and forestry activities and the continuation of a wide range of activities that are compatible with normal farming and forestry activities, including rural lifestyle and rural residential activities. The RPZ objectives and policies set out to achieve the stated purpose of the zone by enabling rural production activities and protecting them from inappropriate subdivision, use, and development,<sup>2</sup> protecting significant natural features and landscapes,<sup>3</sup> avoiding conflicts between land use activities,<sup>4</sup> maintaining and enhancing amenity values,<sup>5</sup> and avoiding, remedying, or mitigating adverse effects associated with servicing and infrastructure.<sup>6</sup>

Regarding the provisions that seek to enable rural production activities and protect them from inappropriate subdivision, use and development, all sites proposed by this subdivision will continue to be used for small to medium scale rural production activities. The proposed subdivision complies with the restricted discretionary activity criteria for subdivision in the RPZ, and as such, is in accordance with the District Plan's expectations for development in the RPZ.

Regarding the provisions that seek to protect significant natural features and landscapes, the proposal does not require the removal of any vegetation. There will be no adverse effects on any natural features and landscapes within the site.

Regarding the provisions that seek to avoid conflicts between land use activities, the subject sites are located amongst other rural residential and residential properties. While there is a larger farm operating to the north and east, this farm is owned by the applicant. Therefore, no adverse reverse sensitivity effects are anticipated.

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<sup>2</sup> Objectives 8.3.2, 8.3.9, 8.3.10, 8.6.3.8, and 8.6.3.9, Policies 8.4.2, 8.6.4.1, and 8.6.4.8.

<sup>3</sup> Objectives 8.3.4, 8.3.5 and 8.6.3.4, Policies 8.4.3 and 8.4.4.

<sup>4</sup> Objectives 8.3.6 and 8.6.3.6, Policies 8.4.5, 8.6.4.7, 8.6.4.8 and 8.6.4.9.

<sup>5</sup> Objectives 8.3.7 and 8.6.3.3, Policies 8.4.4 and 8.6.4.4.

<sup>6</sup> Objectives 8.3.3 and 8.6.3.7, Policies 8.4.7, 8.4.8, 8.6.4.2, and 8.6.4.3.

Regarding the provisions that seek to maintain and enhance amenity values, the proposal facilitates four >2ha lots per site in accordance with Rule 13.8.1(c) of the OFNDP. The rural residential lots will be consistent with the amenity values of the surrounding environment as they are located amongst other rural residential and residential lots clustered along Thompspon Road.

Regarding the provisions that seek to avoid, remedy or mitigate adverse effects associated with servicing the subdivision, the proposed lots are capable of being serviced on-site in accordance with the recommendations of the RS Eng report. These arrangements will be established at the building consent stage.

When considered overall, the proposed subdivision is consistent with the objectives and policies of the RPZ. It creates rural residential lots in accordance with Rule 13.8.1(c) without compromising the ability of the land to be used for productive purposes.

#### Chapter 13 – Subdivision

The objectives and policies of the Subdivision Chapter require subdivisions to be consistent with the purpose of the underlying zone,<sup>7</sup> serviced appropriately,<sup>8</sup> provided with electricity supplies appropriate to the activities undertaken on the lot,<sup>9</sup> and accessed in a safe and efficient manner.<sup>10</sup>

The proposed lots are consistent with the purpose, objectives, and policies of the RPZ as addressed above.

Regarding the provisions that require new lots to be serviced appropriately, the proposed lots are capable of being serviced on-site in accordance with the recommendations of the RS Eng report. These arrangements will be established at the building consent stage.

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<sup>7</sup> Objective 13.3.1, Policy 13.4.1

<sup>8</sup> Objectives 13.3.2 and 13.3.5, Policy 13.4.8

<sup>9</sup> Objective 13.3.8

<sup>10</sup> Objective 13.3.2, Policies 13.4.2 and 13.4.5

Regarding the provisions that require appropriate electricity supplies, typical electricity connections will not be provided as part of the subdivision. Instead, future owners will utilise alternative supply options. This provides flexibility for any activities established on the new lots.

Regarding the provisions that require lots to be accessed in a safe and efficient manner, the proposed lots will be provided with rights of way accesses and vehicle crossings established in accordance with the OFNDP and the FNDC ES. Further assessment of the objectives and policies of Transportation Chapter is provided below.

Overall, the proposal is consistent with the objectives and policies of the Subdivision Chapter.

#### Chapter 15 – Transportation

The overarching intent of the Transportation Chapter is to provide parking, access, and public transportation facilities in a safe, efficient, and effective manner. Many of the objectives and policies are not relevant as they relate to parking and public transportation facilities which are more appropriately assessed when the proposed lots are developed. The relevant objectives and policies require the adverse traffic effects to be evaluated and minimised,<sup>11</sup> and require the provision of appropriate, safe, and efficient accesses.<sup>12</sup>

The adverse effects of the subdivision were assessed to be less than minor in Section 4 of this report in accordance with the matters of discretion. Accordingly, the vehicle crossings will be appropriate, safe, and efficient.

Overall, the proposal is consistent with the objectives and policies of the Transportation Chapter.

#### **Conclusion**

Overall, the proposal is consistent with the objectives and policies of the OFNDP.

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<sup>11</sup> Objective 15.1.3.1, Policy 15.1.4.1

<sup>12</sup> Objectives 15.1.3.4 and 15.1.3.5, Policy 15.1.4.6

## 5.3 Proposed Far North District Plan objectives and policies assessment

### Context

The PFNDP was publicly notified on 27 July 2022. The submission period closed on 21 October 2022, the further submission period closed on 4 September 2023, and the hearings are in progress. In accordance with s86B(3) of the RMA, the rules that would ordinarily apply to this proposal do not currently have legal effect. Nevertheless, an assessment to determine the activity status that this proposal would have under the PFNDP provisions has been made in Section 1.4 of this report. While the majority of the rules do not have legal effect, the objectives and policies are a relevant consideration under s104(1)(b)(vi) of the RMA.

### Weighting

With regards to weighting, the hearings are still in progress. The Commissioners recommendations are also still subject to the Council decision and the appeal process. Little weight should therefore be applied to the PFNDP when considering the application. Nonetheless, an assessment of the objectives and policies is provided below for completeness.

### Assessment

The sites are proposed to be rezoned RPZ under the PFNDP. Generally, the objectives and policies of the RPZ provide for subdivision where it maintains rural character and amenity without compromising the use of the land for primary production activities.<sup>13</sup> In this case, the proposed lots are positioned adjacent to Thompson Road and other rural residential properties where the rural character amenity has shifted towards rural residential. Accordingly, the proposed subdivision is consistent with the existing development pattern in the surrounding environment. Adding to this, the sites being created under this

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<sup>13</sup> RPZ-O3, O4, P4, P6 and P7.

subdivision will all be able to be used for small to medium scale agricultural activities. Overall, the subdivision is not contrary to the objectives and policies of the RPZ Chapter of the PFNDP.

The objectives and policies of the Subdivision Chapter seek to ensure subdivisions are in accordance with the provisions of the underlying zone, and are appropriately serviced and integrated with the surrounding environment.<sup>14</sup> The proposed lots are consistent with the purpose of the RPZ as addressed above, and will be appropriately accessed and serviced as detailed Sections 3.3 – 3.7 of this report and in the RS Eng report.

The objectives and policies of the Transport Chapter seek to ensure that all new lots created through a subdivision have suitable access.<sup>15</sup> As mentioned throughout this report, the proposed rights of way and accesses will be constructed in accordance with all the other requirements of the FNDC ES. Accordingly, the proposed subdivision does not adversely affect the safety or efficiency of the transport network.

Given the specific characteristics of the site, the proposed subdivision is not contrary to the objectives and policies of the PFNDP.

## 5.4 National Environmental Standard for Freshwater

The NES-F sets out requirements for carrying out certain activities that pose risks to freshwater and freshwater ecosystems. Anyone carrying out these activities will need to comply with the standards stipulated within this document.

Of particular relevance to this subdivision are the provisions relating to activities being undertaken in close proximity to wetlands. An assessment has been undertaken of the site confirming the following:

- a. That a Known Wetland is mapped by NRC as being located within Allotment 164 PSH of Kaiaka.

<sup>14</sup> SUB-O1, O3, O4, P3 – P6, P10 and P11.

<sup>15</sup> TRAN-O5 and P8

- b. That there are some low lying areas across the two sites that contain high concentrations of native vegetation that could meet the definition for 'natural wetlands' as set out under the NPS-FM.

The areas of land described above are not located in close proximity to any building site, access or area of water diversion/discharge proposed by this subdivision.

As noted in section 3.3 of this report, the proposed right of way entrance will be relocated so that it is entirely located within right of way D. It is noted that the new right of way will need to cross an existing drain, that is currently grazed by stock. See **Figure 7** in section 3.6 of this report. While this drain does contain some reed species, it is over 50% occupied by pasture grass, meaning that it does not fall within the definition of a 'natural inland wetland' set out under the NPS-FM, which is as follows:

**natural inland wetland** means a wetland (as defined in the Act) that is not:

- (a) in the coastal marine area; or
- (b) a deliberately constructed wetland, other than a wetland constructed to offset impacts on, or to restore, an existing or former natural inland wetland; or
- (c) a wetland that has developed in or around a deliberately constructed water body, since the construction of the water body; or
- (d) a geothermal wetland; or
- (e) a wetland that:
  - (i) is within an area of pasture used for grazing; and
  - (ii) has vegetation cover comprising more than 50% exotic pasture species (as identified in the *National List of Exotic Pasture Species* using the *Pasture Exclusion Assessment Methodology* (see clause 1.8)); unless
  - (iii) the wetland is a location of a habitat of a threatened species identified under clause 3.8 of this National Policy Statement, in which case the exclusion in (e) does not apply

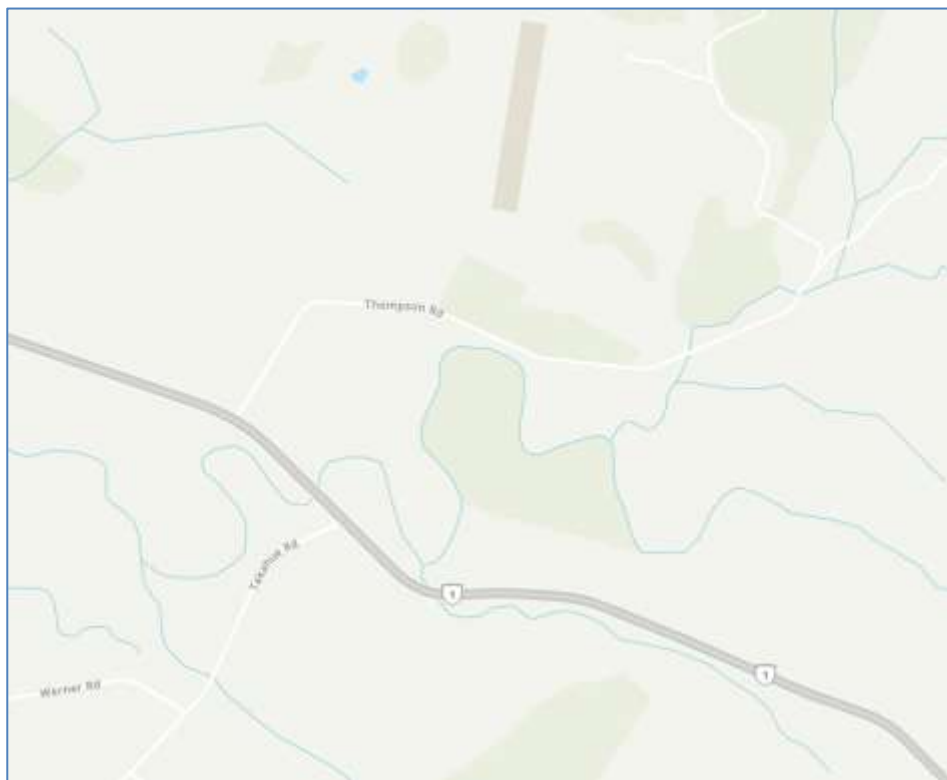
## 5.5 National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011

All applications that involve subdivision, an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NES-CS. The



regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed subdivision.

A review of aerial photographs and the Northland Regional Council 'selected land-use sites' database was undertaken, which confirmed that no HAIL activities are present or have ever taken place on the subject 'piece of land' – refer to the map in **Figure 8** below:



**Figure 8:** Northland Regional Council Selected Land-Use Sites Register

Accordingly, the NES-CS does not apply to this application.

## 5.6 National Policy Statement for Highly Productive Land

The NPS-HPL came into effect on 17 October 2022. The overarching objective of the document (Objective 2.1) is to protect highly productive land for use in land-based production, both now and for future generations. Highly productive land

is defined as land zoned 'Rural Production' that contains LUC 1, 2 or 3 class soils.<sup>16</sup> As some of the soils on the site are Class 2, the NPS-HPL is of peripheral relevance to the proposal – peripheral because the ability of the FNDC to have regard to the relevant provisions of the NPS-HPL under s104(1)(b)(iii) is limited to the matters over which they have restricted their discretion under Rule 13.8.1 of the OFNDP. These matters are listed in Section 1.4 of this report and assessed in Section 4.4 of this report. None of them relate to productive rural values or any other matters covered by the NPS-HPL. Therefore, the NPS-HPL is not a relevant consideration for the proposed subdivision.

## 5.7 Part 2 assessment

An assessment of Part 2 matters is not required unless there are issues of invalidity, incomplete coverage, or uncertainty in the planning provisions.<sup>17</sup> In this case, there is no invalidity, incomplete coverage, or uncertainty amongst the various documents. In that regard, no assessment of the application is required under Part 2. However, for completeness, the proposal accords with the purpose of the RMA for the following reasons:

1. The proposed subdivision facilitates the efficient use of resources by subdividing the site in general accordance with the relevant intentions of the OFNDP and the PFNDP.
2. The proposal is consistent with the existing amenity values and character associated with the site and the surrounding environment.
3. The proposal will not increase the risk of natural hazards.
4. There are no adverse effects on human health associated with the proposal.

The proposal does not offend any matters of national importance in Section 6, or any of the other matters set out in Section 7 and 8 of the RMA.

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<sup>16</sup> Clause 3.4(5) of the NPS-HPL

<sup>17</sup> *R J Davidson Family Trust the Marlborough District Council* [2018] NZCA 316

## 6. NOTIFICATION

Pursuant to sections 95A and 95B of the RMA, Section 5 of this report concludes that any adverse effects associated with the proposal will be less than minor. Furthermore, there are no special circumstances associated with the application, the applicant has not requested notification, and there is no rule or national environmental standard that requires notification of this application. Consequentially, public notification is not necessary.

The assessment of environmental effects in Section 5 of this report confirms that no parties are adversely affected by the proposal. Consequentially, limited notification is not necessary.

Having considered the above, the proposal can proceed on a **non-notified** basis.

## 7. CONCLUSION

The proposal is to subdivide two existing sites into eight titles at Thompson Road, Kaitaia in accordance with Rule 13.8.1(c) of the OFNDP.

The proposed subdivision complies with Rule 13.8.1(c) of the OFNDP. The titles were created prior to 28 April 2000, no more than five lots are proposed on each title, and each site is larger than 2ha.

The environmental effects associated with the proposal have been assessed in Section 4 of this report and have been determined to be less than minor. Consequently, appropriate regard has been given to s104(1)(a) of the RMA.

Section 5 of this report considers the proposal in the context of the OFNDP and the PFNDP. Section 5.2 confirms that the proposal is consistent with the RPZ and the district wide Subdivision and Transportation Chapters of the OFNDP. Section 5.3 confirms that it is not contrary to the objectives and policies of the RPZ or the Subdivision and Transport Chapters of the PFNDP. Section 5.4 of this report confirms that the NES-CS regulations are not relevant to this application, while Section 6.5 confirms that the NPS-HPL is not a relevant consideration for this application. Accordingly, appropriate regard has been given to s104(1)(b)(i), s104(1)(b)(iii) and s104(1)(b)(vi) of the RMA.

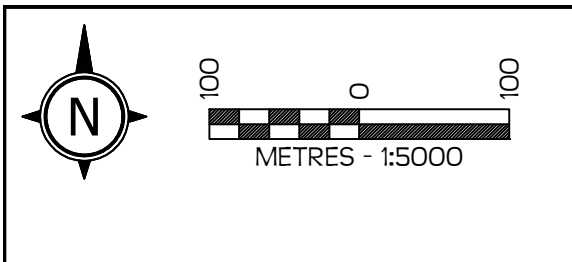
Having regard to the relevant matters in s104(1) and s104C of the RMA, the proposal can be approved subject to appropriate conditions of consent.

# **APPENDIX 1**

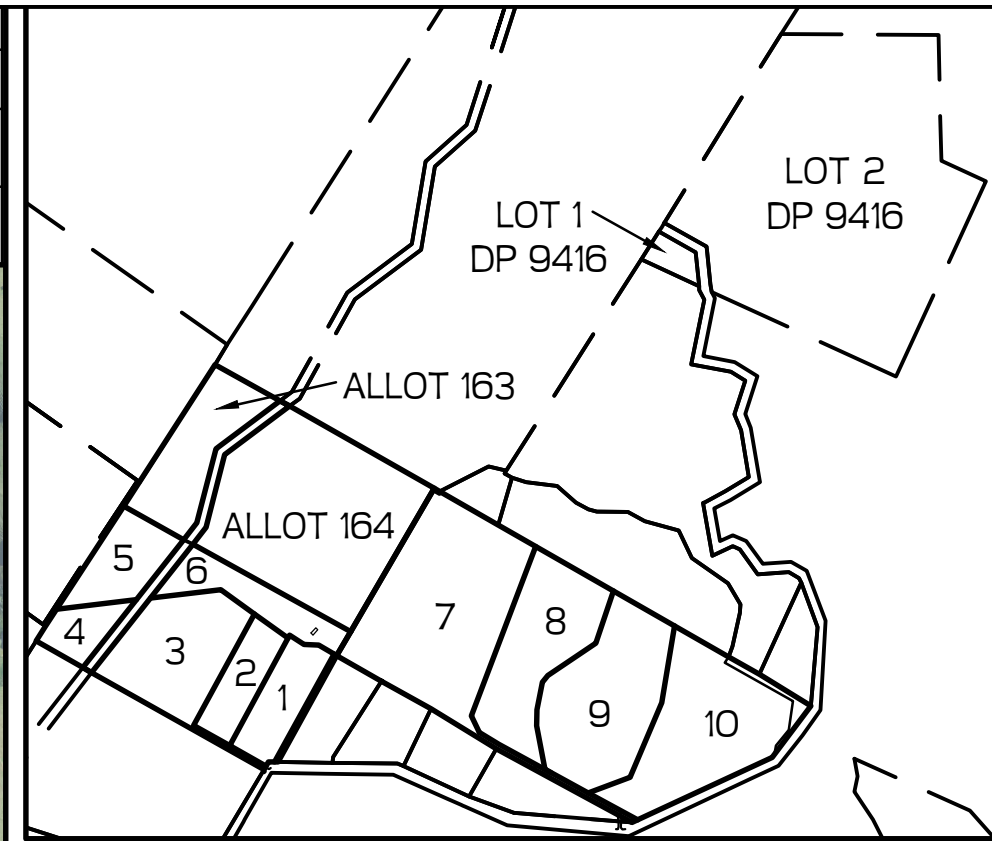
## **SCHEME PLAN**

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EXISTING EASEMENT SCHEDULE				PROPOSED EASEMENT SCHEDULE			
PURPOSE	SHOWN	BURDENED	BENEFITED / CREATED	PURPOSE	SHOWN	BURDENED	BENEFITED
RIGHT OF WAY	A	LOT 10 HEREON	LOT 1 DP 338502 #6349751.5	RIGHT OF WAY (8m WIDE)	B	LOT 3 HEREON	LOTS 1-2 HEREON
	E	LOT 7 HEREON	LOT 1 DP 9416 #T.712632	RIGHT OF WAY (8m WIDE)	C	LOT 7 HEREON	LOTS 8, 9 & 10 HEREON



- ## CAUTION:
1. THIS DRAWING SHOULD NOT BE AMENDED MANUALLY.
  2. AREAS & DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY.
  3. THE VENDOR & PURCHASER MUST CONTACT THE SURVEYOR IF SALE & PURCHASE AGREEMENTS ARE ENTERED INTO USING THIS PLAN.
  4. SERVICES MUST NOT BE POSITIONED USING THIS PLAN.
  5. DO NOT SCALE OFF DRAWINGS.
  6. THIS PLAN IS COPYRIGHT TO REYBURN & BRYANT (1999) LIMITED.
  7. DESIGNED BY REYBURN & BRYANT - WHANGAREI - NEW ZEALAND
  8. 03m 2023-2024 RURAL AERIAL SOURCED FROM AERIAL SURVEYS LTD INFORMATION AVAILABLE ON LINZ DATA SERVICE.
  9. 2018-2020 1m LIDAR CONTOUR INFORMATION CAPTURED BY RPS.
  10. BOUNDARIES SOURCED FROM QUICKMAP. COORDINATES IN TERMS OF MOUNT EDEN 2000.

## PROPOSED CANCELLATION OF AMALGAMATION CONDITIONS







PURSUANT TO SECTION 241 (3) OF THE RMA 1991  
THE FAR NORTH DISTRICT COUNCIL RESOLVES TO CANCEL  
THE AMALGAMATION CONDITION REQUIRING LOT 2 DP  
338502 (RT 158498), LOT 1 DP 49413  
(RT 158498) & ALLOTMENT 61 PSH OF KAIKA  
(RT 158498) TO BE HELD IN THE SAME RECORD OF TITLE.

THE FAR NORTH DISTRICT COUNCIL RESOLVES TO CANCEL  
THE AMALGAMATION CONDITION REQUIRING LOT 2 DP  
338502 (RT 158498), LOT 1 DP 49413  
(RT 158498) & ALLOTMENT 61 PSH OF KAIAKA  
(RT 158498) TO BE HELD IN THE SAME RECORD OF TITLE.

## PROPOSED AMALGAMATION CONDITIONS

PURSUANT TO SECTION 220 (1)(b)(iii) OF THE RMA 1991  
THAT LOT 3 AND 4 HEREON TO BE HELD IN THE SAME  
RECORD OF TITLE.

THAT LOT 5 AND 6 HEREON, AND ALLOTMENTS 163  
AND 164 PSH OF KAIKA (RT 1111/129) TO BE HELD IN  
THE SAME RECORD OF TITLE.

-  50YR FLOODING HAZARD  
 100YR FLOODING HAZARD  
 100YR FLOODING HAZARD + CC  
 POTENTIAL BUILDING PLATFORM  
 MAJOR CONTOURS AT 10m  
 MINOR CONTOURS AT 2m

TOTAL TITLE AREA: 70.5302Ha  
SUBD'N AREA: 46.5438Ha  
COMPRISED IN: RST 158498(Pt)  
NA1111/129(All)

THIS SITE IS ZONED 'RURAL PRODUCTION' AND THE BUILDING SETBACKS ARE THUS: 10m FROM ROAD BOUNDARIES, 3m FROM ALL OTHER BOUNDARIES.

F	9.12.2025	BUILDING PLATFORMS RELOCATED & CC EXTENT ADDED - JBH/AA
E	11.11.2025	BUILDING PLATFORMS RELOCATED & CC EXTENT ADDED - JBH/AA
A	4.8.2025	FIRST ISSUE - JBH/AA
REV	DATE	DESCRIPTION

REF. DATA:

\_\_\_\_\_



Ph: 09 438 3563 PO Box 191, Whangarei 0140  
7 Selwyn Ave, Whangarei [www.reyburnandbryant.co.nz](http://www.reyburnandbryant.co.nz)

CLIENT

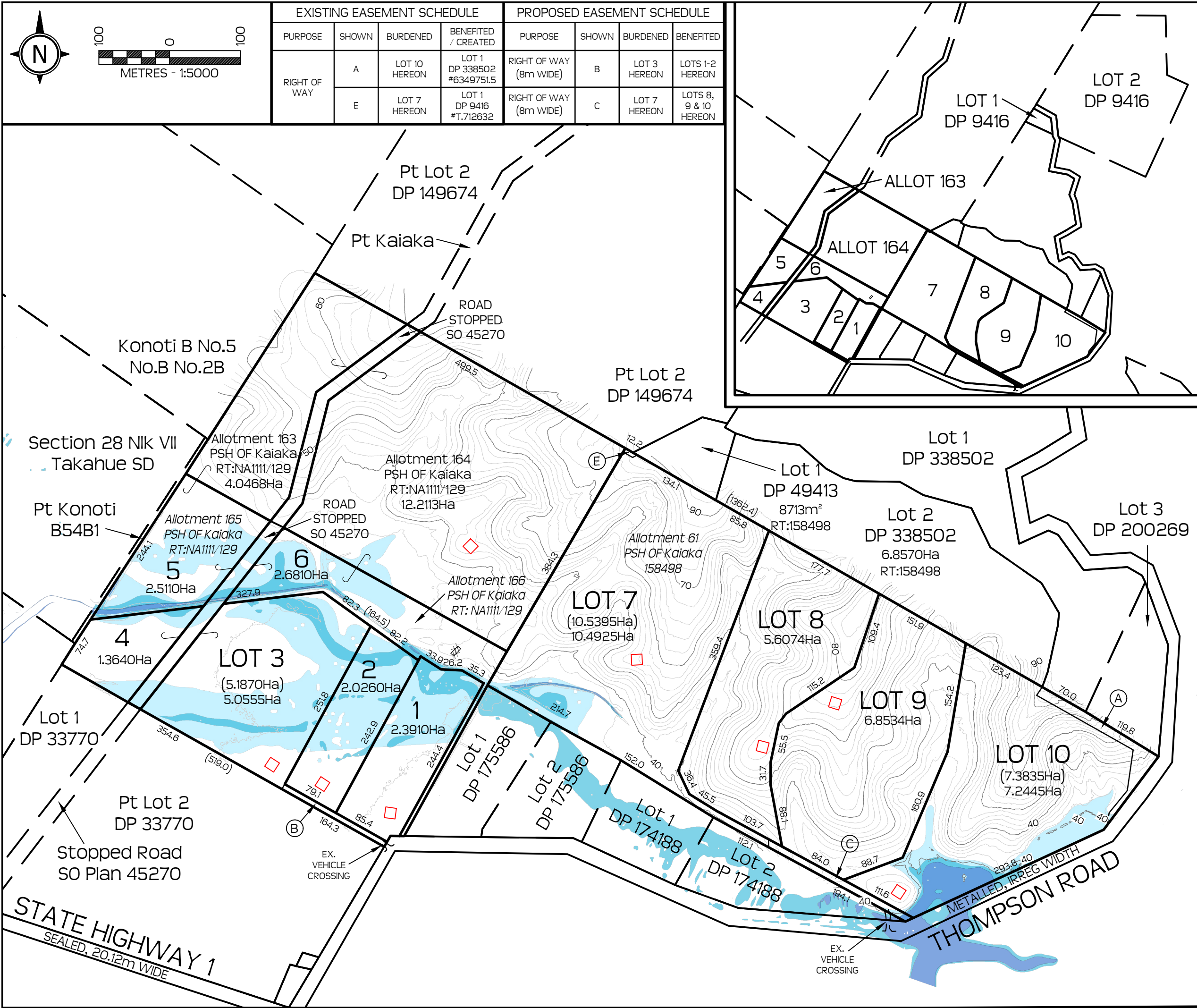
STEPHEN FOSTER  
THOMPSON ROAD  
KAITAIA

TITLE

# PROPOSED SUBDIVISION OF ALLOT 61 KAIKA PSH & ALLOT 163-166 KAIKA PSH

DATE	DECEMBER 2025	SCALE	1:5000 @A3
DRAWING REF.	SHEET	REV	
S18520	01 OF 01	F	





EXISTING EASEMENT SCHEDULE				PROPOSED EASEMENT SCHEDULE			
PURPOSE	SHOWN	BURDENED	BENEFITED / CREATED	PURPOSE	SHOWN	BURDENED	BENEFITED
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	E	LOT 7 HEREON	LOT 1 DP 9416 #T.712632	RIGHT OF WAY (8m WIDE)	C	LOT 7 HEREON	LOTS 8, 9 & 10 HEREON

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- 03m 2023-2024 RURAL AERIAL SOURCED FROM AERIAL SURVEYS LTD INFORMATION AVAILABLE ON LINZ DATA SERVICE.
- 2018-2020 1m LIDAR CONTOUR INFORMATION CAPTURED BY RPS.
- BOUNDARIES SOURCED FROM QUICKMAP. COORDINATES IN TERMS OF MOUNT EDEN 2000.

**PROPOSED CANCELLATION OF AMALGAMATION CONDITIONS**

PURSUANT TO SECTION 241(3) OF THE RMA 1991 THE FAR NORTH DISTRICT COUNCIL RESOLVES TO CANCEL THE AMALGAMATION CONDITION REQUIRING LOT 2 DP 338502 (RT 158498), LOT 1 DP 49413 (RT 158498) & ALLOTMENT 61 PSH OF KAIKA (RT 158498) TO BE HELD IN THE SAME RECORD OF TITLE.

THE FAR NORTH DISTRICT COUNCIL RESOLVES TO CANCEL THE AMALGAMATION CONDITION REQUIRING LOT 2 DP 338502 (RT 158498), LOT 1 DP 49413 (RT 158498) & ALLOTMENT 61 PSH OF KAIKA (RT 158498) TO BE HELD IN THE SAME RECORD OF TITLE.

**PROPOSED AMALGAMATION CONDITIONS**

PURSUANT TO SECTION 220 (1)(b)(iii) OF THE RMA 1991 THAT LOT 3 AND 4 HEREON TO BE HELD IN THE SAME RECORD OF TITLE.

THAT LOT 5 AND 6 HEREON, AND ALLOTMENTS 163 AND 164 PSH OF KAIKA (RT 1111/129) TO BE HELD IN THE SAME RECORD OF TITLE.

50YR FLOODING HAZARD  
100YR FLOODING HAZARD  
100YR FLOODING HAZARD + CC  
POTENTIAL BUILDING PLATFORM  
MAJOR CONTOURS AT 10m  
MINOR CONTOURS AT 2m

TOTAL TITLE AREA: 70.5302Ha  
SUBD'N AREA: 46.5438Ha  
COMPRISED IN: RST 158498(Pt) & NA1111/129(All)

THIS SITE IS ZONED 'RURAL PRODUCTION' AND THE BUILDING SETBACKS ARE THUS: 10m FROM ROAD BOUNDARIES, 3m FROM ALL OTHER BOUNDARIES.

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A	4.8.2025	FIRST ISSUE - JBH/AA
REV	DATE	DESCRIPTION
REF. DATA:		

**reyburn & bryant**

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7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

CLIENT

STEPHEN FOSTER  
THOMPSON ROAD  
KAITAIA

TITLE

PROPOSED SUBDIVISION OF  
ALLOT 61 KAIKA PSH &  
ALLOT 163-166 KAIKA PSH

DATE	DECEMBER 2025	SCALE	1:5000 @A3
DRAWING REF.	S18520	SHEET	01 OF 01
		REV	F

# **APPENDIX 2**

## **RULE ASSESSMENT**

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## Operative District Plan Provisions

Section 13 Subdivision		
Rule	Status	Comment
<b>13.7 Controlled (Subdivision) Activities</b>		
<b>13.7.1</b> – Boundary Adjustments: All Zones except the Recreational Activities and Conservation Zones	N/A	Consent is not sought under this rule as additional lots are proposed.
<b>13.7.2.1</b> – Minimum Area for Vacant New Lots and New Lots which already accommodate Structures	<b>Restricted Discretionary</b>	Consent is sought under Rule 13.8.1(c).
<b>13.7.2.2</b> – Allotment dimensions	<b>Controlled</b>	The proposed lots can contain a shape with a dimension of 30m x 30m.
<b>13.7.2.3</b> – Amalgamation of Land in a Rural Zone with land in an Urban or Coastal Zone	N/A	Not proposed.
<b>13.7.2.4</b> – Lots divided by Zone boundaries	N/A	Not proposed.
<b>13.7.2.5</b> – Sites divided by an Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature	N/A	Not proposed.
<b>13.7.2.6</b> – Access, Utilities, Roads, Reserves	N/A	Not proposed.
<b>13.7.2.7</b> – Savings as to Previous Approvals	N/A	Not proposed.
<b>13.7.2.8</b> – Proximity to Top Energy Transmission Lines	N/A	Not proposed.
<b>13.7.2.9</b> – Proximity to the National Grid	N/A	Not proposed.
<b>13.7.3.1</b> – Property Access	<b>Controlled</b>	The proposed subdivision complies with Rules 15.1.6C.1.I – 15.1.6C.1.II. Refer to assessments from Chapter 15 below.
<b>13.7.3.2</b> – Natural and Other Hazards	N/A	The building sites identified in the RS Eng subdivision assessment ( <b>Appendix 4</b> ) are not subject to any of the identified natural hazards.
<b>13.7.3.3</b> – Water Supply	<b>Controlled</b>	The proposed lots will be supplied with water on-site.

<b>13.7.3.4 – Stormwater Disposal</b>	<b>Controlled</b>	The proposed lots will dispose of stormwater on-site.
<b>13.7.3.5 – Sanitary Sewage Disposal</b>	<b>Controlled</b>	The proposed lots will dispose of wastewater on-site.
<b>13.7.3.6 – Energy Supply</b>	N/A	The site is not within any of the identified zones.
<b>13.7.3.7 – Telecommunications</b>	N/A	The site is not within any of the identified zones.
<b>13.7.3.8 – Easements for any purpose</b>	<b>Controlled</b>	Any necessary easements are shown on the scheme plan or will be provided as required.
<b>13.7.3.9 – Preservation of Heritage Resources, Vegetation, Fauna and Landscape, and Land set aside for Conservation purposes.</b>	N/A	There are no identified resources which require protection.
<b>13.7.3.10 – Access to Reserves and Waterways</b>	N/A	There are no public reserves, waterways or esplanade reserves on or adjoining the sites.
<b>13.7.3.11 – Land Use Compatibility</b>	N/A	No new land uses are proposed.
<b>13.7.3.12 – Proximity to Airports</b>	N/A	The site is not located in close proximity to an airport.
<b>13.7.4 – Subdivision within the National Grid Corridor for all zones</b>	N/A	The site is not within the National Grid Corridor
<b>13.8 Restricted Discretionary Activities</b>		
<b>13.8.1 – Subdivision within the Rural Production Zone</b>	<b>Restricted Discretionary</b>	a. Not proposed b. Not proposed. c. Both titles were created prior to 28 April 2000. Only three additional lots are proposed per site. The proposed lots have net site areas in excess 2ha.
<b>13.8.2 – Subdivision within 100m of Minerals Zone</b>	N/A	Not proposed.
<b>13.8.3 – Subdivision in the Golf Living Sub-Zone (Kauri Cliffs Zone)</b>	N/A	Not proposed.
<b>13.8.4 – Subdivision in the General Coastal Zone</b>	N/A	Not proposed.
<b>13.8.5 – Subdivision in the Coastal Living and South Kerikeri Inlet Zones</b>	N/A	Not proposed.
<b>Overall Status</b>	<b>Restricted discretionary</b>	

Section 15.1.6 Traffic		
Rule	Status	Comment
<b>15.1.6C Access</b>		
<b>15.1.6C.1.1</b> – Private accessway in all zones	Permitted	<ul style="list-style-type: none"> <li>a. The proposed accesses will be constructed in accordance with Appendix 3B-1 in Part 4 of the District Plan.</li> <li>b. No more than 8 users will use the accesses.</li> <li>c. N/A</li> <li>d. The accesses do not enter on to one of the listed roads.</li> </ul>
<b>15.1.6C.1.2</b> – Private accessways in urban zones	N/A	Not an urban zone
<b>15.1.6C.1.3</b> – Passing bays on private accessways in all zones	Permitted	Passing bays will be constructed where required, and they will comply with the listed dimensions.
<b>15.1.6C.1.4</b> – Access over footpaths	Permitted	N/A
<b>15.1.6C.1.5</b> – Vehicle crossing standards in rural and coastal zones	Permitted	<ul style="list-style-type: none"> <li>a. The vehicle crossings will be constructed in accordance with the FNDC ES.</li> <li>b. The vehicle crossings will be sealed.</li> <li>c. The vehicle crossings will each serve one property.</li> </ul>
<b>15.1.6C.1.6</b> – Vehicle crossing standards in urban zones.	N/A	The site is not in an urban zone.
<b>15.1.6C.1.7</b> – General access standards	Permitted	<ul style="list-style-type: none"> <li>a. There will be sufficient room to manoeuvre on-site.</li> <li>b. Any bends will allow for the passage of a Heavy Rigid Vehicle.</li> <li>c. Any excess area will be grassed.</li> <li>d. The vehicle crossings will manage runoff to reduce the volume and rate of stormwater runoff and contaminant loads where practical.</li> </ul>
<b>15.1.6C.1.8</b> – Frontage to existing roads	Permitted	If the carriageway encroaches into the lot boundaries it will be vested as road. This will be confirmed at the survey stage.
<b>15.1.6C.1.9</b> – New roads	N/A	No new roads are to be vested.
<b>15.1.6C.1.10</b> – Service lanes, cycle and pedestrian accessways	N/A	No new service lanes, cycle or pedestrian accesses are proposed.

<b>15.1.6C.1.11</b> – Road designations	N/A	The site does not front an existing road which is subject to a designation for road acquisition and widening purposes.
<b>Overall Status</b>	<b>Permitted</b>	

## **APPENDIX 3**

### **RECORDS OF TITLE AND ASSOCIATED MEMORIALS**

---



**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **158498**  
**Land Registration District** **North Auckland**  
**Date Issued** 17 March 2005

**Prior References**

NA20B/926      NA75B/241

---

**Estate** Fee Simple  
**Area** 38.0797 hectares more or less  
**Legal Description** Lot 2 Deposited Plan 338502 and Lot 1  
Deposited Plan 49413 and Allotment 61  
Parish of Kaiaka

**Registered Owners**

Stephen Trevor Foster and Sarah Alice Foster

---

**Interests**

Subject to a right of way over parts coloured blue and yellow on DP 49413 created by Transfer 712632 (affects the part formerly in CT NA75B/241)

Subject to Section 59 Land Act 1948 (affects parts)

Subject to Section 8 Coal Mines Amendment Act 1950 (affects parts)

C671199.4 Mortgage to Bank of New Zealand - 28.10.1994 at 2.55 pm (affects the part formerly in CT NA75B/241)

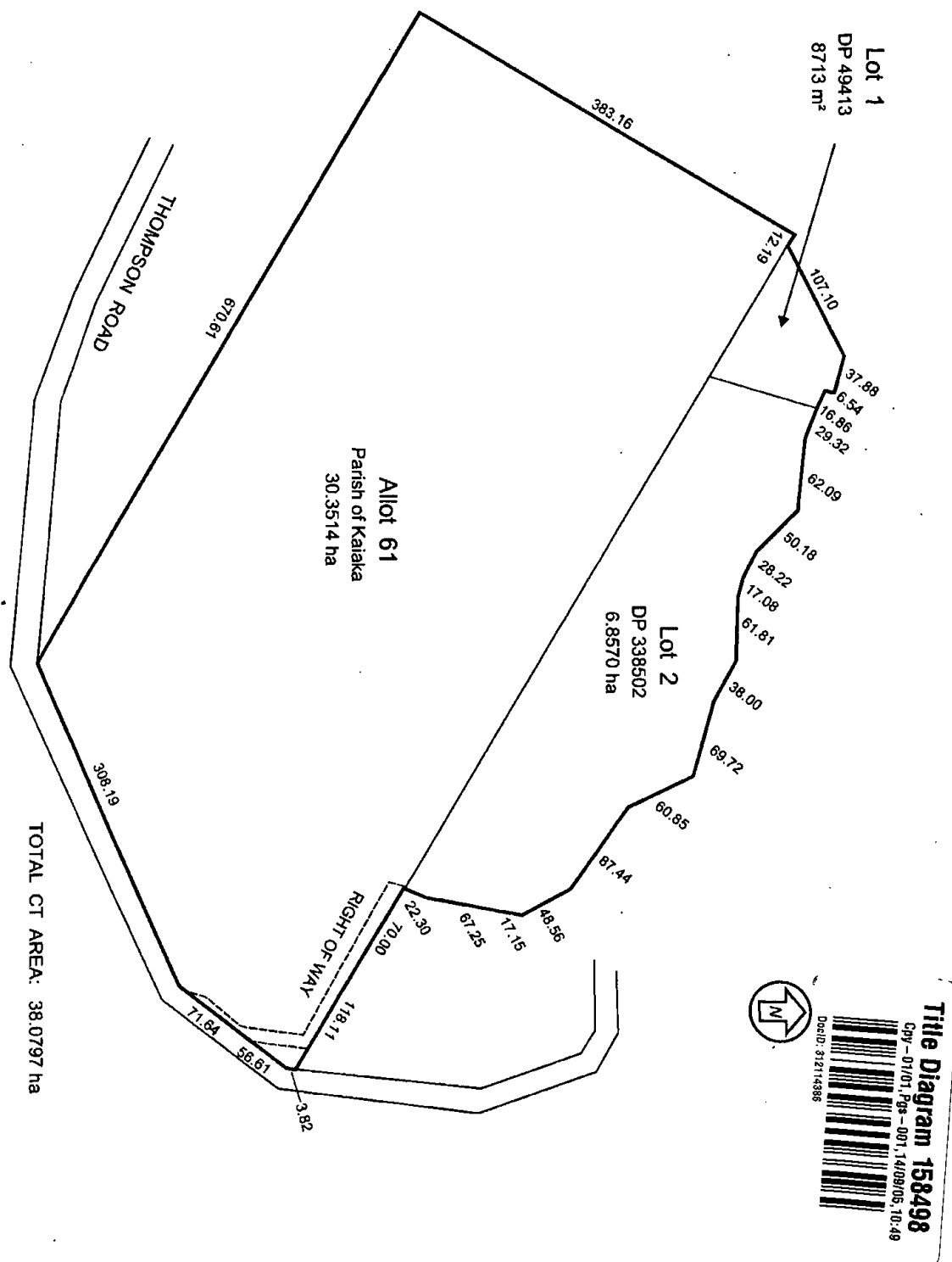
6349751.1 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.3.2005 at 9:00 am

6349751.2 Partial surrender of the right of way created by Transfer 712632 as to Lot 2 DP 338502 and CT NA1111/129 - 17.3.2005 at 9:00 am

Subject to Section 241(2) and Sections 242(1) and (2) Resource Management Act 1991(affects DP 338502)

Subject to a right of way over part marked A on DP 338502 created by Easement Instrument 6349751.5 - 17.3.2005 at 9:00 am

12208890.4 Variation of Mortgage C671199.4 - 1.9.2021 at 12:56 pm





**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA1111/129**  
**Land Registration District** **North Auckland**  
**Date Issued** 12 August 1954

**Prior References**  
NAPR205/209

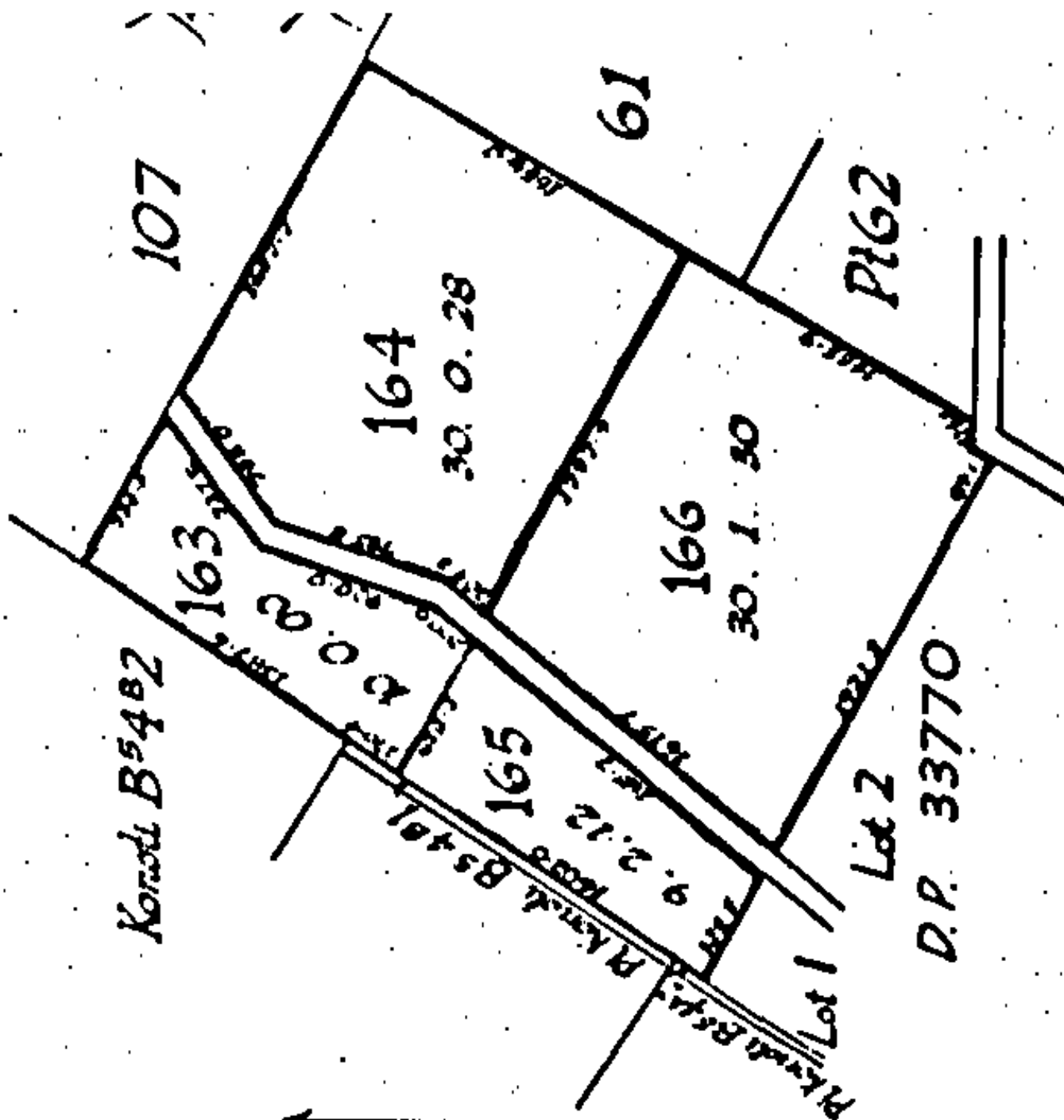
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**Estate** Fee Simple  
**Area** 32.4507 hectares more or less  
**Legal Description** Allotment 163-166 Kaiaka Parish  
**Registered Owners**  
Stephen Trevor Foster and Sarah Alice Foster

---

**Interests**  
Subject to Section 59 Land Act 1948  
7565391.3 Mortgage to Bank of New Zealand - 30.10.2007 at 1:12 pm







# FAR NORTH DISTRICT COUNCIL



## THE RESOURCE MANAGEMENT ACT 1991

### SECTION 221 : CONSENT NOTICE

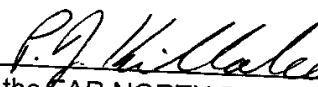
REGARDING RC2040211  
The subdivision of Pt Allot 124 Parish of Kaiaka, Blk VII Takahue SD  
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the title of the affected allotments.

### SCHEDULE

- i. At the time of any new building development on any of the allotments which comprise this subdivision, the application for such development shall contain specific engineering design for effluent and stormwater disposal.

SIGNED:

  
by the FAR NORTH DISTRICT COUNCIL  
under delegated authority:  
RESOURCE CONSENTS MANAGER

DATED at KAIKOHE this 3<sup>rd</sup> day of May 2004

RC2040211  
SRMICERT\3221  
4foster221

Landonline User ID

CHOL TZ001

LOGGING FIRM:

DE GRAAF & CO

Address:

BP65004

NORTH COTE

Uplifting Box Number:

N/A

ASSOCIATED FIRM:

CLIVE PATTERSON

Client Code / Ref:

FOSTER/HENDERSON

HEREWITH

Survey Plan (#)

Title Plan (#)

Traverse Sheets (#)

Field Notes (#)

Cable Sheets (#)

Survey Report

Dealing / SUD Number:  
(LINZ use only)

Priority Barcode/Date Stamp  
(LINZ use only)

Plan Number Pre-Allocated or  
to be Deposited:

Replaced Dealing Number:

Other (State)

Priority Order	CT Ref	Type of Instrument	Name of Parties	DOCUMENT OR SURVEY FEES	MULTI-TITLE FEES	NOTICES	ADVERTISING	NEW TITLES	OTHER	RE-SUBMISSION & PRIORITY FEE	FEES \$ GROSS INCLUSIVE
1	20B/926	CONO	FAR NORTH DISTRICT COUNCIL	50.00							\$50.00
2		T	CM MACDONALD & CG HENDERSON TO ST & SA FOSTER	50.00							\$50.00
3		ONCT	CM MACDONALD & CG HENDERSON	106.00							\$106.00
4	20B/926 75B/241	ONCT	ST & SA FOSTER	106.00							\$106.00
5		EI	ST & SA FOSTER TO CG HENDERSON & CM MACDONALD	\$50.00							\$50.00
6											

Land Information New Zealand Lodgement Form

Annotations (LINZ use only)

Fees Receipt and Tax Invoice  
GST Registered Number 17-022-836  
LINZ Form P005

LINZ Form P005 - PDF

Original Signatures?

Subtotal (for this page)	\$362.00
Total for this dealing	\$362.00
Less Fees paid on Dealing #	
Cash/Cheque enclosed for	\$362.00

**CONO 6349751.1 Cons**  
Cpy - 03/04, Pgs - 002, 16/03/05, 14:45  
**Copies**  
(inc. original)  
DocID: 311644828

Approved by Registrar-General of Land under No. 2002/6056

**Easement instrument to surrender easement, *profit à prendre*, or land covenant**  
Sections 90A and 90F, Land Transfer Act 1952

**SE 6349751.2 Surrender**

Cpy - 01/01, Pgs - 005, 10/06/06, 11:26

Land registration district

**NORTH AUCKLAND**



Grantee

Surname(s) must be underlined or in CAPITALS.

**Christine Grace HENDERSON, Colin Matthew MacDONALD, Stephen Trevor FOSTER and Sarah Alice FOSTER**

Grantor

Surname(s) must be underlined or in CAPITALS.

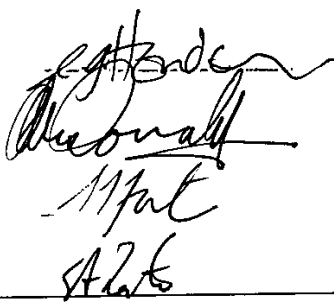
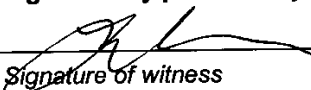
**Stephen Trevor FOSTER and Sarah Alice FOSTER**


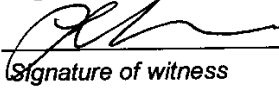
**Surrender\* of easement, or *profit à prendre*, or covenant**

**The Grantee, being the registered proprietor of the dominant tenement(s) set out in Schedule A or being the Grantee in gross, surrenders to the Grantor the easement(s), *profits(s) à prendre*, or covenant(s) set out in Schedule A, and the Grantor accepts the surrender of those easement(s), *profits(s) à prendre*, or covenant(s).**

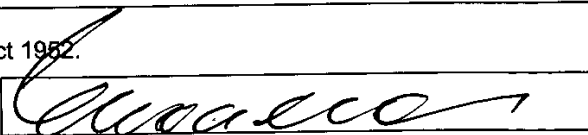
Dated this 2<sup>nd</sup> day of April 2005

**Attestation**

 Signature [common seal] of Grantee	<b>Signed in my presence by the Grantee</b>  Signature of witness Witness to complete in BLOCK letters (unless legibly printed) Witness name <u>FRANCINE JOBE</u> Occupation <u>LEGAL EXECUTIVE</u> Address <u>KAITIA</u>
--	--

 Signature [common seal] of Grantor	<b>Signed in my presence by the Grantor</b>  Signature of witness Witness to complete in BLOCK letters (unless legibly printed) Witness name <u>FRANCINE JOBE</u> Occupation <u>LEGAL EXECUTIVE</u> Address <u>KAITIA</u>
---	--

Certified correct for the purposes of the Land Transfer Act 1952.



[Solicitor for] the Grantor

\*If the consent of any person is required for the surrender, the specified consent form must be used.

REF: 7004 - AUCKLAND DISTRICT LAW SOCIETY

### Annexure Schedule 1



**Dated**

2<sup>nd</sup> April 2005

Page 1 of 1 pages

(Continue in additional Annexure Schedule if required.)

Nature of easement, <i>profit</i> , or covenant	Unique identifier (Document number)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right of Way	712632	75B/241	20B/926 1111/129

**All signing parties and either their witnesses or solicitors must sign or initial in this box.**

REF: 7004 – AUCKLAND DISTRICT LAW SOCIETY

## MORTGAGEE'S CONSENT

ANZ NATIONAL BANK LIMITED the Mortgagee under and by virtue of Memorandum of Mortgage 5805530.2 HEREBY CONSENTS to the surrender of the right of way easement shown on Lot 1 DP49413 to be surrendered, but WITHOUT PREJUDICE to the Mortgage's rights powers and remedies under the said Mortgage.

Dated this 30<sup>th</sup> day of May 2005

Signed by ANZ NATIONAL BANK LIMITED

by its Attorney

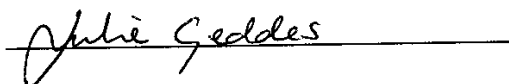


Rene Joy Brettenny  
Team Leader Securities

Witness to the execution by

ANZ NATIONAL BANK LIMITED

Witness:



Occupation:

Julie Geddes  
Bank officer  
Auckland

Address:

P O Box 9886  
NEWMARKET


**VESTING CLAUSE – ANZ TO ANZ NATIONAL BANK LIMITED**

**FOR USE WITH ALL MORTGAGES IN THE NAME OF ANZ BANKING GROUP (NEW ZEALAND) LIMITED**

Mortgage number:  
Land registry:

It is certified that on 26 June 2004 ANZ Banking Group (New Zealand) Limited was amalgamated with The National Bank of New Zealand Limited to become ANZ National Bank Limited and that this mortgage has become the property of ANZ National Bank Limited (as the amalgamated company) under Part XIII of the Companies Act 1993.

Person signing for ANZ National Bank  
Limited must sign or initial here

  
A handwritten signature in black ink, consisting of a large, stylized 'S' or 'B' shape with a horizontal line extending to the right, positioned above a solid horizontal line.


**ANZ NATIONAL BANK LIMITED**

**CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY**

I, Rene Joy Brettenny of Auckland in New Zealand, Team Leader of ANZ National Bank Limited, hereby certify that:

1. By Deed dated 9 January 2005 ("*The Deed*"), I was appointed an Additional Attorney of ANZ National Bank Limited, a Company incorporated in New Zealand and having its head office at Wellington on the terms and subject to the conditions set out in that deed.
2. At the date of this certificate, I am a Team Leader, Securities of ANZ, part of ANZ National Bank Limited.
3. At the date hereof I have not received any notice of the revocation of that appointment by the winding up or dissolution of ANZ National Bank Limited or otherwise.
4. The Deed is registered with Land Information, New Zealand, Dealing Number PA 6275223.1.

SIGNED by the abovenamed )  
Attorney at Auckland on this )  
30<sup>th</sup> day of May 2005 . )

  
\_\_\_\_\_  
Signature



**Easement instrument to grant easement or *profit à prendre*, or create land covenant**  
Sections 90A and 90F, Land Transfer Act 1952

Land registration district

**NORTH AUCKLAND**

Grantor

**Stephen Trevor FOSTER and Sarah Alice FOSTER**

Grantee

*Surname(s) must be underlined or in CAPITALS.*



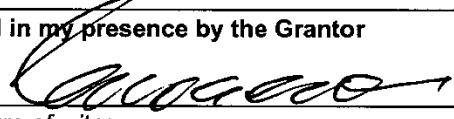
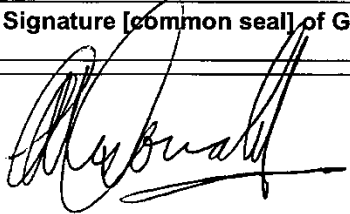
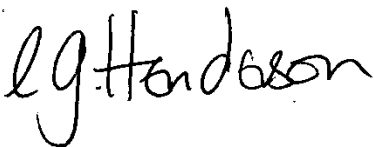
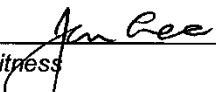
**Christine Grace HENDERSON and Colin Matthew MacDONALD**

**Grant\* of easement or *profit à prendre* or creation or covenant**

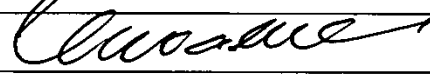
**The Grantor**, being the registered proprietor of the servient tenement(s) set out in Schedule A, **grants to the Grantee** (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, **or creates** the covenant(s) **set out** in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Dated this 30<sup>th</sup> day of **April** **2004**

**Attestation**

 	<p><b>Signed in my presence by the Grantor</b></p>  <p><i>Signature of witness</i></p> <p><i>Witness to complete in BLOCK letters (unless legibly printed)</i></p> <p><b>Witness name</b></p> <p><b>Occupation</b> <b>C. A. Patterson</b> <b>Solicitor</b></p> <p><b>Address</b> <b>KAITAIA</b></p>
<p><b>Signature [common seal] of Grantor</b></p>  	<p><b>Signed in my presence by the Grantee</b></p>  <p><i>Signature of witness</i></p> <p><i>Witness to complete in BLOCK letters (unless legibly printed)</i></p> <p><b>Witness name</b></p> <p><b>Occupation</b> <b>Jan MacLean</b> <b>Registered</b> <b>Legal Executive</b></p> <p><b>Address</b> <b>Kaitaia</b></p>

**Certified correct for the purposes of the Land Transfer Act 1952.**

  
[Solicitor for] the Grantee

\*If the consent of any person is required for the grant, the specified consent form must be used.

**Annexure Schedule 1**

Easement instrument

Dated

30<sup>th</sup>

April 2004

Page

2

of

2

pages

**Schedule A**

(Continue in additional Annexure Schedule if required.)

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right of Way	<del>DP 263980</del> "A" DP 338502	Allotment 61 Parish of Kaiaka in CT 75B/241	Lots 1 and 3 DP 338502

**Easements or profits à prendre rights and powers (including terms, covenants, and conditions)**

Delete phrases in [ ] and insert memorandum number as required.  
Continue in additional Annexure Schedule if required.

Unless otherwise provided below, the rights and powers implied in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are [varied] [negated] [added to] or [substituted] by:

[Memorandum number \_\_\_\_\_, registered under section 155A of the Land Transfer Act 1952]

[the provisions set out in Annexure Schedule 2]

**Covenant provisions**

Delete phrases in [ ] and insert memorandum number as required.  
Continue in additional Annexure Schedule if required.

The provisions applying to the specified covenants are those set out in:

[Memorandum number \_\_\_\_\_, registered under section 155A of the Land Transfer Act 1952]

[Annexure Schedule 2]

All signing parties and either their witnesses or solicitors must sign or initial in this box

## MORTGAGEE'S CONSENT

ANZ NATIONAL BANK LIMITED the Mortgagee under and by virtue of Memorandum of Mortgage 5805530.5 HEREBY CONSENTS to the within the plan to deposit and amalgamate but WITHOUT PREJUDICE to the Mortgage's rights powers and remedies under the said Mortgage.

Dated this 7<sup>th</sup> day of March 2004

Signed by ANZ NATIONAL BANK LIMITED

by its Attorney

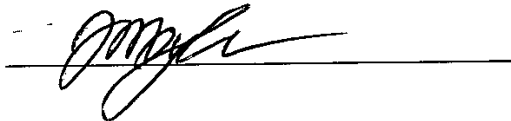
Lorraine Coe  
Manager Personal Support



Witness to the execution by

ANZ NATIONAL BANK LIMITED

Witness:



Occupation: Janice Moylan  
Bank officer  
Auckland

Address: P O Box 9886  
NEWMARKET

**ANZ NATIONAL BANK LIMITED**

**CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY**

I, *Lorraine Grace Coe* of Auckland in New Zealand, Manager Personal Support of ANZ National Bank Limited, hereby certify that:

1. By Deed dated 7 November 2003 I was appointed an Attorney of ANZ Banking Group (New Zealand) Limited, a Company incorporated in New Zealand and having its head office at Wellington on the terms and subject to the conditions set out in that deed.
2. On 26 June 2004 ANZ Banking Group (New Zealand) Limited was amalgamated with The National Bank of New Zealand Limited to become ANZ National Bank Limited and the rights and powers and property covered by the Deed have become the rights, powers and property of ANZ National Bank Limited (as the amalgamated company) under Part XIII of the Companies Act 1993.
3. At the date of this certificate, I am a Manager of Personal Support of ANZ, part of ANZ National Bank Limited.
4. At the date hereof I have not received any notice of the revocation of that appointment by the winding up or dissolution of ANZ National Bank Limited or otherwise.
5. The Deed is registered with Land Information, New Zealand, Dealing Number PA 5809658.1\_\_\_\_\_.

SIGNED by the abovenamed )

Attorney at *Auckland* on this )  
*7th* day of *March* 200*5*. )



Signature

**VESTING CLAUSE – ANZ TO ANZ NATIONAL BANK LIMITED**

**FOR USE WITH ALL MORTGAGES IN THE NAME OF ANZ BANKING GROUP (NEW ZEALAND) LIMITED**

Mortgage number: 5805530.5  
Land registry: North Auckland

It is certified that on 26 June 2004 ANZ Banking Group (New Zealand) Limited was amalgamated with The National Bank of New Zealand Limited to become ANZ National Bank Limited and that this mortgage has become the property of ANZ National Bank Limited (as the amalgamated company) under Part XIII of the Companies Act 1993.

Person signing for ANZ National Bank  
Limited must sign or initial here

  
\_\_\_\_\_

\_\_\_\_\_

## Mortgagee's Consent

Bank of New Zealand as mortgagee under mortgage C671199.4 consent to the amalgamation of a further area containing 6.8570 hectares with the existing certificate of title NA75B/241, *but without prejudice to its rights and remedies under the said mortgage.*

Dated this *4th* day of <sup>*AUG*</sup> *July* 2005 *L*

Signed by  
Bank of New Zealand  
By its attorney's

*Damien Justin Wannenburg*

*Margaret Jane Aston*  
Margaret Jane Aston

*[Signature]*  
Witness to the execution by Bank of New Zealand

Witness: **Robin Peter Tuckey**

Occupation: **Bank Officer**

Address: **Auckland**



**Bank of New Zealand**

**CERTIFICATE OF NON-REVOCATION  
OF POWER OF ATTORNEY**

We, Margaret Jane Aston and Damien Justin Wannenburg both of Auckland, Bank Officers, severally certify that:

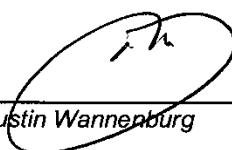
1. By deed dated 26 October 2001 (the "Deed"), we were, by virtue of being respectively a Second Authorised Officer, and a Second Authorised Officer, appointed jointly as attorneys of Bank of New Zealand (the "Bank") on the terms and subject to the conditions set out in the Deed.
2. Copies of the Deed are deposited in the following registration districts of Land Information New Zealand as follows:

Canterbury	as No.	5110221
North Auckland	as No.	D657518.1
Otago	as No.	5110774
South Auckland	as No.	5110008
Taranaki	as No.	483763.1
Wellington	as No.	5110812
3. We have executed the instrument(s) to which this certificate relates under the powers conferred by the Deed.
4. At the date of this certificate we have not received any notice or information of the revocation of that appointment by the dissolution of the Bank or otherwise.

SIGNED at Auckland this 04<sup>th</sup> day of August 2005

  
Margaret Jane Aston

SIGNED at Auckland this 04<sup>th</sup> day of August 2005

  
Damien Justin Wannenburg

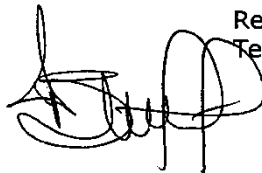
## MORTGAGEE'S CONSENT

ANZ NATIONAL BANK LIMITED the Mortgagee under and by virtue of Memorandum of Mortgage 5805530.2 HEREBY CONSENTS to the within registration of the subdivision to create two new titles but WITHOUT PREJUDICE to the Mortgage's rights powers and remedies under the said Mortgage.

Dated this 29<sup>th</sup> day of July 2005

Signed by ANZ NATIONAL BANK LIMITED

by its Attorney



Rene Joy Brettenny  
Team Leader Securities

Witness to the execution by

ANZ NATIONAL BANK LIMITED

Witness:



Occupation: Margaret Marianne Preston  
Securities Officer  
Auckland

Address: P O Box 9886  
NEWMARKET  
Auckland



**ANZ NATIONAL BANK LIMITED**

**CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY**

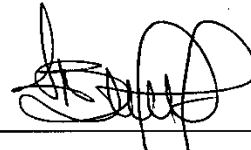
I, Rene Joy Brettenny of Auckland in New Zealand, Team Leader of ANZ National Bank Limited, hereby certify that:

1. By Deed dated 9 January 2005 ("*The Deed*"), I was appointed an Additional Attorney of ANZ National Bank Limited, a Company incorporated in New Zealand and having its head office at Wellington on the terms and subject to the conditions set out in that deed.
2. At the date of this certificate, I am a Team Leader, Securities of ANZ, part of ANZ National Bank Limited.
3. At the date hereof I have not received any notice of the revocation of that appointment by the winding up or dissolution of ANZ National Bank Limited or otherwise.
4. The Deed is registered with Land Information, New Zealand, Dealing Number PA 6275223.1.

SIGNED by the abovenamed )

Attorney at Auctions on this )

29th day of July 2005 . )

  
\_\_\_\_\_  
Signature

## **APPENDIX 4**

### **RS ENG SITE SUITABILITY ASSESSMENT**

---



## **SUBDIVISION SUITABILITY REPORT**

**Thompson Road**

**Kaitaia**

**(Allot 61, 163-166 PSH of Kaiaka)**

# SUBDIVISION SUITABILITY REPORT

**Thompson Road**

**Kaitaia**

(Allot 61, 163-166 PSH of Kaiaka)

**Report prepared for:** Stephen Foster

**Report reference:** 19822

**Date:** 28 November 2025

**Revision:** 3

## Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
09/10/2025	1	Resource Consent Issue	R Beasley	S Scott Compton	M Jacobson
20/11/2025	2	Revision 2	R Beasley	S Scott Compton	M Jacobson
28/11/2025	3	Revision 3	R Beasley	S Scott Compton	M Jacobson



association of  
consulting and  
engineering

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A	Scheme Plan
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C	Subsurface Investigations

# SUBDIVISION SUITABILITY REPORT

## Thompson Road, Kaitaia (Allot 61, 163-166 PSH of Kaiaka)

### 1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Stephen Foster to investigate the suitability of their property (Allot 61, 163-166 PSH of Kaiaka) for residential subdivision. The purpose of this report is to review the identified suitable building areas, assess natural hazards, geotechnical aspects, on-site wastewater disposal, stormwater attenuation and disposal.

The client proposes to create a combined total of eight properties. Lots 3 and 4 are amalgamated and Lots 5, 6, Allotment 163 and 164 (Allot 163 and 164) are also amalgamated as one record of title. These amalgamated lots will be referenced as Lot 3 and Allot 164 within this report. The proposed scheme plan, prepared by Reyburn and Bryant is enclosed in Appendix A.

### 2.0 Site Description

The property is accessed north off Thompson Road, some 260m from the intersection with State Highway 1. Lots 1-3 are amongst lower lying gentle terrain and Allot 164 and Lots 7-10 are amongst ridges and moderate to steep slopes. The property consists of gentle to steep slopes generally falling towards the southwest. Ground coverage at the identified building areas consist of pasture.



**Figure 1:** Allot 61, 163-166 PSH of Kaiaka.

### 3.0 Desk Study

#### 3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- GNS – Geology Of The Kaitaia Area – Isaac – 1996.

#### 3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map indicates that Allot 164 and Lots 7-10 are located within an area that is underlain by Taipa Mudstone of the Northland Allochthon group, which has been described as follows: *“Weakly to moderately indurated grey to blue-grey calcareous mudstone commonly with redeposited beds of glauconitic sandstone.”*

The GNS 1:250,000 scale New Zealand Geology Web Map shows that Lots 1-3 are located within an area underlain by late Pleistocene to Holocene sediments of the Kariotahi Group, which has been described as follows: *“Unconsolidated to poorly consolidated sand, peat, mud and shell deposits (estuarine, lacustrine, swamp, alluvial and colluvial).”*

#### 3.3 Aerial Photography

RS Eng has undertaken a review of historical aerial photography, specifically three images, from 1950, 1961, 1981 and Google Earth imagery. See Figure 2 below of the 1981 image. Several notable features were observed, listed below.

- No soil creep or deep-seated slope instability observed at the identified building areas, however was observed on the nearby moderate to steep slopes.
- Ground coverage at most of the identified building areas remained as pasture. A dwelling/sheds at the identified site on Allot 164 was observed in 1950 imagery and on proposed Lot 10 in 1970 and 1981 in the imagery.
- Some farm tracks observed over the property throughout the imagery, none observed over the identified building areas.
- Google Earth imagery noted shallow failures amongst some gully features.
- An airstrip was observed north of the identified site on Lot 7 in the 1970 imagery.



**Figure 2:** 1981 Aerial Image (Source: [www.retrolens.nz](http://www.retrolens.nz)) (red outline indicates approx. property boundary).

#### 4.0 Field Investigation

A Technician and Geologist from this office visited the property on 4 September 2025 and 5 September 2025 to undertake a walkover inspection and 18 hand augers.

The investigation encountered low shear strength values over the identified building area on proposed Lot 7. An alternative identified building area has been assessed on Lot 7. The remaining identified building areas did not exhibit any signs of concern in relation to the proposal.

The hand augers were dug to a maximum depth of 5.0m below ground level (BGL). Shear Vane readings were taken at regular intervals throughout the hand augers. Soil and rock descriptions are in general accordance with the New Zealand Geotechnical Society guideline.

#### 5.0 Subsoil Conditions

Interpretation of the subsurface conditions is based on the investigations shown on the drawings in Appendix B. The conditions are summarised below.

- Topsoil was encountered to between 0.1mBGL to 0.3mBGL across the sites.

##### **Lots 1-3**

- Kariotahi Group material inferred as moderately over consolidated Pleistocene age alluvium was encountered consisting of firm to very stiff clayey silts, stiff to very stiff silty clays and firm to stiff clays. In-Situ Undrained Shear Strengths ranged between 63kPa to greater than 221kPa.
- Groundwater was encountered between 0.8mBGL and 1.3mBGL.



### **Lots 7-10 and Allot 164**

- A 0.8m thick layer of fill was encountered over part of proposed Lot 7 typically expected along the edges of the air strip, consisting of stiff to very stiff clayey silts overlying buried topsoil. The In-Situ Undrained Shear Strength recorded within this material was 130kPa.
- Residual soils of Taipa Mudstone were encountered to depths of 0.8mBGL to 2.7mBGL, consisting of very stiff clayey silts and very stiff silty clays. In-Situ Undrained Shear Strengths ranged between 107kPa to greater than 221kPa.
- Completely weathered extremely weak siltstone and sandstone were encountered to a maximum investigated depth of 5.0mBGL, consisting of firm to very stiff silts and clays. In-Situ Undrained Shear Strengths ranged between 60kPa to greater than 221kPa.
- Static groundwater and groundwater inflow was encountered over the lots between 0.8mBGL and 2.1mBGL.

## **6.0 Geotechnical Assessment**

### **6.1 Slope Stability**

#### **Lots 1-3**

The identified building sites on Lots 1-3 are situated within the near level lower lying terrain, underlain with Kariotahi Group alluvium. Moderate to steep slopes have been identified some 200m from the identified building areas. Lots 1-3 are considered to have a low risk of slope instability.

#### **Allot 164 and Lots 7-10**

The identified building sites on Allot 164 and Lots 7-10 are situated atop large wide ridgetops, underlain with siltstone/sandstone of the Taipa Mudstone, surrounded by moderate to steep slopes, generally falling to the south. No signs of existing or historical slope instability were identified at or immediately adjacent to the identified building areas. Sensitive soils were observed over Lots 7-10 where moderate and steep slopes displayed evidence of soil creep, shallow failures and debris flows, typically more frequent within the gully features where stormwater is concentrated. Improper stormwater management, and earthworks/modifications within the sensitive soils are likely to trigger slope instability. Due to the wide and gently sloping nature of the ridgetops at the building areas, minimal earthworks will be required to form the identified building areas. Soil creep was identified on the moderate slopes adjacent and surrounding the identified building areas over proposed Lots 7-10 and Allot 164. RS Eng recommend a minimum building setback of 10m from all moderate to steep slopes ( $>14^\circ$ ). If this setback cannot be achieved, deepened foundations or soldier piles may be required to reduce the risk of soil creep encroaching the identified building sites.

The identified accessways to proposed Lots 7 & 8 follow an existing farm track along the southern border of the property. The identified accessway to proposed Allot 164 follows an existing farm track along the southeastern border of proposed Lot 1, following the gentle slopes up to the identified building area. The identified accessways to the identified building platforms follow relatively gentle to moderate slopes. Minor earthworks will be required to form the accessways off the main farm track.

Provided the recommendations of this report are complied with, RS Eng considers the risk of slope instability to the identified building areas and identified accessways to be low.

## **6.2 Liquefaction**

The proposal is positioned on land underlain by Kariotahi Group alluvium/colluvium and Taipa Mudstone siltstone and sandstone, consisting of soils that are cohesive in nature and that are relatively elevated and therefore unlikely to liquefy when subjected to seismic shaking. RS Eng considers the risk of liquefaction to be low.

## **6.3 Expansive Soils**

The clayey soils encountered on-site are likely to be subject to volumetric change with seasonal changes in moisture content (wet winters / dry summers); this is known as expansive or reactive soils. Apart from seasonal changes in moisture content other factors that can influence soil moisture content at the include:

- Influence of garden watering and site drainage.
- The presence of large trees close to buildings. Large trees can cause variation in the soil moisture content for a distance of up to 1.5 times their mature height.
- Initial soil moisture conditions during construction, especially during summer and more so during a drought. Building platforms that have dried out after initial excavation should be thoroughly wet prior to any floor slabs being poured.
- Plumbing leaks.

Based on a visual tactile assessment made during the subsoil investigation, RS Eng considers the soils as being Class H1 (Highly Expansive) as per AS 2870.

## **6.4 Shallow Soil Creep**

Seasonal changes in moisture content of clayey soils cause shrink/swell effects (expansive soils). On slopes generally more than 14° the cyclic shrink/swell characteristics combined with gravity forces cause the surface soil to displace downslope over time. This can be accelerated and exaggerated by stock. Soil creep can affect shallow slope angles where underlain by weaker materials but may not affect steeper slopes when soil strengths are high.

Shallow soil creep was evident on the moderate to steep slopes surrounding the identified building areas on proposed Lots 7-9 and Allot 164. A minimum building setback of 10m from moderate slopes (>14°) is recommended over Lots 7-9 and Allot 164. If this setback cannot be achieved, foundations or soldier pile walls shall be specifically designed by a Chartered Professional Engineer to account for at least 1.5m of soil creep below ground level. Detailed recommendations have been made in the following sections of this report.

## 7.0 Three Waters

### 7.1 Flooding

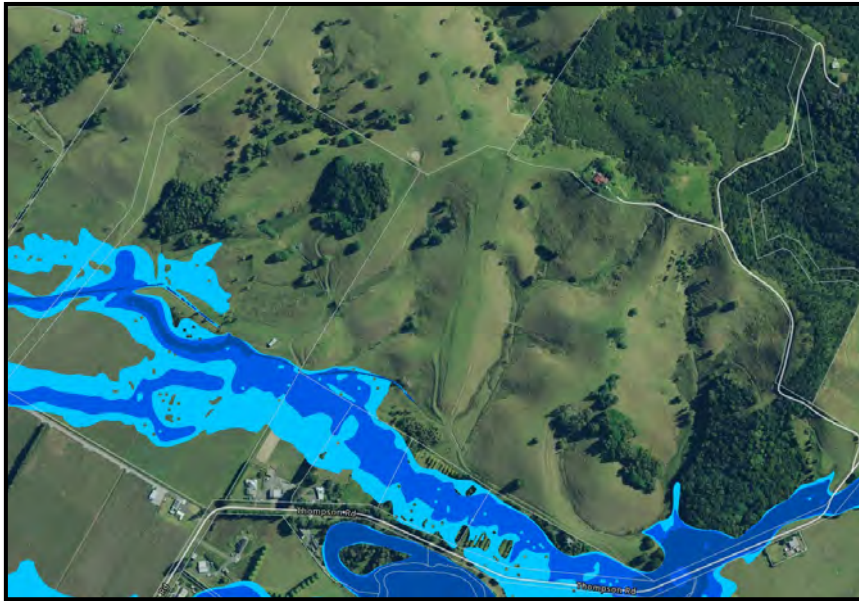
The Northland Regional Council has designated the lower lying areas of these lots as being flood susceptible. The identified building areas over Allot 164 and Lots 7-10 have been assessed between 15-20m from and some 3m elevated above the mapped flood extents. RS Eng have assessed the minimum levels for the identified building sites on Lots 1-3, from the NRC Regionwide Flood Model, refer to Table 1. RS Eng recommend a minimum freeboard of 0.5m above these flood extents be achieved over these Lots.

The proposed crossing to ROW D is being shifted some 5m to avoid crossing the neighbouring southeastern property. This has been identified as in the periphery of the flood plain and within the mapped flood extents. Given the access way is being shifted a short distance, and will be of a similar scale, RS Eng consider any potential effects will be less than minor. Earthworks in the flood hazard area are expected to be less than 50m<sup>3</sup>.

All future building platforms and driveways shall be suitably shaped to disperse stormwater away from the building platforms. Given the recommendations made in this report are adhered to, the risk of inundation at the identified building sites is considered to be low.

**Table 1:** Minimum Levels at Identified Sites – Ground/floor (0.5m freeboard)

Minimum Levels (mNZVD)		
Lot #	Ground Level	Floor Level
Lot 3	34.5mNZVD	35.0mNZVD
Lot 2	35.0mNZVD	35.5mNZVD
Lot 1	35.5mNZVD	36.0mNZVD



**Figure 3:** NRC Mapped Flood Extents (*Source: NRC Natural Hazard Maps*).

## 7.2 On-site Wastewater Disposal

The land available for effluent disposal is typically gently sloped (less than 10°) and waxing planar. On proposed Lots 1-3, 7-10 and Allot 164, subsoil investigations have assessed the soils as Category 5 as per AS/NZS1547. Disposal of secondary treatment effluent loading sub-surface pressure compensating drip irrigation lines within a planted and fenced area is suitable.

To demonstrate the suitability of the proposed lots, a concept on-site effluent disposal design has been prepared for a hypothetical four bedroom dwelling. The design calculations are presented in Table 2 below.

Table 2: Concept Wastewater Disposal Design

Number of Bedrooms	4	No.
Number of Persons	6	No.
Flow Allowance	180	L/person/Day
Total Flow	1080	L/Day
Irrigation Rate (DIR)	3.0	L/m <sup>2</sup> /day
Slope Reduction Factor	0	%
Irrigation Area Required	360	m <sup>2</sup>
Irrigation Line Spacing	1.0	m

## **7.3 Stormwater**

### **7.3.1 Attenuation – Future Residential Buildings**

As the proposed Lots are all greater than 1ha in area, and future impervious surfaces will likely be less than 10% of the total property area, stormwater attenuation will not be required. Should impervious surfaces exceed 10%, stormwater attenuation shall be specifically designed in accordance with the FNDC ES 2023.

## **8.0 Recommendations**

### **8.1 Further Geotechnical Assessment**

At the building consent stage, any proposal shall be supported by a project and site specific geotechnical assessment, considering the recommendations of this report.

### **8.2 Wastewater Disposal**

Future on-site wastewater disposal on each lot shall be specifically design by a suitably experienced professional, complying with the recommendations of this report and the Northland Regional Council Regional Plan.

Should future purchases desire an alternative wastewater disposal location, they shall consider capacity of the lots to accommodate the disposal fields given the implications of setbacks, buffer zones, and slope reduction factors.

### **8.3 Minimum Building Setbacks**

RS Eng recommend a minimum building setback of 10m from the moderate slopes (>14°) on proposed Lots 7-10 and Allot 164 to reduce the risk of soil creep encroaching the identified building areas. Where future building works extend beyond the identified building areas, soldier pile walls shall be required and/or foundations shall be specifically designed to account for 1.5m of soil creep.

### **8.4 Site Subsoil Class**

In accordance with NZS 1170.5:2004, Section 3.12.3 the site has been assessed for its Site Subsoil Class. Based on the observations listed above RS Eng considers the site soils lie within Site Class C *“Shallow Soil Site.”*

### **8.5 Earthworks**

To form access and create platforms at the identified building areas, earthworks will be required. To suitably develop the identified building areas, RS Eng recommend as follows.

- Cuts and fills shall be limited to a maximum of 0.5m, without further geotechnical assessment. Consideration shall be given to earthworks within sensitive soils.

- Cut and fill batters should be sloped at angles less than 1V to 3H.
- Cuts and fills >0.5m shall be retained.
- Site works shall generally be completed in accordance with NZS 4431.
- The building site and driveway should be shaped to assist in stormwater run-off and avoid ponding of surface water.

## **8.6 Foundations**

The site is not “Good Ground” as per NZS3604. Residential NZS3604 type construction on conventional foundations or raft type slabs specifically designed to account for Class H1 expansive soils as per AS2870 are suitable. An Ultimate Bearing Capacity of 250kPa is available across proposed Lots 1-3. An Ultimate Bearing Capacity of 300kPa is available on Allot 164. An Ultimate Bearing Capacity of 200kPa is available across proposed Lots 7-10.

Where future buildings are proposed within 10m of moderate slopes, deepened foundations and/or soldier pile walls shall be required to reduce the risk of soil creep encroaching the building platform.

## **8.7 Stormwater Disposal**

Uncontrolled and concentrated stormwater discharges can result in erosion and slope instability. RS Eng recommends that stormwater is collected where possible and piped to dispersal structures, overland flow paths or stable watercourses. No stormwater shall be discharged in an uncontrolled manner and/or onto steep slopes.

## **8.8 Accessways**

Identified future driveways to the building sites and long sections have been indicated in Appendix B. Access can be achieved to the identified building sites with gradients less than 18%.

## 9.0 Conclusions

It is the conclusion of RS Eng Ltd that the identified building areas are suitable for residential development, provided the recommendations and limitations herein are adhered to.

We also conclude that in terms of Section 106 of the Resource Management Act 1991 and subject to the recommendations of this report that:

- (a) the land in respect of which a consent is sought, or any structure on the land, is not or is not likely to be subject to material damage by subsidence, slippage or inundation from any source; and
- (b) any subsequent use that is likely to be made of the land is not likely to accelerate, worsen, or result in material damage to the land, other land, or structure by subsidence, slippage or inundation from any source and,
- (c) sufficient provision has been made for legal and physical access to each allotment to be created by the subdivision.

## 10.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to determine the engineering suitability of the proposed residential subdivision, in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed. If during the construction process, conditions are encountered that differ from the inferred conditions on which the report has been based, RS Eng should be contacted immediately.

Prepared by:



Rachel Beasley  
Geologist  
BSc(Geology)

Reviewed by:



Sarah Scott Compton  
Senior Technician  
NZDE(Civil)

Approved by:



Matthew Jacobson  
Director  
NZDE(Civil), BE(Hons)(Civil), CPEng, CMEngNZ

**RS Eng Ltd**



## **Appendix A**

### **Scheme Plan**





LOT 1  
DP 9416

LOT 2  
DP 9416

ALLOT 163

ALLOT 164

1 2 3 4 5 6 7 8 9 10

**PROPOSED CANCELLATION OF  
AMALGAMATION CONDITIONS**

PURSUANT TO SECTION 241 (3) OF THE RMA 1991  
THE FAR NORTH DISTRICT COUNCIL RESOLVES TO CANCEL  
THE AMALGAMATION CONDITION REQUIRING LOT 2 DP  
338502 (RT 158498), LOT 1 DP 49413  
(RT 158498) & ALLOTMENT 61 PSH OF KAIAKA  
(RT 158498) TO BE HELD IN THE SAME RECORD OF TITLE.

THE FAR NORTH DISTRICT COUNCIL RESOLVES TO CANCEL  
THE AMALGAMATION CONDITION REQUIRING LOT 2 DP  
338502 (RT 158498), LOT 1 DP 49413  
(RT 158498) & ALLOTMENT 61 PSH OF KAIAKA  
(RT 158498) TO BE HELD IN THE SAME RECORD OF TITLE.

THAT LOT 5 AND 6 HEREON, AND ALLOTMENTS 163 AND 164 PSH OF KAIAKA (RT 111/129) TO BE HELD IN THE SAME RECORD OF TITLE.

- TOTAL TITLE AREA: 70.5302Ha  
SUBD'N AREA: 46.5438Ha  
COMPRISED IN: RST 158498(Pt) &  
NA1111/129(All)  
THIS SITE IS ZONED ' RURAL PRODUCTION ' AND THE BUILDING SETBACKS  
ARE THUS: 10m FROM ROAD BOUNDARIES, 3m FROM ALL OTHER  
BOUNDARIES.

**reyburn  
&bryant**

Ph: 09 438 3563 PO Box 191, Whangarei 0140  
7 Selwyn Ave, Whangarei [www.reyburnandbryant.co.nz](http://www.reyburnandbryant.co.nz)

CLIENT

TITLE

PROPOSED SUBDIVISION OF  
ALLOT 61 KAIKA PSH &  
ALLOT 163-166 KAIKA PSH

Date Plotted: 12/11/2025	File Path: P:\18000 - 18999\18520 - Stephen Foster (Thompson Road)\Drawings\Scheme Plan\18520 - Stephen Foster (Thompson Rd) - E.dwg	LOCAL AUTHORITY: FAR NORTH DISTRICT COUNCIL	18520	01 OF 01	E
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## **Appendix B**

### **Drawings**





DETAILS		
JOB NO.	19822	
DATE	14/11/2025	
REVISION	B	Amendment to Site Access

SHEET INDEX			
NO.	SHEET NAME	REV	DATE
C01	SITE PLAN	B	14/11/2025
C02	SITE INVESTIGATIONS - LOTS 1-4	B	14/11/2025
C03	SITE INVESTIGATIONS - LOTS 6-10	B	14/11/2025
C04	CROSS SECTION LOCATION PLAN	B	14/11/2025
C05	CROSS SECTION 1	A	8/10/2025
C06	CROSS SECTION 2	A	8/10/2025
C07	CROSS SECTION 3	A	8/10/2025
C08	CROSS SECTION 4	A	8/10/2025

PROPOSED SUBDIVISION  
SITE INVESTIGATIONS  
STEPHEN FOSTER  
THOMPSON ROAD, KAITAIA

RS Eng Ltd  
09 438 3273  
office@RSEng.co.nz  
2 Seaview Road,  
Whangarei 0110

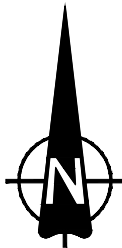






PRELIMINARY

- NOTES:**
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**LEGEND**

- Identified Building Area
- Existing/identified future access

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Vertical Datum: NZVD2016  
Survey Data Source: LiDAR (2018)

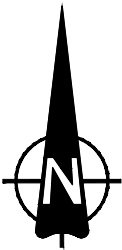
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PLAN 1:5000

 <b>RS Eng Ltd</b> 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission.  If any part of these documents are unclear, please contact RS Eng Ltd.	<b>PROPOSED SUBDIVISION SITE PLANS SITE INVESTIGATIONS</b>	Client					Scale	Rev No.
			STEPHEN FOSTER					1:5000	B
			Location					Original	Sheet No.
			THOMPSON ROAD KAITAIA					A3	C01
							Job No.		
				Date	Rev	Notes	19822		
				Drawn by: LMC		Reviewed by: SSC	Approved by: MJ		



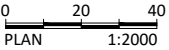


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- LEGEND**
- Hand Auger Location
  - Identified Building Area
  - Existing/identified future access

Contour Interval: 1.0m  
Vertical Datum: NZVD2016  
Survey Data Source: LiDAR (2018)



**PRELIMINARY**

	<b>RS Eng Ltd</b> 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission.  If any part of these documents are unclear, please contact RS Eng Ltd.	<b>PROPOSED SUBDIVISION SITE PLANS SITE INVESTIGATIONS</b>	Client <b>STEPHEN FOSTER</b>										Scale <b>1:2000</b>		Rev No. <b>B</b>	
				Location <b>THOMPSON ROAD KAITAIA</b>										Original <b>A3</b>		Sheet No. <b>C02</b>	
				14/11/2025		B		Amendment to Site Access						Job No. <b>19822</b>			
				Date		Rev		Notes									
				Drawn by: LMC				Reviewed by: SSC				Approved by: MJ					





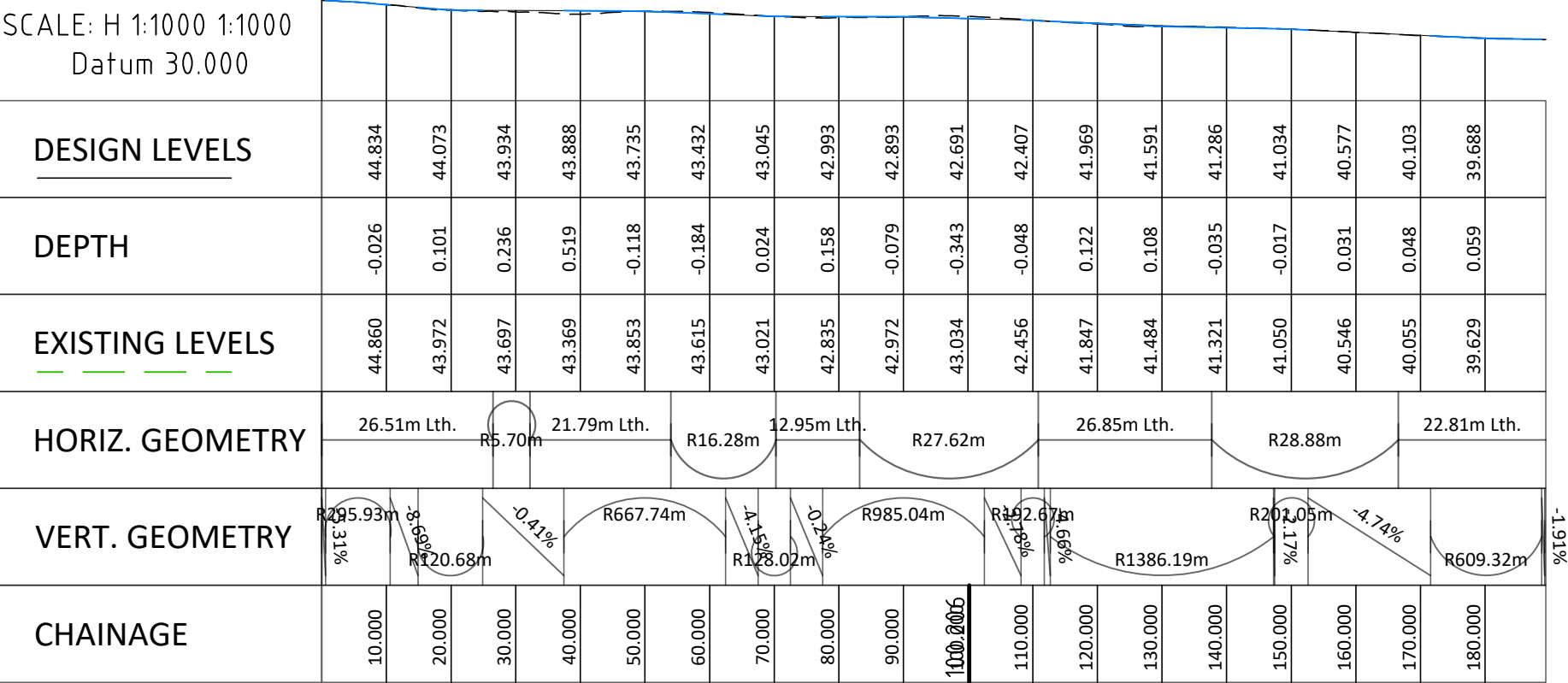






- NOTES:
- If any part of these documents are unclear, please contact RSEng Ltd.
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Datum 30.000

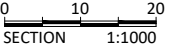



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C04

**SECTION 1 - LOT 164**  
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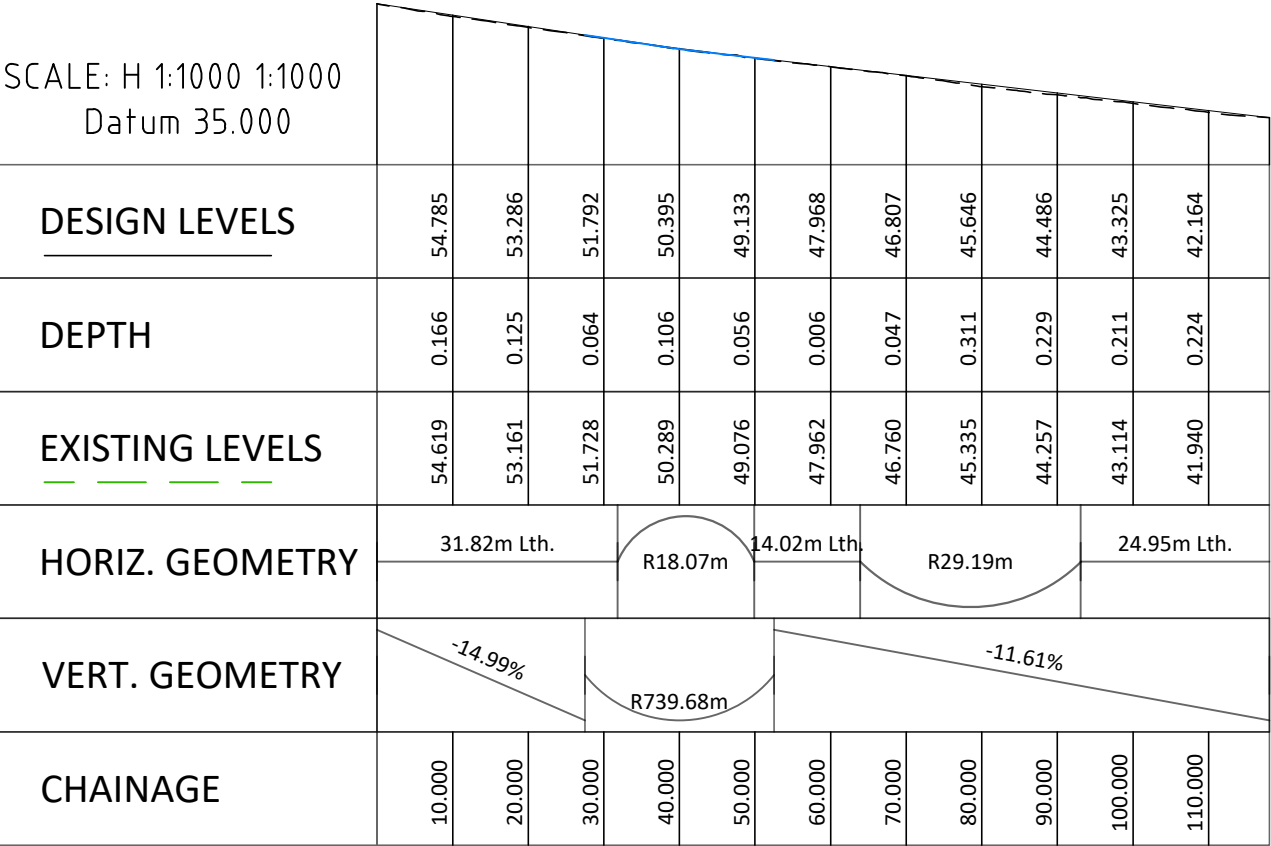
CONCEPT

Contour Interval: 1.0m  
Vertical Datum: NZVD2016  
Survey Data Source: LiDAR (2018)



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				STEPHEN FOSTER					1:1000		A
				Location					Original		Sheet No.
				THOMPSON ROAD KAITAIA		08/10/2025 A Original Issue			A3		
						Date Rev Notes			Job No.		
		Drawn by: LMC		Reviewed by: SSC		Approved by: MJ		19822		C05	

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**SECTION 2 - LOT 7**  
1:1000

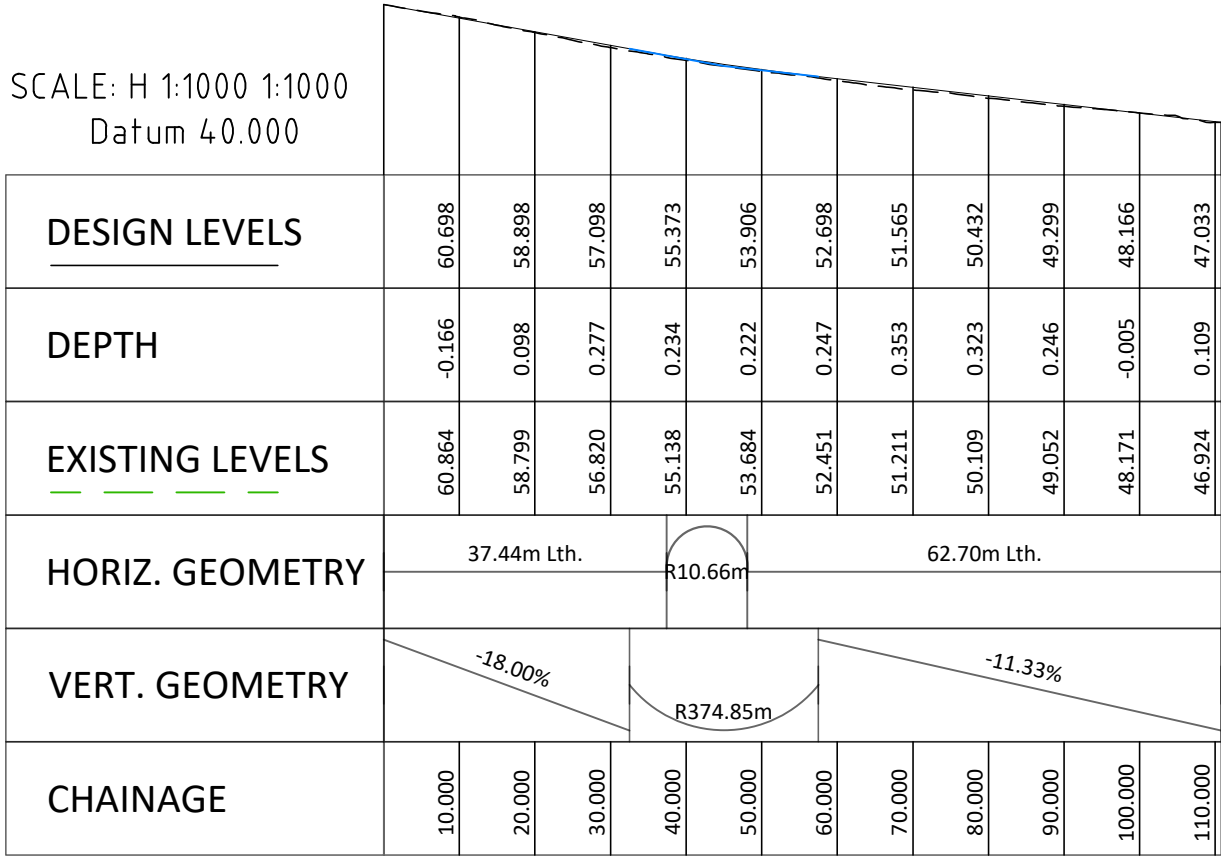
Contour Interval: 1.0m  
Vertical Datum: NZVD2016  
Survey Data Source: LiDAR (2018)

0 10 20  
SECTION 1:1000

CONCEPT

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				STEPHEN FOSTER					1:1000	A
				Location					Original	Sheet No.
				THOMPSON ROAD KAITAIA		08/10/2025	A	Original Issue	A3	C06
						Date	Rev	Notes	Job No.	
		Drawn by: LMC		Reviewed by: SSC		Approved by: MJ		19822		

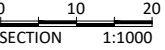
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3  
C04

**SECTION 3 - LOT 8**  
1:1000

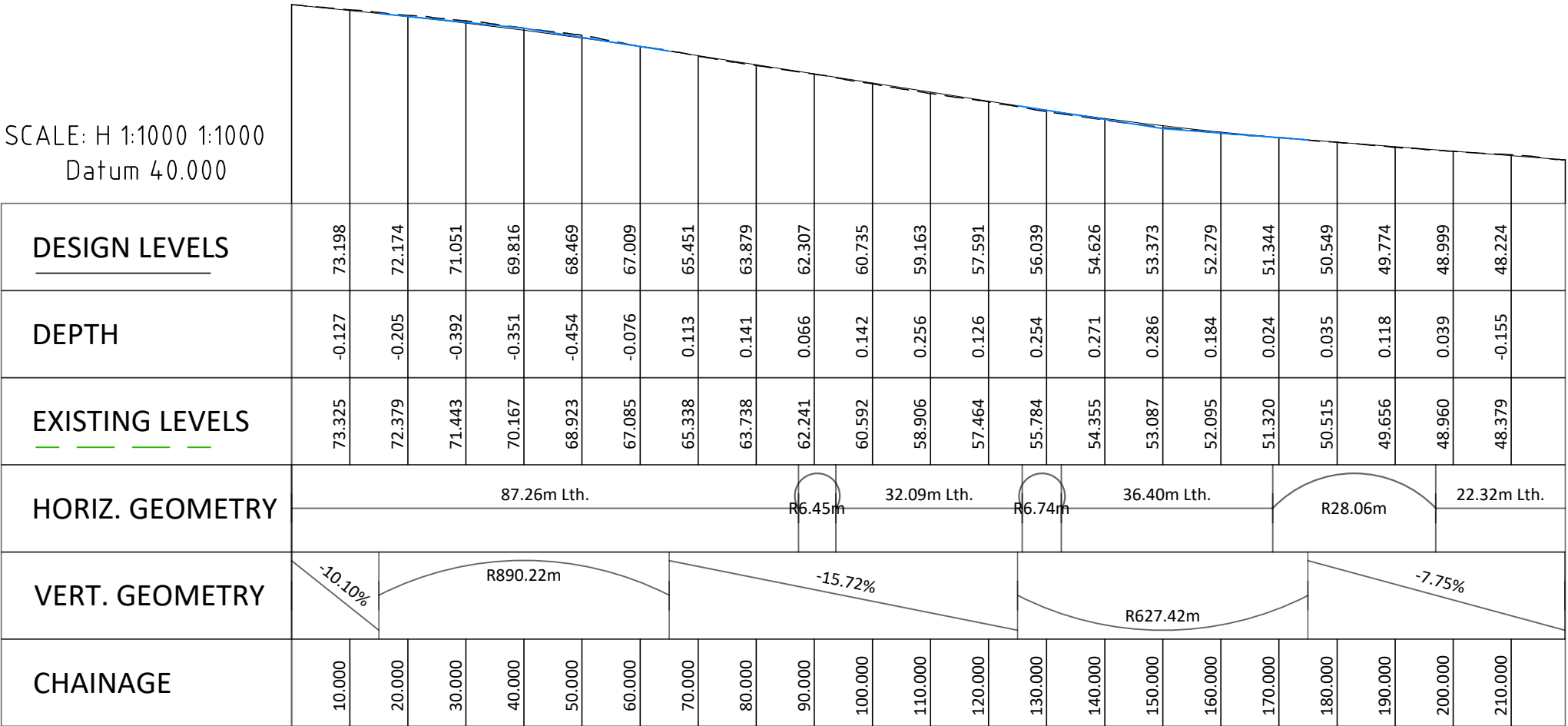
Contour Interval: 1.0m  
Vertical Datum: NZVD2016  
Survey Data Source: LiDAR (2018)



CONCEPT

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				STEPHEN FOSTER				1:1000	A
				Location				Original	Sheet No.
				THOMPSON ROAD KAITAIA	08/10/2025	A	Original Issue	A3	C07
					Date	Rev	Notes	Job No.	
Drawn by: LMC			Reviewed by: SSC		Approved by: MJ		19822		

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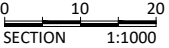



4  
C04

**SECTION 4 - LOT 9**  
1:1000

CONCEPT


Contour Interval: 1.0m  
Vertical Datum: NZVD2016  
Survey Data Source: LiDAR (2018)



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				STEPHEN FOSTER					1:1000	A
				Location					Original	Sheet No.
				THOMPSON ROAD					A3	C08
				KAITAIA						
08/10/2025	A	Original Issue			Job No.					
Date	Rev	Notes			19822					
Drawn by: LMC		Reviewed by: SSC		Approved by: MJ						



## **Appendix C**

### **Subsurface Investigations**

<div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div><div><div>RS</div><div>Eng</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA01</div>	
<div>CLIENT: Stephen Foster</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19822</div>						
<div>SITE LOCATION: Thompson Road, Kaitaia</div> <div>CO-ORDINATES: 1633137mE, 6111775mN</div>					<div>ELEVATION: 36.6m</div>			
<div>START DATE: 04/09/2025</div> <div>END DATE: 04/09/2025</div> <div>LOGGED BY: SS</div>								
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3763		WATER
TS	TOPSOIL		0.2	TS TS TS				
Kariotahi Gr	Clayey SILT; grey orange. Very stiff; moist; low plasticity.		0.4				190	↕
			0.6				47	
			0.8					
			1.0				182	
	Silty CLAY; orange grey brown. Very stiff; moist; low plasticity.		1.2				60	
			1.4					
			1.6				187	
	Clayey SILT, with trace sand; brown . Very stiff; moist; low plasticity; sand, fine.		1.8				66	
			2.0				196	
			2.2				71	
			2.4					
			2.6				174	
			2.8				55	
			3.0					
Silty CLAY; grey blue brown. Stiff; moist; high plasticity.		3.2				127		
		3.4				47		
	Blueish white		3.6				127	
			3.8				38	
			4.0				221+	
	End Of Hole: 4.20m		4.2				-	
			4.4					
			4.6					
			4.8					
			5.0					
			5.2					
			5.4					
PHOTO(S)				REMARKS				
				Lot 1				
				<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↔ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>				






 <div>RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110</div>		<b>HAND AUGER LOG</b>						HOLE NO.: <b>HA03</b>	
CLIENT: Stephen Foster PROJECT: Geotechnical Investigations		JOB NO.: <b>19822</b>							
SITE LOCATION: Thompson Road, Kaitaia CO-ORDINATES: 1633040mE, 6111812mN		ELEVATION: 35.28m							
		START DATE: 04/09/2025 END DATE: 04/09/2025 LOGGED BY: SS							
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3763		WATER	
TS	TOPSOIL.		0.2	TS TS TS					
Kariotiaki Gr	CLAY, with some silt; orange/white. Firm to stiff; moist; high plasticity.		0.4				111		
			0.6				47		
			0.8						
			1.0				47	↗	
	Silty CLAY; brown/orange/grey. Stiff; moist; high plasticity.		1.2				19	↘	
			1.4						
			1.6				79		
			1.8				16		
			2.0				158		
	With minor gravel. Gravel, angular.		2.2				63		
			2.4				146		
		Grey/blue/brown.		2.6			55		
			2.8						
			3.0			166			
			3.2			71			
	Clayey SILT, with trace gravel; brown/grey. Very stiff; moist; low plasticity.		3.4						
	Clayey sandy SILT; brownish. Very stiff; moist; low plasticity.		3.6			158			
			3.8			63			
			4.0			190			
	End Of Hole: 4.00m		4.2			66			
			4.4						
			4.6						
			4.8						
			5.0						
			5.2						
			5.4						
PHOTO(S)		REMARKS							
		Lot 2							
		<b>WATER</b> ▼ Standing Water Level ▷ Out flow ↔ In flow							
		<b>INVESTIGATION TYPE</b> <input checked="" type="checkbox"/> Hand Auger <input type="checkbox"/> Test Pit							



 <b>RS Eng Ltd</b> 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	<h1>HAND AUGER LOG</h1>		<b>HOLE NO.:</b>  <h2>HA04</h2>
	<b>CLIENT:</b> Stephen Foster <b>PROJECT:</b> Geotechnical Investigations	<b>JOB NO.:</b> <h2>19822</h2>	

<b>SITE LOCATION:</b>	Thompson Road, Kaitaia	<b>START DATE:</b> 04/09/2025
<b>CO-ORDINATES:</b>	1633046mE, 6111834mN	<b>ELEVATION:</b> 35.21m
		<b>END DATE:</b> 04/09/2025
		<b>LOGGED BY:</b> SS

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)												VANE SHEAR STRENGTH (kPa) Vane: GEO3603					WATER
					2	4	6	8	10	12	14	16	18	50	100	150	200	Values				
TS	TOPSOIL		0.2	TS TS TS TS																		
Kariolahi Gr	Silty CLAY; orange and grey. Very stiff; moist; high plasticity.		0.3	X X																		
			0.4	X X																		
			0.5	X X																		
			0.6	X X																		
			0.7	X X																		
			0.8	X X																		
			0.9	X X																		
			1.0	X X																		
			1.1	X X																		
			1.2	X X																		
	1.3	X X																				
	1.4	X X																				
	End Of Hole: 1.50m		1.5																			
			1.6																			
			1.8																			
			2.0																			
			2.2																			
			2.4																			
			2.6																			
			2.8																			
			3.0																			
			3.2																			
			3.4																			
			3.6																			
			3.8																			
			4.0																			
			4.2																			
			4.4																			
			4.6																			
			4.8																			
			5.0																			
			5.2																			
			5.4																			

PHOTO(S)	REMARKS
	<p>Lot 2</p>      <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p style="text-align: center;"><b><u>WATER</u></b></p> <ul style="list-style-type: none"> <li>▼ Standing Water Level</li> <li>▷ Out flow</li> <li>◁ In flow</li> </ul> </div> <div style="width: 45%;"> <p style="text-align: center;"><b><u>INVESTIGATION TYPE</u></b></p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Hand Auger</li> <li><input type="checkbox"/> Test Pit</li> </ul> </div> </div>

# HAND AUGER LOG

HOLE NO.:

## HA05

<b>CLIENT:</b>	Stephen Foster
<b>PROJECT:</b>	Geotechnical Investigations

**JOB NO.:**  
**19822**

**SITE LOCATION:** Thompson Road, Kaitaia  
**CO-ORDINATES:** 1632970mE, 6111855mN

**ELEVATION:** 34.64m

**START DATE:** 04/09/2025

**END DATE: 04/09/2025**

**LOGGED BY: SS**

[illegible]




**PHOTO(S)**



REMARKS

Lot 3


## WATER

 Standing Water Level  
 Out flow  
 In flow

## INVESTIGATION TYPE

☒ Hand Auger  
☐ Test Pit

Generated with CORE-GS by Geoc - 1 - Hand Auger - RS Standard scale & vane bars - 9/09/2025 3:43:00 pm

<div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>						<div>HOLE NO.:</div> <div>HA06</div>	
<div>CLIENT: Stephen Foster</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19822</div>							
<div>SITE LOCATION: Thompson Road, Kaitaia</div> <div>CO-ORDINATES: 1632984mE, 6111882mN</div>		<div>ELEVATION: 34.6m</div> <div>START DATE: 04/09/2025</div> <div>END DATE: 04/09/2025</div> <div>LOGGED BY: RB</div>							
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3763		VALUES	WATER
TS	TOPSOIL.		0.2	TS TS TS					
Kariotihi Gr	Clayey SILT; dark orange/brown some grey. Firm to stiff; moist; low plasticity.		0.4	TS TS TS					
	Silty CLAY; grey some orange mottling. Firm to stiff; moist; high plasticity.		0.6	TS TS TS				82	
			0.8	TS TS TS				47	
			1.0	TS TS TS				66	↕
			1.2	TS TS TS				32	
			1.4	TS TS TS					
			1.6	TS TS TS				59	
			1.8	TS TS TS				32	
			2.0	TS TS TS					
			2.2	TS TS TS					
		2.4	TS TS TS						
		2.6	TS TS TS						
		2.8	TS TS TS						
		3.0	TS TS TS						
		3.2	TS TS TS						
		3.4	TS TS TS						
		3.6	TS TS TS						
		3.8	TS TS TS						
		4.0	TS TS TS						
		4.2	TS TS TS						
		4.4	TS TS TS						
		4.6	TS TS TS						
		4.8	TS TS TS						
		5.0	TS TS TS						
		5.2	TS TS TS						
		5.4	TS TS TS						
PHOTO(S)			REMARKS						
			Lot 3						
			<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↕ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>						

HOLE NO.:  
HA07

CLIENT:	Stephen Foster
PROJECT:	Geotechnical Investigations

**JOB NO.:**  
**19822**

**SITE LOCATION:** Thompson Road, Kaitaia  
**CO-ORDINATES:** 1633262mE, 6112155mN

**ELEVATION:** 45.3m




START DATE: 05/09/2025  
END DATE: 05/09/2025  
LOGGED BY: SS

Groundwater Not Encountered

## REMARKS



## WATER

-  Standing Water Level  
 Out flow  
 In flow

## INVESTIGATION TYPE

- ☒ Hand Auger  
☐ Test Pit







HOLE NO.:  
**HA08b**

<b>CLIENT:</b>	Stephen Foster
<b>PROJECT:</b>	Geotechnical Investigations

**JOB NO.:**  
**19822**

**SITE LOCATION:** Thompson Road, Kaitaia  
**CO-ORDINATES:** 1633244mE, 6112131mN

**ELEVATION:** 42.93m




START DATE: 05/09/2025  
END DATE: 05/09/2025  
LOGGED BY: SS

Generated with CORE-GS by Geroc - 1 - Hand Auger - RS Standard scala & vane bars - 9/09/2025 3:43:07 pm

## REMARKS





## WATER

 Standing Water Level  
 Out flow  
 In flow

## INVESTIGATION TYPE

☐ Hand Auger  
☐ Test Pit



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CLIENT: Stephen Foster PROJECT: Geotechnical Investigations							JOB NO.: <b>19822</b>	
SITE LOCATION: Thompson Road, Kaitaia CO-ORDINATES: 1633535mE, 6112004mN		ELEVATION: 64.62m					START DATE: 05/09/2025 END DATE: 05/09/2025 LOGGED BY: RB	
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3763		WATER
TS	TOPSOIL.		0.2	TS TS				
FILL	Clayey SILT; dark brown. Very stiff; moist; low plasticity.		0.4				182	
			0.6				57	
	With minor sand; greyish dark brown. Sand, fine.		0.8					
			1.0				221+	
			1.2				-	
	Completely weathered; SANDSTONE. - - Clayey SAND; orange/grey. Stiff; moist; low plasticity; sand, fine to medium.		1.4				87	
			1.6				30	
			1.8					
			2.0				98	
			2.2				47	
	Completely weathered; SILTSTONE; extremely weak. - - Clayey SILT, with trace sand; orange. Firm to stiff; moist to wet; high plasticity.		2.4				66	
			2.6				27	
			2.8					
			3.0				81	
			3.2				32	
			3.4					
			3.6				60	
			3.8				32	
	With minor sand. Sand, coarse, dark grey/brown. Wet.		4.0				87	
			4.2				47	
			4.4					
	Clayey sandy SILT; dark orange. Firm to stiff; moist to wet; low plasticity; sand, fine to coarse.		4.6				111	
			4.8				87	
			5.0				82	
	End Of Hole: 5.00m		5.2				24	
			5.4					
PHOTO(S)				REMARKS				
				Lot 7				
				<b>WATER</b> ▼ Standing Water Level ▷ Out flow ◁ In flow				
				<b>INVESTIGATION TYPE</b> <input checked="" type="checkbox"/> Hand Auger <input type="checkbox"/> Test Pit				



05/09/2025







 <div>RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110</div>		<b>HAND AUGER LOG</b>						HOLE NO.: <b>HA12</b>	
CLIENT: Stephen Foster PROJECT: Geotechnical Investigations		JOB NO.: <b>19822</b>							
SITE LOCATION: Thompson Road, Kaitaia CO-ORDINATES: 1633479mE, 6111995mN		START DATE: 05/09/2025 ELEVATION: 56.38m END DATE: 05/09/2025 LOGGED BY: RB							
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3763		WATER	
TS	TOPSOIL.		0.2	TS TS					
N/d Allochthon	Clayey SILT; dark brown and orange mottling. Very stiff; moist; low plasticity.		0.4				177	Groundwater Not Encountered	
			0.6				79		
			0.8						
			1.0				158		
	Completely weathered; SILTSTONE. With minor sand; greyish some orange mottling. Sand, fine to coarse.		1.2				47		
	Moist to wet.		1.4				142		
			1.6				16		
	Sandy SILT, with minor clay; thin beds of sand; orange. Stiff; moist; non-plastic; in amongst Clayey SILT.		1.8				150		
			2.0				63		
			2.2						
		2.4					111		
		2.6					32		
		2.8							
		3.0					146		
	End Of Hole: 3.00m		3.2				35		
			3.4						
			3.6						
			3.8						
			4.0						
			4.2						
			4.4						
			4.6						
			4.8						
			5.0						
			5.2						
			5.4						
PHOTO(S)			REMARKS						
			Lot 7						
			WATER						
			<input checked="" type="checkbox"/> Standing Water Level						
			<input type="checkbox"/> Out flow						
			<input type="checkbox"/> In flow						
			INVESTIGATION TYPE						
			<input checked="" type="checkbox"/> Hand Auger						
			<input type="checkbox"/> Test Pit						

 <div>RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110</div>		<b>HAND AUGER LOG</b>						HOLE NO.: <b>HA13</b>	
CLIENT: Stephen Foster PROJECT: Geotechnical Investigations		JOB NO.: <b>19822</b>							
SITE LOCATION: Thompson Road, Kaitaia CO-ORDINATES: 1633642mE, 6111850mN		ELEVATION: 67.18m							
		START DATE: 05/09/2025 END DATE: 05/09/2025 LOGGED BY: SS							
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3763		WATER	
TS	TOPSOIL.		0.2	TS TS					
Nid Alloththon	Clayey SILT; brown/orange/grey. Very stiff; moist; low plasticity.		0.4						
			0.6						
			0.8						
			1.0						
			1.2						
	Silty CLAY; orange/grey. Very stiff; moist; low plasticity.		1.4						
	Completely weathered; SANDSTONE.		1.6						
	Clayey SILT, with minor sand, with trace gravel; light grey/orange. Stiff to firm; moist; low plasticity; sand, fine; gravel, medium. With some gravel.		1.8						
	Moist to wet; gravel, angular, Sandstone, red/orange.		2.0						
			2.2						
			2.4						
			2.6						
			2.8						
			3.0						
		3.2							
		3.4							
		3.6							
		3.8							
		4.0							
	End Of Hole: 4.20m		4.2						
			4.4						
			4.6						
			4.8						
			5.0						
			5.2						
			5.4						
PHOTO(S)				REMARKS					
				Lot 8					
				WATER					
				INVESTIGATION TYPE					
				<input checked="" type="checkbox"/> Hand Auger					
				<input type="checkbox"/> Test Pit					



HOLE NO.:  
**HA14**

**JOB NO.:**  
**19822**

**START DATE:** 05/09/2025  
**END DATE:** 05/09/2025  
**LOGGED BY:** SS

[illegible]



## REMARKS



## INVESTIGATION TYPE

- ☒ Hand Auger  
☐ Test Pit



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<div>CLIENT: Stephen Foster</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19822</div>						
<div>SITE LOCATION: Thompson Road, Kaitaia</div> <div>CO-ORDINATES: 1633770mE, 6111920mN</div>		<div>ELEVATION: 75.41m</div> <div>START DATE: 05/09/2025</div> <div>END DATE: 05/09/2025</div> <div>LOGGED BY: SS</div>						
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
TS	TOPSOIL				2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
	Clayey SILT; dark brown and orange. Very stiff to stiff; moist; low plasticity.		0.2	TS TS				
	Dark greyish brown and orange mottling		0.4					
			0.6				160	
			0.8				64	
			1.0				168	
			1.2				69	
	Completely weathered; SILTSTONE; extremely weak.		1.4					
	Clayey SILT, with minor sand; orange white brown. Firm; moist; low plasticity; sand, fine.		1.6				145	
			1.8				76	
			2.0					
			2.2				91	
			2.4				34	
			2.6					
			2.8				70	
			3.0				30	
			3.2					
			3.4				73	
			3.6				43	
			3.8					
	Saturated		4.0				79	
	End Of Hole: 4.00m		4.2				14	
			4.4					
			4.6				213+	
			4.8				-	
			5.0					
			5.2					
			5.4					
PHOTO(S)				REMARKS				
				Lot 9				
				<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↵ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>				



HOLE NO.:  
**HA16**

CLIENT:	Stephen Foster
PROJECT:	Geotechnical Investigations

JOB NO.:  
19822

**SITE LOCATION:** Thompson Road, Kaitaia  
**CO-ORDINATES:** 1633771mE. 6111914mN

**ELEVATION:** 74.16m




START DATE: 05/09/2025  
END DATE: 05/09/2025  
LOGGED BY: RB

Groundwater Not Encountered

## REMARKS





## WATER


-  Standing Water Level  
 Out flow  
 In flow

## INVESTIGATION TYPE

- ☒ Hand Auger  
☐ Test Pit

<div><div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA17</div>	
<div>CLIENT: Stephen Foster</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19822</div>						
<div>SITE LOCATION: Thompson Road, Kaitaia</div> <div>CO-ORDINATES: 1633834mE, 6111661mN</div>					<div>ELEVATION: 45.41m</div>			
<div>START DATE: 05/09/2025</div> <div>END DATE: 05/09/2025</div> <div>LOGGED BY: RB</div>								
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
					2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
TS	TOPSOIL		0.2	TS				
Nid Allochthon	Clayey SILT; brownish grey some orange. Very stiff; moist; low plasticity.		0.2					
			0.4					
			0.6					
	orange grey brown mottling		0.8					
			1.0					
	Clayey SILT, with minor sand; grey orange brown. Stiff; moist; high plasticity; sand, fine.		1.4					
		1.6						
		1.8						
	Brown speckles		2.0					
			2.2					
			2.4					
			2.6					
	SILT, with some sand, with minor clay, with trace gravel; dark brown and green. Very dense; moist; non-plastic.		2.8					
			3.0					
	End Of Hole: 3.20m		3.2					
			3.4					
			3.6					
			3.8					
			4.0					
			4.2					
			4.4					
			4.6					
			4.8					
			5.0					
			5.2					
			5.4					
PHOTO(S)				REMARKS				
				Lot 10				
				WATER				
				<div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↰ In flow</div></div>				
				INVESTIGATION TYPE				
				<div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div>				

Generated with CORE-GS by Geoc - 1 - Hand Auger - RS Standard scale & vane bars - 9/09/2025 3:43:34 pm

<div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>						<div>HOLE NO.:</div> <div>HA18</div>											
<div>CLIENT: Stephen Foster</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19822</div>																	
<div>SITE LOCATION: Thompson Road, Kaitaia</div> <div>CO-ORDINATES: 1633825mE, 6111658mN</div>		<div>ELEVATION: 44.24m</div> <div>START DATE: 05/09/2025</div> <div>END DATE: 05/09/2025</div> <div>LOGGED BY: RB</div>																	
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)				VANE SHEAR STRENGTH (kPa) Vane: GEO3763		WATER								
					2	4	6	8	10	12	14	16	18	50	100	150	200	Values	
TS	TOPSOIL.			TS															
Nld Allocthon	Clayey SILT; dark brown/orange mottling some grey. Very stiff; moist; low plasticity.		0.2															199	Groundwater Not Encountered
			0.4															111	
	Greyish some orange mottling.		0.6																
			0.8																
			1.0															161	
	End Of Hole: 1.20m		1.2															95	
			1.4																
			1.6																
			1.8																
			2.0																
			2.2																
			2.4																
			2.6																
			2.8																
			3.0																
			3.2																
			3.4																
			3.6																
			3.8																
			4.0																
			4.2																
			4.4																
			4.6																
			4.8																
			5.0																
			5.2																
			5.4																
PHOTO(S)			REMARKS																
			Lot 10																
			<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↰ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>																