

# Application for change or cancellation of resource consent condition (S.127)

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☒ Yes ☐ No

If yes, who have you spoken with? Liz Searle

## 2. Type of Consent being applied for

☒ Change of conditions (s.127)

## 3. Consultation:

Have you consulted with iwi/Hapū? ☒ Yes ☐ No

If yes, which groups have you consulted with?

Ngati Rehia

Who else have you consulted with?

Kipa Monroe

*For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)*

## 4. Applicant Details:

Name/s:

Philip and Chunmei Gao Hooper

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Office Use Only  
Application Number:

## 5. Address for Correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Northland Planning and Development (2020) Limited c/o Rochelle Jacobs

**Email:**

**Phone number:**

Home

**Postal address:**

(or alternative method of service under section 352 of the act)

Postcode

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

## 6. Details of Property Owner/s and Occupier/s

*Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

Philip and Chunmei Gao Hooper

**Property Address/  
Location:**

Postcode 0230

## 7. Application Site Details

*Location and/or property street address of the proposed activity:*

**Name/s:**

Timely Addition Limited

**Site Address/  
Location:**

Postcode

**Legal Description:**

Plot Number:

**Certificate of title:**

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

**Site visit requirements:**

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No



## 7. Application Site Details (continued)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details.

*This is important to avoid a wasted trip and having to re-arrange a second visit.*

## 8. Detailed description of the proposal:

This application relates to the following resource consent:

Specific conditions to which this application relates:

Describe the proposed changes:

## 9. Would you like to request Public Notification?

☐ Yes ☐ No

## 10. Other Consent required/being applied for under different legislation

*(more than one circle can be ticked):*

☐ Building Consent 

Enter BC ref # here (if known)

☐ Regional Council Consent (ref # if known) 

Ref # here (if known)

☐ National Environmental Standard consent 

Consent here (if known)

☐ Other (please specify) 

Specify 'other' here

## 11. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties (including consultation from iwi/hapū).

Your AEE is attached to this application ☐ Yes

## 12. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☒ Yes ☐ No

## 13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full) Timely Addition Limited

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information:

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees:

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Chunmei Gao

**Signature:** (signature of bill payer)

MANDATORY

## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive

information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Rochelle Jacobs

Signature:

### Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☒ Details of your consultation with Iwi and hapū
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☒ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to chapter 4 (Standard Provisions) of the Operative District Plan for details of the information that must be provided with an application. This contains more helpful hints as to what information needs to be shown on plans.

**Variation of Consent Conditions for RC 2230305-RMALUC****Philip and Chunmei Hooper****24 James Kemp Place, Kerikeri**

Date 7 August 2025

Attention: Liz Searle, Team Leader – Resource Consents

Please find attached:

- An application for a Variation to approved Landuse Consent RC2230305 to change the design of the shed previously approved in the ***Rural Living Zone***.
- An assessment of Environmental Effects in support of the change to conditions.

The proposed variation application has been assessed as a **Discretionary Activity** under section 127 of the Resource Management Act.

If you require further information, please do not hesitate to contact me.

Regards,



Rochelle Jacobs

Director/Senior Planner

**NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED**

## Table of Contents

<b>1.0</b>	<b>DESCRIPTION OF THE PROPOSED ACTIVITY .....</b>	<b>3</b>
<b>2.0</b>	<b>SITE DESCRIPTION .....</b>	<b>6</b>
	TITLE.....	7
<b>3.0</b>	<b>REASONS FOR CONSENT.....</b>	<b>7</b>
	FAR NORTH OPERATIVE DISTRICT PLAN .....	7
	PROPOSED DISTRICT PLAN.....	7
<b>4.0</b>	<b>STATUTORY ASSESSMENT .....</b>	<b>7</b>
	SECTION 127 OF THE RMA .....	7
	SECTION 104B OF THE ACT.....	8
	SECTION 104(1)(A) OF THE ACT.....	8
<b>5.0</b>	<b>VARIATION TO CONSENT CONDITIONS .....</b>	<b>9</b>
<b>6.0</b>	<b>ASSESSMENT OF ENVIRONMENTAL EFFECTS .....</b>	<b>12</b>
<b>7.0</b>	<b>POLICY DOCUMENTS.....</b>	<b>13</b>
<b>8.0</b>	<b>CONSIDERATION OF POTENTIALLY AFFECTED PARTIES .....</b>	<b>14</b>
<b>9.0</b>	<b>PART 2 ASSESSMENT.....</b>	<b>17</b>
<b>10.0</b>	<b>CONCLUSION .....</b>	<b>17</b>
<b>11.0</b>	<b>LIMITATIONS .....</b>	<b>17</b>

## Attachments

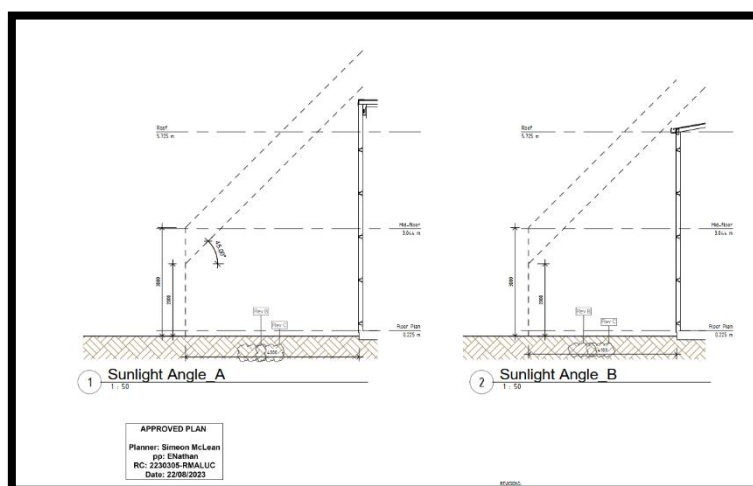
1. FNDC Application Signed
2. Certificate of Title– LINZ
3. RC 2230305 Approved Decision – FNDC
4. RC 2230305 Approved Plans – FNDC
5. Updated Plans – Shed Ex
6. Landscape Memorandum – Simon Cocker Landscape Architecture
7. Stormwater Report – PK Engineers
8. Correspondence – DoC
9. Correspondence – HNZPT
10. Correspondence – Ngati Rehia



## Assessment of Environment Effects Report

### 1.0 Description of the Proposed Activity

- 1.1 The proposal is seeking to vary the design of the shed approved under RC2230305.
- 1.2 Consent was originally obtained by Shed Boss Northland Limited on behalf of Phillip and Mei Hooper to construct a shed on site. Consent was required for infringements to 8.7.5.1.5 Stormwater Management, 8.7.5.1.13 Building Coverage and 12.5A.6.3.3 Alterations and/or new buildings within the Kerikeri Basin Heritage Precinct Visual Buffer. Consent was approved on the 21<sup>st</sup> August 2023 with a s133a minor amendment decision issued on the 31<sup>st</sup> August 2023. Works began in 2024 to give effect to the approved consent.
- 1.3 As part of the works an existing shed on site was demolished and a new concrete floor was poured. Due to ground conditions the shed foundations were built up 750mm above ground level. This was not accounted for within the consented design. The location of the foundations also changed slightly with the boundary setback on the southern boundary changing from 4.8m to 4.59m and the setback on the western boundary changing from 4.1m to 3.97m. While both the new height of the structure and setback remained a permitted activity, it was noted once the framing of the building was completed that there was a new sunlight infringement created on both the Southern and Western boundaries.
- 1.4 In order to combat the new infringement, a redesign of the structure has been completed. This removes the mezzanine floor reducing the structure down to a single level. To reduce works needed on site, it is proposed that the concrete floor will be retained. The roof height has been reduced while at the same time allowing sufficient height for vehicles to manoeuvre into the shed and roller doors to be installed. The redesign ensures that the sunlight infringement along the neighbouring boundary is now rectified.



*Figure 1: Previously approved sunlight angles in relation to the neighbouring property.*





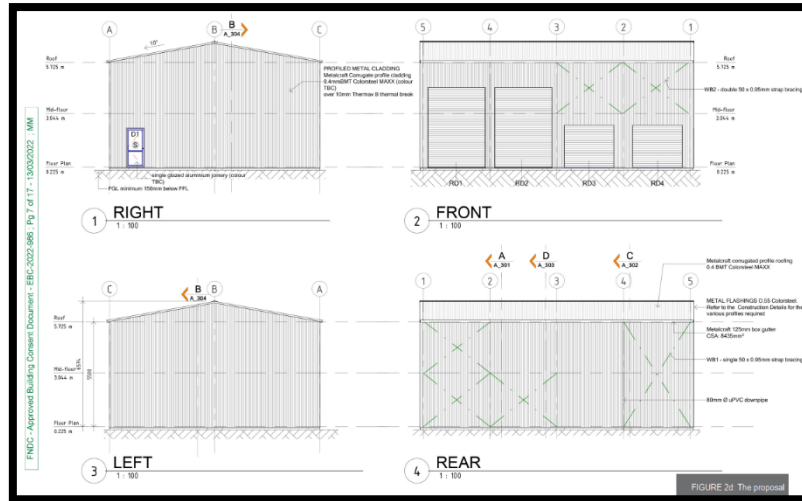


Figure 2: Previously approved elevations and height of structure.

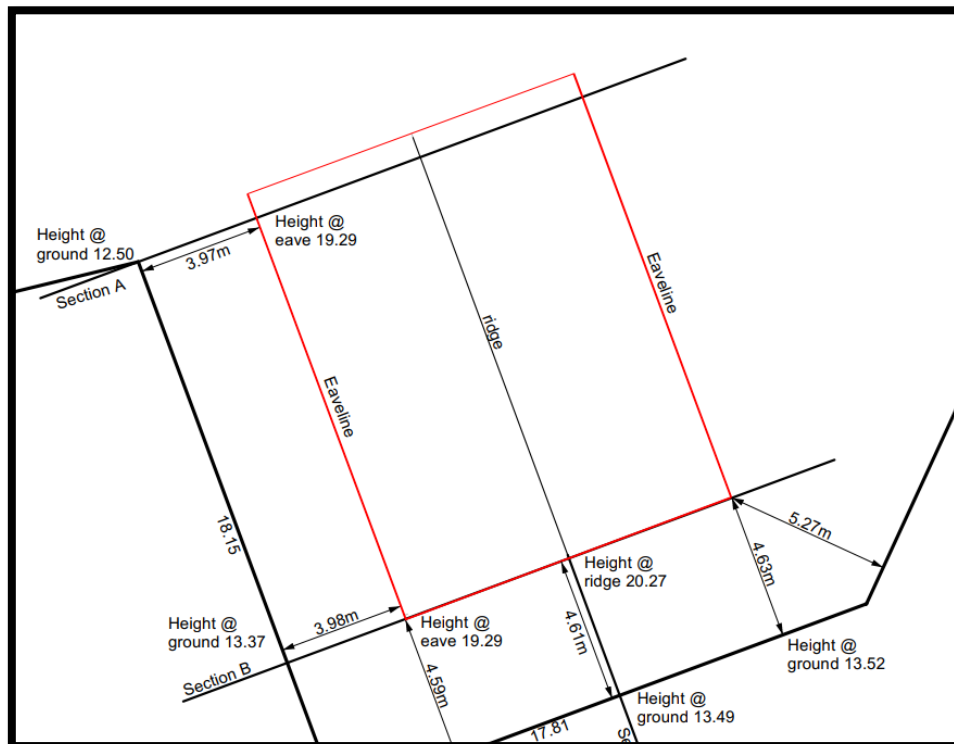
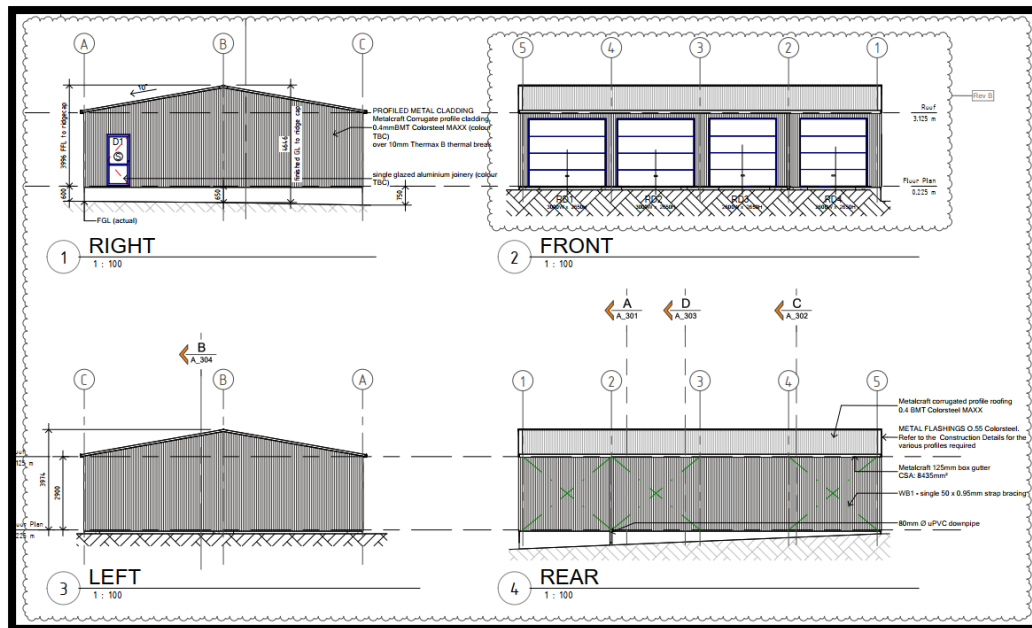


Figure 3 – Survey of shed pad

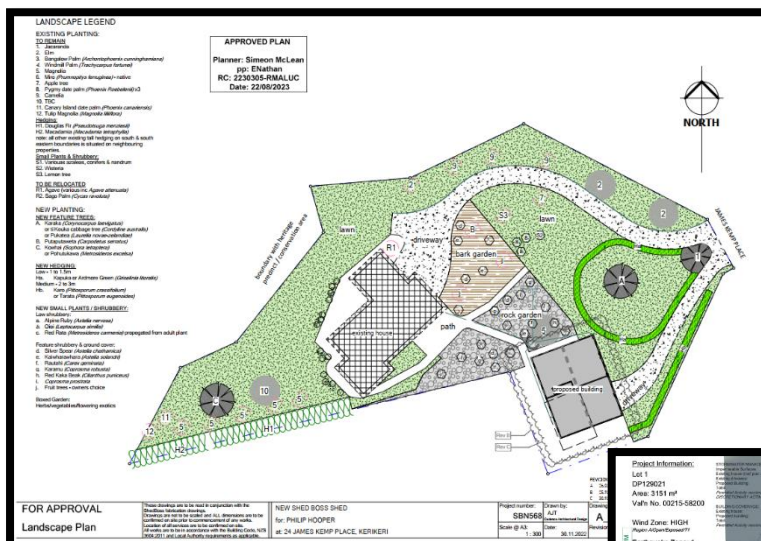




**Figure 4: Proposed redesigned single story shed**

1.5 As the site is located within the Kerikeri Basin Precinct Visual Buffer the initial application involved correspondence with both Heritage New Zealand Pouhere Taonga and the Department of Conservation. As part of the redesign, both parties were again consulted on the revised proposal. Through a number of discussions some changes to the approved landscaping plan were sought. These are shown in the updated Landscape Assessment prepared by Simon Cocker. Consultation with these parties also highlighted that the location

of the stormwater tank needed changing. This has also been shown in an updated stormwater report.



**Figure 5 – Approved Landscape Plan**



**Figure 6 - Updated Landscape Mitigation plan**





## 2.0 Site Description

- 2.1 The subject site has an area of 3152m<sup>2</sup> and is zoned Rural Living in the Operative Far North District Plan. The site is irregular in shape, and contains a dwelling and associated driveway. At time of the most recent site visit in February 2025 the shed approved under RC 2230305 was partially constructed. It is understood that this situation remains the case, while this matter is resolved.
- 2.2 The upper section of the site is generally level to the streetscape which is the location of the amended shed proposal. From here the site slopes downwards towards the west, which is where the existing dwelling is located. It continues to slope down towards the esplanade reserve managed by the Far North District Council and the Kerikeri River.
- 2.3 The surrounding environment consists of similar sized allotments, most of which have been developed with residential dwellings and accessory sheds.



*Figure 7 - Approved shed at framing stage taken from property entrance*



*Figure 8 – Shed foundations built up 750mm*



*Figure 9 - View of approved shed from the Wishing Well between the Stone Store and the Plough ad Feather*



*Figure 10 - View of approved shed from neighbouring pontoon and jetty*

## Title

- 2.4 The subject site is held within Record of Title NA75A/896 and is dated 11 October 1989. The site is legally described as Lot 1 DP 129021 and has an area of 3152m<sup>2</sup>.
- 2.5 There are no consent notices or land covenants registered on the title.

## 3.0 Reasons for Consent

### Far North Operative District Plan

- 3.1 The subject site is located within the Rural Living Zone and is located within the Kerikeri Basin Visual Buffer. The original proposal required consent for infringements related to Stormwater Management, Building Coverage and Buildings within the Kerikeri Basin Precinct Visual Buffer.
- 3.2 At time of construction of the original proposal the foundations were built up 750mm above ground level and the location of the building pad differed slightly. This created an additional sunlight infringement along two boundaries with 29 James Kemp Place. The varied proposal has reduced the height of the approved structure to ensure the sunlight provision is now compliant along these boundaries.
- 3.3 Site and building coverage remain as per the approval, such that those consented infringements remain. While the shed will be slightly closer to the boundaries in comparison to the original approval the setbacks remain permitted for the zone. There are no additional reasons for consent.

### Proposed District Plan

- 3.4 The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned Rural Residential, it is located within the Kerikeri Heritage Area – Part B overlay, and part of the site is mapped as being in the coastal environment. Assessment of the matters relating to the Proposed District Plan that have immediate legal effect, were undertaken as part of the original AEE. At the time of writing this application we are unaware of any other rules which do have immediate legal effect. As such, the proposal continues to be Permitted in terms of the PDP.

## 4.0 Statutory Assessment

### Section 127 of the RMA

- 4.1 The following section of the Resource Management Act (RMA) is relevant to the proposed change to consent conditions.

***127 Change or cancellation of consent condition on application by consent holder***

*(1) The holder of a resource consent may apply to a consent authority for a change or cancellation of a condition of the consent, subject to the following:*

*(a) the holder of a subdivision consent must apply under this section for a change or cancellation of the consent before the deposit of the survey plan (and must apply under*



*section 221 for a variation or cancellation of a consent notice after the deposit of the survey plan); and*

*(b) no holder of any consent may apply for a change or cancellation of a condition on the duration of the consent.*

(2) [Repealed]

(3) Sections 88 to 121 apply, with all necessary modifications, as if—

*(a) the application were an application for a resource consent for a discretionary activity; and*

*(b) the references to a resource consent and to the activity were references only to the change or cancellation of a condition and the effects of the change or cancellation respectively.*

*(3A) If the resource consent is a coastal permit authorising aquaculture activities to be undertaken in the coastal marine area, no aquaculture decision is required in respect of the application if the application is for a change or cancellation of a condition of the consent and does not relate to a condition that has been specified under section 186H(3) of the Fisheries Act 1996 as a condition that may not be changed or cancelled until the chief executive of the Ministry of Fisheries makes a further aquaculture decision.*

*(4) For the purposes of determining who is adversely affected by the change or cancellation, the consent authority must consider, in particular, every person who—*

*(a) made a submission on the original application; and*

*(b) may be affected by the change or cancellation.*

4.2 Consent is sought to change **the following conditions** of RC2230305-RMALUC.

- Condition 1 – Update plan references to include the new shed design and location.
- Condition 3 – Update to reference the new landscaping plan.
- Condition 4 – Update to reference the new landscaping plan.
- Condition 5 – Update to reference the approved colour scheme detailed in the Simon Cocker Report.
- Condition 6 – Delete condition as this is no longer required with the updated design.
- Condition 7 – Update to reference changes to the engineering report.
- New condition – Imposes a timeframe in which to remove the parts of the building which result in the sunlight infringement.

4.3 The amendment to the consent conditions is therefore a **Discretionary Activity** as per Section 127 of the RMA.

### **Section 104B of the Act**

4.4 Section 104B governs the determination of applications for Discretionary and Non-Complying Activities. With respect to both Discretionary and Non-Complying Activities, a consent authority may grant or refuse an application, and impose conditions under section 108.

### **Section 104(1)(a) of the Act**

4.5 Section 104(1) of the Act states that when considering an application for resource consent –

*“the consent authority must, subject to Part II, have regard to –*



- (a) Any actual and potential effects on the environment for allowing the activity; and  
(ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and
- (b) Any relevant provisions of –
- (i) A national environmental standard
  - (ii) Other regulations
  - (iii) A national policy statement
  - (iv) A New Zealand Coastal Policy Statement
  - (v) A regional policy statement or proposed regional policy statement
  - (vi) A plan or proposed plan; and
- (c) Any other matter the consent authority considers relevant and reasonable necessary to determine the application.'

- 4.6 Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (as described in section 3 of the act). As assessed in Section 6 below, the proposal will have actual and potential effects that are acceptable.
- 4.7 Section 104(1)(ab) requires that the consent authority consider 'any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. While it is considered the revised proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures, the revised planting will result in enhanced positive effects on the environment.
- 4.8 Section 104(1)(b) requires the consent authority to consider the relevant provisions of the above listed documents. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that the activity may have on the environment has been provided in Section 5 below.
- 4.9 Section 104(1)(c) states that consideration must be given to 'any other matters that the consent authority considers relevant and reasonable, necessary to determine the application'. There are no other matters relevant to this application.

## 5.0 Variation to consent conditions

- 5.1 The variation to consent conditions are shown below, with the amendments shown in red.

- 5.1.1. Condition 1 states the following:

*The activity shall be carried out in general accordance with the approved plans attached to this consent with the Council's "Approved Stamp" affixed to as prepared by:*

*i. Shed Boss, referenced SBN568:*

*a) Site Plan, dated 25 January 2023*



b) *Sunlight Angles, dated 30 November 2022*

c) *Landscape Plan, dated 30 November 2022*

ii. PK Engineering, referenced 22-056:

a) *Proposed New Shed Site Plan Stormwater, drawing no. A3/SW1, revision 1, dated November 2022*

b) *Proposed New Shed Attenuation Tank Detail, drawing no. A3/SW2, revision 1, dated January 2023*

c) *Proposed New Shed Typical Dispersal System, drawing no. A3/SW3, revision 0, dated July 2022*

5.1.2. The following changes are sought.

*The activity shall be carried out in general accordance with the approved plans attached to this consent with the Council's "Approved Stamp" affixed to as prepared by:*

i. Shed ~~ExBoss~~, referenced SBN568:

a) Site Plan, Revision F dated ~~25 January 2023~~ 28.7.25

b) Sunlight Angles, Revision D, dated ~~30 November 2022~~ 28.7.25

c) ~~Landscape Plan, dated 30 November 2022~~ Proposed Plan, Revision B, dated 21.5.25

d) Proposed Elevations, Revision B, dated 21.5.25

ii. PK Engineering, referenced 22-056:

a) *Proposed New Shed Site Plan Stormwater, drawing no. A3/SW1, revision 1, dated ~~November 2022~~ 4/08/2025.*

b) *Proposed New Shed Attenuation Tank Detail, drawing no. A3/SW2, revision 1, dated ~~January 2023~~ 4/08/2025.*

c) *Proposed New Shed Typical Dispersal System, drawing no. A3/SW3, revision ~~0~~ 1, dated ~~July 2022~~ 4/08/2025.*

5.1.3. Condition 3 states the following:

*The consent holder shall undertake the landscaping around the shed in general accordance with the landscape plan prepared by Shed Boss, referenced SBN568, titled For Approval Landscape Plan, revision C, dated: 30 November 2022. This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September). The consent holder shall ensure that the landscape plantings approved with this consent (RC 2230305) shall be maintained in perpetuity.*

5.1.4. The following changes are sought:

*The consent holder shall undertake the landscaping around the shed in general accordance with the Figure 2d: Mitigation proposal which forms part of the Simon cocker Landscape Architecture Memorandum dated 1<sup>st</sup> July 2025. ~~landscape plan prepared by Shed Boss,~~*





~~referenced SBN568, titled For Approval Landscape Plan, revision C, dated: 30 November 2022.~~  
This shall be implemented, ~~following the construction of the shed,~~ within 12 months of the date of this decision and within the first planting season (1 May to 30 September). The consent holder shall ensure that the landscape plantings approved with this consent (RC 2230305 VARA) shall be maintained ~~in perpetuity for the life of the shed.~~ In the event this vegetation dies of natural causes it shall be replanted with a same or similar specimen that would achieve the same level of screening detailed within the above-mentioned memorandum at maturity.

5.1.5. Condition 4 states the following:

*The consent holder shall plant one new pb95 grade specimen tree to the north of the shed, in the location marked on the 'Site Plan' by Shed Boss, referenced SBN568 in accordance with the 'Landscape Assessment' report prepared by Simon Cocker Landscape Architecture, dated 11 July 2023. The new tree shall be of an evergreen species capable of reaching a height of 8m. This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September) and maintained in perpetuity.*

5.1.6. The following changes are sought:

*The consent holder shall plant two 2,000l (5m+) Alectryon excelsus ~~one new pb95 grade specimen tree~~ to the north of the shed, in the location marked on Figure 2d: Mitigation proposal, within the Memorandum by ~~the 'Site Plan' by Shed Boss, referenced SBN568 in accordance with the 'Landscape Assessment' report~~ prepared by Simon Cocker Landscape Architecture, dated 11 July 2023~~5~~. ~~The new tree shall be of an evergreen species capable of reaching a height of 8m.~~ This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September) and maintained in perpetuity. In the event the trees die from natural causes the same or similar specimen shall be planted.*

5.1.7. Condition 5 states the following:

*In conjunction with a building consent, the consent holder shall provide for the approval of the Council's duly delegated officer, a schedule of natural, recessive colours and textures to be utilised in finishing the shed, including tinted or non-reflective glass. The exterior is to be coloured within the BS5252 (or similar) standard colour palette range with a reflectance value of 30% or less or constructed of natural materials which fall within this range. The shed is to be finished in accordance with this schedule prior to use of it and the approved schedule shall be adhered to for the duration of this consent.*

5.1.8. The following changes are sought:

~~*In conjunction with a building consent, the consent holder shall provide for the approval of the Council's duly delegated officer, a schedule of natural, recessive colours and*~~



~~textures to be utilised in finishing the shed, including tinted or non-reflective glass. The exterior is to be coloured within the BS5252 (or similar) standard colour palette range with a reflectance value of 30% or less or constructed of natural materials which fall within this range. The shed is to be finished in accordance with this schedule prior to use of it and the approved schedule shall be adhered to for the duration of this consent.~~  
The exterior of the shed shall be finished in Coloursteel Grey Friars. The building is to be finished in accordance with this colour prior to use of the building and the approved colour shall be adhered to for the duration of this consent unless otherwise agreed to in writing by the Resource Consent Monitoring Officer or duly delegated officer.

5.1.9. Condition 6 states the following:

*The shed is not permitted to be used as a separate residential unit. Any consideration of such a proposal would require Council's consideration of a resource consent application.*

5.1.10. The following changes are sought:

~~The shed is not permitted to be used as a separate residential unit. Any consideration of such a proposal would require Council's consideration of a resource consent application.~~

5.1.11. Condition 7 states the following:

*The consent holder shall ensure that upon construction of the shed, stormwater disposal shall be implemented as per the measures recommended in the revised Stormwater Management Report, dated January 2023, reference 22056 prepared by PK Engineering.*

5.1.12. The following changes are sought:

*The consent holder shall ensure that upon construction of the shed, stormwater disposal shall be implemented as per the measures recommended in the revised Stormwater Management Report, dated ~~January 2023~~ 04/08/2025, reference 22056 prepared by PK Engineering.*

5.1.13. New condition:

Within 2 months of the approval of this variation, the consent holder shall remove the part of the built structure which is creating a sunlight infringement to Lot 1 DP 27901 and Lot 2 DP 129021.

## 6.0 Assessment of Environmental Effects

- 6.1 For the purposes of this assessment, consideration of the effects of the proposal has been limited to the proposed changes rather than re-visit the effects of the original application.



- 6.2 The proposal includes the removal of the mezzanine floor, the reduction in the overall height of the structure, slight shift of the building platform to align with the concreted foundations on site and the updating of the landscaping.
- 6.3 The amended proposal has been sought as a result of works undertaken on site post approval of the initial application. As noted above, the concreting of the shed foundations were located slightly closer to the boundaries and were built up 750mm above the ground level. This amendment resulted in an additional sunlight infringement being created. In order to combat this, the building has been scaled back and a much-improved design which is more sympathetic to the surrounds has been sought. The development has been reassessed by Simon Cocker, post phone and in person discussions with Heritage New Zealand, Doc and Iwi, with a view to screen the development as much as possible from the Stone Store, Kororipo Pa and the jetty. Mature Titoki trees have been recommended by Simon Cocker to provide immediate screening of the structure. Two trees have been recommended as opposed to the one original tree provided for in the initial application. The amended height and proposed screening of the structure will visually soften the appearance and creates an improved situation in comparison to the approved design. A minor update to the stormwater report has been included to relocate the stormwater tank behind the proposed new trees.
- 6.4 In order to address the current non-compliance a new condition has been offered to remove the structure which is causing the non-compliance. In order to remove the structure scaffolding is required due to the height which takes some time to organise. As such a 2-month timeframe has been sought to address this which is considered reasonable.
- 6.5 The application has been resent to both Heritage New Zealand and the Department of Conservation as directed by the affected parties' rule in the District Plan. Both parties at time of lodgement have provided their approval. The application has also been sent through to Kipa Munro on behalf of Ngati Rehia. Email correspondence received at time of lodgement has been included.
- 6.6 The proposed changes to conditions 1, 3, 4 & 7 reflect the updated design and accompanying reports. Changes to condition 5 reference the colour scheme which is being sought by the applicants. The deletion of condition 6 is sought given that the mezzanine has been removed such that there is no longer a concern that the building could be used as a separate residence.
- 6.7 Overall, it is considered that the proposal will result in no more than minor environmental effects.

## 7.0 Policy Documents

- 7.1 Section 104(1)(b) requires that when considering an application for a resource consent, the consent authority must, subject to Part 2, have regard to:

Any relevant provisions of –





- i. A national environmental standard;
- ii. Other regulations;
- iii. A national policy statement;
- iv. A New Zealand coastal policy statement;
- v. A regional policy statement or proposed regional policy statement;
- vi. A plan or proposed plan

7.2 As the proposal has only recently been granted and the changes being sought are minor in nature it is considered that the previous policy assessment is still relevant and can continue to be relied upon in this case. The conclusion remains that the development is still generally consistent with the relevant objectives and policies of those statutory documents.

## 8.0 Consideration of potentially affected parties

8.1 Sections 95D and 95E (shown below) detail the requirement of consideration of likely effects on any person or party by the consenting authority to determine if a person is considered to be an “affected” by the proposed activity.

### 95D Consent authority decides if adverse effects likely to be more than minor

*A consent authority that is deciding, for the purpose of section 95A(8)(b), whether an activity will have or is likely to have adverse effects on the environment that are more than minor—*

*(a) must disregard any effects on persons who own or occupy—*

*(i) the land in, on, or over which the activity will occur; or*

*(ii) any land adjacent to that land; and*

*(b) may disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect; and*

*(c) in the case of a restricted discretionary activity, must disregard an adverse effect of the activity that does not relate to a matter for which a rule or national environmental standard restricts discretion; and*

*(d) must disregard trade competition and the effects of trade competition; and*

*(e) must disregard any effect on a person who has given written approval to the relevant application.*

8.2 The proposal includes assessment of the effects, that demonstrates that the actual and potential adverse effects of the proposal are no more than minor on the environment. Moreover, as the proposal is reduced, any potential effects are lessor in comparison to the approved application.

### 95E Consent authority decides if person is affected person

*1) For the purpose of giving limited notification of an application for a resource consent for an activity to a person under section 95B(4) and (9) (as applicable), a person is an affected person if the consent authority decides that the activity’s adverse effects on the person are minor or more than minor (but are not less than minor).*



*(2) The consent authority, in assessing an activity's adverse effects on a person for the purpose of this section,—*

*(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and*

*(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and*

*(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.*

*(3) A person is not an affected person in relation to an application for a resource consent for an activity if—*

*(a) the person has given, and not withdrawn, approval for the proposed activity in a written notice received by the consent authority before the authority has decided whether there are any affected persons; or*

*(b) the consent authority is satisfied that it is unreasonable in the circumstances for the applicant to seek the person's written approval.*

*(4) Subsection (3) prevails over subsection (1).*

8.3 There are no rules or NES that permit the activity. The variation is not a controlled or restricted discretionary activity. There are no protected customary rights groups or customary marine title groups or statutory acknowledgement areas that are relevant to this application as per the assessment undertaken in RC2230305.

8.4 Other affected persons must be notified in the following circumstances specified by section 95B Step 3 and Step 4:

***Step 3: if not precluded by step 2, certain other affected persons must be notified***

*(7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.*

*(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.*

*(9) Notify each affected person identified under subsections (7) and (8) of the application.*

***Step 4: further notification in special circumstances***

*(10) Determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons), and,—*

*(a) if the answer is yes, notify those persons; and*

*(b) if the answer is no, do not notify anyone else.*



8.5 The proposal does not involve a boundary activity. The sunlight infringement that was created has been rectified by the redesign.

8.6 In accordance with rule 12.5A.6.6 Affected persons where any resource consent is required for an infringement of a rule within the Heritage chapter written approval from Heritage New Zealand and DoC must be obtained. While this proposal is a variation to an application which has lessor impacts in comparison to what was originally approved, both Heritage New Zealand and DoC have been reconsulted.

*In deciding who is an affected person under section 95E, a council under section 95E(2):*

*(2) The consent authority, in assessing an activity's adverse effects on a person for the purpose of this section,—*

*(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and*

*(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and*

*(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.*

8.7 A council must not consider that a person is affected if they have given their written approval, or it is unreasonable in the circumstances to seek that person's approval.

8.8 With respect to section 95B(8) and section 95E, the effects of the proposal were considered as part of the assessment of environmental effects undertaken within this report. This found that the potential adverse effects on the environment will be no more than minor and are in fact lessor in comparison to what was previously approved. In regard to effects on persons, the assessment in the sections above are also relied on and the following comments made:

- The proposed changes to the design ensure that there will no longer be a sunlight infringement to the neighbouring property. All other boundary related matters are permitted.
- The proposed changes reduce the height of the structure which again reduces the visibility from the Stone Store, Kororipo Pa and the jetty highlighted by Council. This coupled with the proposed landscaping will visually soften the appearance of the structure in the Kerikeri Basin Heritage Precinct Visual Buffer.
- The proposed changes are not considered to be contrary to the objectives and policies under the District Plan or the Proposed District Plan.
- The proposed changes are not contrary to the Northland Regional Policy Statement.
- The proposal will not result in any adverse effects on any other adjoining sites.

8.9 Taking into account the original land-use consent, the consent conditions that are in place to mitigate the various effects and the proposed amendments to these to accommodate the new design, the comments received back from DoC and Heritage New Zealand, it is considered that no persons or parties are considered to be actually or potentially affected by the proposal. Overall, the adverse effects on any persons are considered to be less than minor.



## 9.0 Part 2 Assessment

- 9.1 There is no change to this assessment from RC 2230305.

## 10.0 Conclusion

- 10.1 This variation has been sought to address concerns raised through the implementation of the approved Landuse consent. The proposed changes seek to resolve new sunlight infringements which overall reduces the height of the structure and improves its visibility from the Stone Store, Kororipo Pa and jetty.
- 10.2 No significant adverse effects are anticipated to arise from the amended plans, in fact the proposal is an improved situation from what was originally granted consent. All effects of the activity will continue to be managed within the property boundaries. Overall, it is considered that the varied proposal will result in no more than minor effects on the environment.
- 10.3 In terms of section 104(1)(a) of the Act, the actual and potential effects of the proposal will continue to be no more than minor. It is also considered that the proposal will have no more than minor adverse effects on the wider environment. No other persons will be adversely affected and there are no special circumstances.
- 10.4 In terms of section 104(1)(b) of the Act, the proposal continues to be generally consistent with the objectives, policies and assessment criteria of the relevant statutory documents.
- 10.5 As a Discretionary Activity, the application has been assessed under the matters specified under Section 104 and 104B of the Resource Management Act 1991. It is considered that the proposal results in no more than minor effects on the environment. It is considered appropriate for consent to be granted on a non-notified basis, subject to fair and reasonable conditions.

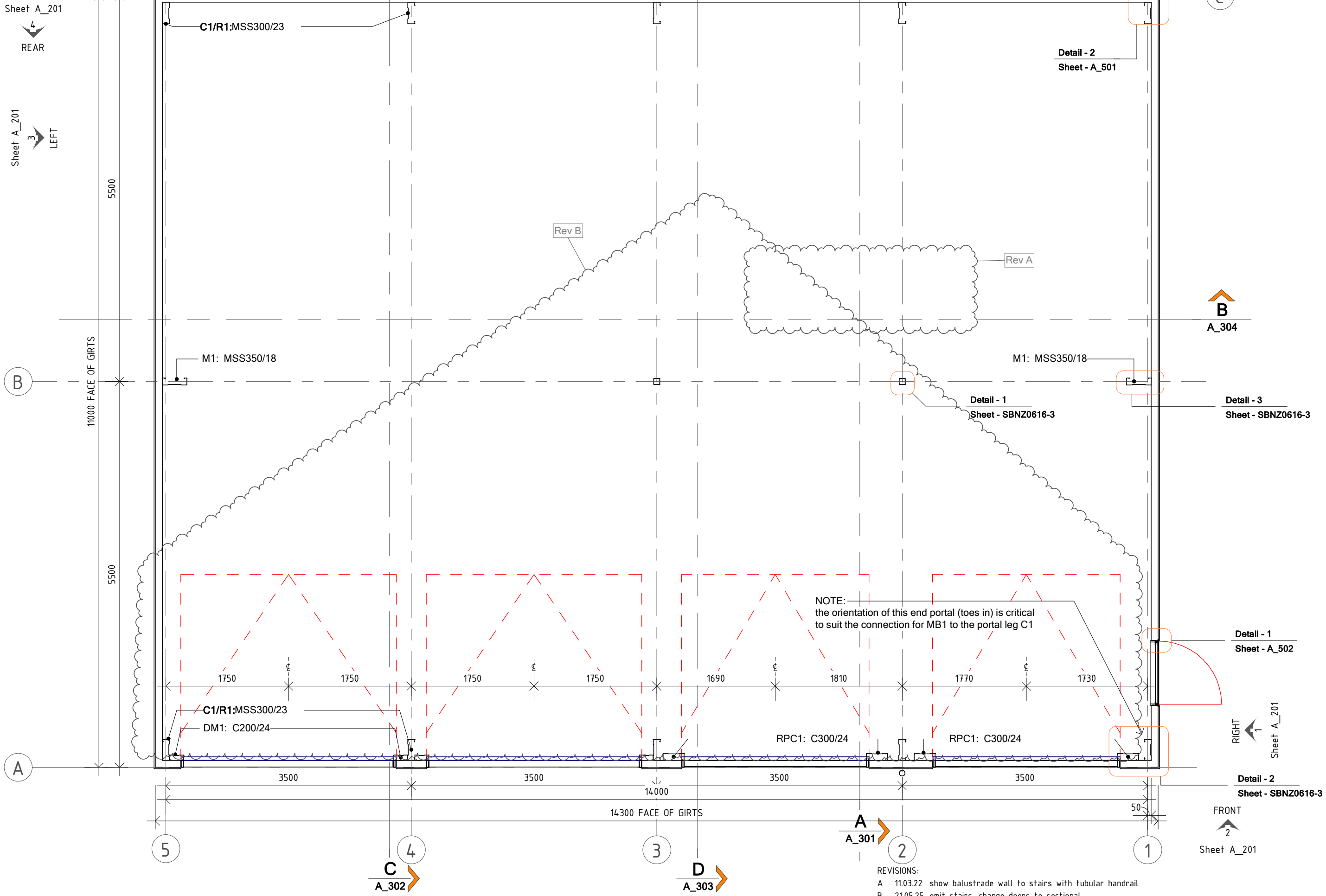
## 11.0 Limitations

- 11.1 This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 11.2 Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.



- 11.3 Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 11.4 Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





FOR APPROVAL  
Proposed Plan

These drawings are to be read in conjunction with the ShedEx fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

NEW SHED BOSS SHED  
for: PHILIP HOOPER  
at: 24 JAMES KEMP PLACE, KERIKERI

Project number:  
SBN568

Scale @ A3:  
1: 50

Drawn by:  
AJT  
Cadence Architectural Design

Date:  
21.05.25

Drawing No.  
A\_102

Revision:  
B

**SHEDEx**  
EXPERTS IN DESIGN & CONSTRUCT

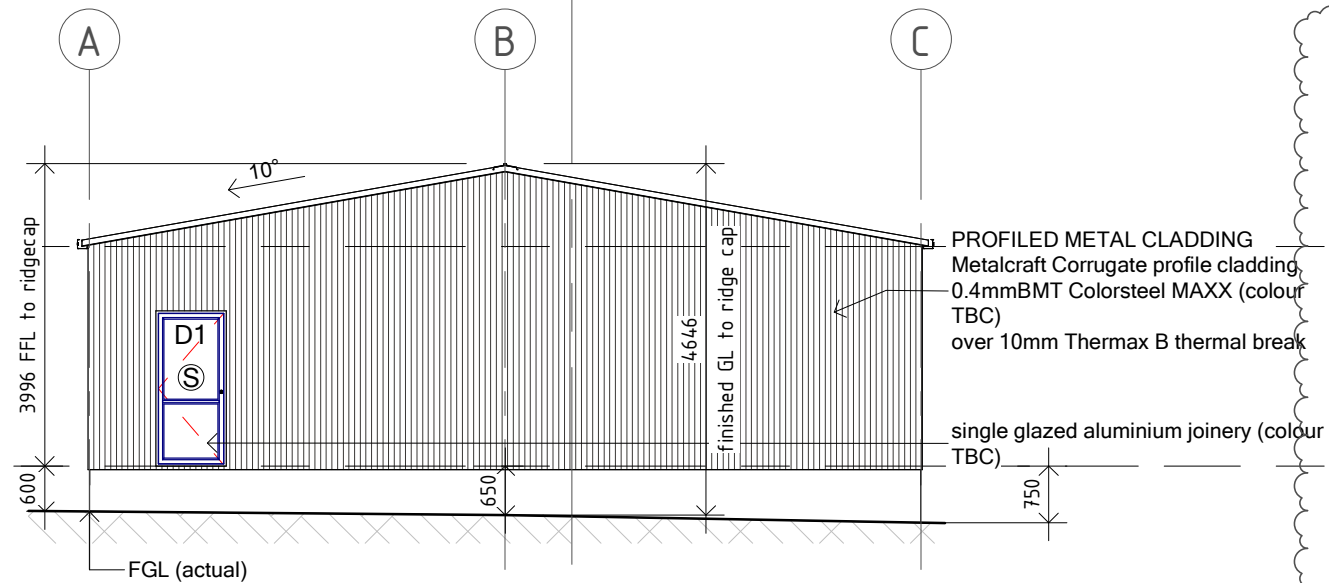
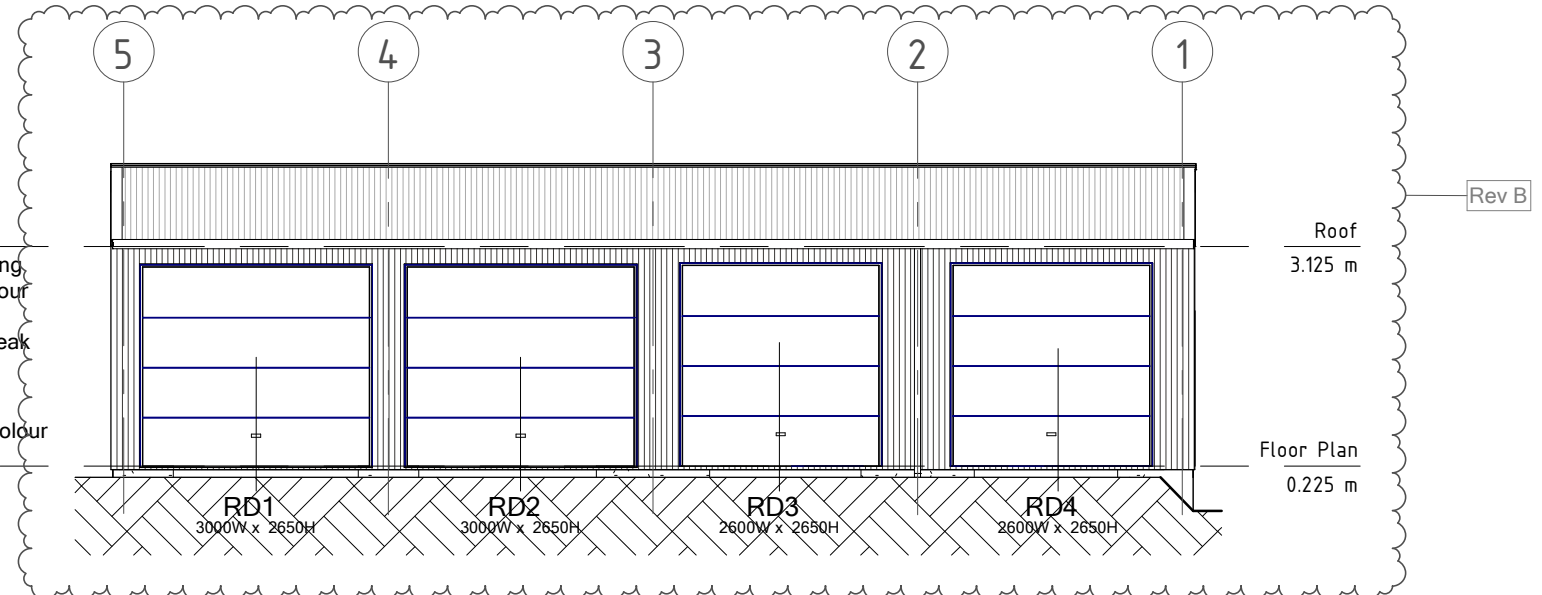
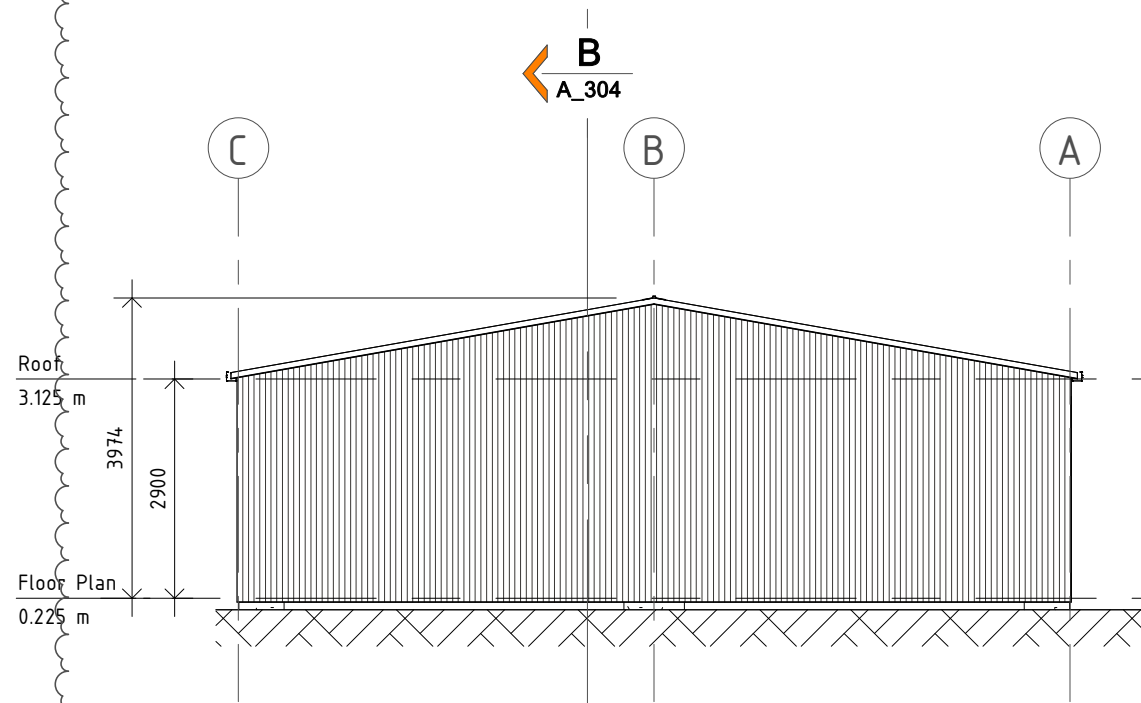
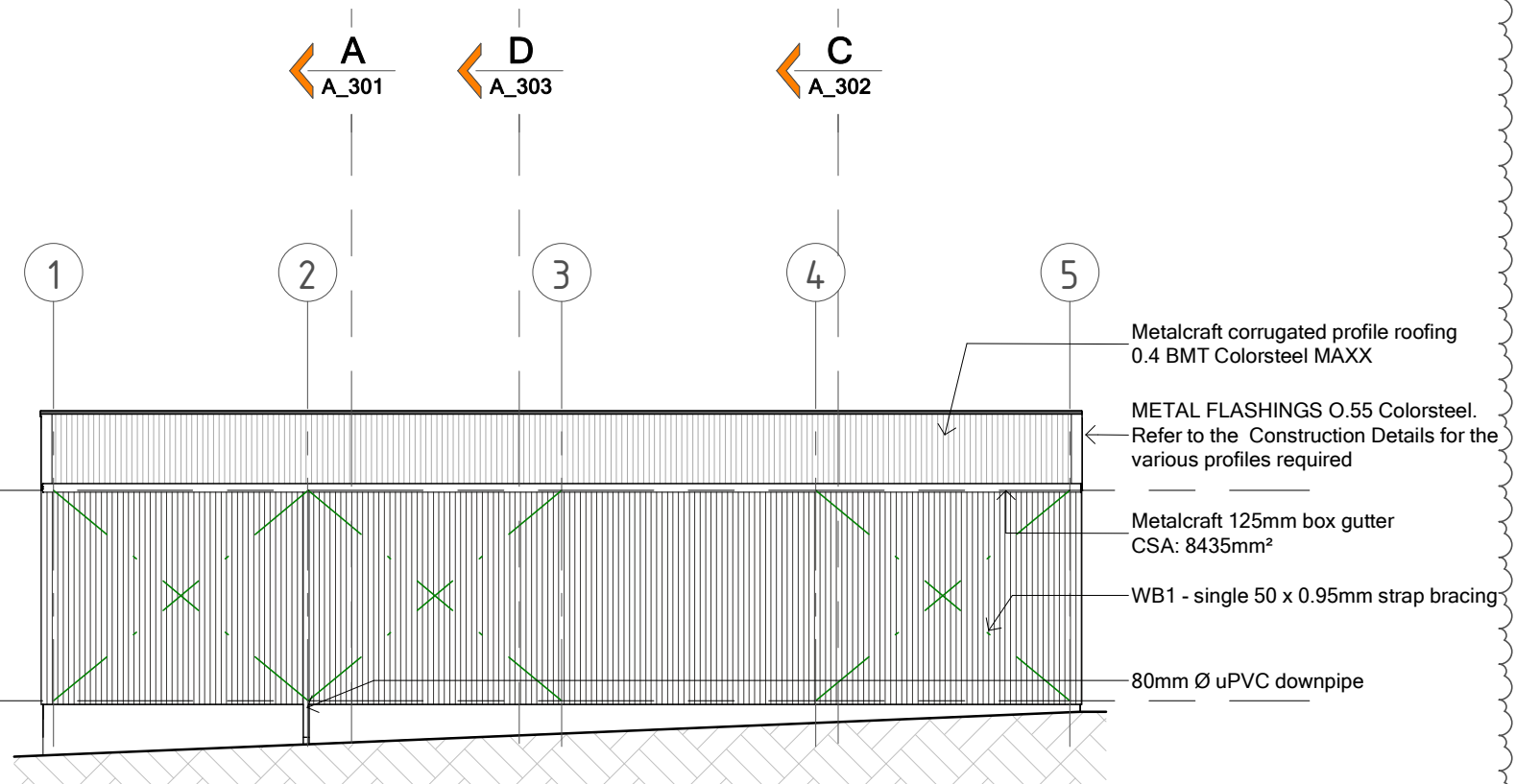


Rev A

B  
A\_304

NOTES

1. (S) indicates safety glass to NZS 4223.3:2016

1 RIGHT  
1 : 1002 FRONT  
1 : 1003 LEFT  
1 : 1004 REAR  
1 : 100

## REVISIONS

A 07.04.25 Reduce height to comply with RC  
B 21.05.25 Amend doors from roller to sectional

**FOR APPROVAL**  
**Proposed Elevations**

These drawings are to be read in conjunction with the ShedEx fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

**NEW SHED BOSS SHED**  
**for: PHILIP HOOPER**  
**at: 24 JAMES KEMP PLACE, KERIKERI**

Project number:  
**SBN568**

Scale @ A3:  
1 : 100

Drawn by:  
**AJT**  
Cadence Architectural Design

Date:  
21.05.25

Drawing No.  
**A\_201**

Revision:  
B

**SHEDEx**  
EXPERTS IN DESIGN & CONSTRUCT





Project Information:

Lot 1  
DP129021  
Area: 3151 m²  
Val'n No. 00215-58200

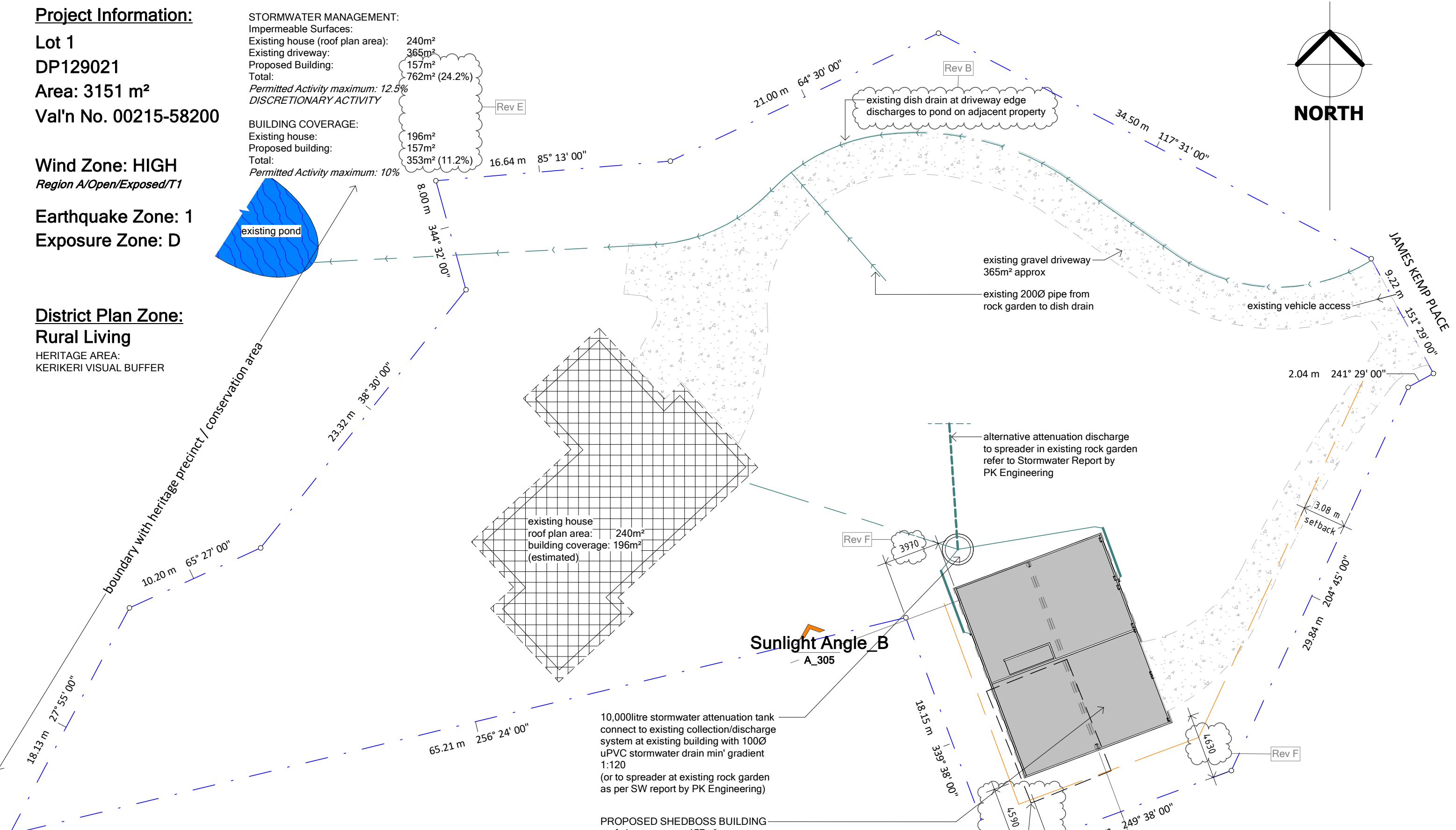
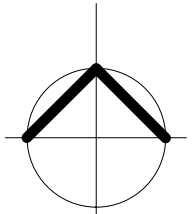
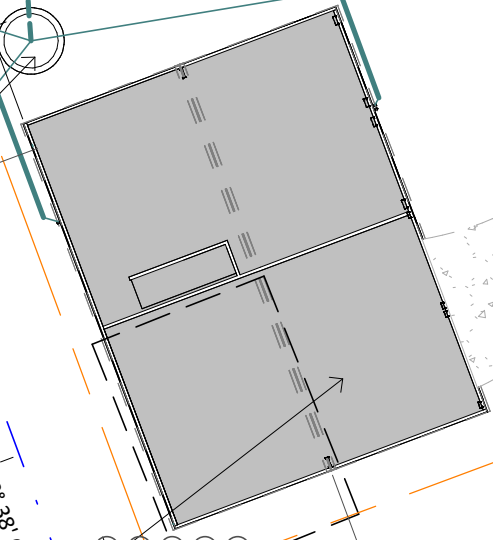
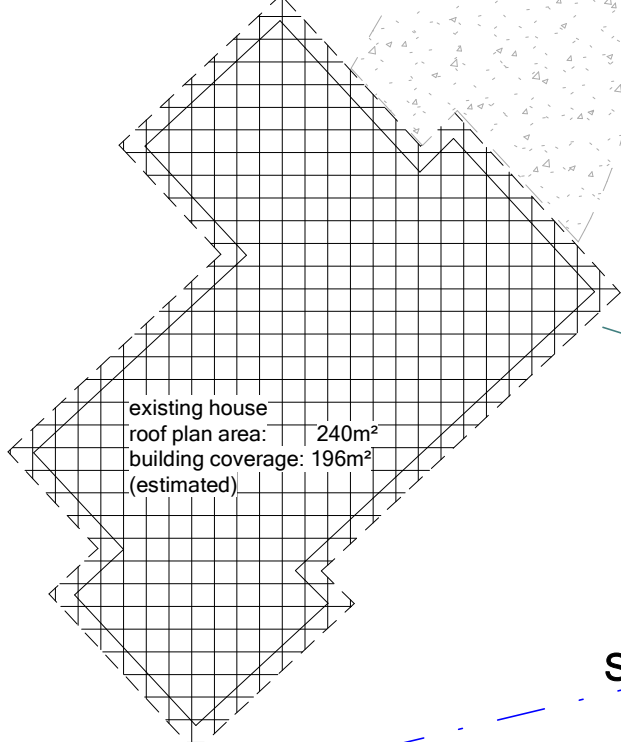
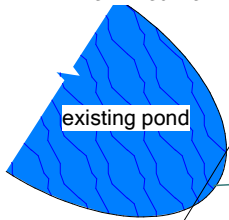
Wind Zone: HIGH  
Region A/Open/Exposed/T1

Earthquake Zone: 1  
Exposure Zone: D

District Plan Zone:  
Rural Living  
HERITAGE AREA:  
KERIKERI VISUAL BUFFER

STORMWATER MANAGEMENT:  
Impermeable Surfaces:  
Existing house (roof plan area): 240m²  
Existing driveway: 365m²  
Proposed Building: 157m²  
Total: 762m² (24.2%)  
Permitted Activity maximum: 12.5%  
DISCRETIONARY ACTIVITY

BUILDING COVERAGE:  
Existing house: 196m²  
Proposed building: 353m²  
Total: 549m² (17.4%)  
Permitted Activity maximum: 10%



REVISIONS:

A	11.03.22	show stormwater drain runs & note
B	29.08.22	Add information from stormwater report
C	25.11.22	Re-position proposed building to comply with 3m Sunlight Angles
D	30.11.22	Re-position proposed building to comply with 2m Sunlight Angles
E	25.1.23	Correct new building area
F	28.07.25	As-built location & levels as per survey

FOR APPROVAL  
Site Plan

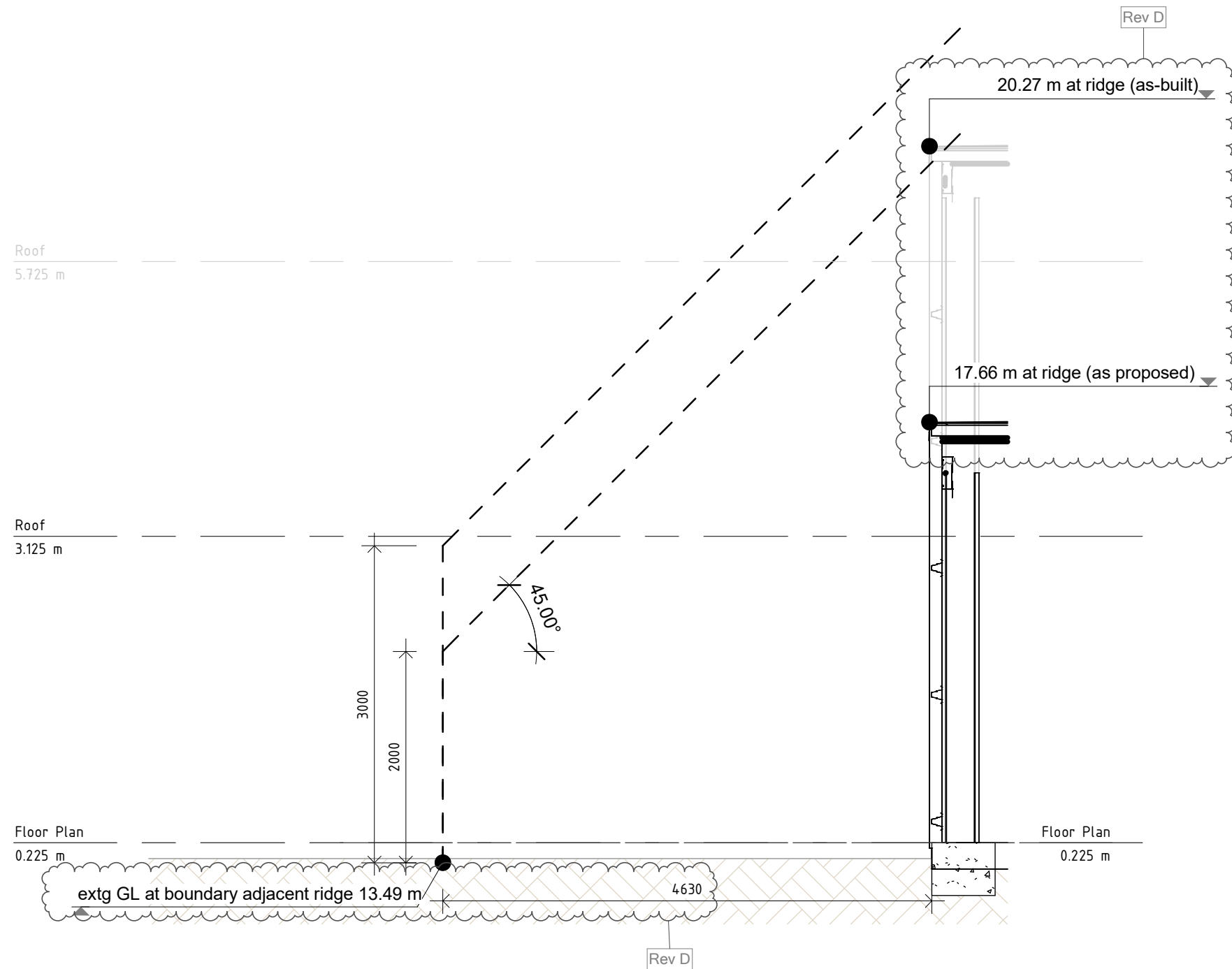
These drawings are to be read in conjunction with the ShedEx fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

NEW SHED BOSS SHED  
for: PHILIP HOOPER  
at: 24 JAMES KEMP PLACE, KERIKERI

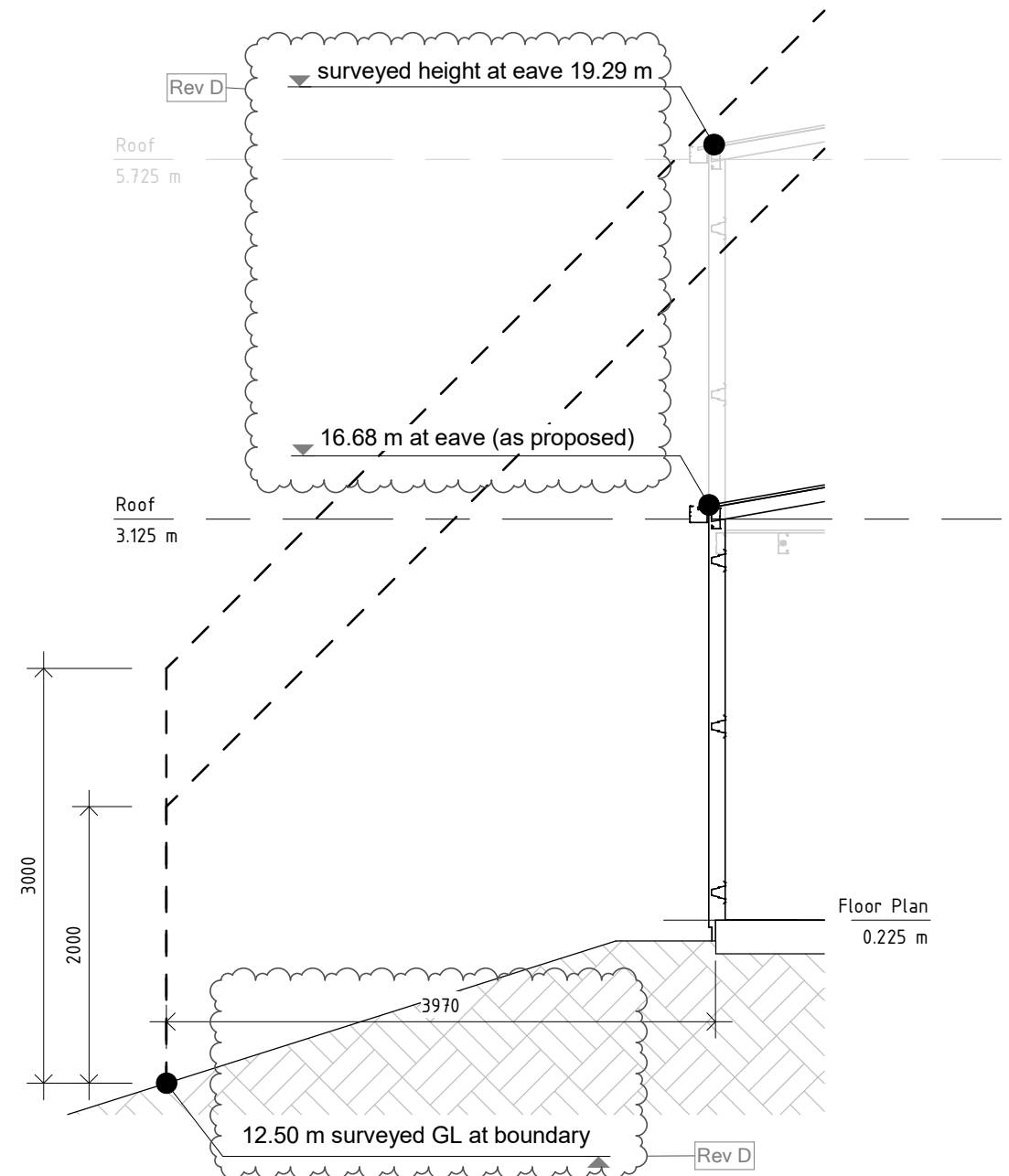
Project number:	Drawn by:	Drawing No.
SBN568	AJT Cadence Architectural Design	A_101
Scale @ A3:	Date:	Revision:
1 : 250	28.07.25	F







1 Sunlight Angle\_A  
1 : 50



2 Sunlight Angle\_B  
1 : 50

- REVISIONS:
- A 17.03.22 Add 3m sunlight angle lines
  - B 25.11.22 Re-position proposed building to comply with 3m sunlight angles
  - C 30.11.22 Re-position proposed building to comply with 2m Sunlight Angles
  - D 28.07.25 As-built location & levels as per survey and reduced building height

FOR APPROVAL Sunlight Angles	These drawings are to be read in conjunction with the ShedEx fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code and Local Authority requirements as applicable.	NEW SHED BOSS SHED for: PHILIP HOOPER at: 24 JAMES KEMP PLACE, KERIKERI	Project number: SBN568	Drawn by: AJT Cadence Architectural Design	Drawing No. A_305
			Scale @ A3: 1 : 50	Date: 28.07.25	Revision: D



## **DECISION ON LAND USE CONSENT APPLICATION UNDER THE RESOURCE MANAGEMENT ACT 1991**

**Amended under S133A of the Resource Management Act 1991**

### **Decision**

Pursuant to section 34(1) and sections 104 and 104 B and Part 2 of the Resource Management Act 1991 (the Act or the RMA), the Far North District Council **grants** land use resource consent for a Discretionary Activity, subject to the conditions listed below to:

<b>Council Reference:</b>	2230305-RMALUC
<b>Applicant:</b>	MW Holdings Northland Ltd t/a ShedEx Northland
<b>Property Address:</b>	24 James Kemp Place, Kerikeri 0230
<b>Legal Description:</b>	LOT 1 DP 129021
<b>Description of Application:</b>	Construction of a new shed

#### **The activities to which this decision relates are listed below:**

To construct a boat storage shed in the Rural Living Zone and Kerikeri Basin Precinct Visual Buffer, breaching stormwater management and building coverage requirements as a Discretionary Activity.

### **Conditions**

Pursuant to sections 108 of the Act, this consent is granted subject to the following [conditions](#):

1. The activity shall be carried out in general accordance with the approved plans attached to this consent with the Council's "Approved Stamp" affixed to as prepared by:
  - i. Shed Boss, referenced SBN568:
    - a) Site Plan, dated 25 January 2023
    - b) Sunlight Angles, dated 30 November 2022
    - c) Landscape Plan, dated 30 November 2022
  - ii. PK Engineering, referenced 22-056:
    - a) Proposed New Shed Site Plan Stormwater, drawing no. A3/SW1, revision 1, dated November 2022
    - b) Proposed New Shed Attenuation Tank Detail, drawing no. A3/SW2, revision 1, dated January 2023
    - c) Proposed New Shed Typical Dispersal System, drawing no. A3/SW3, revision 0, dated July 2022
2. Any earthworks on site shall comply with the erosion and sediment control measures specified in the Auckland Council publication GD05.

3. The consent holder shall undertake the landscaping around the shed in general accordance with the landscape plan prepared by Shed Boss, referenced SBN568, titled For Approval Landscape Plan, revision C, dated: 30 November 2022. This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September). The consent holder shall ensure that the landscape plantings approved with this consent (RC 2230305) shall be maintained in perpetuity.
4. The consent holder shall plant one new pb95 grade specimen tree to the north of the shed, in the location marked on the 'Site Plan' by Shed Boss, referenced SBN568 in accordance with the 'Landscape Assessment' report prepared by Simon Cocker Landscape Architecture, dated 11 July 2023. The new tree shall be of an evergreen species capable of reaching a height of 8m. This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September) and maintained in perpetuity.
5. In conjunction with a building consent, the consent holder shall provide for the approval of the Council's duly delegated officer, a schedule of natural, recessive colours and textures to be utilised in finishing the shed, including tinted or non-reflective glass. The exterior is to be coloured within the BS5252 (or similar) standard colour palette range with a reflectance value of 30% or less or constructed of natural materials which fall within this range. The shed is to be finished in accordance with this schedule prior to use of it and the approved schedule shall be adhered to for the duration of this consent.
6. The shed is not permitted to be used as a separate residential unit. Any consideration of such a proposal would require Council's consideration of a resource consent application.
7. The consent holder shall ensure that upon construction of the shed, stormwater disposal shall be implemented as per the measures recommended in the revised Stormwater Management Report, dated January 2023, reference 22056 prepared by PK Engineering.

## Advice Notes

### Lapsing of Consent

1. *Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses:*
  - a) *The consent is given effect to; or*
  - b) *An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.*

### Right of Objection

2. *If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.*

### Archaeological Sites

3. *Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.*

## **Reasons for the Decision**

1. By way of an earlier report that is contained within the electronic file of this consent, it was determined that pursuant to sections 95A and 95B of the Act the proposed activity will not have, and is not likely to have, adverse effects on the environment that are more than minor, there are also no affected persons, and no special circumstances exist. Therefore, under delegated authority, it was determined that the application be processed without notification.
2. The application is for a Discretionary Activity resource consent as such under section 104 of the RMA the Council can consider all relevant matters.
3. In regard to section 104(1)(a) of the Act, the actual and potential effects of the proposal will be acceptable as:
  - a. The proposed shed is compatible with the surrounding environment, stormwater will be adequately managed within the site and the shed is adequately obscured from the surrounding environment and heritage areas. Mitigation measures have been imposed by way of consent conditions to ensure appropriate building colour and landscaping is undertaken.
4. In regard to section 104(1)(ab) of the Act, there are no offsetting or environmental compensation measures proposed or agreed to by the applicant/consent holder for the shed.
5. In regard to section 104(1)(b) of the Act, the following statutory documents are considered to be relevant to the application:
  - a. National Environmental Standards for Freshwater 2020,
  - b. New Zealand Coastal Policy Statement 2011,
  - c. Operative Far North District Plan 2009,
  - d. Proposed Far North District Plan 2022.

### *National Environmental Standards for Freshwater*

The activity is consistent for the reasons set out in pages 27-29 of the Assessment of Environmental Effects submitted with the application. In particular, silt and sediment control measures will be placed within the site and appropriate stormwater management is proposed to manage any water or sediment entering the wetland.

### *New Zealand Coastal Policy Statement*

The activity is consistent for the reasons set out in pages 30-41 of the Assessment of Environmental Effects submitted with the application.

Operative Far North District Plan

*Objectives 8.3.1-8.3.10, Objectives 8.7.3.1, 8.7.3.2, Objectives 12.5A.3.1, 12.5A.3.3*

*Policies 8.4.1-8.4.8, Policies 8.7.4.1, 8.7.4.3, 8.7.4.5, 8.7.4.9, Policy 12.5A.4.3*

The activity is consistent with the relevant objectives, policies, and assessment criteria because the shed is compatible with the existing environment and not anticipated to create adverse effects on the Kerikeri Heritage Area nor on the associated Visual Buffer. The shed will be constructed with a natural recessive colour scheme and landscaping is to be provided to mitigate any visual effects.

Proposed Far North District Plan

*Objectives RRZ-O1, RRZ-O2, HA-O1*

*Policies RRZ-P1, HA-P1, HA-P2, HA-P3*

The activity is consistent with the relevant objectives, policies, and assessment criteria because the shed is consistent with the surrounding environment and the amenity of the area will be maintained. The shed is visually obscured from Kororipo Pā and the Stone Store, as well from the Kerikeri River. Mitigation measures such as the shed's colour scheme and landscaping are provided such that no adverse effects on the value of the heritage area nor on the coastal environment are anticipated.

6. For this resource consent application, the relevant provisions of both an operative and any proposed plan must be considered. Weighting is relevant if different outcomes arise from assessments of objectives and policies under both the operative and proposed plans.  
  
As the outcomes sought are the same under the operative and the proposed plan frameworks, no weighting is necessary.
7. In regard to section 104(1)(c) of the Act, there are no other matters relevant or reasonably necessary to determine the application.
8. Based on the assessment above the activity will be consistent with Part 2 of the Act. The activity will avoid, remedy, or mitigate any potential adverse effects on the environment while providing for the sustainable management of natural and physical resources and is therefore in keeping with the Purpose and Principles of the Act. There are no matters under section 6 that are relevant to the application. The proposal is an efficient use and development of the site that will maintain existing amenity values without compromising the quality of the environment (section 7). The activity is not considered to raise any issues in regard to Te Tiriti o Waitangi (section 8).
9. Overall, for the reasons above it is appropriate for consent to be granted subject to the imposed conditions.

## Approval

This resource consent has been prepared by Haya Hamilton (Consultant Planner on behalf of Far North District Council).

I have reviewed this and the associated information (including the application and electronic file material) and for the reasons and **subject to the conditions above**, and under delegated authority, **grant** this resource consent for a storage shed for a boat and general storage on the site at 24 James Kemp Place, Kerikeri as a Discretionary Activity in the Rural Living zone of the Far North District Plan.



**Alan Watson**

**Date: 21 August 2023**

**RMA Commissioner**

This resource consent has been amended (pursuant to s133A of the Resource Management Act 1991) and is granted under delegated authority of the Resource Management Act 1991 from the Far North District Council by:



**Whitney Peat**  
**Team Leader Resource Consents**

**Date: 31 August 2023**

Project Information:

Lot 1  
DP129021  
Area: 3151 m²  
Val'n No. 00215-58200

Wind Zone: HIGH  
Region A/Open/Exposed/T1

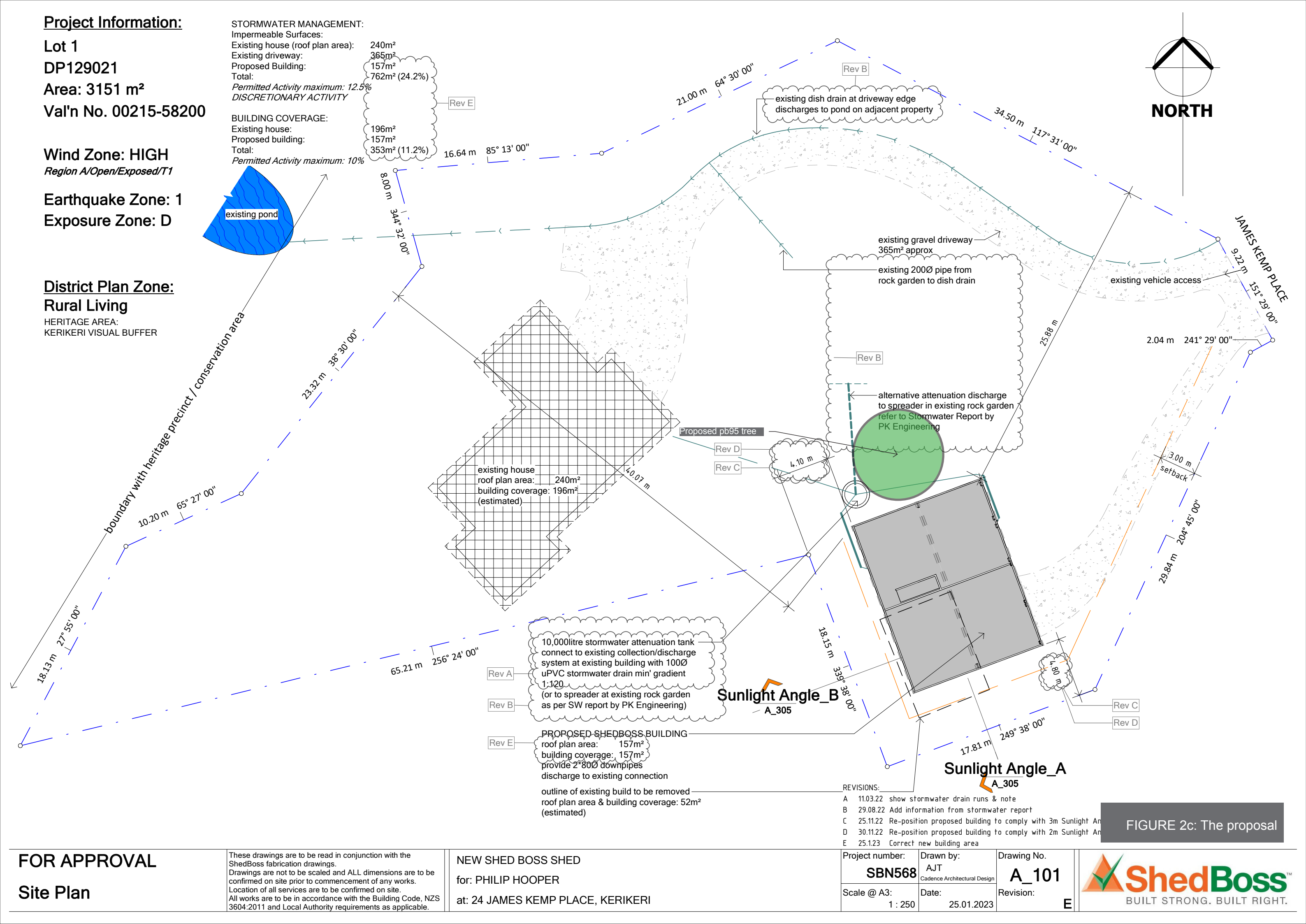
Earthquake Zone: 1  
Exposure Zone: D

District Plan Zone:  
Rural Living  
HERITAGE AREA:  
KERIKERI VISUAL BUFFER

STORMWATER MANAGEMENT:  
Impermeable Surfaces:  
Existing house (roof plan area): 240m²  
Existing driveway: 365m²  
Proposed Building: 157m²  
Total: 762m² (24.2%)  
Permitted Activity maximum: 12.5%  
DISCRETIONARY ACTIVITY

BUILDING COVERAGE:  
Existing house: 196m²  
Proposed building: 157m²  
Total: 353m² (11.2%)  
Permitted Activity maximum: 10%

NORTH



FOR APPROVAL  
Site Plan

These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.

NEW SHED BOSS SHED  
for: PHILIP HOOPER  
at: 24 JAMES KEMP PLACE, KERIKERI

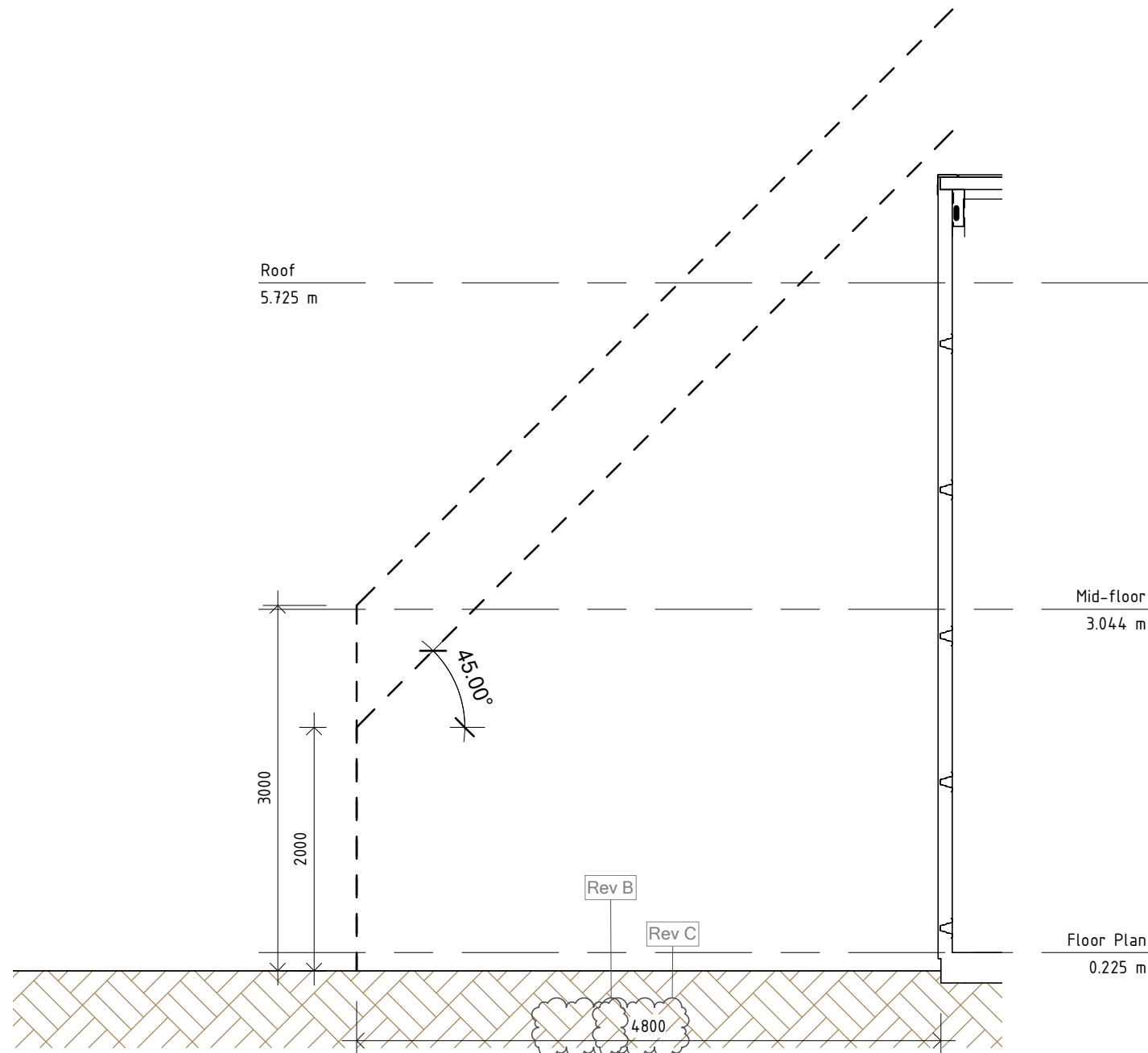
Project number:  
SBN568  
Scale @ A3:  
1 : 250

Drawn by:  
AJT  
Cadence Architectural Design  
Date:  
25.01.2023

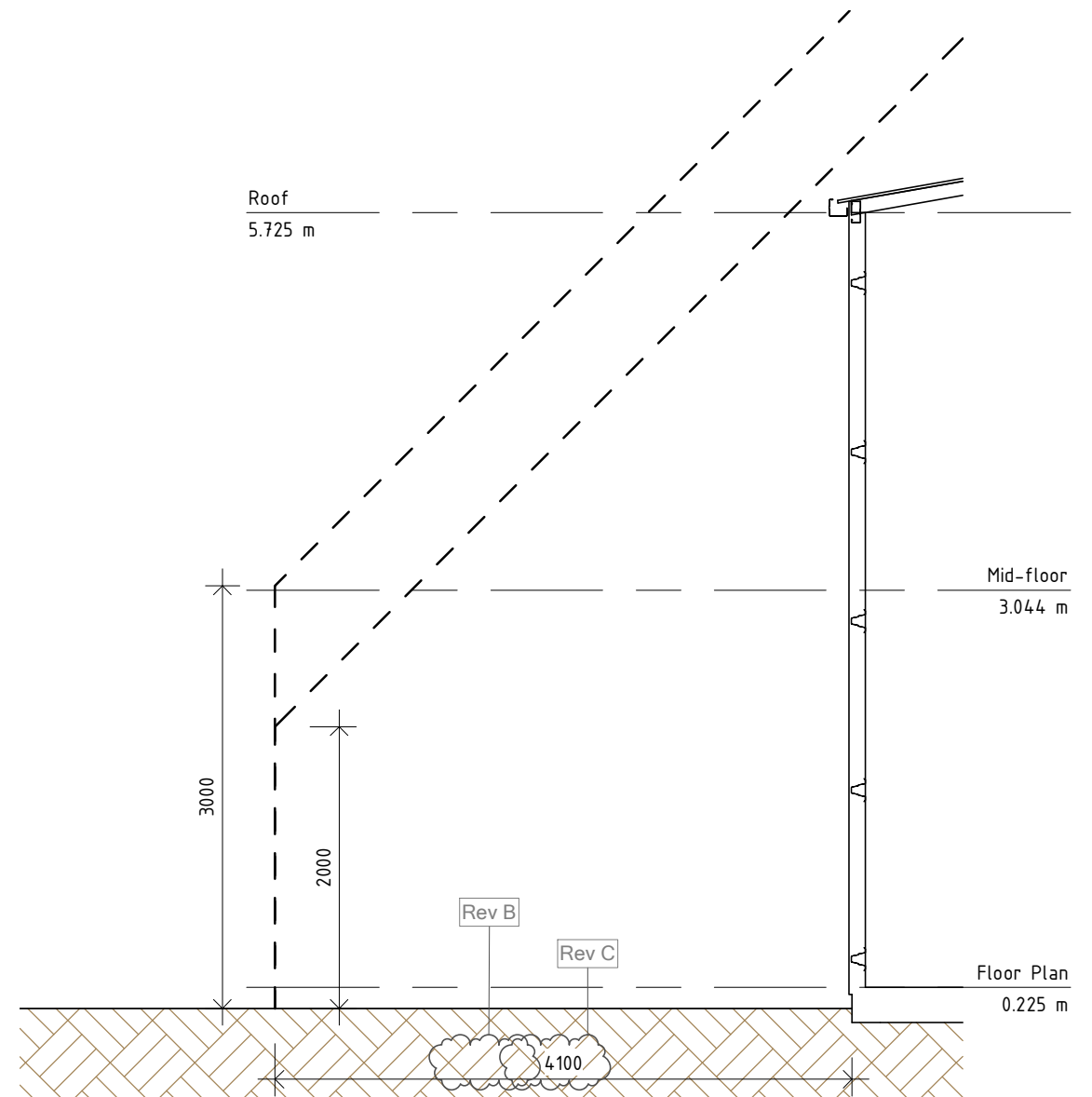
Drawing No.  
A\_101  
Revision:  
E








1 Sunlight Angle\_A  
1 : 50



2 Sunlight Angle\_B  
1 : 50

REVISIONS:		
A	17.03.22	Add 3m sunlight angle lines
B	25.11.22	Re-position proposed building to comply with 3m sunlight angles
C	30.11.22	Re-position proposed building to comply with 2m Sunlight Angles

Project number:	Drawn by:	Drawing No.	
<b>SBN568</b>	AJT Cadence Architectural Design	<b>A_305</b>	
Scale @ A3: 1 : 50	Date: 30.11.2022	Revision: <b>C</b>	

FOR APPROVAL Sunlight Angles	These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.	NEW SHED BOSS SHED for: PHILIP HOOPER at: 24 JAMES KEMP PLACE, KERIKERI
---------------------------------	---	---



LANDSCAPE LEGEND

EXISTING PLANTING:

TO REMAIN

- 1. Jacaranda
- 2. Elm
- 3. Bangalow Palm (*Archontophoenix cunninghamiana*)
- 4. Windmill Palm (*Trachycarpus fortunei*)
- 5. Magnolia
- 6. Miro (*Prumnopitys ferruginea*) - native
- 7. Apple tree
- 8. Pygmy date palm (*Phoenix Roebelenii*) x3
- 9. Camelia
- 10. TBC
- 11. Canary Island date palm (*Phoenix canariensis*)
- 12. Tulip Magnolia (*Magnolia liliiflora*)

Hedging:

- H1. Douglas Fir (*Pseudotsuga menziesii*)
- H2. Macadamia (*Macadamia tetraphylla*)
- note: all other existing tall hedging on south & south eastern boundaries is situated on neighbouring properties.

Small Plants & Shrubbery:

- S1. Various azaleas, conifers & nandrum
- S2. Wisteria
- S3. Lemon tree

TO BE RELOCATED

- R1. Agave (various inc *Agave attenuata*)
- R2. Sago Palm (*Cycas revoluta*)

NEW PLANTING:

NEW FEATURE TREES:

- A. Karaka (*Corynocarpus laevigatus*)  
or ti Kouka cabbage tree (*Cordyline australis*)  
or Pukatea (*Laurelia novae-zelandiae*)
- B. Putaputaweta (*Carpodetus serratus*)
- C. Kowhai (*Sophora tetraptera*)  
or Pohutukawa (*Metrosideros excelsa*)

NEW HEDGING:

- Low - 1 to 1.5m
- Ha. Kapuka or Ardmore Green (*Griselinia littoralis*)
- Medium - 2 to 3m
- Hb. Karo (*Pittosporum crassifolium*)  
or Tarata (*Pittosporum eugenoides*)

NEW SMALL PLANTS / SHRUBBERY:

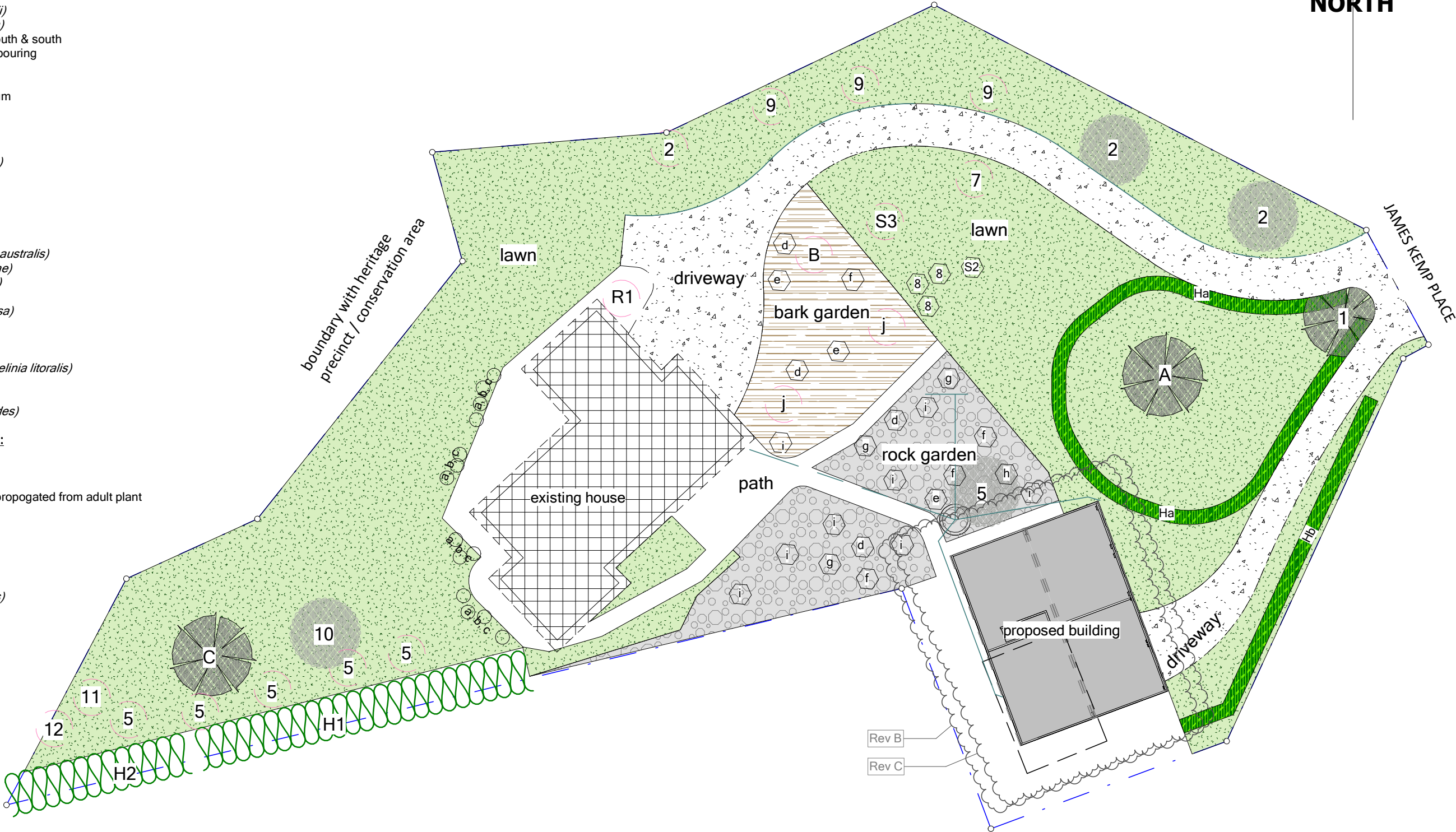
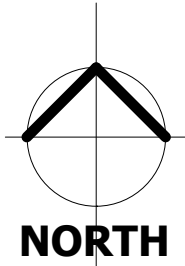
- Low shrubbery:
- a. Alpine Ruby (*Astelia nervosa*)
- b. Oioi (*Leptocarpus similis*)
- c. Red Rata (*Metrosideros carmenia*) propagated from adult plant

Feature shrubbery & ground cover:

- d. Silver Spear (*Astelia chathamica*)
- e. Kaiwharawhara (*Astelia solandri*)
- f. Rautahi (*Carex geminata*)
- g. Karamu (*Coprosma robusta*)
- h. Red Kaka Beak (*Clianthus puniceus*)
- i. *Coprosma prostrata*
- j. Fruit trees - owners choice

Boxed Garden:

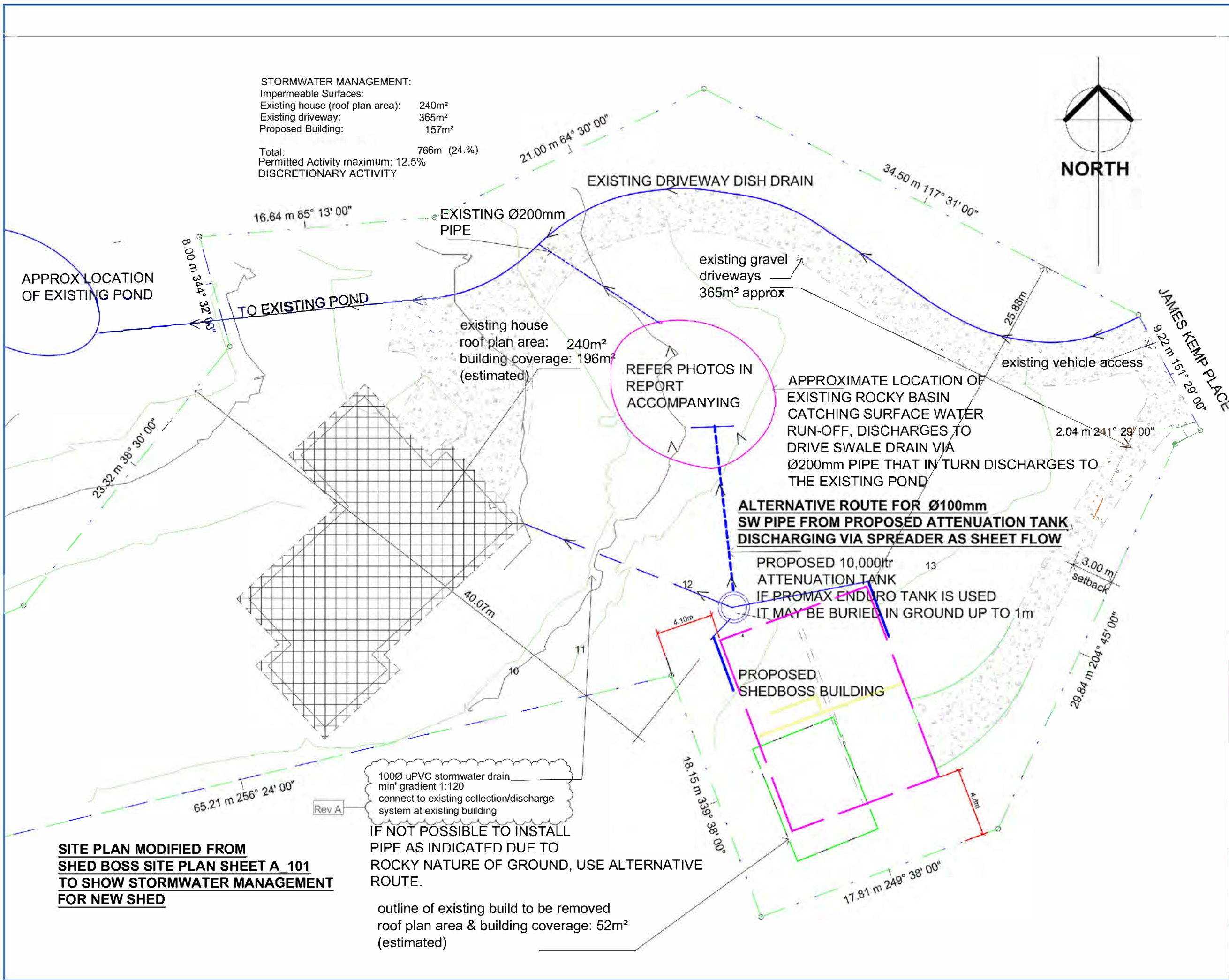
Herbs/vegetables/flowering exotics



REVISIONS:	
A	26.08.22 New sheet
B	25.11.22 Re-position proposed building
C	30.11.22 Re-position proposed building to comply with 2m Sunlight Angles

FOR APPROVAL  Landscape Plan	These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.	NEW SHED BOSS SHED  for: PHILIP HOOPER  at: 24 JAMES KEMP PLACE, KERIKERI	Project number:	Drawn by:	Drawing No.	
			SBN568	AJT Cadence Architectural Design	A_901	
			Scale @ A3: 1 : 300	Date: 30.11.2022	Revision: C	





STORMWATER MANAGEMENT:  
Impermeable Surfaces:  
Existing house (roof plan area): 240m²  
Existing driveway: 365m²  
Proposed Building: 157m²  
  
Total: 766m (24.%)  
Permitted Activity maximum: 12.5%  
DISCRETIONARY ACTIVITY

APPROX LOCATION  
OF EXISTING POND

TO EXISTING POND

existing house  
roof plan area: 240m²  
building coverage: 196m²  
(estimated)

REFER PHOTOS IN  
REPORT  
ACCOMPANYING

APPROXIMATE LOCATION OF  
EXISTING ROCKY BASIN  
CATCHING SURFACE WATER  
RUN-OFF, DISCHARGES TO  
DRIVE SWALE DRAIN VIA  
Ø200mm PIPE THAT IN TURN DISCHARGES TO  
THE EXISTING POND

ALTERNATIVE ROUTE FOR Ø100mm  
SW PIPE FROM PROPOSED ATTENUATION TANK  
DISCHARGING VIA SPREADER AS SHEET FLOW

PROPOSED 10,000ltr  
ATTENUATION TANK  
IF PROMAX ENDURO TANK IS USED  
IT MAY BE BURIED IN GROUND UP TO 1m

PROPOSED  
SHEDBOSS BUILDING

100Ø uPVC stormwater drain  
min' gradient 1:120  
connect to existing collection/discharge  
system at existing building

IF NOT POSSIBLE TO INSTALL  
PIPE AS INDICATED DUE TO  
ROCKY NATURE OF GROUND, USE ALTERNATIVE  
ROUTE.

outline of existing build to be removed  
roof plan area & building coverage: 52m²  
(estimated)

SITE PLAN MODIFIED FROM  
SHED BOSS SITE PLAN SHEET A 101  
TO SHOW STORMWATER MANAGEMENT  
FOR NEW SHED

Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN PK ENGINEERING AND IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR USED FOR THE MANUFACTURE OF ANY ARTICLE WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.
2. VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALING THESE DRAWINGS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S SERVICES, CIVIL AND OTHER PROJECT DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR RESOLUTION.
4. IN THE EVENT THAT THERE IS ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATION THEN THE REQUIREMENTS OF THE DRAWINGS SHALL TAKE PRECEDENCE, WITH THE DETAIL DRAWINGS TAKING PRECEDENCE OVER THE GENERAL NOTES.

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	ISSUED TO CLIENT		



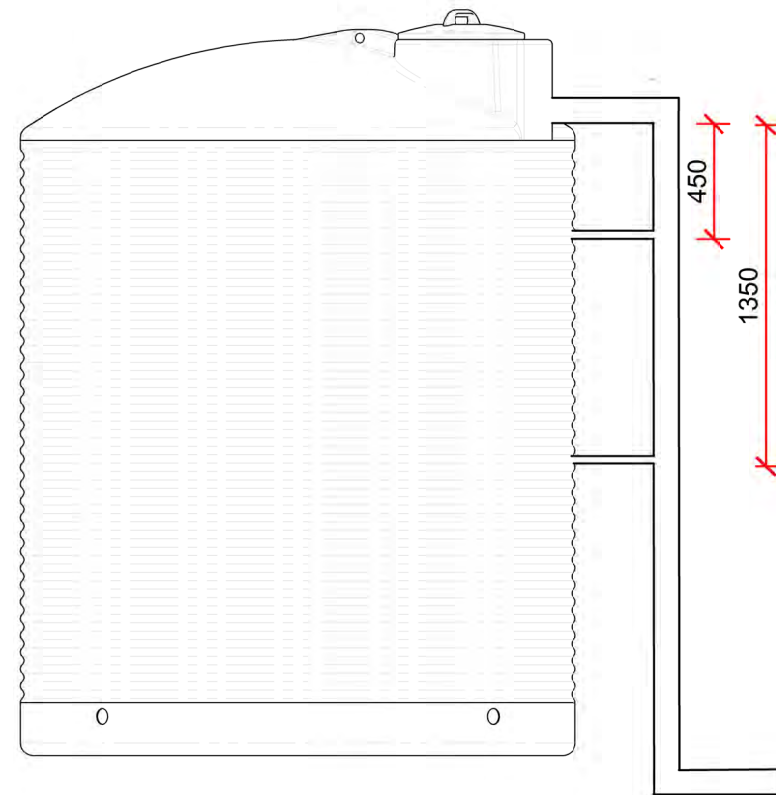
LEVEL 1, ANZ BANK  
90 KERIKERI ROAD, KERIKERI  
PO BOX 464, KERIKERI  
Phone Number: 09 407 3255  
Email: teampk@pkengin.co.nz

CLIENT: PHILLIP HOOPER  
24 JAMES KEMP PLACE  
KERIKERI

SITE: 24 JAMES KEMP PLACE  
LOT1 DP129021

TITLE: PROPOSED NEW SHED  
SITE PLAN STORMWATER

SCALE AT A3: 1:250	DATE: NOV.2022	DRAWN: RD	CHECKED: PK
PROJECT NO: 22-056	DRAWING NO: A3/SW1	REVISION: 1	



ATTENUATION TANK DETAIL

	Orifice diameter	Orifice invert location		
ARI 10	29 mm	1350 mm below overflow invert		
ARI 100	32 mm	450 mm below overflow invert		
Tank Size	1 x	10,000	litres @	1.1 m Ø
ARI 10	3,368.9 litres			
ARI 100	5,105.5 litres			
Reuse	4,894.5 litres			

Notes:

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REV:	DESCRIPTION:	BY:	DATE:
STATUS:		ISSUED TO CLIENT	



LEVEL 1, ANZ BANK  
90 KERIKERI ROAD, KERIKERI  
PO BOX 464, KERIKERI  
Phone Number: 09 407 3255  
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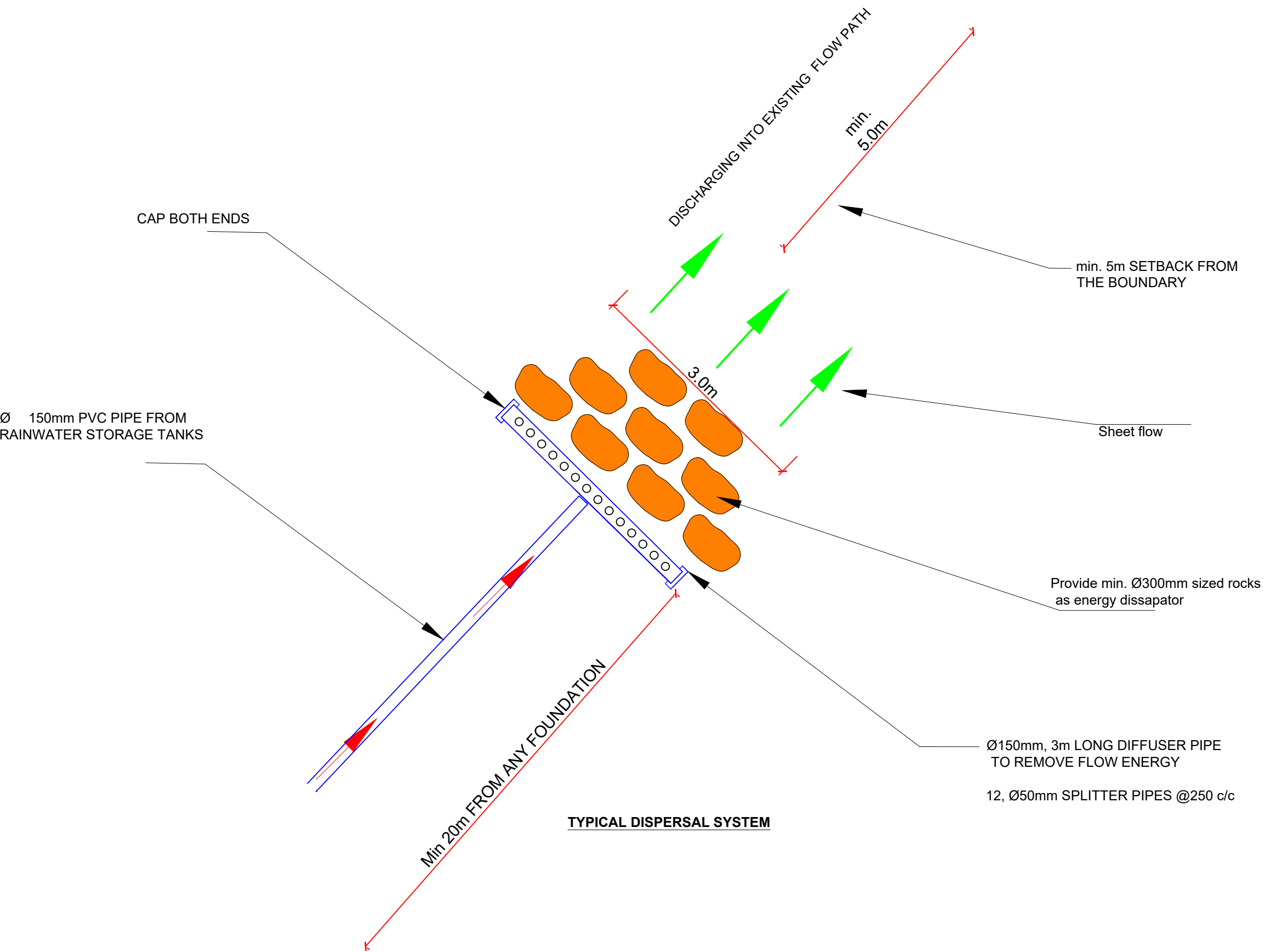
CLIENT: PHILLIP HOOPER  
24 JAMES KEMP PLACE  
KERIKERI

SITE: 24 JAMES KEMP PLACE  
LOT1 DP129021

TITLE: PROPOSED NEW SHED  
ATTENUATION TANK DETAIL

SCALE AT A3: 1:30	DATE: JANUARY 2023	DRAWN: RD	CHECKED: PK
PROJECT NO: 22-056	DRAWING NO: A3/SW2	REVISION: 1	





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REV:	DESCRIPTION:	BY:	DATE:
STATUS: ISSUED TO CLIENT			
<div><div><div>PK</div><div>ENGINEERING</div><div>CHARTERED PROFESSIONAL ENGINEERS</div></div><div>LEVEL 1, ANZ BANK 90 KERIKERI ROAD, KERIKERI PO BOX 464, KERIKERI Phone Number: 09 407 3255 Email: teampk@pkengin.co.nz</div></div>			
CLIENT: PHILLIP HOOPER 24 JAMES KEMP PLACE KERIKERI			
SITE: 24 JAMES KEMP PLACE LOT1 DP129021			
TITLE: PROPOSED NEW SHED TYPICAL DISPERSAL SYSTEM			
SCALE AT A3: 1:50	DATE: JULY 2022	DRAWN: RD	CHECKED: PK
PROJECT NO: 22-056	DRAWING NO: A3/SW3	REVISION: 0	



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land  
Transfer Act 2017**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA75A/896**  
**Land Registration District** **North Auckland**  
**Date Issued** 11 October 1989

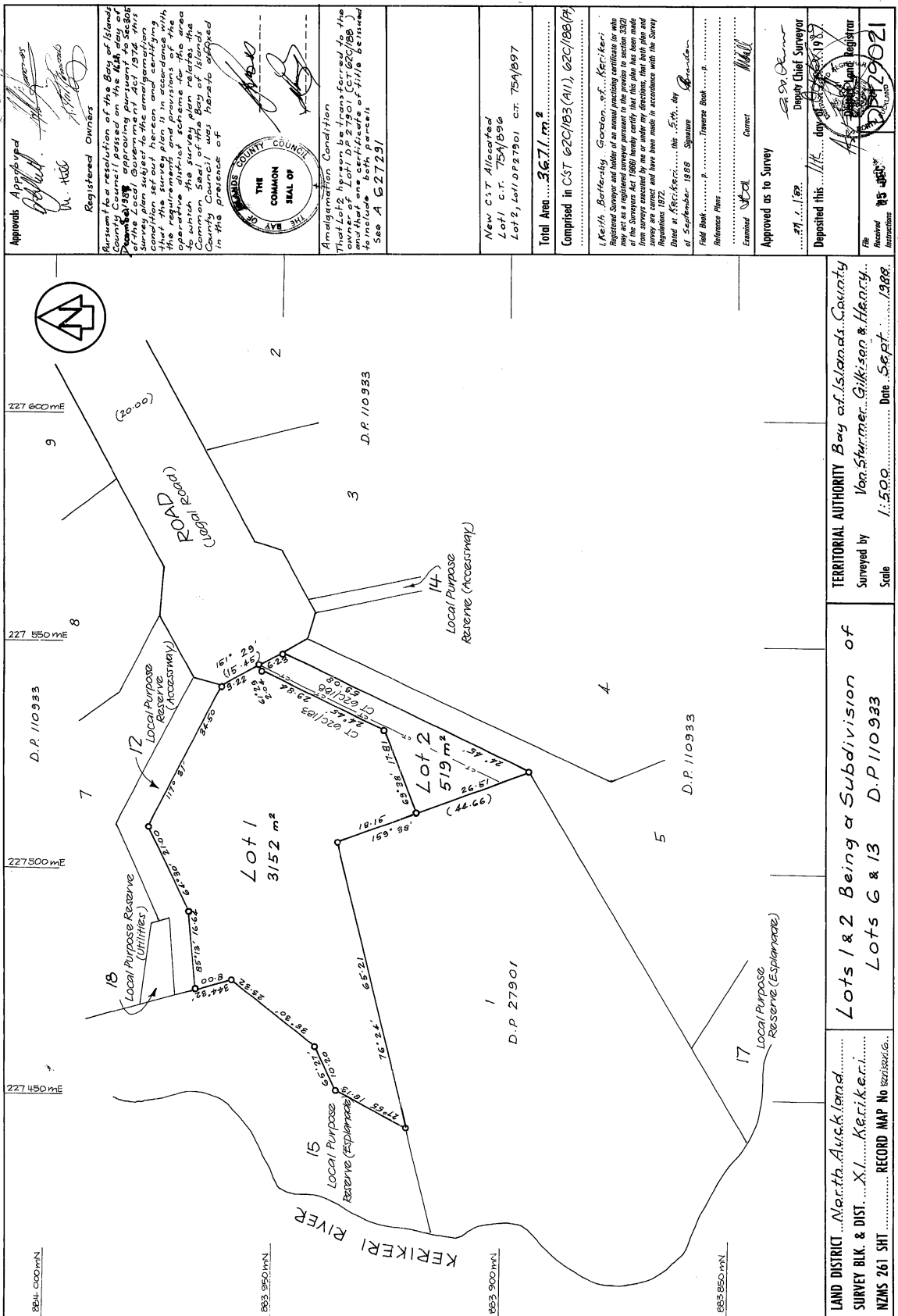
**Prior References**  
NA62C/183      NA62C/188

---

**Estate** Fee Simple  
**Area** 3152 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 129021  
**Registered Owners**  
Timely Addition Limited

---

**Interests**  
12976161.3 Mortgage to ASB Bank Limited - 19.4.2024 at 4:59 pm



W. J. HANNEY, SURVEYOR GENERAL, DEPARTMENT OF LANDS AND SURVEY, WELLINGTON, NEW ZEALAND.

Printed by Lithoform, Wellington, New Zealand.

8/252

RECORD MAP No 12212/16.

LAND DISTRICT North Auckland.

SURVEY BLK. & DIST. XI. Kerikeri.

Surveyed by Van Sturmer, Gillison & Henry.

Scale 1:500 Date Sept. 1988.

Lot 1 & 2 Being a Subdivision of Lots 6 & 13 D.P. 110933

TERRITORIAL AUTHORITY Bay of Islands County

Approved as to Survey

Examined

Reference Plans

Field Book

Dated at Kerikeri this 5th day of September 1988

Signature

Keith Battersby

Completed in Cst 62C/183 (411), 62C/188 (47)

Total Area 3671 m²

New C.T. Allocated Lot 1 C.T. 75A/896 Lot 2, Lot 10 P 27901 C.T. 75A/897

Amalgamation Condition

That Lot 2 hereon be transferred to the owner of Lot 1 of 27901 C.T. 62C/188 (47) and that one certificate of title be issued to include both parcels See A 627251

Registered Owners

Approvals

Approved

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## MEMORANDUM

**To:** Rochelle Jacobs  
Northland Planning and Development Ltd

**From:** Simon Cocker  
Simon Cocker Landscape Architecture

**Date:** 1 July 2025

**Subject:** Hooper. 24 James Kemp Place, Kerikeri

**Ref #:** EBC2022-986

Dear Rochelle,

You requested that I provide a brief assessment of the proposed amendments to the above building consent.

The subject Site is located at 24 James Kemp Place in Kerikeri (refer to [Figure 1](#)).

The consent was granted on 13 March 2022 and the construction of the shed was commenced shortly after that date. The consented proposal is shown in [Figures 2a and 2b](#).

Due to ground conditions, the concrete slab for the shed was constructed out of the ground, to the heights illustrated in the sketch below in [Plate 1](#).

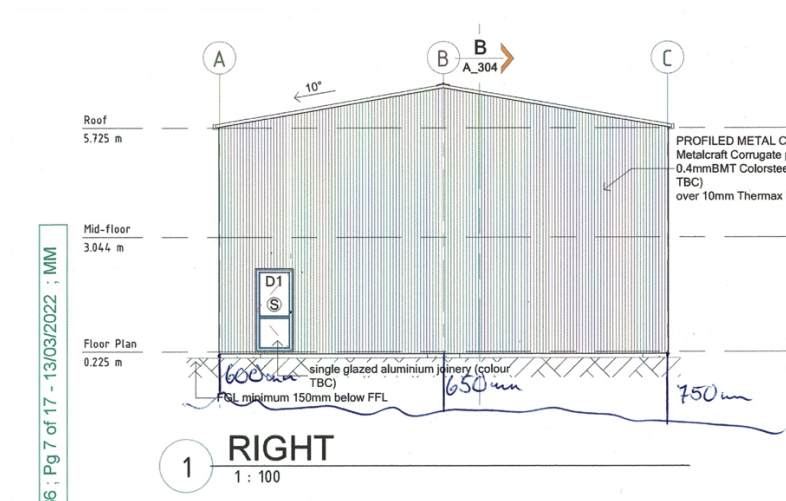


Plate 1. Shed footing heights as constructed

This has resulted in the maximum height of the shed being in excess of the height consented (a maximum of 7.56m).

Following this matter being raised by Council, the consent holder has engaged me to advise on methods for the mitigation of the adverse effects that will be generated by the additional shed height.

The design of the shed has now been amended such that – instead of comprising two levels, it will now be reduced to a single level, with a maximum height (above the top of the slab) of 3.974m (refer to [Figure 2c](#)).

In addition, it is proposed that two advanced grade titoki (*Alectryon excelsus*) will be planted to the north of the structure. These trees (2000L grade) will have a height at planting of approximately 5m.

The external cladding of the shed will remain as consented (Colorsteel cladding coloured Resene *Grey Friars* – LRV = 10%)

I prepared a landscape assessment in support of the original application<sup>1</sup>. This memo should be read in conjunction with that document which identified the visual catchment of the proposed shed to encompass the river to the west, north west and south west, the eastern end of the Pa and the Kerikeri Wharf Reserve and Stone Store (refer to [photos 1, 2 and 3](#)). It also noted that proximate views are possible from the south western end of James Kemp Place.

Council has identified views from the jetty to the west, and views from numbers 18 and 29 James Kemp Place as being of particular concern (refer to [photos 4, 5, 6, and 7](#)).

The amended building height – now with a height above the concrete slab of approximately 4m (and a maximum height including the slab of 4.74m) – will be consistent with the scale of existing buildings within the Site's environs. The relative height of the amended building, compared to the existing shed structure is shown on [photos 1, 3, 5, and 6](#). The scale of the amended shed is modelled in [photo 4b](#), and on this image, the proposed titoki trees area also modelled to demonstrate how these trees will soften the form of the building. These trees are modelled to the height at planting.

In my opinion, the amended / reduced height of the proposed shed will significantly reduce the dominance of this structure when viewed from the above identified locations. Further, the proposed titoki will substantially soften the appearance and reduce the visibility of the future amended building when viewed from the jetty.

Occupants of number 29 – located to the north of the Site – area currently partially buffered from the Site by existing trees within their property (refer to [photo 7](#)). This neighbouring dwelling is located some 50m to the north of the shed structure, and the reduced amended height will ensure that the building will not form a dominant element when viewed from this property. In addition, the proposed advanced grade titoki will further buffer views from this property to the shed.

Number 19 James Kemp Place is located some 45m to the west. As is evidenced by photo 6a, this dwelling is located below the level of the shed, and is separated from the shed by a substantial group of mature trees.

It is my opinion that for both of these properties, the level of potential adverse effect will be very low.

Yours sincerely,



Simon Cocker

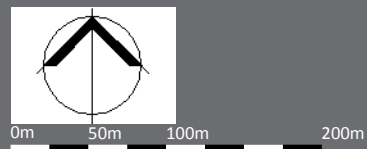


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<sup>1</sup> Simon Cocker Landscape Architecture. *Landscape Assessment. Phillip Hooper. 24 James Kemp Place. Kerikeri. 11 July 2023. Ref 23045\_01.*

## ATTACHMENT 1 – Figures

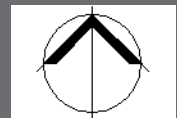




**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Landscape Assessment

FIGURE 1: Location of the Site





0m 15m 30m 45m



Extent of the Site

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Landscape Assessment

FIGURE 2b: Proposal in context









Project Information:

Lot 1  
DP129021  
Area: 3151 m²  
Val'n No. 00215-58200

Wind Zone: HIGH  
Region A/Open/Exposed/T1

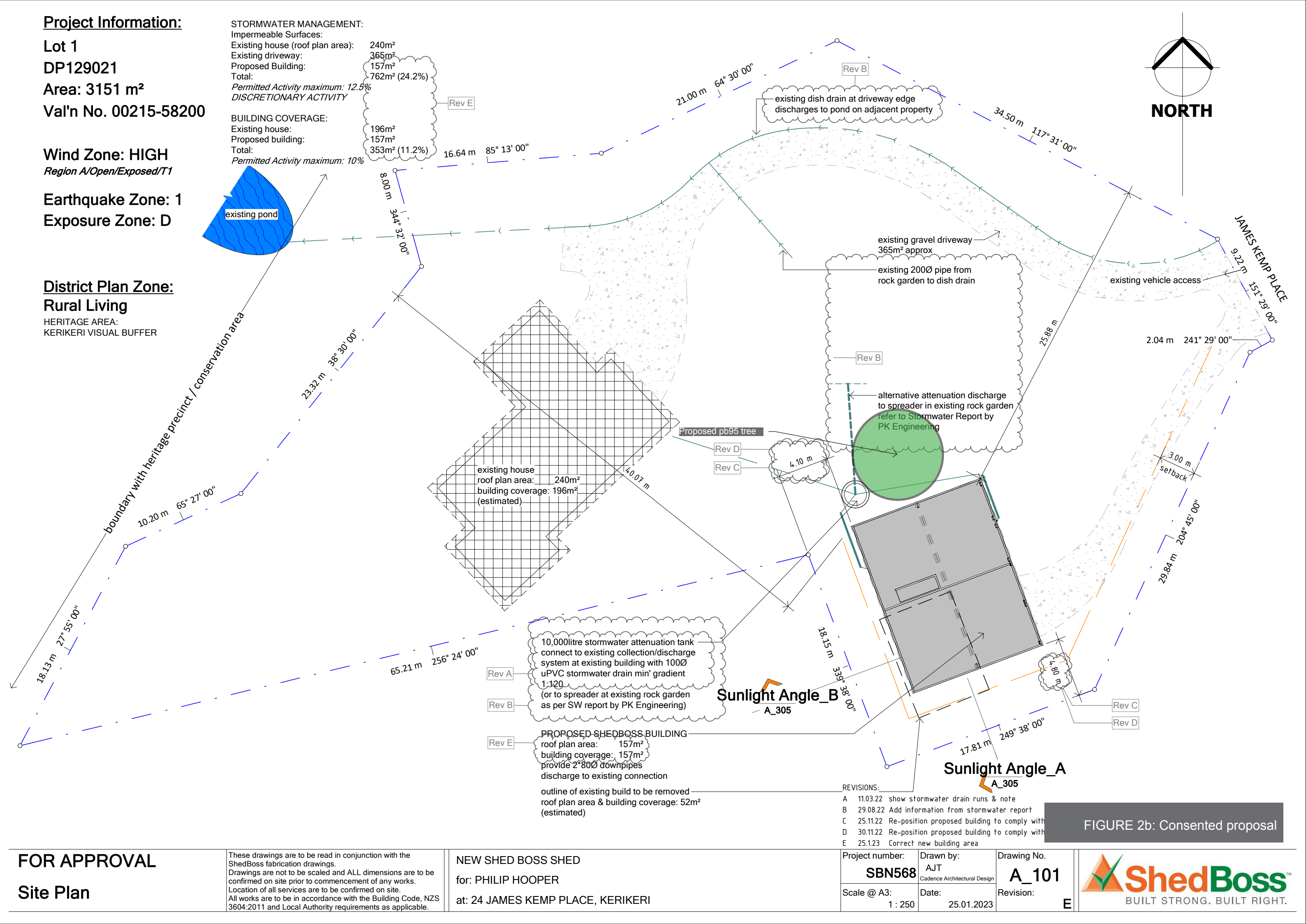
Earthquake Zone: 1  
Exposure Zone: D

District Plan Zone:  
Rural Living  
HERITAGE AREA:  
KERIKERI VISUAL BUFFER

STORMWATER MANAGEMENT:  
Impermeable Surfaces:  
Existing house (roof plan area): 240m²  
Existing driveway: 365m²  
Proposed Building: 157m²  
Total: 762m² (24.2%)  
Permitted Activity maximum: 12.5%  
DISCRETIONARY ACTIVITY

BUILDING COVERAGE:  
Existing house: 196m²  
Proposed building: 157m²  
Total: 353m² (11.2%)  
Permitted Activity maximum: 10%

NORTH



FOR APPROVAL  
Site Plan

These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.

NEW SHED BOSS SHED  
for: PHILIP HOOPER  
at: 24 JAMES KEMP PLACE, KERIKERI

Project number:  
SBN568  
Scale @ A3:  
1 : 250

Drawn by:  
AJT  
Cadence Architectural Design  
Date:  
25.01.2023

Drawing No.  
A\_101  
Revision:  
E



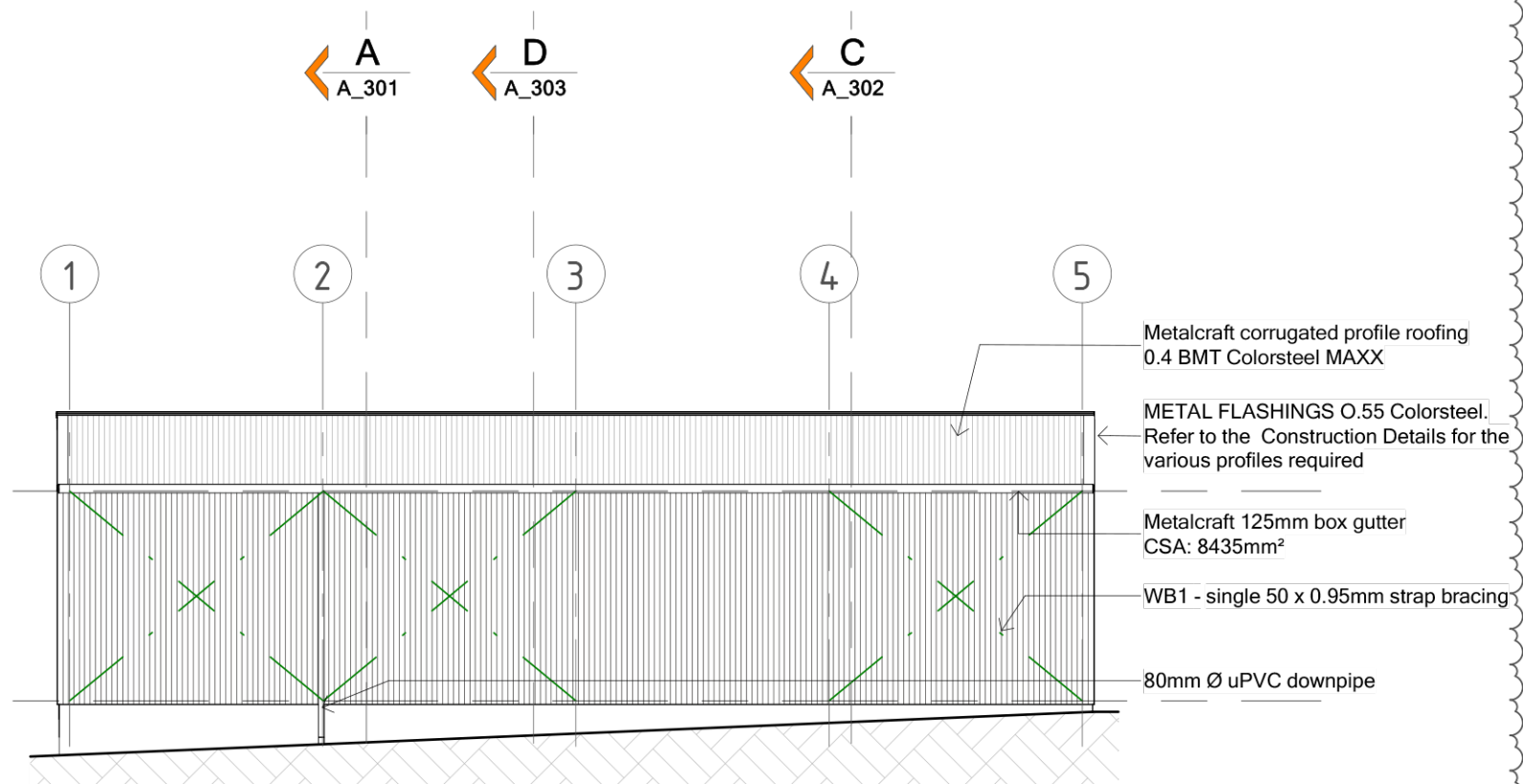
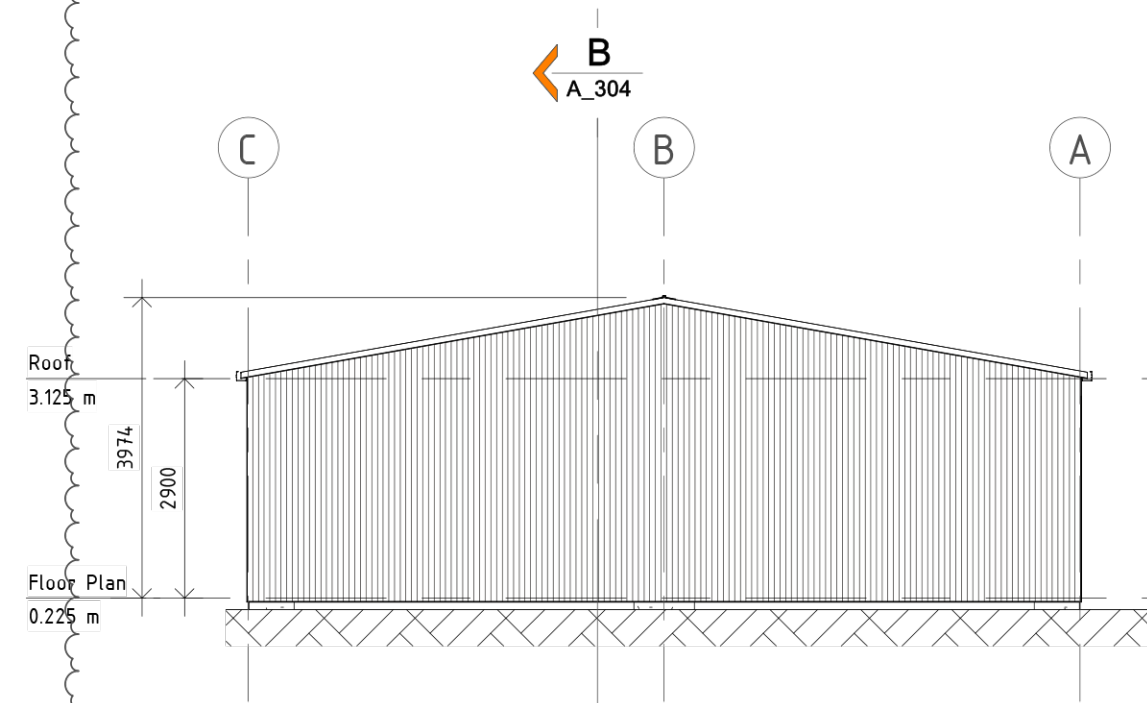
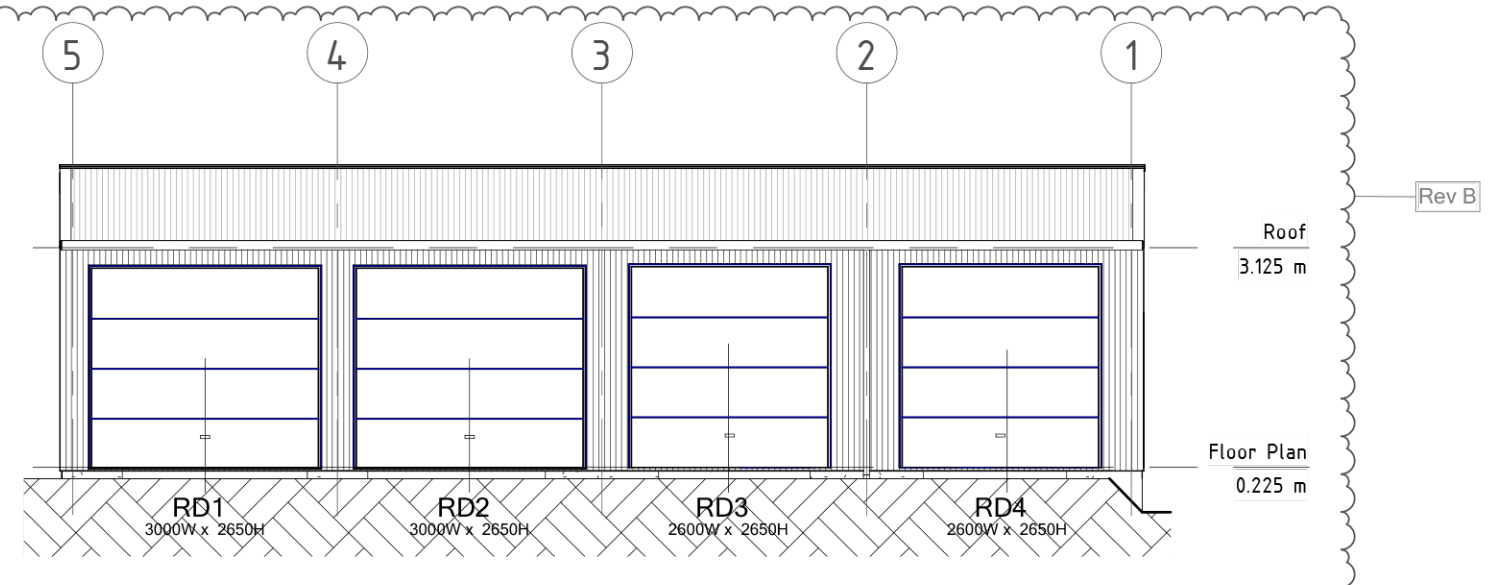
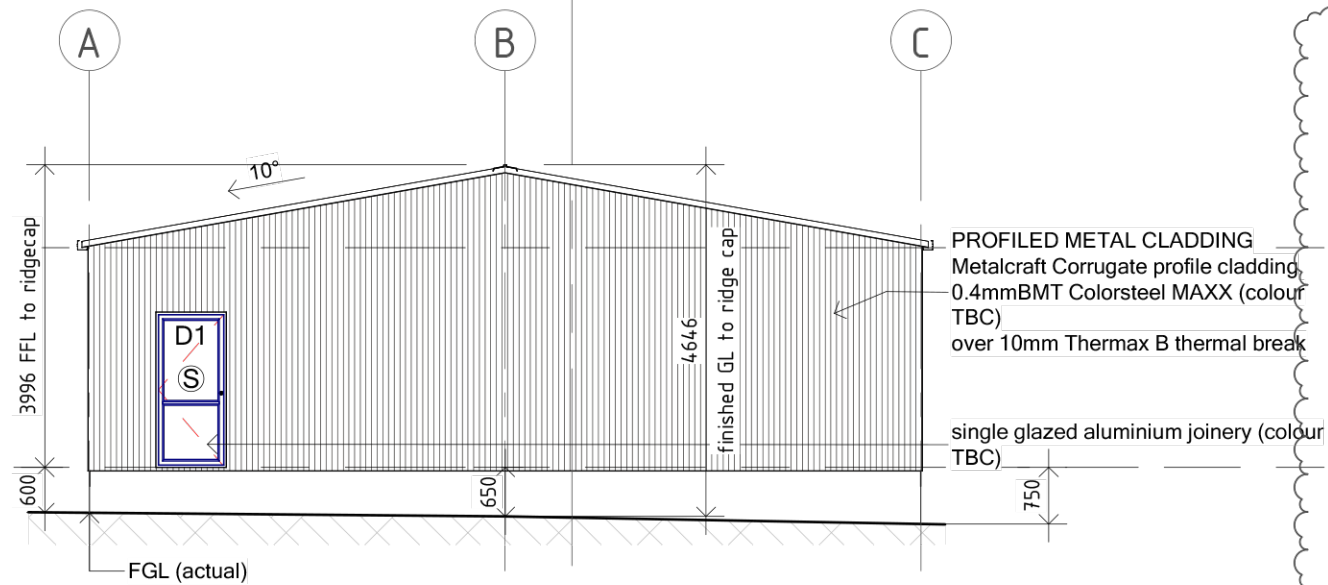
B  
A\_304

FIGURE 2c: Amended proposal

## REVISIONS

- A 07.04.25 Reduce height to comply with RC  
B 21.05.25 Amend doors from roller to sectional

**FOR APPROVAL**  
**Proposed Elevations**

These drawings are to be read in conjunction with the ShedEx fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

**NEW SHED BOSS SHED**  
for: PHILIP HOOPER  
at: 24 JAMES KEMP PLACE, KERIKERI

Project number:  
**SBN568**

Scale @ A3:  
1 : 100

Drawn by:  
AJT  
Cadence Architectural Design

Date:  
21.05.25

Drawing No.  
**A\_201**

Revision:  
B

**SHEDEx**  
EXPERTS IN DESIGN & CONSTRUCT





Project Information:

Lot 1  
DP129021  
Area: 3151 m²  
Val'n No. 00215-58200

Wind Zone: HIGH  
Region A/Open/Exposed/T1

Earthquake Zone: 1  
Exposure Zone: D

District Plan Zone:  
Rural Living  
HERITAGE AREA:  
KERIKERI VISUAL BUFFER

STORMWATER MANAGEMENT:  
Impermeable Surfaces:  
Existing house (roof plan area): 240m²  
Existing driveway: 365m²  
Proposed Building: 72m²  
Total: 677m² (21.5%)  
Permitted Activity maximum: 12.5%  
DISCRETIONARY ACTIVITY

BUILDING COVERAGE:  
Existing house: 196m²  
Proposed building: 72m²  
Total: 268m² (8.5%)  
Permitted Activity maximum: 10%



FIGURE 2d: Mitigation proposal

FOR APPROVAL  
Site Plan

These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.

NEW SHED BOSS SHED  
for: PHILIP HOOPER  
at: 24 JAMES KEMP PLACE, KERIKERI

REVISIONS: A 11.03.22 show stormwater drain runs & note	
Project number: SBN568	Drawn by: AJT Cadence Architectural Design
Scale @ A3: 1 : 250	Date: 11.03.2022

Drawing No. A_101
Revision: A







Photo 1: View from pa to Site

Photo date - 26 February 2025

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Mitigation concept  
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 2: View from pa to Site

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Mitigation concept  
Photos

Photo date - 26 February 2025

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 3: View from Stone Store to Site

Photo date - 26 February 2025

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Mitigation concept  
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)







Photo 4a: View to Site from jetty

Photo date - 14 March 2025 (taken by others)

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Mitigation concept  
Photos





Photo 4b - View to Site from jetty - visual simulation

Photo date - 14 March 2025 (taken by others)

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Mitigation concept  
Visual simulation

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 5: View to Site from James Kemp Place

Photo date - 29 May 2025

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Mitigation concept  
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 6: View south to shed from northern Site boundary with 29 James Kemp Place

Photo date - 29 May 2025

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Landscape Assessment  
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 6a: View south west to shed and dwelling within 29 James Kemp Place from northern Site boundary

Photo date - 29 May 2025

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Landscape Assessment  
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 7: View north from shed to northern Site boundary and 18 James Kemp Place

Photo date - 29 May 2025

**PHILLIP HOOPER: 24 James Kemp Pl. Kerikeri**  
Landscape Assessment  
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





# **STORMWATER MANAGEMENT REPORT**

FOR  
PROPOSED NEW SHED  
AT  
24 JAMES KEMP PLACE  
KERIKERI  
LOT 1 DP 129021  
FOR  
PHILLIP HOOPER

JobNo:22-056  
Date:July/2022  
REV1. 4/08/2025 Attenuation tank relocated to be clear of proposed trees

Level 1 ANZ Bank Building 90 Kerikeri Road, Kerikeri, New Zealand Telephone: 09 407 3255

Email: [teampk@pkengin.co.nz](mailto:teampk@pkengin.co.nz)

# Contents

1. INTRODUCTION .....	3
2. GENERAL SITE DESCRIPTION .....	3
3. NATURAL HAZARDS .....	3
4. GEOLOGY .....	3
5. STORMWATER MANAGEMENT .....	3
6 RECOMMENDATIONS .....	6
APPENDIX A.....	7

## **1. INTRODUCTION**

This report was requested by Phillip Hooper and has been prepared to assess the stormwater management requirements for the proposed new building at 24 James Kemp Place, Kerikeri.

This report addresses the stormwater management for the new building only. It shall not be used, reproduced, or copied in any manner or form without the permission of P K Engineering Limited.

## **2. GENERAL SITE DESCRIPTION**

The lot encompasses an area of 3,152m<sup>2</sup> and is located at 24 James Kemp Place. The lot is zoned Rural living under the Far North District Council Operative Plan. The property is moderately sloping from east to west towards the Kerikeri Inlet. Established plantings exist throughout the site among basaltic rocks and lava flows. An existing dwelling and shed are located on site as indicated on the Site Plan, Sheet SW1, Appendix A.

The existing garage is to be removed and the proposed shed is to be built in the same area.

## **3. NATURAL HAZARDS**

The site for the proposed shed lies in the “**Yellow Inundation Zone** - this zone should also be evacuated in an official warning for larger than a 3 – 5 m threat level (2,500-year return period) or in the case of a natural or informal warning where the potential wave height is unknown. The Yellow Zone encompasses the Orange Zone and Shore Evacuation Zone.” *Northland Regional Council Natural Hazard Maps.*

## **4. GEOLOGY**

Soil type – *Kerikeri friable clay with large boulders*

Rock Type – *“Basalt flows and cones.....”*

*NZMS 290, Sheet P04/05, Whangaroa- Kaikohe soil and rock maps.*

## **5. STORMWATER MANAGEMENT**

The careful management of stormwater runoff is vital to the continued stability of the site.

This site is zoned as Rural living under the Operative Far North District Plan. To constitute a permitted activity, a maximum of 12.5% of the total site area may be used for impermeable surfaces (roofs, driveway & sealed areas).

The existing impermeable surfaces on this site are: dwelling 240m<sup>2</sup>, Existing driveways 365m<sup>2</sup>.

The proposed new impermeable surfaces consist of the proposed shed 72m<sup>2</sup>, and proposed attenuation tank 4m<sup>2</sup>.

Total impermeable surfaces for this property equate to 681m<sup>2</sup> – 21.6% of the total site area.

This site therefore will be assessed as a discretionary activity as far as stormwater management is concerned. Any stormwater flows from new impermeable surfaces, i.e. proposed building roof, must be attenuated so that pre-new building development flows are maintained.

To achieve the required attenuation we recommend that;

All stormwater flows from the proposed building roof are directed to a 10,000ltr attenuation tank as indicated on Site Plan, Sheet SW1, Site Plan, Appendix A. The attenuation system parameters can be found in Table 1 below. We recommend utilising the portion of the tank available for reuse for irrigation purposes.

In arriving at the above attenuation requirements, we have used coefficients of 0.96 for the proposed building roof and 0.59 for predevelopment flows. HIRDS rainwater data RCP6 2081-2100 with 100-year ARI and 10 - minute storm intensity has been used in the calculations. We have used an attenuation spreadsheet supplied by the Far North District Council (accompanying) for our calculations.

A detailed drawing of the attenuation tanks pipework and the suitable dispersal system can be found in Appendix A, sheets SG2 and SG3 respectively.

*Table 1. Attenuation system parameters for proposed new building*

	Orifice diameter	Orifice invert location	
ARI 10	17 mm	1500 mm below overflow invert	
ARI 100	16 mm	750 mm below overflow invert	
Tank Size	1 x	10,000	litres @ 1.1 m Ø
ARI 10		2,824.0 litres	
ARI 100		5,726.9 litres	
Reuse		4,273.1 litres	

If installation of the 100mm diameter discharge pipe from the attenuation tank to the existing house system is not possible we recommend the alternative route indicated on our site plan accompanying. If the alternative route is utilised a suitable dispersal system should be installed to discharge as sheet flow. Refer Sheet SW3 for dispersal system details.

The alternative discharge route utilises an existing small rock lined basin that discharges via an existing 200mm diameter pipe to the existing driveway dish drain which in turn discharges to the existing pond that in turn discharges to Kerikeri inlet. Refer photos Figures 1 and 2 below.





*Figure 1, showing discharge pipe at base of existing rock lined basin*



*Figure 2, showing existing rock lined basin*

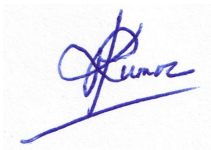
## **6 RECOMMENDATIONS**

I recommend that:

- Stormwater management design be carried out in accordance with section 5 of this report

## **7. CONCLUSION**

Provided the recommendations in this report are adhered to, stormwater flows from the proposed building roof will be attenuated to the current status quo and there will be negligible downstream effects on adjacent properties from the discharge of stormwater from 24 James Kemp Place

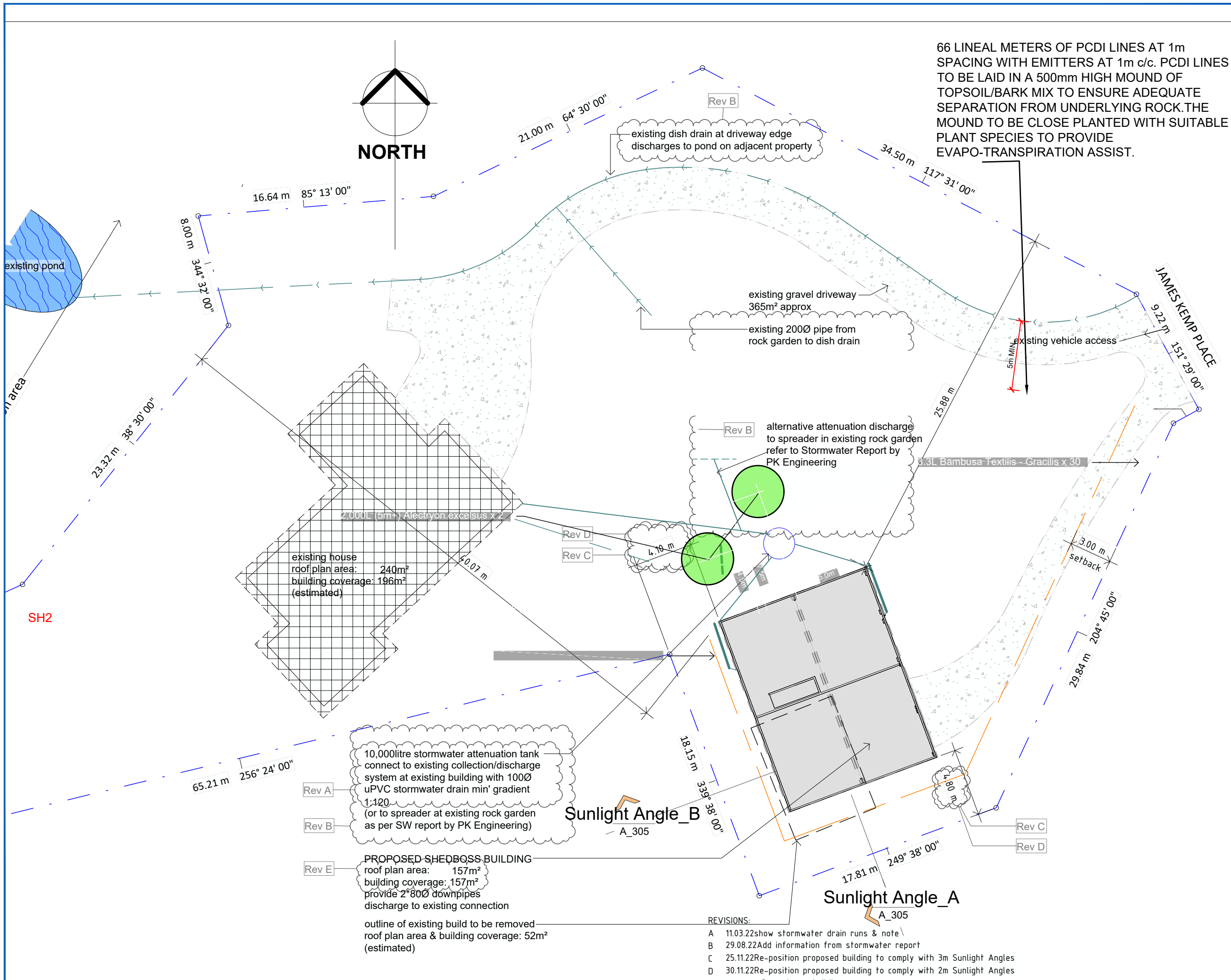


Pradeep Kumar.  
B.E hons, NZCE, MIPENZ,  
IntPE, CP Eng.  
(Structural, Geotechnical)  
Chartered Professional Engineer.



## **APPENDIX A**

- SITE PLAN STORMWATER 'SW1'
- ATTENUATION TANK DETAILS 'SG2'
- TYPICAL DISPERSAL SYSTEM DETAILS 'SG3'
- ATTENUATION CALCS FOR 1x 10,000ltr DETENTION TANK



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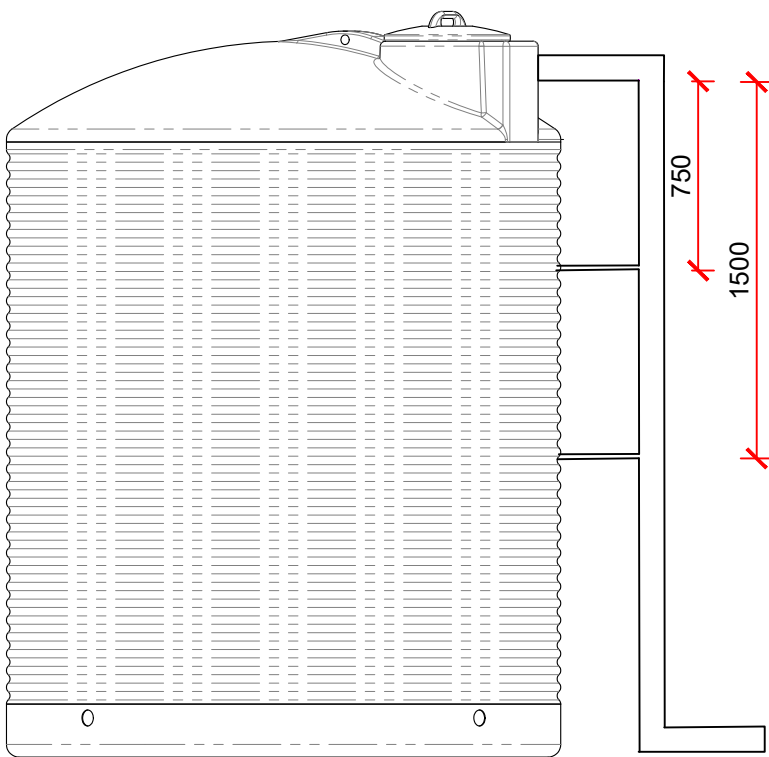
**PK** ENGINEERING LIMITED

DATE: 04/08/2025

CHECKED BY:

PRADEEP KUMAR  
CHARTERED PROFESSIONAL ENGINEER  
(STRUCTURAL, GEOTECHNICAL)  
ImpPE, CPEng, MIPENZ No. 203058

REV:	DESCRIPTION:	BY:	DATE:
STATUS: ISSUED TO CLIENT			
<div><p><b>PK</b> ENGINEERING</p><p>CHARTERED PROFESSIONAL ENGINEERS</p><p>LEVEL 1, ANZ BANK 90 KERIKERI ROAD, KERIKERI PO BOX 464, KERIKERI Phone Number: 09 407 3255 Email: teampk@pkengin.co.nz</p></div>			
CLIENT: PHILIP HOOPER 24 JAMES KEMP PLACE KERIKERI			
SITE: 24 JAMES KEMP PLACE LOT 1 DP129021			
TITLE: PROPOSED NEW SHED SITE PLAN STORMWATER			
SCALE AT A3: 1:250	DATE: 4/08/2025	DRAWN: RD	CHECKED: PK
PROJECT NO: 22-056	DRAWING NO: A3/SW1	REVISION: 1	



ATTENUATION TANK DETAIL

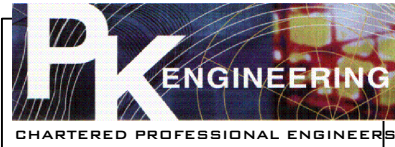
	Orifice diameter	Orifice invert location		
ARI 10	17 mm	1500 mm below overflow invert		
ARI 100	16 mm	750 mm below overflow invert		
Tank Size	1 x	10,000	litres @	1.1 m Ø
ARI 10	2,824.0 litres			
ARI 100	5,726.9 litres			
Reuse	4,273.1 litres			

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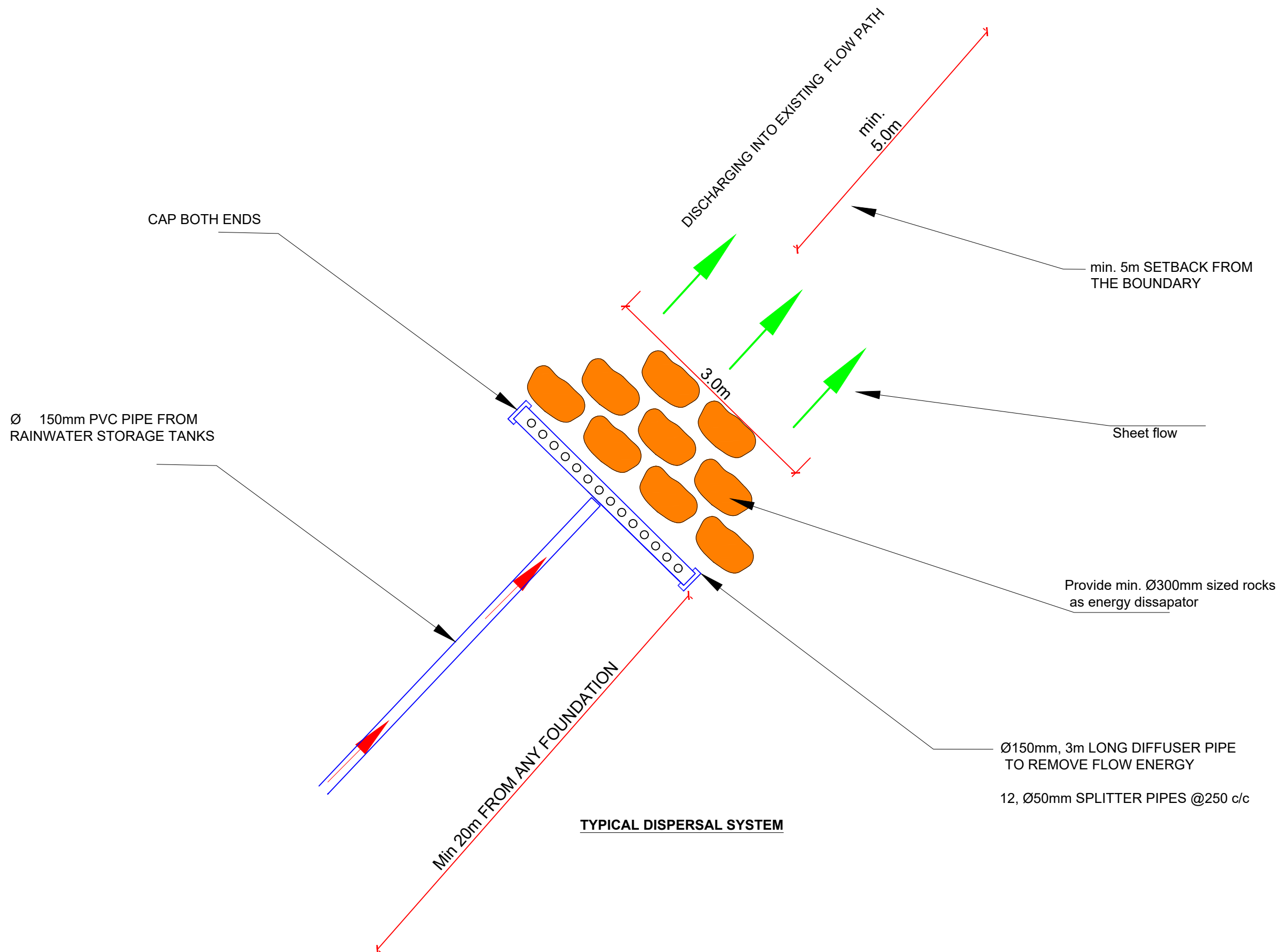
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90 KERIKERI ROAD, KERIKERI  
PO BOX 464, KERIKERI  
Phone Number: 09 407 3255  
Email: teampk@pkengin.co.nz

CLIENT: PHILLIP HOOPER  
24 JAMES KEMP PLACE  
KERIKERI

SITE: 24 JAMES KEMP PLACE  
LOT1 DP129021

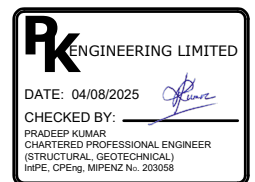
TITLE: PROPOSED NEW SHED  
ATTENUATION TANK DETAIL

SCALE AT A3: 1:30	DATE: 04/08/2025	DRAWN: RD	CHECKED: PK
PROJECT NO: 22-056	DRAWING NO: A3/SW2	REVISION: 1	



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REV:	DESCRIPTION:	BY:	DATE:
STATUS:		ISSUED TO CLIENT	



LEVEL 1, ANZ BANK  
90 KERIKERI ROAD, KERIKERI  
PO BOX 464, KERIKERI  
Phone Number: 09 407 3255  
Email: [teampk@pkengin.co.nz](mailto:teampk@pkengin.co.nz)

**CLIENT:** PHILLIP HOOPER  
24 JAMES KEMP PLACE  
KERIKERI

**SITE:** 24 JAMES KEMP PLACE  
LOT1 DP129021

**TITLE:** PROPOSED NEW SHED  
TYPICAL DISPERSAL SYSTEM

SCALE AT A3: 1:50	DATE: 04/08/2025	DRAWN: RD	CHECKED: PK
PROJECT NO: 22-056	DRAWING NO: A3/SW3		REVISION: 1

## Rochelle

---

**From:** Bronwyn BauerHunt <bbauerhunt@doc.govt.nz>  
**Sent:** Thursday, 31 July 2025 11:05 am  
**To:** Rochelle  
**Subject:** RE: 24 James Kemp Place

Kia ora Rochelle,

Really appreciated receiving this email and the confirmation that amendments will be made to the building to reduce its “visibility” from the surrounding neighbourhood. The proposed conditions I believe will satisfy the concerns raised.

Nga mihi mahana  
Bronwyn

---

**From:** Rochelle <rochelle@northplanner.co.nz>  
**Sent:** Thursday, 31 July 2025 10:25 am  
**To:** Bronwyn BauerHunt <bbauerhunt@doc.govt.nz>  
**Subject:** 24 James Kemp Place

Morena Bronny,

Please find attached and detailed in the email below the revised proposal for Phillip and Mei Hooper at 24 James Kemp Place, Kerikeri.

Could you please review and come back to me with email correspondence on your updated position please.

The amended proposal has been sought as a result of works undertaken on site post approval of the initial application. The concreting of the shed foundations were located slightly closer to the boundaries than what was originally consented (albeit still within the permitted standards for setback) and were built up 750mm above the ground level which was not accounted for in the original consented designs. These physical amendments have resulted in an additional sunlight infringement being created. In order to combat this, the building has been scaled back and a much-improved design which is more sympathetic to the surrounds has been sought. The development has been reassessed by Simon Cocker, and he has recommended mature Titoki trees be established to provide immediate screening of the structure. Two trees have been recommended as opposed to the one original tree provided for in the initial application. The placement of these trees is such that they avoid large boulders on site and avoid infrastructure while at the same time still providing screening of the shed. The amended height and proposed screening of the structure will visually soften the appearance and creates an improved situation in comparison to the approved design.

The amended proposal includes the removal of the mezzanine floor, the reduction in the overall height of the structure, slight shift of the building platform to align with the concreted foundations on site and the updating of the landscaping.

Proposed changes are sought to conditions 1, 3 & 4 to reflect the updated design and accompanying reports. Changes to condition 5 are sought to reference the colour scheme which is being sought by the applicants. The deletion of condition 6 is sought given that the mezzanine has been removed such that there is no longer a concern that the building could be used as a separate residence. And finally, a new condition has been offered



which will see the parts of the current structure infringing the sunlight standard being removed within a 2 month timeframe. The two month timeframe gives sufficient time to organise scaffolding and builders to do the works. These proposed changes are shown in red.

Condition 1 –

*The activity shall be carried out in general accordance with the approved plans attached to this consent with the Council's "Approved Stamp" affixed to as prepared by:*

i. Shed ~~ExBoss~~, referenced SBN568:

- a) Site Plan, Revision F dated ~~25 January 2023~~ 28.7.25
- b) Sunlight Angles, Revision D, dated ~~30 November 2022~~ 28.7.25
- c) ~~Landscape Plan, dated 30 November 2022~~ Proposed Plan, Revision B, dated 21.5.25
- d) Proposed Elevations, Revision B, dated 21.5.25

ii. PK Engineering, referenced 22-056:

- a) *Proposed New Shed Site Plan Stormwater, drawing no. A3/SW1, revision 1, dated November 2022*

Condition 3 –

*The consent holder shall undertake the landscaping around the shed in general accordance with the Figure 2d: Mitigation proposal which forms part of the Simon Cocker Landscape Architecture Memorandum dated 1<sup>st</sup> July 2025. landscape plan prepared by Shed Boss, referenced SBN568, titled For Approval Landscape Plan, revision C, dated: 30 November 2022. This shall be implemented, following the construction of the shed, within 12 months of the date of this decision and within the first planting season (1 May to 30 September). The consent holder shall ensure that the landscape plantings approved with this consent (RC 2230305 ~~VARA~~) shall be maintained in perpetuity for the life of the shed. In the event this vegetation dies of natural causes it shall be replanted with a same or similar specimen that would achieve the same level of screening detailed within the above-mentioned memorandum at maturity.*

Condition 4 –

*The consent holder shall plant two 2,000l (5m+) Alectryon excelsus one new pb95 grade specimen tree to the north of the shed, in the location marked on Figure 2d: Mitigation proposal, within the Memorandum by the 'Site Plan' by Shed Boss, referenced SBN568 in accordance with the 'Landscape Assessment' report prepared by Simon Cocker Landscape Architecture, dated ~~11 July 2023~~ 35. The new tree shall be of an evergreen species capable of reaching a height of 8m. This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September) and maintained in perpetuity. In the event the trees die from natural causes the same or similar specimen shall be planted.*

Condition 5 –

~~In conjunction with a building consent, the consent holder shall provide for the approval of the Council's duly delegated officer, a schedule of natural, recessive colours and textures to be utilised in finishing the shed, including tinted or non-reflective glass. The exterior is to be coloured within the BS5252 (or similar) standard colour palette range with a reflectance value of 30% or less or constructed of natural materials which fall within this range. The shed is to be finished in accordance with this schedule prior to use of it and the approved schedule shall be adhered to for the duration of this consent. The exterior of the shed shall be finished in Coloursteel Grey Friars. The building is to be finished in accordance with this colour prior to use of the building and the approved colour shall be adhered to for the duration of this consent unless otherwise agreed to in writing by the Resource Consent Monitoring Officer or duly delegated officer.~~

Condition 6 –

~~The shed is not permitted to be used as a separate residential unit. Any consideration of such a proposal would require Council's consideration of a resource consent application.~~

New condition:

Within 2 months of the approval of this variation, the consent holder shall remove that part of the built structure which creates a sunlight infringement to Lot 1 DP 27901 and Lot 2 DP 129021.

I note that Council would like to see a copy of this variation application lodged as soon as possible.

Please feel free to give me a call, or send me an email if you have any questions, or if you need to see a copy of the approved RC which is being varied.

Regards,



**Rochelle Jacobs**

Director / Senior Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866 | 📠 027 449 8813

Northland Planning & Development 2020 Limited

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## Rochelle

---

**From:** Stuart Bracey <SBracey@heritage.org.nz>  
**Sent:** Tuesday, 5 August 2025 10:57 am  
**To:** Rochelle; Bill Edwards  
**Cc:** Jan Danilo  
**Subject:** RE: 24 James Kemp Place

Hi Rochelle,

Thanks for all the work you and the applicant have done to work this issue through.

I confirm HNZPT gives its affected Party approval under the RMA to this activity. In providing this affected party approval HNZPT notes;

- The accessory building is to be deconstructed and reconstructed to a lower building height, more in keeping with the significant setting it is located in (Kerikeri Inlet Heritage Area)
- The screening planting confirmed by the applicant along the frontage of the accessory building to Kerikeri Inlet.
- The relocation and screening of the stormwater detention tank.

HNZPT confirms this e-mail can be provided to FNDC as a record of affected party approval.

Regards,  
Stuart Bracey

**Stuart Bracey | Kaiwhakamāhere | Heritage Planner | Northern Region |** Heritage New Zealand Pouhere Taonga | L10 SAP  
Tower 151 Queen Street Auckland CBD | Private Box 105 291 Auckland City 1143 | mobile 027 684 0833 | visit  
[www.heritage.org.nz](http://www.heritage.org.nz) and learn more about NZ's heritage places.

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**From:** Rochelle <rochelle@northplanner.co.nz>  
**Sent:** Monday, 4 August 2025 1:54 pm  
**To:** Bill Edwards <BEdwards@heritage.org.nz>  
**Cc:** Stuart Bracey <SBracey@heritage.org.nz>  
**Subject:** RE: 24 James Kemp Place

Good Afternoon Bill and Stu,

I've had the engineers relocate the stormwater tank.

This particular tank can be buried up to 1m (if the site constraints allow).

Regardless, it is positioned behind the trees such that it should be screened.



Looking forward to hearing back from you.

Cheers,



**Rochelle Jacobs**

Director / Senior Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866 | 📠 027 449 8813

Northland Planning & Development 2020 Limited

---

**From:** Rochelle

**Sent:** Thursday, July 31, 2025 10:40 AM

**To:** Bill Edwards <[bedwards@heritage.org.nz](mailto:bedwards@heritage.org.nz)>

**Cc:** Stuart Bracey <[sbracey@heritage.org.nz](mailto:sbracey@heritage.org.nz)>

**Subject:** RE: 24 James Kemp Place

If possible, can you let me know what your comments are before the 8<sup>th</sup> August, as I'm looking to lodge that day.

Cheers,



**Rochelle Jacobs**

Director / Senior Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866 | 📠 027 449 8813

Northland Planning & Development 2020 Limited

---

**From:** Rochelle

**Sent:** Thursday, July 31, 2025 10:23 AM

**To:** Bill Edwards <[bedwards@heritage.org.nz](mailto:bedwards@heritage.org.nz)>

**Cc:** Stuart Bracey <[sbracey@heritage.org.nz](mailto:sbracey@heritage.org.nz)>

**Subject:** 24 James Kemp Place

Morena Bill and Stu,

Please find attached and detailed in the email below the revised proposal for Phillip and Mei Hooper at 24 James Kemp Place, Kerikeri.

Could you please review and come back to me with email correspondence on your updated position please.

The amended proposal has been sought as a result of works undertaken on site post approval of the initial application. The concreting of the shed foundations were located slightly closer to the boundaries than what was originally consented (albeit still within the permitted standards for setback) and were built up 750mm above the ground level which was not accounted for in the original consented designs. These physical amendments have resulted in an additional sunlight infringement being created. In order to combat this, the building has been scaled back and a much-improved design which is more sympathetic to the surrounds has been sought. The development has been reassessed by Simon Cocker, and he has recommended mature Titoki trees be

established to provide immediate screening of the structure. Two trees have been recommended as opposed to the one original tree provided for in the initial application. The placement of these trees is such that they avoid large boulders on site and avoid infrastructure while at the same time still providing screening of the shed. The amended height and proposed screening of the structure will visually soften the appearance and creates an improved situation in comparison to the approved design.

The amended proposal includes the removal of the mezzanine floor, the reduction in the overall height of the structure, slight shift of the building platform to align with the concreted foundations on site and the updating of the landscaping.

Proposed changes are sought to conditions 1, 3 & 4 to reflect the updated design and accompanying reports. Changes to condition 5 are sought to reference the colour scheme which is being sought by the applicants. The deletion of condition 6 is sought given that the mezzanine has been removed such that there is no longer a concern that the building could be used as a separate residence. And finally, a new condition has been offered which will see the parts of the current structure infringing the sunlight standard being removed within a 2 month timeframe. The two month timeframe gives sufficient time to organise scaffolding and builders to do the works. These proposed changes are shown in red.

#### Condition 1 –

*The activity shall be carried out in general accordance with the approved plans attached to this consent with the Council's "Approved Stamp" affixed to as prepared by:*

*i. Shed ExBoss, referenced SBN568:*

*a) Site Plan, Revision F dated 25-January-2023-28.7.25*

*b) Sunlight Angles, Revision D, dated 30-November-2022-28.7.25*

*c) Landscape Plan, dated 30-November-2022-Proposed Plan, Revision B, dated 21.5.25*

*d) Proposed Elevations, Revision B, dated 21.5.25*

*ii. PK Engineering, referenced 22-056:*

*a) Proposed New Shed Site Plan Stormwater, drawing no. A3/SW1, revision 1, dated November 2022*

#### Condition 3 –

*The consent holder shall undertake the landscaping around the shed in general accordance with the Figure 2d: Mitigation proposal which forms part of the Simon cocker Landscape Architecture Memorandum dated 1<sup>st</sup> July 2025. landscape plan prepared by Shed Boss, referenced SBN568, titled For Approval Landscape Plan, revision C, dated: 30-November-2022. This shall be implemented, following the construction of the shed, within 12 months of the date of this decision and within the first planting season (1 May to 30 September). The consent holder shall ensure that the landscape plantings approved with this consent (RC 2230305 VARA) shall be maintained in-perpetuity for the life of the shed. In the event this vegetation dies of natural causes it shall be replanted with a same or similar specimen that would achieve the same level of screening detailed within the above-mentioned memorandum at maturity.*

#### Condition 4 –



The consent holder shall plant two 2,000l (5m+) Alectryon excelsus one new pb95 grade specimen tree to the north of the shed, in the location marked on Figure 2d: Mitigation proposal, within the Memorandum by the 'Site Plan' by Shed Boss, referenced SBN568 in accordance with the 'Landscape Assessment' report prepared by Simon Cocker Landscape Architecture, dated 11 July 2023. ~~The new tree shall be of an evergreen species capable of reaching a height of 8m.~~ This shall be implemented, following the construction of the shed, within 12 months and within the first planting season (1 May to 30 September) and maintained in perpetuity. In the event the trees die from natural causes the same or similar specimen shall be planted.

Condition 5 –

~~In conjunction with a building consent, the consent holder shall provide for the approval of the Council's duly delegated officer, a schedule of natural, recessive colours and textures to be utilised in finishing the shed, including tinted or non-reflective glass. The exterior is to be coloured within the BS5252 (or similar) standard colour palette range with a reflectance value of 30% or less or constructed of natural materials which fall within this range. The shed is to be finished in accordance with this schedule prior to use of it and the approved schedule shall be adhered to for the duration of this consent. The exterior of the shed shall be finished in Coloursteel Grey Friars. The building is to be finished in accordance with this colour prior to use of the building and the approved colour shall be adhered to for the duration of this consent unless otherwise agreed to in writing by the Resource Consent Monitoring Officer or duly delegated officer.~~

Condition 6 –

~~The shed is not permitted to be used as a separate residential unit. Any consideration of such a proposal would require Council's consideration of a resource consent application.~~

New condition:

Within 2 months of the approval of this variation, the consent holder shall remove that part of the built structure which creates a sunlight infringement to Lot 1 DP 27901 and Lot 2 DP 129021.

I note that Council would like to see a copy of this variation application lodged as soon as possible.

Please feel free to give me a call, or send me an email if you have any questions.

Regards,



**Rochelle Jacobs**  
Director / Senior Planner

Offices in Kaitia & Kerikeri  
☎ 09 408 1866 | 📠 027 449 8813  
Northland Planning & Development 2020 Limited





## Rochelle

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**From:** Kipa Munro <kipa@ngatirehia.co.nz>  
**Sent:** Friday, 1 August 2025 8:30 am  
**To:** Rochelle  
**Subject:** RE: 24 James Kemp Place

Kia ora Rochelle,  
Thank you for the information provided. I am currently in Tamaki today and for the weekend. Will look at the documents next week.  
Mauri ora,

### KIPA MUNRO

Chairperson  
Te Rūnanga o Ngāti Rēhia Charitable Trust  
Cnr Hone Heke & Kerikeri Roads  
PO Box 202, Kerikeri 0230

Contact: 027 232 8299

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**From:** Rochelle <rochelle@northplanner.co.nz>  
**Sent:** Thursday, 31 July 2025 10:39 am  
**To:** Kipa Munro <kipa@ngatirehia.co.nz>  
**Subject:** FW: 24 James Kemp Place

Morena Kipa,

Lovely catching up with you the other week.

As promised, please find attached and detailed in the email below the revised proposal for Phillip and Mei Hooper at 24 James Kemp Place, Kerikeri.

Could you please review and come back to me please.

The amended proposal has been sought as a result of works undertaken on site post approval of the initial application. The concreting of the shed foundations were located slightly closer to the boundaries than what was originally consented (albeit still within the permitted standards for setback) and were built up 750mm above the ground level which was not accounted for in the original consented designs. These physical amendments have resulted in an additional sunlight infringement being created. In order to combat this, the building has been scaled back and a much-improved design which is more sympathetic to the surrounds has been sought. The development has been reassessed by Simon Cocker, and he has recommended mature Titoki trees be established to provide immediate screening of the structure. Two trees have been recommended as opposed to the one original tree provided for in the initial application. The placement of these trees is such that they avoid large boulders on site and avoid infrastructure while at the same time still providing screening of the shed. The

amended height and proposed screening of the structure will visually soften the appearance and creates an improved situation in comparison to the approved design.

The amended proposal includes the removal of the mezzanine floor, the reduction in the overall height of the structure, slight shift of the building platform to align with the concreted foundations on site and the updating of the landscaping.

Proposed changes are sought to conditions 1, 3 & 4 to reflect the updated design and accompanying reports. Changes to condition 5 are sought to reference the colour scheme which is being sought by the applicants. The deletion of condition 6 is sought given that the mezzanine has been removed such that there is no longer a concern that the building could be used as a separate residence. And finally, a new condition has been offered which will see the parts of the current structure infringing the sunlight standard being removed within a 2-month timeframe. The two-month timeframe gives sufficient time to organise scaffolding and builders to do the works. These proposed changes are shown in red.

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*c) ~~Landscape Plan, dated 30 November 2022~~ Proposed Plan, Revision B, dated 21.5.25*

*d) Proposed Elevations, Revision B, dated 21.5.25*

*ii. PK Engineering, referenced 22-056:*

*a) ~~Proposed New Shed Site Plan Stormwater, drawing no. A3/SW1, revision 1, dated November 2022~~*

*Condition 3 –*

*The consent holder shall undertake the landscaping around the shed in general accordance with the Figure 2d: Mitigation proposal which forms part of the Simon cocker Landscape Architecture Memorandum dated 1<sup>st</sup> July 2025. landscape plan prepared by Shed Boss, referenced SBN568, titled For Approval Landscape Plan, revision C, dated: 30 November 2022. This shall be implemented, ~~following the construction of the shed,~~ within 12 months of the date of this decision and within the first planting season (1 May to 30 September). The consent holder shall ensure that the landscape plantings approved with this consent (RC 2230305 VARA) shall be maintained ~~in perpetuity for the life of the shed.~~ In the event this vegetation dies of natural causes it shall be replanted with a same or similar specimen that would achieve the same level of screening detailed within the above-mentioned memorandum at maturity.*

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New condition:

Within 2 months of the approval of this variation, the consent holder shall remove that part of the built structure which creates a sunlight infringement to Lot 1 DP 27901 and Lot 2 DP 129021.

I note that Council would like me to lodge this variation as soon as possible. If possible could you please come back to me before the 8<sup>th</sup> August so I can include any correspondence you have when I do lodge.

Please feel free to give me a call, or send me an email if you have any questions, or if you need to see a copy of the approved RC which is being varied so you can do a comparison.

Regards,



**Rochelle Jacobs**

Director / Senior Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866 | 📠 027 449 8813

Northland Planning & Development 2020 Limited